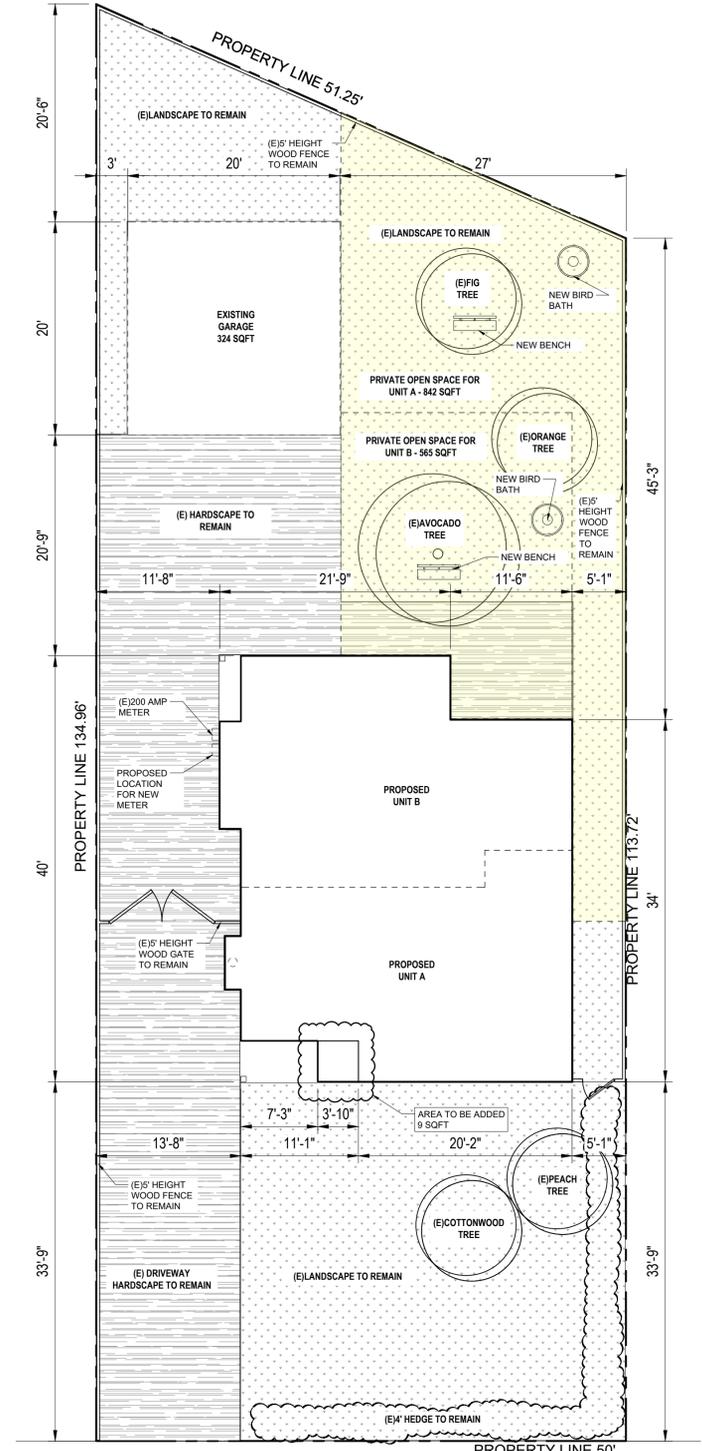


EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN & LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

SCOPE OF WORK

- DIVIDE EXISTING SINGLE FAMILY RESIDENCE INTO TWO - ONE BEDROOM UNITS. (UNIT A & UNIT B)
- 9 SQFT ADDITION AT "UNIT A"
- ADD WINDOW NO. 114 AT "UNIT A"
- ADD DOOR TYPE A IN "UNIT A" BEDROOM, TO PRIVATE OPEN SPACE.
- NEW "FRONT DOOR" FOR ENTRY AT "UNIT B"
- REPLACE EXISTING DOOR WITH NEW 8' WIDE SLIDING WINDOW (NO. 107) AT "UNIT B"

CODES

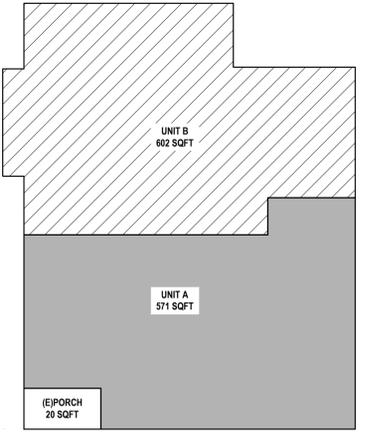
Title 9, Chapter 1, of the Burbank Municipal Code 2022 Plumbing Code
 2022 Edition of the California Building Code 2022 California Green Building Standards
 2022 California Residential Code 2022 Building Energy Efficiency Standards,
 2022 California Electrical Code including all intervening Code cycles.
 2022 California Mechanical Code California

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CRC, CMC, CPC AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN THE TITLE 24 CCR AND THIS JURISDICTION.
 2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING AND DEMOLITION.
 3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
 4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3302.4)
 5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
 6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-1-3305)
 7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5% OR 6" TO POINT 10 FEET FROM BUILDING FOUNDATION OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM 2% (CRC 9403.3)
 8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC 9403.1.7.3)

SITE WORK:
 LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10FT (5% SLOPE), WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10FT DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. (CRC 9403.1, CRC 1004.4)



UNIT SQUARE FOOTAGE
SCALE: 1/8" = 1'-0"

PARKS AND RECREATION DEPARTMENT DEVELOPMENT NOTE:
 OWNER TO INSTALL THE STREET TREES. THEY MUST CONTACT THE FORESTRY SUPERVISOR AT 818-238-5343, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO INSTALLATION. FAILURE TO CONTACT THE CITY FOR INSPECTION AND INSTALLATION MAY CAUSE THE REMOVAL AND REPLACEMENT AT THE OWNERS EXPENSE.



VIEW A

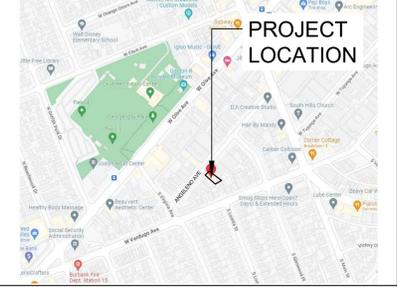
SHEET INDEX

A1.1 - SITE PLAN	A3.1 - EXISTING ELEVATIONS
A1.2 - RADIUS MAP	A3.2 - EXISTING ELEVATIONS
A1.3 - SITE PLAN WITH NEIGHBORHOOD AND HOUSE IMAGES	A3.3 - NEW ELEVATIONS
A1.4 - SETBACK PLAN	A3.4 - NEW ELEVATIONS
A1.5 - LANDSCAPE PLAN	S1.1 - STRUCTURAL PLANS
A2.1 - EXISTING FLOOR PLAN AND NEW FLOOR PLAN	D1.0 - DETAILS
A2.2 - ROOF PLAN AND ELECTRICAL PLAN	

PROJECT INFORMATION

PROJECT ADDRESS:	1100 W ANGELENO AVE BURBANK CA 91506
A.P.N.:	2446-029-004
LOT SIZE FT.:	6,200 SQFT
TRACT:	3910
BLOCK:	-
LOT:	-
(E) STRUCTURE SQ FOOTAGE:	1,184 SQFT
CONST. BLD TYPE (PER SEC 602.1):	V-B
SPRINKLERS:	NO
ZONE:	R-3
STORIES:	1
USE:	SINGLE FAMILY DWELLING
YEAR BUILT:	1939
HIGH FIRE ZONE:	NO
FLOOD ZONE:	NO
HILLSIDE AREA:	NO

VICINITY MAP



SQUARE FOOTAGE

	OCCUPANCY/ZONE	SQFT
LOT AREA	R-3	6200
(E)SFD	R3	1184
(E) GARAGE AREA	U	324
(E) Covered Porch Area	R3	29
(E) Covered Porch Area to be converted into (N) Entry	R3	9

TOTAL HABITABLE	1184 + 9	1193
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NOTE: LOT COVERAGE IS CALCULATED FROM EXTERIOR WALL TO EXTERIOR WALL PER MBC10-1-628(C).

NOTE: MATERIALS ARE TO REMAIN THE SAME. EXTERIOR IS TO REMAIN THE SAME. ADDITION TO MATCH EXISTING MATERIALS AND ARCHITECTURAL STYLE.



VIEW B



Design + Planning + Development
 28338 CONSTELLATION RD SUITE 909,
 SANTA CLARITA, CA 91355
 C. + 6615107232 | W. + 6613124453
 LOUISDESIGNSTUDIO@GMAIL.COM
 LOUIS-DESIGNSTUDIO.COM

CONSULTANT STAMP



PREPARED FOR:



PROJECT ADDRESS

1100 W ANGELENO AVE
BURBANK, CA 91506

MARK DATE DESCRIPTION

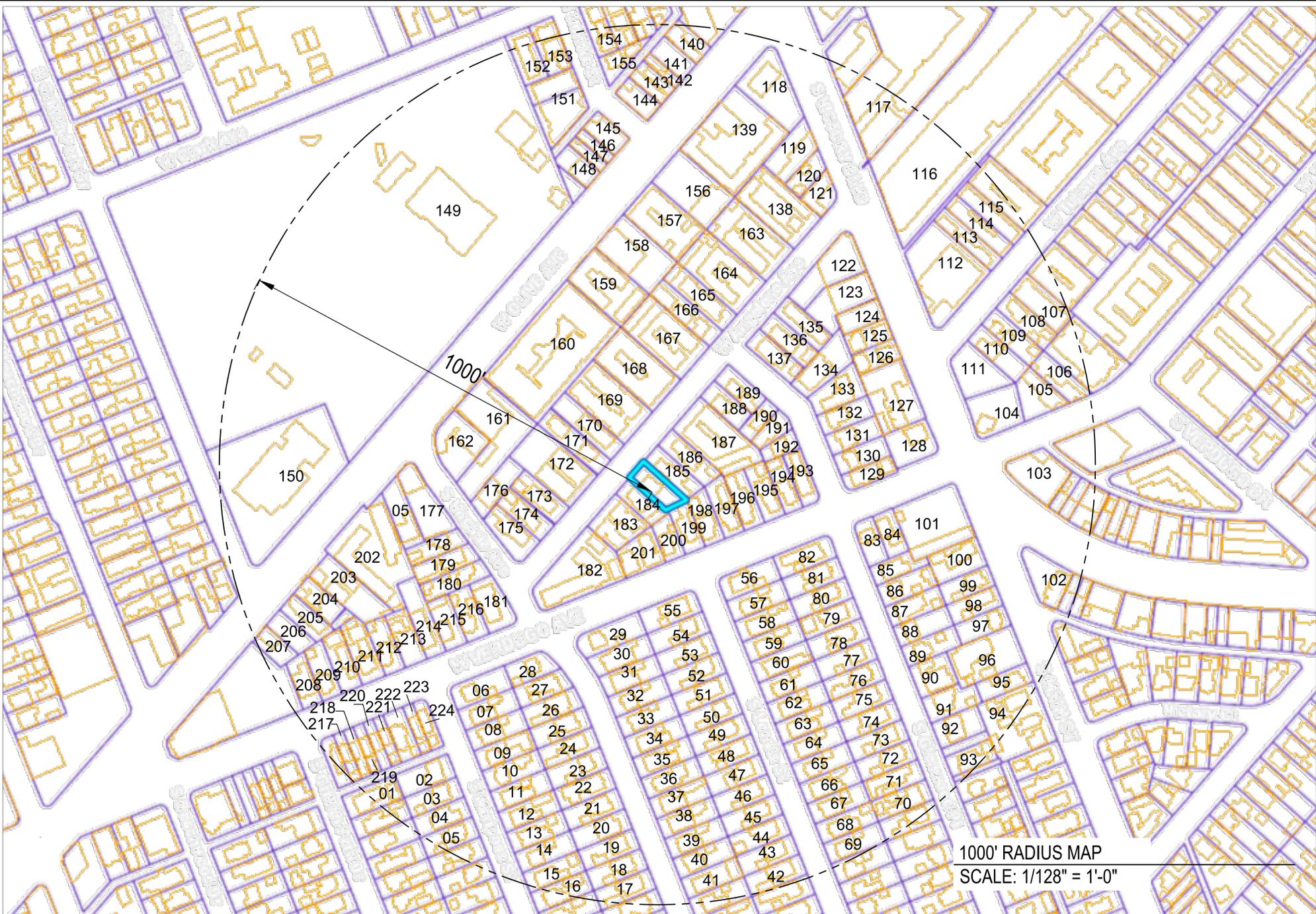
MARK	DATE	DESCRIPTION

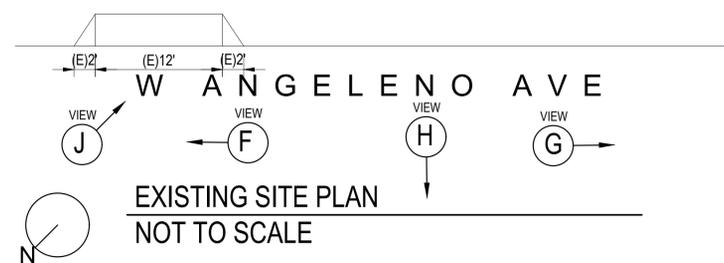
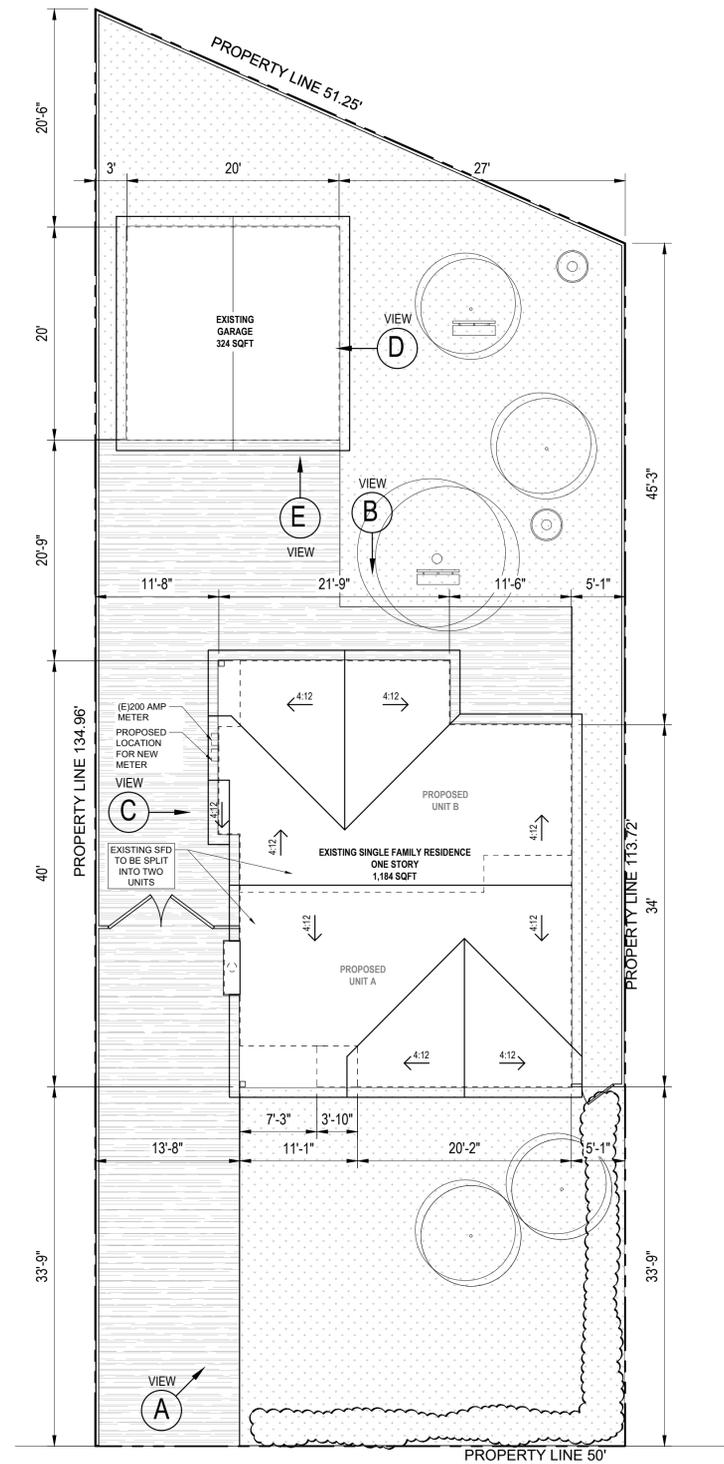
PROJECT NO.:	22-0401
CAD DWG FILE:	
DRAWN BY:	R.DUBEN
CHK'D BY:	L.ROMERO
DATE:	03/07/23
PLAN CHECK NO.:	

SHEET TITLE

SITE PLAN AND PROPERTY INFORMATION

SYM	NAME	NAME	APN	ADDRESS	STREET	city	state	zip
1	OSBORN HENRY JR		2445-010-029	214	GRIFFITH PARK DR	BURBANK	CA	91508
2	MARIAN JIMENEZ		2445-010-010	215	S MARPOSA STREET	BURBANK	CA	91508
3	BETTE WILDISH		2445-010-011	219	S MARPOSA STREET	BURBANK	CA	91508
4	WILLIAM W MACH	MA MACHI	2445-010-012	223	S MARPOSA STREET	BURBANK	CA	91508
5	SAVO LURIC		2445-010-013	227	S MARPOSA STREET	BURBANK	CA	91508
6	MAXWELL SNOVOI	SVETLANA SNOVOI	2445-008-001	200	S MARPOSA STREET	BURBANK	CA	91508
7	STEVEN T HUBBELL		2445-008-002	204	S MARPOSA STREET	BURBANK	CA	91508
8	JOSE F RAMIREZ		2445-008-003	208	S MARPOSA STREET	BURBANK	CA	91508
9	MATLOVSKY CARMEN M RIVERA		2445-008-004	212	S MARPOSA STREET	BURBANK	CA	91508
10	JOHN J BARBARIS		2445-008-005	216	S MARPOSA STREET	BURBANK	CA	91508
11	QUINTA A MCGU	FLORITA MCGU	2445-008-006	220	S MARPOSA STREET	BURBANK	CA	91508
12	MINH V NGUYEN	HUONG NGUYEN	2445-008-007	224	S MARPOSA STREET	BURBANK	CA	91508
13	PINKLEY FAMILY TRUST		2445-008-008	228	S MARPOSA STREET	BURBANK	CA	91508
14	RANDOLPH OSBORNE	ALINA OSBORNE	2445-008-009	232	S MARPOSA STREET	BURBANK	CA	91508
15	ROSEMARIE PARR		2445-008-010	236	S MARPOSA STREET	BURBANK	CA	91508
16	LYDIAN TONE	MARGO TONE	2445-008-011	240	S MARPOSA STREET	BURBANK	CA	91508
17	CARWANTES RANDOLPH P F		2445-008-012	244	S VIRGINIA AVE	BURBANK	CA	91508
18	BRUCE MINNAR	JEANNE MINNAR	2445-008-016	241	S VIRGINIA AVE	BURBANK	CA	91508
19	ARMEN HEROGAN	ARMINE HEROGAN	2445-008-017	237	S VIRGINIA AVE	BURBANK	CA	91508
20	JEFFREY HOWARD	COURTNEY HOWARD	2445-008-018	233	S VIRGINIA AVE	BURBANK	CA	91508
21	RITA J CERWINSKI		2445-008-019	229	S VIRGINIA AVE	BURBANK	CA	91508
22	JAMES A ELLIOTT	A C JAMES	2445-008-020	225	S VIRGINIA AVE	BURBANK	CA	91508
23	ROBERT R BIERHOOD	AMY BIERHOOD	2445-008-021	221	S VIRGINIA AVE	BURBANK	CA	91508
24	JOHN W WARNER		2445-008-022	217	S VIRGINIA AVE	BURBANK	CA	91508
25	INDALEO M DEL CAMPO		2445-008-023	213	S VIRGINIA AVE	BURBANK	CA	91508
26	DIANE M VOSS	NINA DEACETIS	2445-008-024	209	S VIRGINIA AVE	BURBANK	CA	91508
27	NICHOLAS P DEACETIS		2445-008-025	205	S VIRGINIA AVE	BURBANK	CA	91508
28	MORENO FAMILY TRUST		2445-008-026	201	S VIRGINIA AVE	BURBANK	CA	91508
29	SUMNER S PIERRE		2445-008-027	200	S VIRGINIA AVE	BURBANK	CA	91508
30	ADAM A RITTMILLER	LINDSKY RITTMILLER	2445-008-028	204	S VIRGINIA AVE	BURBANK	CA	91508
31	ALINA BARLAND		2445-008-029	208	S VIRGINIA AVE	BURBANK	CA	91508
32	KATHRYN A WARNER		2445-008-034	212	S VIRGINIA AVE	BURBANK	CA	91508
33	KELLY J VALDEZ		2445-008-035	216	S VIRGINIA AVE	BURBANK	CA	91508
34	THOMAS EDMOND G		2445-008-036	220	S VIRGINIA AVE	BURBANK	CA	91508
35	NICHOLA DEBIO		2445-008-037	224	S VIRGINIA AVE	BURBANK	CA	91508
36	WANNITA JOHNS L		2445-008-038	228	S VIRGINIA AVE	BURBANK	CA	91508
37	RANDOLPH R OSBORNE	ALINA OSBORNE	2445-008-039	232	S VIRGINIA AVE	BURBANK	CA	91508
38	MARIAN C DELIA		2445-008-010	236	S VIRGINIA AVE	BURBANK	CA	91508
39	ALBERTO REVILLA	ZITTA REVILLA	2445-008-011	240	S VIRGINIA AVE	BURBANK	CA	91508
40	SHELA S DEVORE		2445-008-012	244	S VIRGINIA AVE	BURBANK	CA	91508
41	CARL W CHAMBERLIN		2445-007-001	248	S VIRGINIA AVE	BURBANK	CA	91508
42	CHARLES BERNIERI		2445-007-028	201	S LOMITA AVE	BURBANK	CA	91508
43	JANE E SHAFER	B SHAFER	2445-007-028	249	S LOMITA AVE	BURBANK	CA	91508
44	GIANNI ZATTA	CAROL CATES	2445-008-013	245	S LOMITA AVE	BURBANK	CA	91508
45	CHRISTOPHER J TAYLOR	SONIA TAYLOR	2445-008-014	241	S LOMITA AVE	BURBANK	CA	91508
46	JOHN L WHTENER		2445-008-015	237	S LOMITA AVE	BURBANK	CA	91508
47	CHARLES JAMPEE		2445-008-016	233	S LOMITA AVE	BURBANK	CA	91508
48	DAVID S BARKER	JOY PACIFICI	2445-008-017	229	S LOMITA AVE	BURBANK	CA	91508
49	PATRICIA S BARKER		2445-008-018	225	S LOMITA AVE	BURBANK	CA	91508
50	PIERRE PERREL	CLARE PERREL	2445-008-019	221	S LOMITA AVE	BURBANK	CA	91508
51	LANGSTON HENRY P SR		2445-008-020	217	S LOMITA AVE	BURBANK	CA	91508
52	GREGORY D ETHEREDGE		2445-008-021	213	S LOMITA AVE	BURBANK	CA	91508
53	ROBERT O BENDER	MARION BENDER	2445-008-022	209	S LOMITA AVE	BURBANK	CA	91508
54	TORIANE ESKANDAR	CATHERINE ESKANDAR	2445-008-023	205	S LOMITA AVE	BURBANK	CA	91508
55	DARVYL LANGNESS	NANCY LANGNESS	2445-008-024	201	S LOMITA AVE	BURBANK	CA	91508
56	JAMES J GOLASKI	PATRICIA GOLASKI	2445-004-001	200	S LOMITA AVE	BURBANK	CA	91508
57	BARBARA ORAKE		2445-004-002	204	S LOMITA AVE	BURBANK	CA	91508
58	BACKOM COLEMAN	BETH COLEMAN	2445-004-003	208	S LOMITA AVE	BURBANK	CA	91508
59	DEANA L BAGLEY		2445-004-004	212	S LOMITA AVE	BURBANK	CA	91508
60	TRAVON CHADWICK		2445-004-005	216	S LOMITA AVE	BURBANK	CA	91508
61	EDWARD LACKIE	CECILIA LACHIE	2445-004-006	214	S LOMITA AVE	BURBANK	CA	91508
62	DAVID E CHAMBERS		2445-004-007	224	S LOMITA AVE	BURBANK	CA	91508
63	JOHN CERVANTES		2445-004-008	228	S LOMITA AVE	BURBANK	CA	91508
64	FERNANDEZ ROGELIO		2445-004-009	232	S LOMITA AVE	BURBANK	CA	91508
65	ANGELA PUPELLO		2445-004-010	236	S LOMITA AVE	BURBANK	CA	91508
66	SYLVIA GARCIA	RICHARD GARCIA	2445-004-011	240	S LOMITA AVE	BURBANK	CA	91508
67	MONSIEUR CARSTO		2445-004-012	244	S LOMITA AVE	BURBANK	CA	91508
68	MARIE E HUBBELL		2445-004-013	248	S LOMITA AVE	BURBANK	CA	91508
69	CLAUDE LACHANCE	LISA LACHANCE	2445-005-001	300	S LOMITA AVE	BURBANK	CA	91508
70	JESUS FERNANDEZ	GLORIA FERNANDEZ	2445-004-026	417	S GLENWOOD PLACE	BURBANK	CA	91508
71	CHUN HSING CHEN	TRISHA TANABE	2445-004-027	411	S GLENWOOD PLACE	BURBANK	CA	91508
72	TER STEPHAN OGANES		2445-004-015	409	S GLENWOOD PLACE	BURBANK	CA	91508
73	JEFFREY SMITH	MELISSA HODGES	2445-004-016	405	S GLENWOOD PLACE	BURBANK	CA	91508
74	RENE CORTZ		2445-004-017	401	S GLENWOOD PLACE	BURBANK	CA	91508
75	JOSEPH HUNZIKER	PATRICIA HUNZIKER	2445-004-018	329	S GLENWOOD PLACE	BURBANK	CA	91508
76	CHARLIE RUDAS	MARIA RUDAS	2445-004-019	325	S GLENWOOD PLACE	BURBANK	CA	91508
77	SURWILL ERK R		2445-004-020	321	S GLENWOOD PLACE	BURBANK	CA	91508
78	SEVAN KASHISHIAN	LIJANE KASHISHIAN	2445-004-021	317	S GLENWOOD PLACE	BURBANK	CA	91508
79	FISHER J ROZD		2445-004-022	313	S GLENWOOD PLACE	BURBANK	CA	91508
80	DANICA A HEDRIS	MAURICE ACKNS	2445-004-023	209	S GLENWOOD PLACE	BURBANK	CA	91508
81	RANDALL GUTH	JUDITH DOMROY	2445-004-024	305	S GLENWOOD PLACE	BURBANK	CA	91508
82	EMMA S DALAKYAN		2445-004-025	301	S GLENWOOD PLACE	BURBANK	CA	91508
83	JEREMY V RUJZ	SONYA SHELTON	2445-001-016	922	W VERDUGO AVE	BURBANK	CA	91508
84	ANDINO AILEEN SMTH		2445-001-015	914	W VERDUGO AVE	BURBANK	CA	91508
85	EDDIE T MARNOLO	RAMA ARNOLD	2445-001-017	310	S GLENWOOD PLACE	BURBANK	CA	91508
86	BRIAN DAVIS	TREVIE HIG	2445-001-018	312	S GLENWOOD PLACE	BURBANK	CA	91508
87	ANGEL RIVERA	CYNTHIA MICHELENA	2445-001-019	316	S GLENWOOD PLACE	BURBANK	CA	91508
88	JANET D WALLACE		2445-001-020	320	S GLENWOOD PLACE	BURBANK	CA	91508
89	DARLENE NEVEL-MCHENER		2445-001-021	324	S GLENWOOD PLACE	BURBANK	CA	91508
90	BIG DOG GARC LLC	TRACY CHANG	2445-001-022	400	S GLENWOOD PLACE	BURBANK	CA	91508
91	ANDREW P CHANG	MARELL MITCHELL	2445-001-023	404	S GLENWOOD PLACE	BURBANK	CA	91508
92	STEVEN S GAPPINLE		2445-001-024	410	S GLENWOOD PLACE	BURBANK	CA	91508
93	THOMAS A CALZA	GLORIA CALZA	2445-001-012	445	S MAIN STREET	BURBANK	CA	91508
94	ARARAT OROUDJAN	SILVA GABRYAN	2445-001-010	441	S MAIN STREET	BURBANK	CA	91508
95	ALEX IN THE KITCHEN INC		2445-001-013	435	S MAIN STREET	BURBANK	CA	91508
96	MARIO CONTRERAS		2445-001-029	431	S MAIN STREET	BURBANK	CA	91508
97	KHACHATRIAN AND TRUST		2445-001-028	429	S MAIN STREET	BURBANK	CA	91508
98	ANNE E NICKER		2445-001-005	427	S MAIN STREET	BURBANK	CA	91508
99	EVIE MELKON		2445-001-014	415	S MAIN STREET	BURBANK	CA	91508
100	HH & LLC		2445-001-001	405	S MAIN STREET	BURBANK	CA	91508
101	JARS HOLDINGS LLC		2451-023-001	417	S VICTORY BLVD	BURBANK	CA	91508
102	CREATIVE ARSENAL LLC		2451-022-025	400	S VICTORY BLVD	BURBANK	CA	91508
103	DANA R JONG		2451-019-009	310	S VICTORY BLVD	BURBANK	CA	91508
104	315 WEST VERDUGO LLC		2451-019-008	315	W VERDUGO AVE	BURBANK	CA	91508
105	FRANK DIANE A		2451-019-007	309	W VERDUGO AVE	BURBANK	CA	91508
106	BEATRIZ TEJEDA		2451-019-014	286	W TUJUNGA AVE	BURBANK	CA	91508
107	KANDACE L SODERSTROM		2451-019-013	290	W TUJUNGA AVE	BURBANK	CA	91508
108	KEVIN S KENNEDY		2451-019-012	300	W TUJUNGA AVE	BURBANK	CA	91508
109	308 TUJUNGA PROPERTY LLC		2451-019-011	308	W TUJUNGA AVE	BURBANK	CA	91508
110	VERDUGO PARTNERSHIP LLC		2451-019-041	7551	W WINSTON BLVD #103	LOS ANGELES	CA	91508
111	CORONA SOUTH HILLS COMMUNITY		2451-019-046	222	S VICTORY BLVD	BURBANK	CA	91508
112	SANDRA DIXON		2451-019-034	285	W TUJUNGA AVE	BURBANK	CA	91508
113	279 W TUJUNGA AVE COM LLC		2451-019-033	293	W TUJUNGA AVE	BURBANK	CA	91508
114	279 W TUJUNGA AVE COM LLC		2451-019-032	281	W TUJUNGA AVE	BURBANK	CA	91508
115	AUTRY NATIONAL CENTER OF THE		2451-019-030	210	S VICTORY BLVD	BURBANK	CA	91508
116	VICTORY OLIVE LLC		2451-019-011	120	S VICTORY BLVD	BURBANK	CA	91508
117	ANTHONY PANTOLICA	JOHAN PANTOLICA	2448-027-014	107	S VICTORY BLVD	BURBANK	CA	91508
118	BURBANK PROPERTIES LLC		2448-027-015	115	S VICTORY BLVD	BURBANK	CA	91508
119	BALA HOLDINGS LLC		2448-027-016	121	S VICTORY BLVD	BURBANK	CA	91508
120	BALA HOLDINGS LLC		2448-027-017	123	S VICTORY BLVD	BURBANK	CA	91508
121	JEROME J LEWIS	DOLORES LEWIS	2448-028-021	201	S VICTORY BLVD	BURBANK	CA	91508
122	JEROME J LEWIS	DOLORES LEWIS	2448-028-020	207	S VICTORY BLVD	BURBANK	CA	91508
123	JEROME J LEWIS	DOLORES LEWIS	2448-028-024	217	S VICTORY BLVD	BURBANK	CA	91508
124	MICHAEL A IEZZA	GIULIA IEZZA	2448-028-004	221	S VICTORY BLVD	BURBANK	CA	91508
125	PHILIP SARTUCHE	KARIN SARTUCHE	2448-028-003	229	S VICTORY BLVD	BURBANK	CA	91508
126	IVERSON VICTORY LLC		2448-028-002	307	S VICTORY BLVD	BURBANK	CA	91508
127	IVERSON VICTORY LLC		2448-028-025	311	S VICTORY BLVD	BURBANK	CA	91508
128	GEORGE NTOFAS		2448-028-018	232	S GLENWOOD PLACE	BURBANK	CA	91508
129	CHAO WILLIAM H		2448-028-016	228	S GLENWOOD PLACE	BURBANK	CA	91508
130	PATRICK ADO	KAREN FAM TRUST	2448-028-015	234	S GLENWOOD PLACE	BURBANK	CA	91508
131	ERIN REIN	TYLER SAMPLES	2448-028-014	230	S GLENWOOD PLACE	BURBANK	CA	91508
132	JORGE VERANO		2448-028-013	216	S GLENWOOD PLACE	BURBANK	CA	91508
133	TZUOH C HSU	CHENG SU	2448-028-012	212	S GLENWOOD PLACE	BURBANK	CA	91508
134	INDUSTRIAL BOWLING CORP		2448-028-009	520	W ANGELENO AVE	BURBANK	CA	91508
135	104 ANGELENO AVE LLC		2448-028-016	524	W ANGELENO AVE	BURBANK	CA	91508
136	IGNACIO GONZALEZ		2448-028-011	528	W ANGELENO AVE	BURBANK	CA	91508
137	ANGELWAY LLC		2448-027-018	911	W ANGELENO AVE	BURBANK	CA	91508
138	OLIVAN HOSPITALITY INC		2448-027-037	924	W OLIVE AVE	BURBANK	CA	91508





