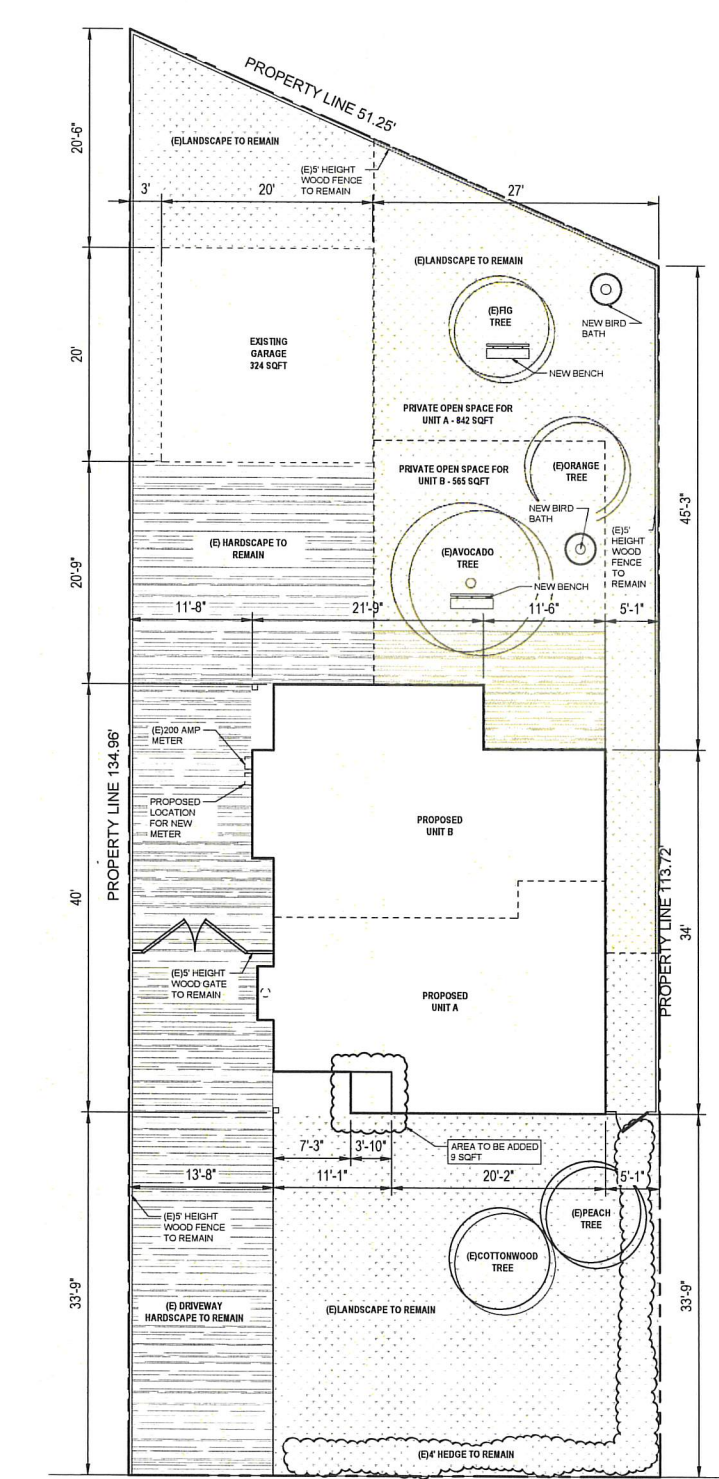


EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN & LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

SCOPE OF WORK

- DIVIDE EXISTING SINGLE FAMILY RESIDENCE INTO TWO - ONE BEDROOM UNITS. (UNIT A & UNIT B)
- 9 SOFT ADDITION AT "UNIT A"
- ADD WINDOW NO. 114 AT "UNIT A"
- ADD DOOR TYPE A IN "UNIT A" BEDROOM, TO PRIVATE OPEN SPACE.
- NEW "FRONT DOOR" FOR ENTRY AT "UNIT B"
- REPLACE EXISTING DOOR WITH NEW 8' WIDE SLIDING WINDOW (NO. 107) AT "UNIT B"

CODES

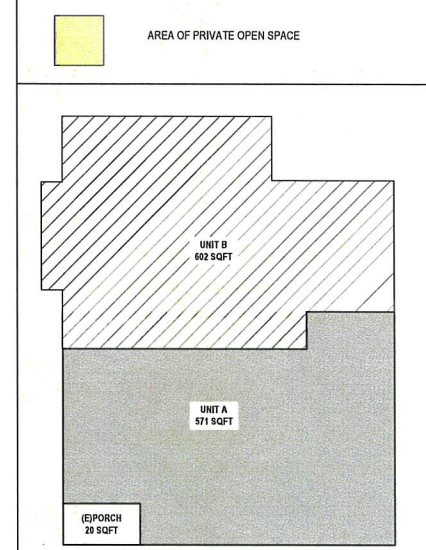
Title 9, Chapter 1, of the Burbank Municipal Code
 2022 Edition of the California Building Code
 2022 California Residential Code
 2022 California Electrical Code
 2022 California Mechanical Code California
 2022 Plumbing Code
 2022 California Green Building Standards
 2022 Building Energy Efficiency Standards, including all Intervening Code cycles.