PROJECT SITE FROM THE STREET FRONT SIDE OF EXISTING RESIDENCE **VIEW A**



BACKSIDE OF EXISTING RESIDENCE **VIEW B**



SIDE OF EXISTING RESIDENCE **VIEW C**



SIDE OF EXISTING DETACHED GARAGE **VIEW D**



FRONT SIDE OF EXISTING DETACHED GARAGE **VIEW E**



ADJACENT TO PROJECT SITE **VIEW F**



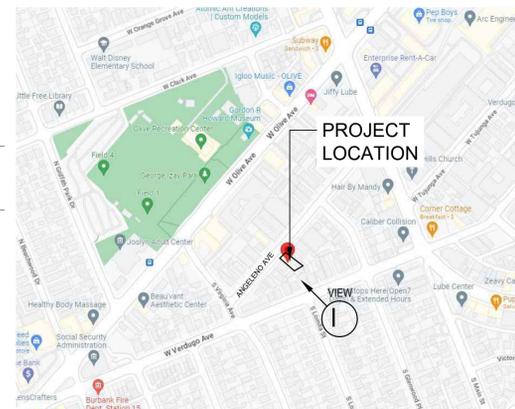
ADJACENT TO PROJECT SITE **VIEW G**



ADJACENT TO PROJECT SITE **VIEW H**



ADJACENT REAR PROJECT SITE **VIEW I**



PROJECT SITE FROM THE STREET **VIEW J**

MATERIALS ARE TO REMAIN THE SAME. EXTERIOR IS TO REMAIN THE SAME. ADDITION TO MATCH EXISTING MATERIALS AND ARCHITECTURAL STYLE.



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CONSULTANT STAMP



PREPARED FOR:

PROJECT ADDRESS

1100 W ANGELENO AVE
BURBANK, CA 91506

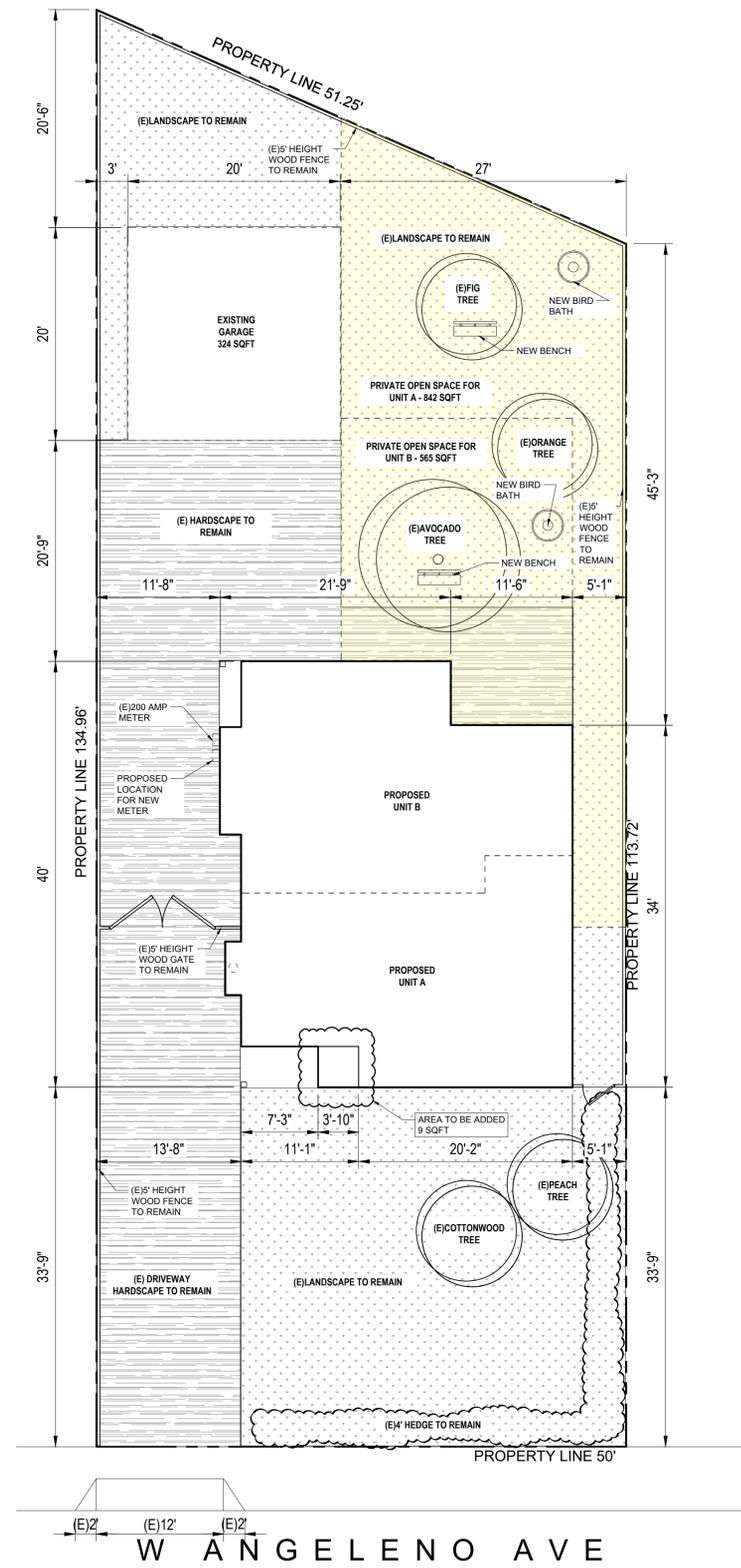
MARK	DATE	DESCRIPTION

PROJECT NO:	22-0401
CAD DWG FILE:	
DRAWN BY:	R.DUBEN
CHK'D BY:	L.ROMERO
DATE:	03/07/23
PLAN CHECK NO:	