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER, SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENIED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CBC, CMC, CPC AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN THE TITLE 24 OCR AND THE JURISDICTION.
 2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING AND DEMOLITION.
 3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
 4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO SIGNATURE AND/OR FOUNDATION TRENCHING. (MCC 9-1-1-3292.4)
 5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
 6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE (MCC 9-1-1-3305).
 7. THE FINISH GRADE SHALL SLOPE A MIN. OF 3% OR 6" TO POINT 10 FEET FROM BUILDING FOUNDATION OR TO AN APPROVED ALTERNATE METHOD OF DRAINING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM 2% (CRC R403.1.3)
 8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC R403.1.3.3)

SITE WORK:
 LOTS SHALL BE GRACED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT (5% SLOPE), WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10 FT DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. (CRC R403.1, CBC 1804.4)



UNIT SQUARE FOOTAGE
SCALE: 1/8" = 1'-0"

PARKS AND RECREATION DEPARTMENT DEVELOPMENT NOTE:
 OWNER TO INSTALL THE STREET TREES, THEY MUST CONTACT THE FORESTRY SUPERVISOR AT 818-238-5343, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO INSTALLATION. FAILURE TO CONTACT THE CITY FOR INSPECTION AND INSTALLATION MAY CAUSE THE REMOVAL AND REPLACEMENT AT THE OWNERS EXPENSE.



VIEW A

SHEET INDEX

A1.1 - SITE PLAN	A3.1 - EXISTING ELEVATIONS
A1.2 - RADIIUS MAP	A3.2 - EXISTING ELEVATIONS
A1.3 - SITE PLAN WITH NEIGHBORHOOD AND HOUSE IMAGES	A3.3 - NEW ELEVATIONS
A1.4 - SETBACK PLAN	S1.1 - STRUCTURAL PLANS DETAILS
A1.5 - LANDSCAPE PLAN	
A2.1 - EXISTING FLOOR PLAN AND NEW FLOOR PLAN	
A2.2 - ROOF PLAN AND ELECTRICAL PLAN	

PROJECT INFORMATION

PROJECT ADDRESS: 1100 W ANGELENO AVE
BURBANK CA 91506
 A.P.N. 2446-029-004
 LOT SIZE FT: 6,200 SQFT
 TRACT: 3910
 BLOCK: -
 LOT: -
 (E) STRUCTURE SQ FOOTAGE: 1,184 SQFT
 CONST. BLD TYPE (PER SEC 602.1): V-8
 SPRINKLERS: NO
 ZONE: R-3
 STORIES: 1
 USE: SINGLE FAMILY DWELLING
 YEAR BUILT: 1939
 HIGH FIRE ZONE: NO
 FLOOD ZONE: NO
 HILLSIDE AREA: NO

VICINITY MAP



SQUARE FOOTAGE

	OCCUPANCY/ZONE	SQFT
LOT AREA	R-3	6200
(E)SFD	R3	1184
(E) GARAGE AREA	U	324
(E) Covered Porch Area	R3	29
(E) Covered Porch Area to be converted into (N) Entry	R3	9

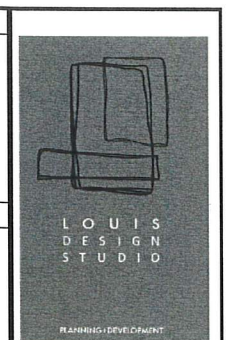
TOTAL HABITABLE 1184 + 9 1193

NOTE: LOT COVERAGE IS CALCULATED FROM EXTERIOR WALL TO EXTERIOR WALL PER MBC10-1-628(C).

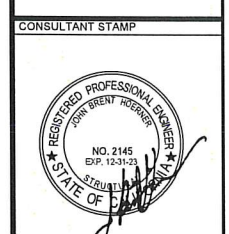
NOTE: MATERIALS ARE TO REMAIN THE SAME. EXTERIOR IS TO REMAIN THE SAME. ADDITION TO MATCH EXISTING MATERIALS AND ARCHITECTURAL STYLE.