SHEET TITLE

IMAGES AND SITE PLAN

A1.3



EXISTING LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



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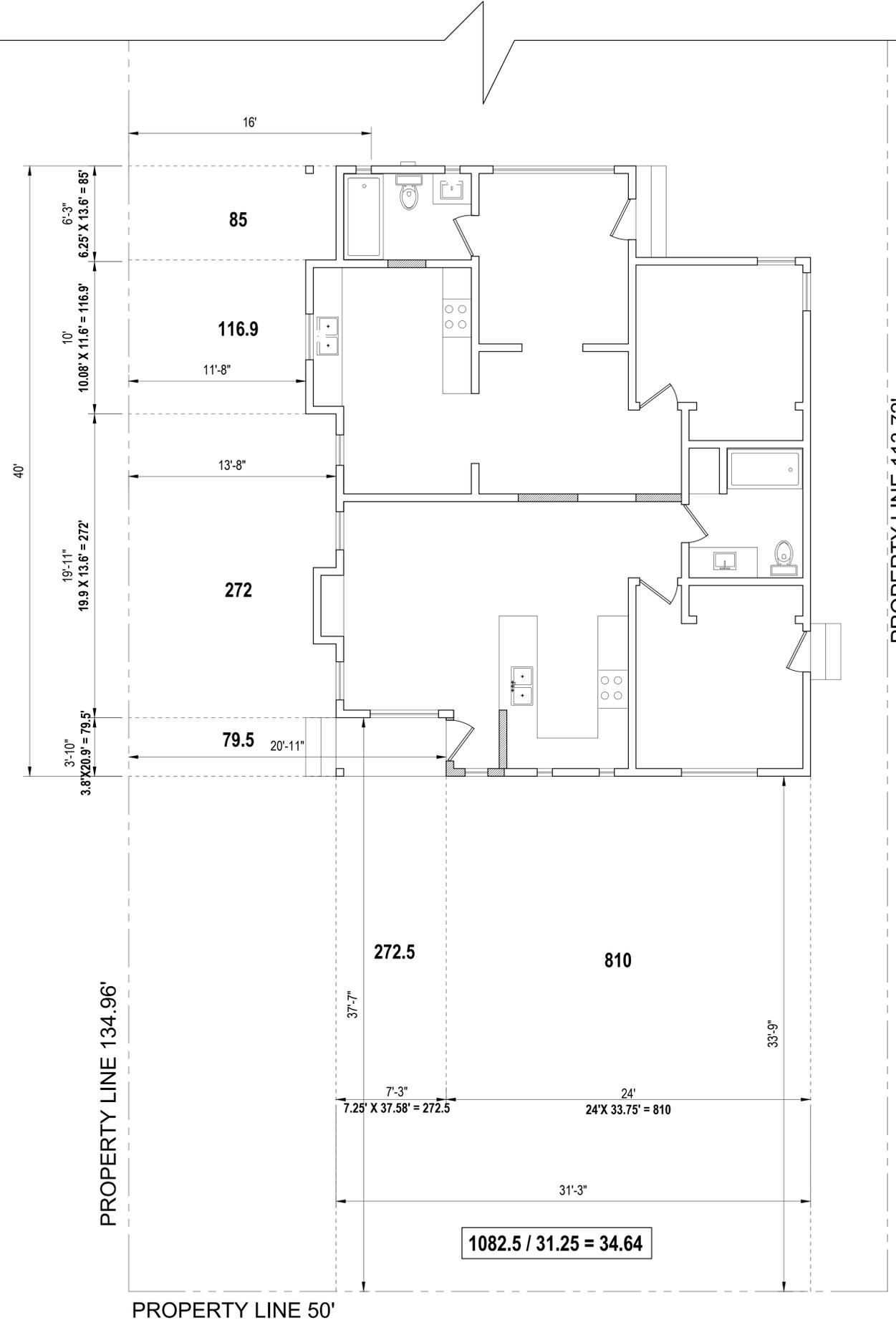
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CAD DWG FILE:
DRAWN BY: R.DUBEN
CHK'D BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

SHEET TITLE

LANDSCAPE
PLAN

A1.4

$553.4 / 40 = 13.8$



PROPERTY LINE 113.72'

PROPERTY LINE 134.96'

PROPERTY LINE 50'

W A N G E L E N O A V E

$1082.5 / 31.25 = 34.64$

AVERAGE SETBACK AND PLANE BREAKS
SCALE: 1/4" = 1'-0"



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SHEET TITLE
AVERAGE SETBACK AND PLANE BREAKS

A1.5



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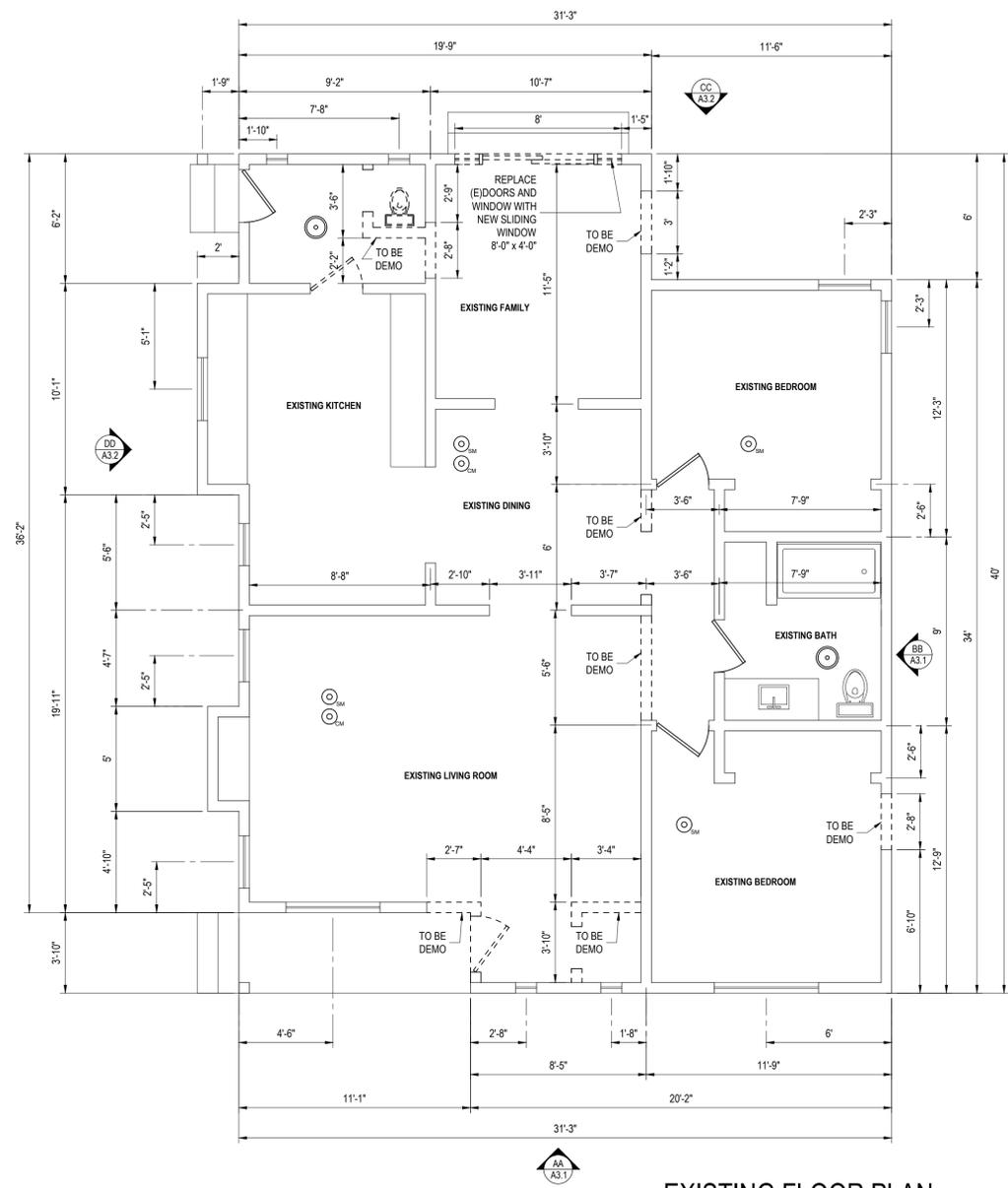
1100 W ANGELENO AVE
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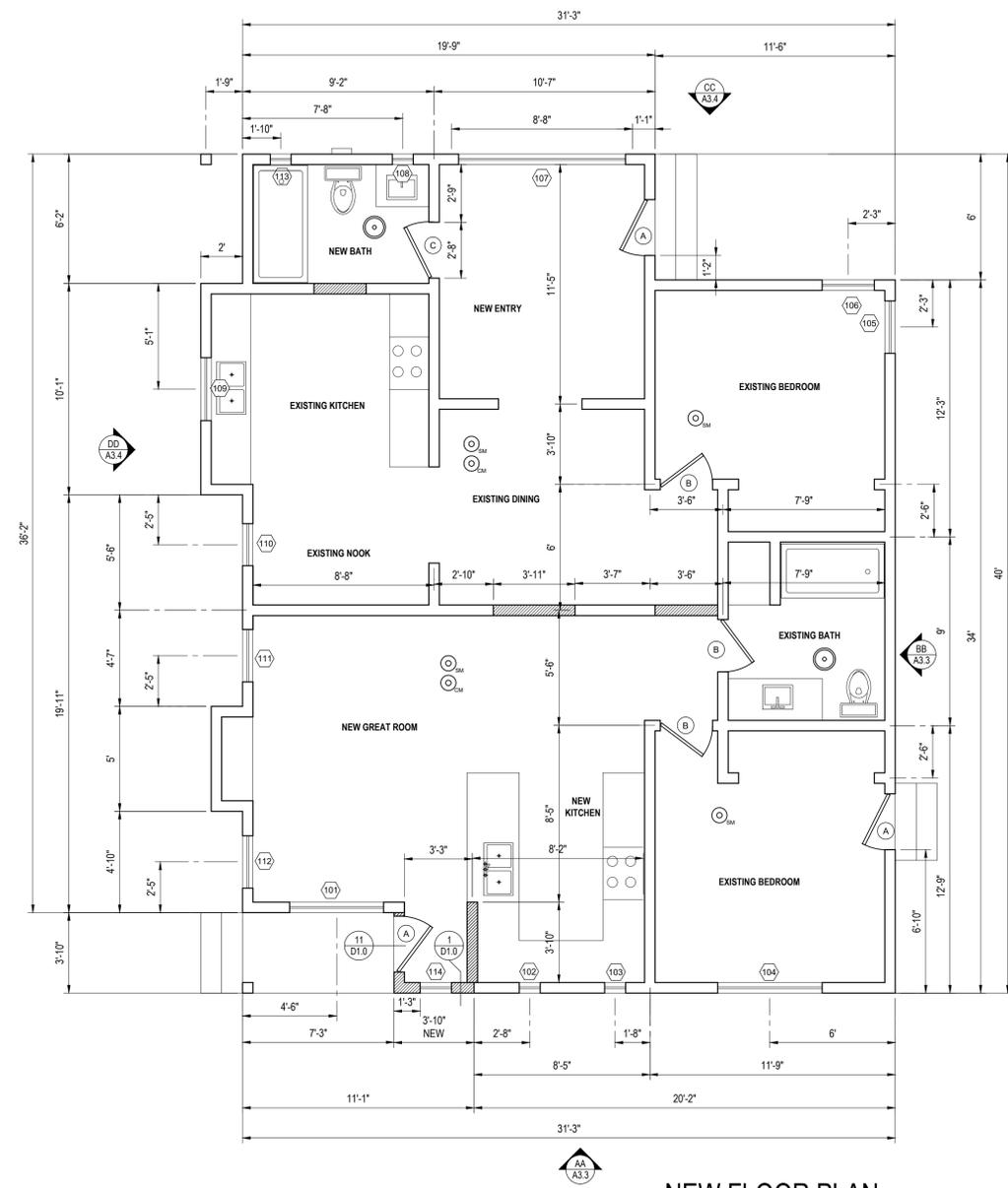
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 DRAWN BY: R.DUBEN
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SHEET TITLE
**EXISTING AND
 NEW FLOOR
 PLAN**

A2.1



EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

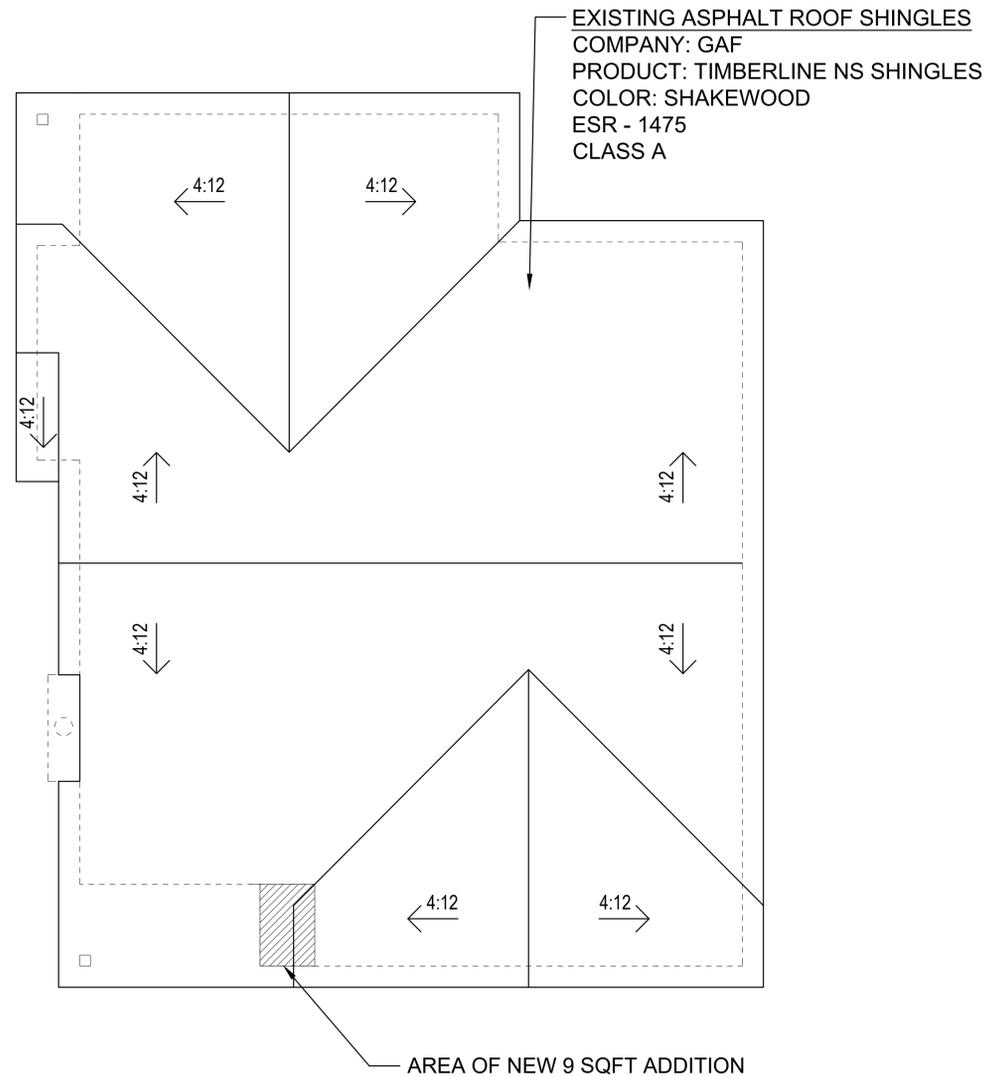
LEGEND

	DOOR TAG
	WINDOW TAG
	EXISTING SMOKE DETECTOR / CARBON MONOXIDE, HARDWIRED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP (907.2.11.4.R314.4)
	EXISTING EXHAUST FAN. 50-CFM INTERMITTENT MODEL: BROAN XB SERIES 80 CFM, ENERGY STAR RATED OR EQUAL. NOTE: FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
	EXISTING STUDS @ 16" O/C WITH 1/2" GYP. BRD.
	TO BE DEMO
	NEW STUDS @ 16" O/C WITH 1/2" GYP. BRD.

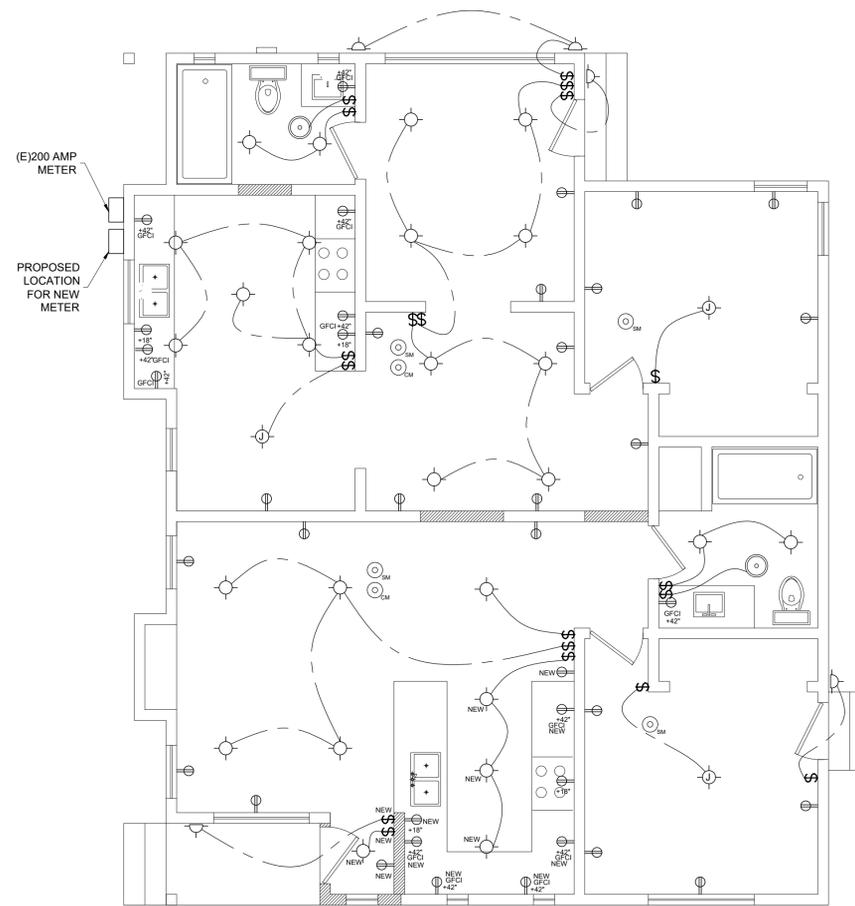
DOOR SCHEDULE							
SYMBOL	QUANTITY	EXISTING/NEW	WIDTH	HEIGHT	TYPE	MATERIAL	NOTES
A	3	NEW	2'-8"	6'-8"	1 DOOR - SWING	VINYL	TEMPERED, DUAL GLAZ
B	3	NEW	2'-6"	6'-8"	1 DOOR - SWING	HOLLOW CORE	
C	1	NEW	2'-8"	6'-8"	1 DOOR - SWING	HOLLOW CORE	

WINDOW SCHEDULE										
SYMBOL	EXISTING/NEW	LOCATION	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING	TEMPERED	U-FACTOR	SHGC
101	EXISTING	NEW GREAT ROOM	4'-6"	5'-0"	SLIDER	EXISTING	DUAL		PER TITLE 24	
102	EXISTING	NEW KITCHEN	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
103	EXISTING	NEW KITCHEN	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
104	EXISTING	EXISTING BEDROOM	5'-0"	4'-0"	SLIDER	EXISTING	DUAL		PER TITLE 24	
105	EXISTING	EXISTING BEDROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
106	EXISTING	EXISTING BEDROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
107	NEW	NEW ENTRY	8'-0"	4'-0"	SLIDER	TO MATCH EXISTING	DUAL		PER TITLE 24	
108	EXISTING	NEW BATHROOM	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL	TEMPERED	PER TITLE 24	
109	EXISTING	EXISTING KITCHEN	3'-0"	3'-0"	SLIDER	EXISTING	DUAL	TEMPERED	PER TITLE 24	
110	EXISTING	EXISTING NOOK	2'-0"	4'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
111	EXISTING	NEW GREAT ROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
112	EXISTING	NEW GREAT ROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL		PER TITLE 24	
113	EXISTING	NEW BATHROOM	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL	TEMPERED	PER TITLE 24	
114	NEW	NEW ENTRY	1'-6"	4'-0"	FIXED	TO MATCH EXISTING	DUAL	TEMPERED	PER TITLE 24	





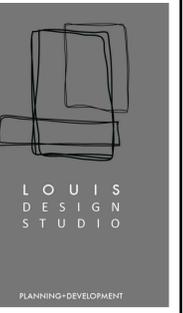
ROOF PLAN
 SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



LEGEND			
W.P.	WEATHERPROOF COVER (CEC210.8, CEC406.9)	letter	DOOR TAG
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	NO.	WINDOW TAG
\$	LIGHT SWITCH + 48" SINGLE POLE	⊙	EXHAUST FAN. 50-CFM INTERMITTENT MODEL: BROAN XB SERIES 80 CFM, ENERGY STAR RATED OR EQUAL. NOTE: FANS SHALL BE ENERGY STAR COMPLAINT AND BE DUCTED TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
⊕	DUPLEX RECEPTACLE 20 AMP, 125 VOLT GROUNDED AT 18" A.F.F. U.N.O., FLUSH WALL. TAMPER - RESISTANT	— — —	EXISTING STUDS @ 16" O/C WITH 1/2" GYP. BRD.
⊕	DUPLEX RECEPTACLE IN CEILING (TAMPER-RESISTANT)	— — —	TO BE DEMO
⊕	COMPACT LED CAN-LIGHT FIXTURE.	▨	NEW STUDS @ 16" O/C WITH 1/2" GYP. BRD.
⊕	SMOKE DETECTOR /CARBON MONOXIDE, HARDWIRED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP (907.2.11.4, R314.4)		
⊕	CEILING/WALL MOUNTED J-BOX FOR LIGHT FIXTURE		



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CONSULTANT STAMP



PREPARED FOR:

PROJECT ADDRESS

1100 W ANGELENO AVE
 BURBANK, CA 91506

MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
 CAD DWG FILE:
 DRAWN BY: R. DUBEN
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 DATE: 03/07/23
 PLAN CHECK NO:

SHEET TITLE
 ROOF PLAN AND ELECTRICAL PLAN

A2.2



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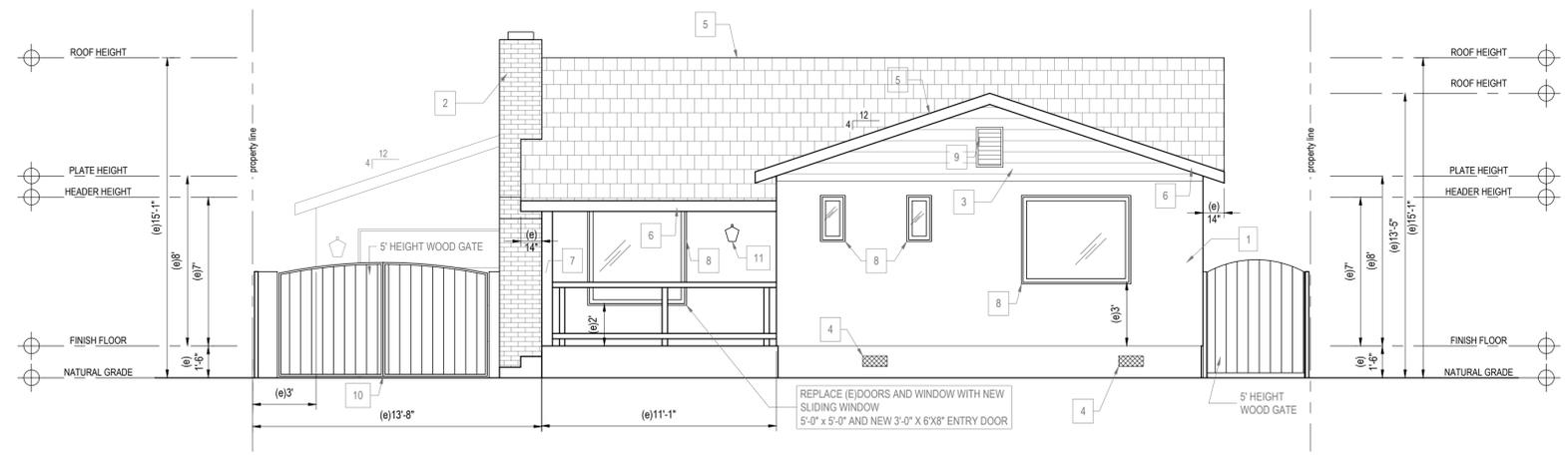
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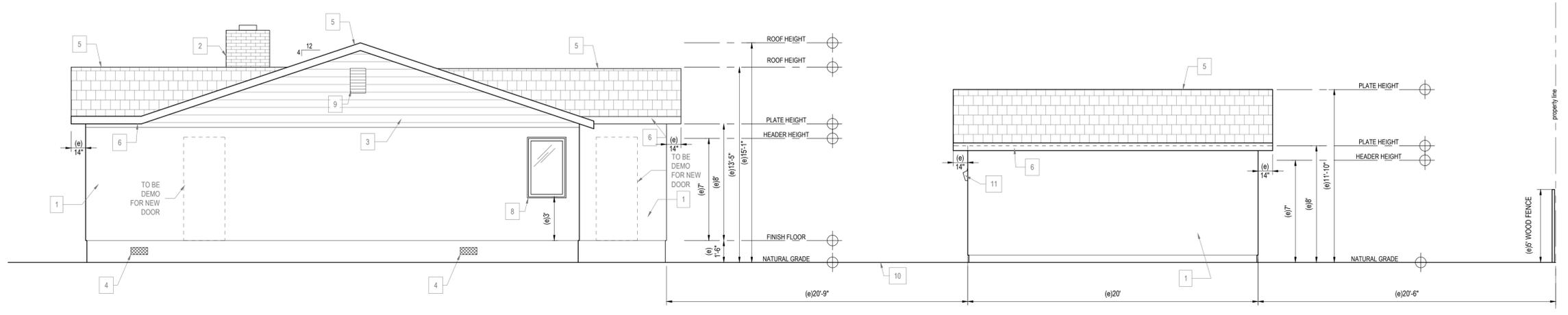
EXISTING
ELEVATIONS

A3.1

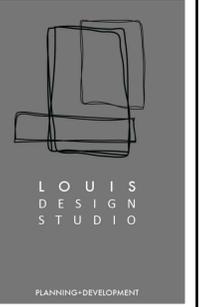
EXISTING MATERIAL FINISHES	
1	7/8" STUCCO FINISH (BEIGE)
2	RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
3	8" WOOD SIDING, PAINTED DARK BROWN
4	6"X14" UNDER FLOOR VENTS (WIRE MESH)
5	COMPOSITION ROOF - CLASS A - BROWN
6	2X FASCIA BOARD PAINTED DARK BROWN
7	4"X4" WOOD POST PAINTED, DARK BROWN
8	WINDOW TRIM PAINTED, DARK BROWN
9	2'X1" ATTIC VENT W/ 3" PLANTON ALL AROUND PAINTED DARK BROWN
10	CONCRETE DRIVEWAY
11	EXTERIOR LIGHT FIXTURES (PER Burbank Municipal Code 5-3-505)
NUMBERS/ADDRESS Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be visible and legible from the street or road fronting the property and from the alley or rear access way to the property. Numbers/addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke.	
12	



EXISTING NORTH WEST ELEVATION
SCALE: 1/4" = 1'-0" AA



EXISTING SOUTH WEST ELEVATION
SCALE: 1/4" = 1'-0" BB



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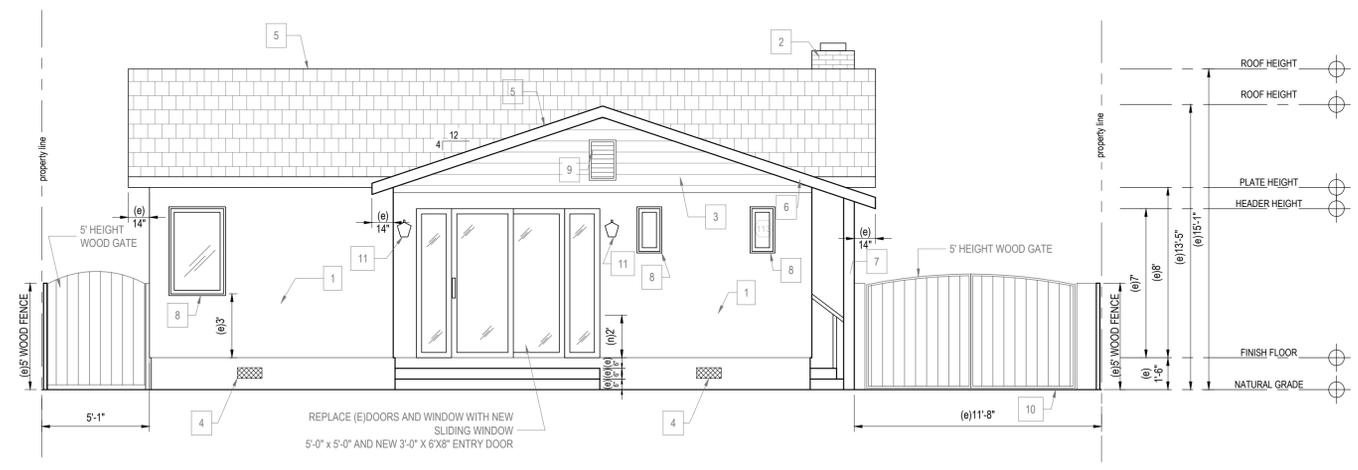
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EXISTING ELEVATIONS

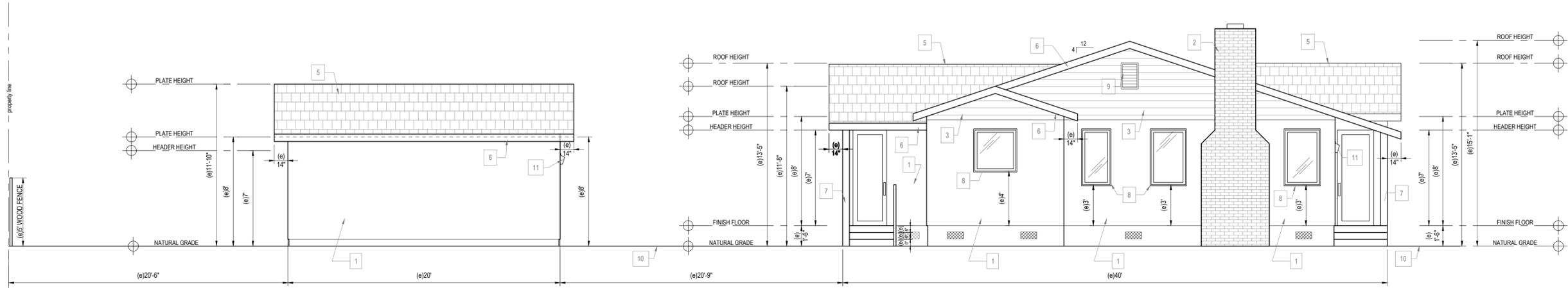
A3.1

EXISTING MATERIAL FINISHES

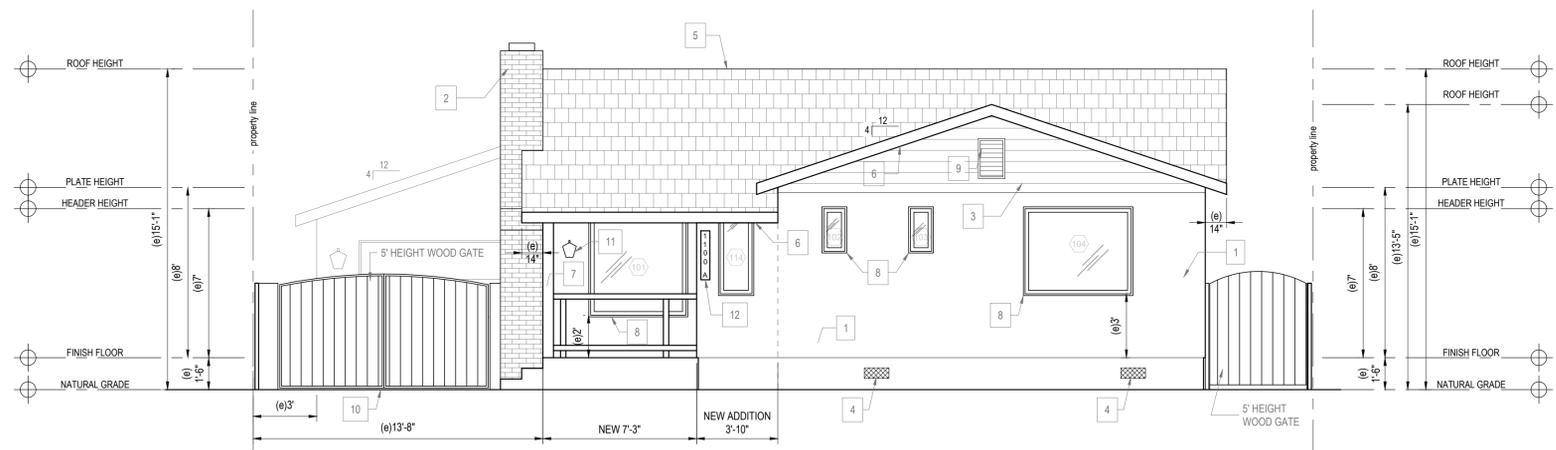
- 1 7/8" STUCCO FINISH (BEIGE)
- 2 RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
- 3 8" WOOD SIDING, PAINTED DARK BROWN
- 4 6"X14" UNDER FLOOR VENTS (WIRE MESH)
- 5 COMPOSITION ROOF - CLASS A - BROWN
- 6 2X FASCIA BOARD PAINTED DARK BROWN
- 7 4"X4" WOOD POST PAINTED, DARK BROWN
- 8 WINDOW TRIM PAINTED, DARK BROWN
- 9 2'X1' ATTIC VENT W/ 3" PLANTON ALL AROUND PAINTED DARK BROWN
- 10 CONCRETE DRIVEWAY
- 11 EXTERIOR LIGHT FIXTURES (PER Burbank Municipal Code 5-3-505)
- 12 NUMBERS/ADDRESS Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be visible and legible from the street or road fronting the property and from the alley or rear access way to the property. Numbers/addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke.



EXISTING SOUTH EAST ELEVATION
 SCALE: 1/4" = 1'-0" DD

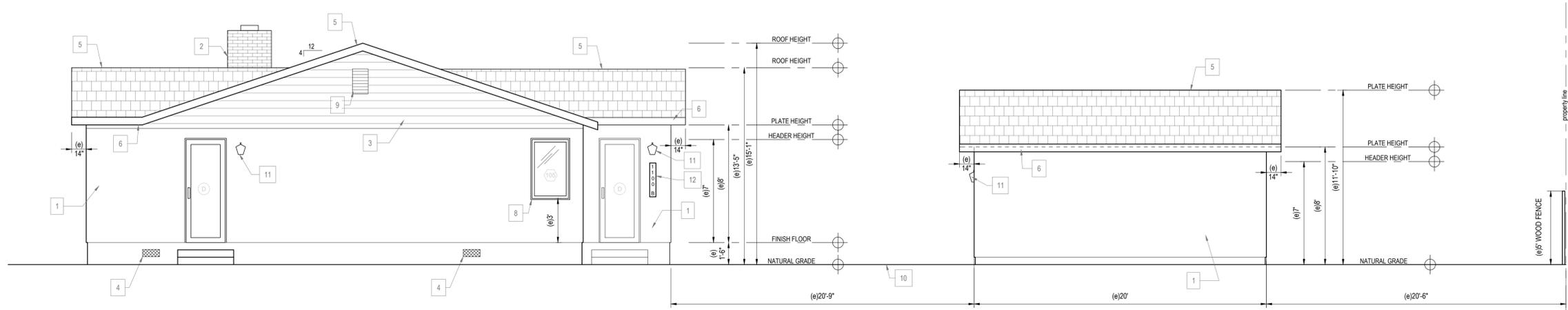


EXISTING NORTH EAST ELEVATION
 SCALE: 1/4" = 1'-0" CC

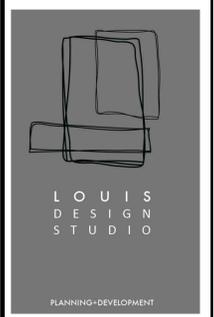


NEW NORTH WEST ELEVATION
 SCALE: 1/4" = 1'-0" AA

EXISTING MATERIAL FINISHES	
1	7/8" STUCCO FINISH (BEIGE)
2	RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
3	8" WOOD SIDING, PAINTED DARK BROWN
4	6"X14" UNDER FLOOR VENTS (WIRE MESH)
5	COMPOSITION ROOF - CLASS A - BROWN
6	2X FASCIA BOARD PAINTED DARK BROWN
7	4"X4" WOOD POST PAINTED, DARK BROWN
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12	



NEW SOUTH WEST ELEVATION
 SCALE: 1/4" = 1'-0" BB



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SHEET TITLE
NEW ELEVATIONS



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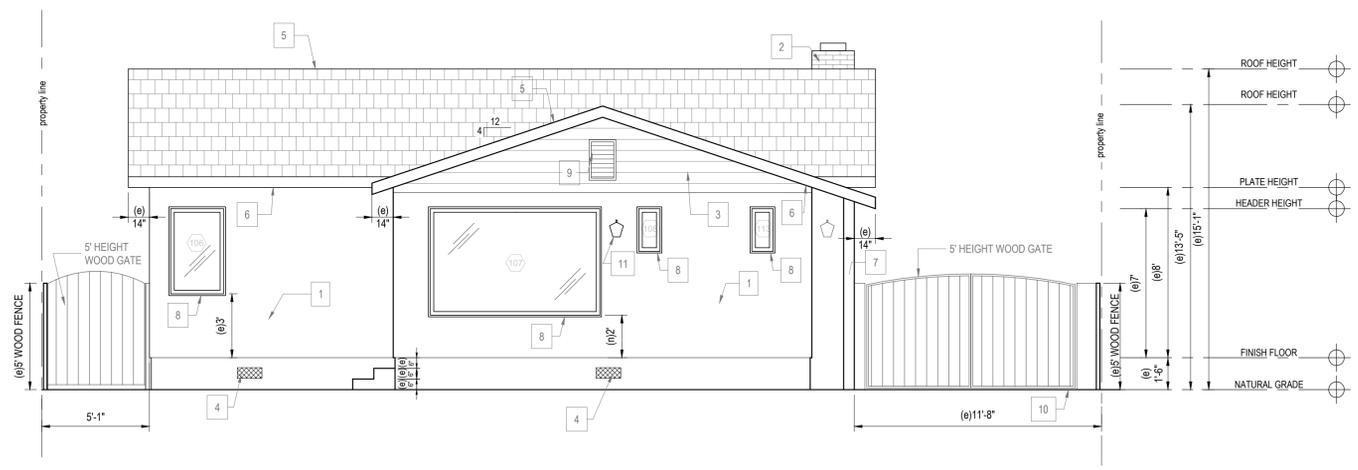
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SHEET TITLE

NEW
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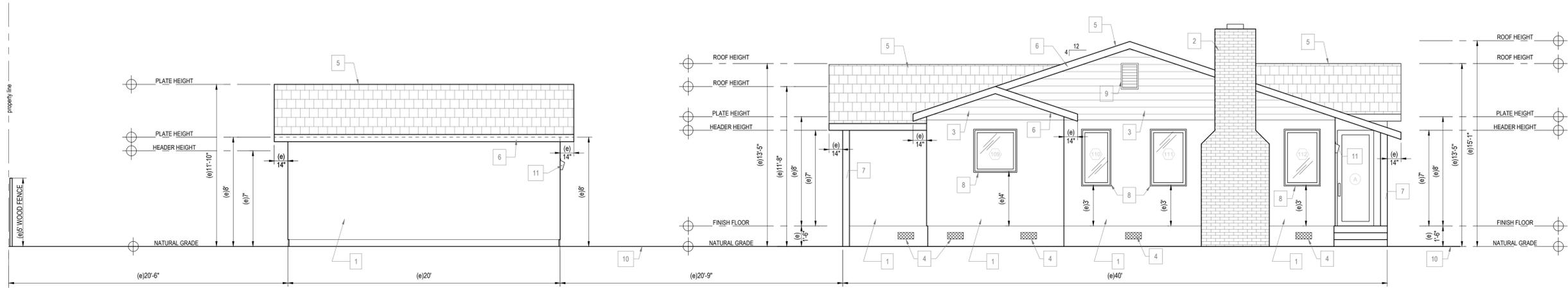
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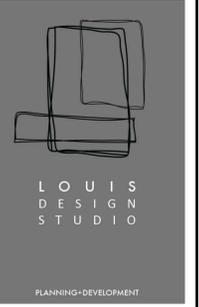
NEW SOUTH EAST ELEVATION
SCALE: 1/4" = 1'-0" DD

EXISTING MATERIAL FINISHES

- 1 7/8" STUCCO FINISH (BEIGE)
 - 2 RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
 - 3 8" WOOD SIDING, PAINTED DARK BROWN
 - 4 6"X14" UNDER FLOOR VENTS (WIRE MESH)
 - 5 COMPOSITION ROOF - CLASS A - BROWN
 - 6 2X FASCIA BOARD PAINTED DARK BROWN
 - 7 4"X4" WOOD POST PAINTED, DARK BROWN
 - 8 WINDOW TRIM PAINTED, DARK BROWN
 - 9 2'X1' ATTIC VENT W/ 3" PLANTON ALL AROUND PAINTED DARK BROWN
 - 10 CONCRETE DRIVEWAY
 - 11 EXTERIOR LIGHT FIXTURES (PER Burbank Municipal Code 5-3-505)
- NUMBERS/ADDRESS
Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be visible and legible from the street or road fronting the property and from the alley or rear access way to the property. Numbers/addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke.



NEW NORTH EAST ELEVATION
SCALE: 1/4" = 1'-0" CC



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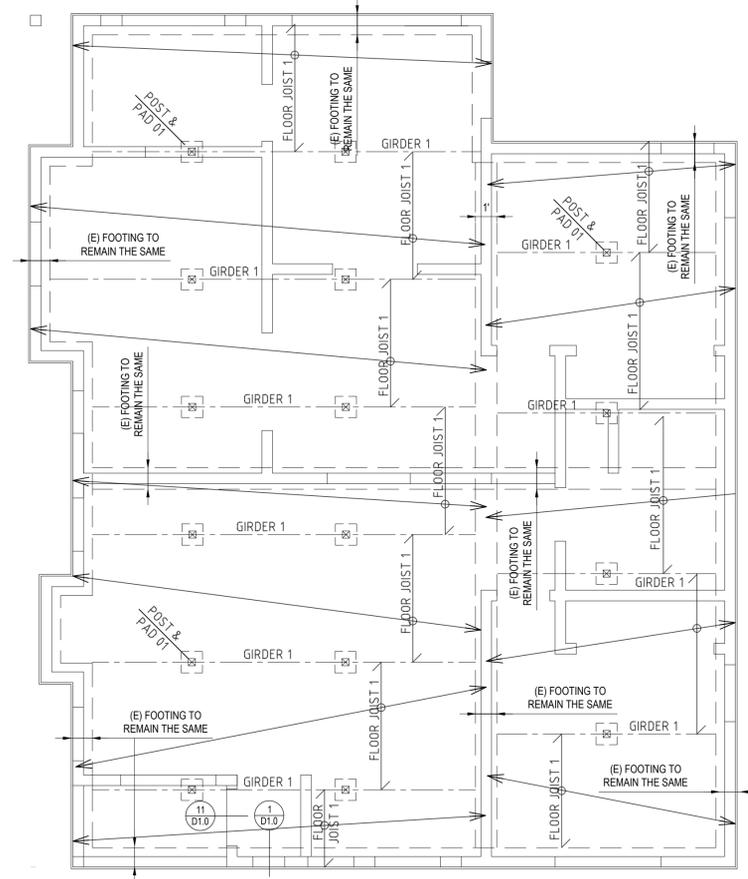
CONSULTANT STAMP



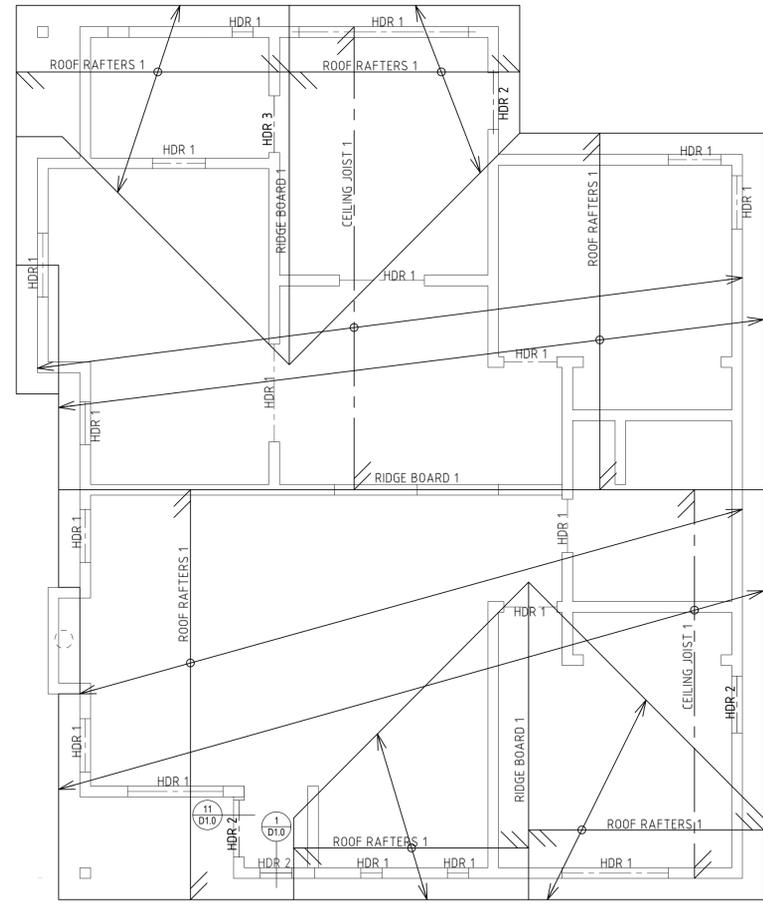
PREPARED FOR:

PROJECT ADDRESS

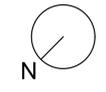
1100 W ANGELENO AVE
 BURBANK, CA 91506



EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"



STRUCTURAL MEMBERS	
IDENTIFICATION	DESCRIPTION
HDR 1	EXISTING TO REMAIN THE SAME
HDR 2	NEW 4 X 6 PER SCHEDULE SHEET D1.0
HDR 3	NEW 4 X 6 PER SCHEDULE SHEET D1.0
ROOF RAFTERS 1	EXISTING TO REMAIN THE SAME
CEILING JOISTS 1	EXISTING TO REMAIN THE SAME
RIDGE BOARD 1	EXISTING TO REMAIN THE SAME
FLOOR JOIST 1	EXISTING TO REMAIN THE SAME
GIRDER 1	EXISTING TO REMAIN THE SAME
PAD & POST 1	EXISTING TO REMAIN THE SAME

MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
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 DRAWN BY: R.DUBEN
 CHK'D BY: L.ROMERO
 DATE: 03/07/23
 PLAN CHECK NO:

SHEET TITLE
FOUNDATION AND FRAMING PLAN

Wood Frame Prescriptive Provisions for One-Story Residential Wood Construction

(2019 CRC w/ Burbank Amendments BMC 9-1)

The purpose of this Wood Frame Prescriptive Provisions (WFPP) Information Bulletin is to assist owners, builders and others to meet the general requirements and specifications prescribed in the 2019 California Residential Code (CRC) for building one- and two-family dwellings, townhouses, and attached or detached Accessory Dwelling Units (ADUs) not more than one story in height with light frame wood construction.

Light-frame wood construction is a type of construction where vertical and horizontal structural elements are primarily formed by a system of repetitive wood framing members. It is the least restrictive construction type permitted by the CRC. The WFPP Information Bulletin is for information and reference only and are not a substitute for accurate construction documents (i.e., drawings, plan specifications, etc.) prepared for each proposed construction project. Additional construction documents may be required when the scope of work exceeds the limits of light frame wood construction as prescribed by the CRC.

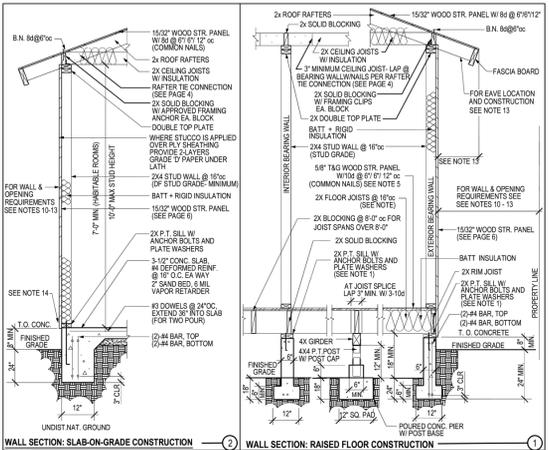
When portions of a building or structure are constructed of other than light frame wood construction, exceed the limits of this WFPP Information Bulletin, or as required by other local ordinances, these portions and the supporting load path shall be designed by a registered design professional licensed in the State of California. This WFPP Information Bulletin is not suitable in all cases. Where the proposed construction is located on a site with slope steeper than 10% or has adverse soil conditions (e.g., expansive soil, liquefaction, flood hazard, etc.), a registered design professional licensed in the State of California should be consulted. The use of this WFPP Information Bulletin is permitted at the discretion of the Building Official on a case-by-case basis.

An automatic fire sprinkler system shall be installed in new one- and two-family dwellings, and townhouses per CRC R313.2. Installation of a fire sprinkler system may also be required in additions and alterations, upon review from Burbank Fire Department.

All work must comply with the California Energy Code (CEC) requirements for the climate zone 9 for City of Burbank. Compliance Forms and Plans to be submitted.

For new construction and additions/alterations that increase the conditioned space, a minimum of 65-percent of construction and demolition waste shall be recycled or salvaged for reuse per 4.008.1 of the California Green Building Standards Code (CALGreen). Refer to Burbank Municipal Code for further requirements. For newly constructed one- or two-family dwellings with an attached private garage, provide accommodation for future installation and use of an electric vehicle charger per 4.106.4.1 of 2019 CALGreen Code.

It is the responsibility of the owner and/or builder to review the 2019 Existing Building Code to verify the minimum requirements for the structural strength, means of egress facilities, stability, sanitation, adequate lighting and ventilation and energy conservation requirements are met.



- NOTES:**
- Anchor bolts 2" x 10" embedded 7" and spaced maximum 6" with 0.225" x 3" x 3" plate washers, minimum 2 anchor bolts per piece, located not more than 12" or less than 1" from diameters from each end of the piece.
 - All foundation plates or sills and sleepers on a concrete or masonry slab, which is in direct contact with earth, and sills that rest on concrete or masonry foundations shall be preservative treated wood (AWPA U1) and field cut ends, notches, and drilled holes shall be field treated in accordance with AWPA M1. Fasteners (other than anchor bolts) in preservative treated wood or fire treated wood shall be hot dipped zinc coated galvanized steel or stainless steel.
 - Minimum concrete strength 2,500 psi.
 - Bearing walls and braced wall panels require continuous footings.
 - Where 2x3/4" thick T&G plywood is provided, 2x4 joist spacing may be used.
 - Where exterior walls are shear walls, wall framing and sheathing shall extend to the roof sheathing. (See Page 6)
 - Footings or in adjacent to sleepers shall meet the requirements of R302.1.7.
 - Walk separating units in townhouses shall be fire-resistance rated per R302.2 and provided with a parapet in accordance with R302.2.2.
 - Separating two-family dwellings shall be fire-resistance rated per R302.2.
 - New construction located in the Very High Fire Hazard Severity Zone (VHFHSZ) must also incorporate the requirements of R337 into the design.
 - Exterior walls of dwellings and accessory structures located 5-4 ft. (non-sprinklered) / 3-ft. (sprinklered) to the property line shall be 1-hr fire-resistance rated construction.
 - No openings other than approved foundation vents shall be permitted in the exterior walls of dwellings and accessory buildings where the exterior wall is less than 3-ft. to the property line.
 - The area of exterior wall openings of non-sprinklered dwellings and accessory buildings located 2-3 ft. and 5-4 ft. to the property line shall be limited to 25% of the wall area. Exterior wall openings are unlimited when exterior walls are located 2-5 ft. for non-sprinklered buildings and 2-3 ft. for sprinklered buildings.
 - Where gable or eave vents occur, eaves shall be of 1-hr fire-resistance construction when located between 2-ft. and 5-ft. from the property line for non-sprinklered buildings and between 2-ft. and 3-ft. from the property line for sprinklered buildings. Detached garages within 2-ft. of a property line may have a maximum 4-inch eave, provided the eave does not extend over the property line and is allowed by the Zoning Code.
 - Exterior plaster (stucco) walls shall be provided with a corrosion resistant weep screen complying with R703.7.2.1.
 - Insulation shall meet the prescriptive requirements of 2019 California Energy Code, Table 150.1-A.

ALLOWABLE SPANS FOR DF #2 ROOF RAFTERS (DF - LARCH)				ALLOWABLE SPANS FOR DF #2 CEILING JOISTS (DF - LARCH)				ALLOWABLE SPANS FOR DF #2 FLOOR JOISTS (DF - LARCH)			
RAFTER SIZE	SPACING	ALLOWABLE SPAN	JOIST SIZE	SPACING	ALLOWABLE SPAN	JOIST SIZE	SPACING	ALLOWABLE SPAN	JOIST SIZE	SPACING	ALLOWABLE SPAN
2 X 6	24"	10'-4"	2 X 4	24"	7'-3"	2 X 6	24"	8'-3"	2 X 6	24"	8'-3"
2 X 8	18"	12'-7"	2 X 6	18"	13'-0"	2 X 8	18"	12'-0"	2 X 8	18"	12'-0"
2 X 10	12"	15'-11"	2 X 8	12"	13'-0"	2 X 10	12"	12'-0"	2 X 10	12"	12'-0"
2 X 12	12"	22'-7"	2 X 10	12"	20'-2"	2 X 12	12"	18'-1"	2 X 12	12"	20'-11"

ALLOWABLE SPANS FOR DF #2 HEADERS FOR EXTERIOR BEARING WALLS				ALLOWABLE SPANS FOR DF #2 HEADERS FOR INTERIOR BEARING WALLS			
SIZE	24-Hr Building Width	NJ	SPACING	SIZE	24-Hr Building Width	NJ	SPACING
2 X 6	3'-0"	1	24"	2 X 8	3'-0"	1	24"
2 X 8	4'-0"	1	24"	2 X 8	3'-6"	1	24"
2 X 10	4'-9"	2	24"	2 X 10	4'-6"	2	24"
2 X 12	5'-7"	2	24"	2 X 12	5'-3"	2	24"
3 X 6	5'-0"	1	24"	3 X 8	4'-9"	1	24"
3 X 10	6'-0"	1	24"	3 X 10	5'-7"	1	24"
3 X 12	7'-0"	2	24"	3 X 12	6'-7"	2	24"

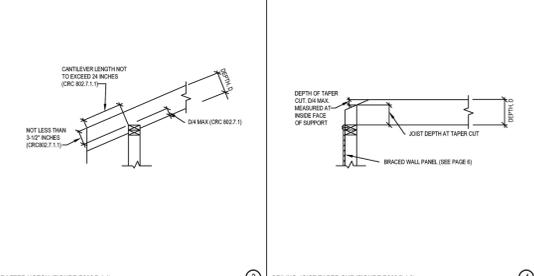
- a. Building width is perpendicular to ridge measured to exterior wall.
 b. NJ - Number of Jack Studs required to support each end of header.

ALLOWABLE SPANS FOR DF #2 FLOOR GIRDERS				RAFTER TIE CONNECTION			
SIZE	24-Hr Building Width	NJ	SPACING	Rafter Slope	Tie Spacing (in.)	Roof Span (ft.)	Minimum Number of 16G Common Nails at Rafter Tie Connection
2 X 6	3'-0"	1	24"	3:12	16	5	8
2 X 8	3'-6"	1	24"	4:12	16	4	6
2 X 10	4'-9"	2	24"	5:12	16	3	5
2 X 12	5'-7"	2	24"	6:12	16	3	5
3 X 6	5'-0"	1	24"				
3 X 10	6'-0"	1	24"				
3 X 12	7'-0"	2	24"				

1. Building width is perpendicular to ridge measured to exterior walls.
 2. Minimum 8x6 post.
 General Notes:
 - If spans exceed dimensions noted on tables, engineering drawings and calculations will be required.
 - Spans listed in above tables are based upon California Residential Code (CRC) tables. See CRC tables for additional information.
 - Wind headers and gables, single framing member sizes may be used. If structural properties are shown to be the same or greater than double framing member sizes listed in tables, refer to ANSI AWC - NDS - 2015 National Design Specification (NDS) for Wood Construction with 2019 NDS Supplement.

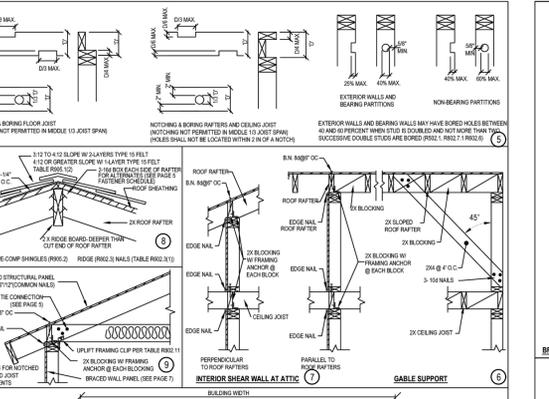
ALLOWABLE SPANS AND LOADS FOR WOOD STRUCTURAL PANEL SHEATHING AND SINGLE-FLOOR GRADES CONTINUOUS OVER TWO OR MORE SPANS WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS

SHEATHING GRADES	MINIMUM PANEL THICKNESS (INCHES)	MAXIMUM SPAN (INCHES)		LOADS (PSF)		MAX. SPAN (INCHES)
		EDGE SUPPORT	NO EDGE SUPPORT	TOTAL LOAD	LIVE LOAD	
PANEL R/Span Ratio						
24/0	3/8	24	20	40	30	18
24/16	7/8	24	24	50	40	18
32/16	1 1/2	32	28	40	30	15
40/20	1 3/4	40	32	40	30	20
48/24	2 1/4	48	36	45	35	24

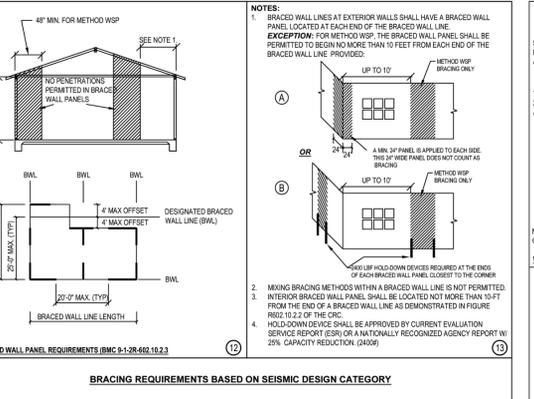
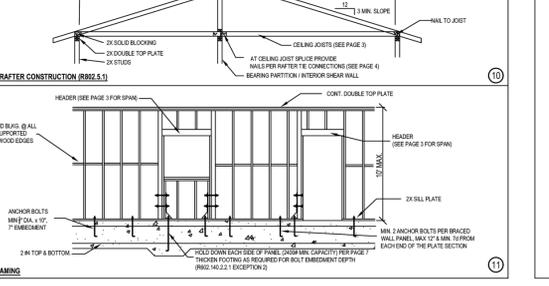


CEILING JOIST TAPER CUT (FIGURE R902.7.1)

Item	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION	
			Spacing (inches)	Location
1	Blocking between ceiling joists or rafters to top plate	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Top nail
2	Ceiling joist to top plate	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Top nail
3	Ceiling joist not attached to parallel rafter, laps over partitions	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Face nail
4	Ceiling joist attached to parallel rafter (joint)	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Face nail
5	Collar tie to rafter, face nail or 1 1/4" x 20 pin, ridge strap to rafter	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Face nail each rafter
6	Rafter or roof truss to plate	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	2 face nails on one side and 1 face nail on opposite side of each rafter or truss
7	Rafter to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Top nail
8	Stud to stud (not at braced wall panels)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	24"	Face nail
9	Stud to stud and stubbing studs of intersecting wall corners (at braced wall panels)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
10	Build-up header (2" to 2" header with 1/2" spacer)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail each face
11	Continuous header to stud	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
12	Top plate to top plate	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
13	Double top plate splice	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail on each side of end joint (minimum 24" top overlap length each side of end joint)
14	Bottom plate to joint, rim joint, band joint or blocking (at braced wall panels)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
15	Bottom plate to joint, rim joint, band joint or blocking (at braced wall panels)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
16	Top or bottom plate to stud	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	24"	Face nail
17	Top plates, lap at corners and intersections	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
18	* 1" x 6" sheathing to each bearing	2d nails, 1" crown, 16g, 1 3/4" long	24"	Face nail
19	* 1" x 6" wider sheathing to each bearing	2d nails, 1" crown, 16g, 1 3/4" long	24"	Face nail



BRACED RAFTER CONSTRUCTION (R902.3.1)



BRACING REQUIREMENTS BASED ON SEISMIC DESIGN CATEGORY

Seismic Design Category (SDC)	Story Location	Minimum Total Length of Braced Wall Panels Required Along each Braced Wall Line (ft.)			
		Method WSP	Method WP	Method WSP + WP	Method WSP + WP + WP
SDC 2, 3	10	10	4	4	4
	20	20	7.5	7.5	7.5
	40	40	10	10	10
	50	50	12.5	12.5	12.5

- a. Method WSP - 1/2 inch minimum thickness wood structural panel with 8d common (2-1/2 inch x 0.131 inch) nails at 6 inch spacing along panel edges, 12 inch spacing at intermediate supports, and 1/2 inch minimum gypsum wall board shall be installed on the side of the wall opposite the bracing material, except when the minimum total length of braced wall panel in the Table is multiplied by a factor of 1.5.
 b. Multiply required braced wall panel lengths specified in the Table by 1.2 when combined Roof Ceiling Dead Load is between 15 psf and 25 psf.

FASTENING SCHEDULE (PARTIAL SEE R902.3(1) & BURBANK AMENDMENTS)

Item	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION	
			Spacing	Location
1	Blocking between ceiling joists or rafters to top plate	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Top nail
2	Ceiling joist to top plate	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Top nail
3	Ceiling joist not attached to parallel rafter, laps over partitions	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Face nail
4	Ceiling joist attached to parallel rafter (joint)	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Face nail
5	Collar tie to rafter, face nail or 1 1/4" x 20 pin, ridge strap to rafter	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Face nail each rafter
6	Rafter or roof truss to plate	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	2 face nails on one side and 1 face nail on opposite side of each rafter or truss
7	Rafter to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4d common (2" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	6"	Top nail
8	Stud to stud (not at braced wall panels)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	24"	Face nail
9	Stud to stud and stubbing studs of intersecting wall corners (at braced wall panels)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
10	Build-up header (2" to 2" header with 1/2" spacer)	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail each face
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17	Top plates, lap at corners and intersections	16d common (3" x 12" or 1 1/2" x 12" or 1 1/2" x 12" nails)	18"	Face nail
18	* 1" x 6" sheathing to each bearing	2d nails, 1" crown, 16g, 1 3/4" long	24"	Face nail
19	* 1" x 6" wider sheathing to each bearing	2d nails, 1" crown, 16g, 1 3/4" long	24"	Face nail



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 DATE: 03/07/23
 PLAN CHECK NO:

WOOD FRAMING DETAILS

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