VIEW B



Design + Planning + Development
 28328 CONSTELLATION RD SUITE 900
 SANTA CLARITA, CA 91355
 C. + 6615167232 | W. + 6613124453
 LOUISDESIGNSTUDIO@GMAIL.COM
 LOUIS-DESIGNSTUDIO.COM



PREPARED FOR:

PROJECT ADDRESS:
 1100 W ANGELENO AVE
 BURBANK, CA 91506

MARK	DATE	DESCRIPTION

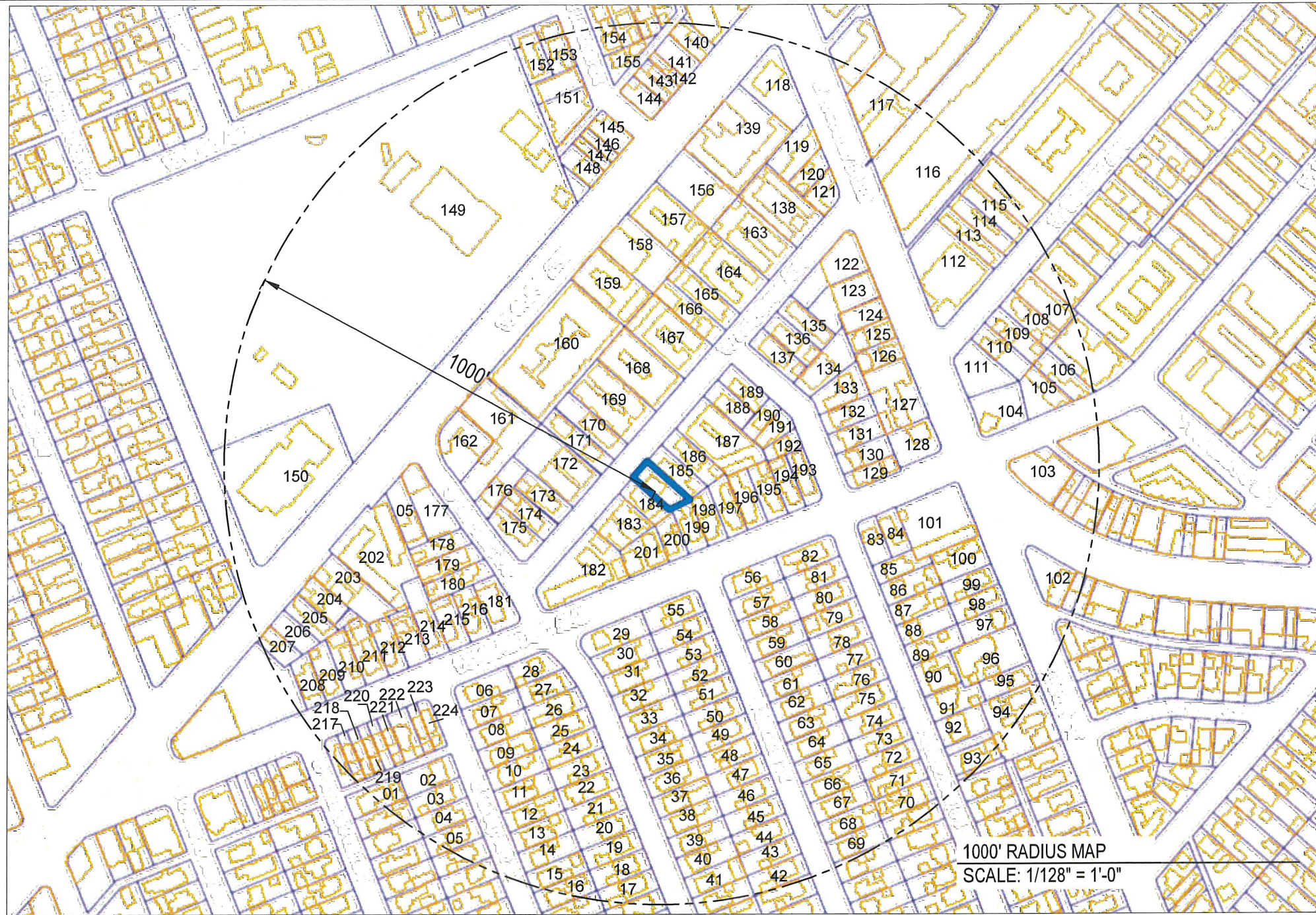
PROJECT NO: 22-0401
 CAD DWG FILE:
 DRAWN BY: R.DUBEN
 CHK'D BY: L.ROMERO
 DATE: 03/07/23
 PLAN CHECK NO:

SHEET TITLE
 SITE PLAN AND PROPERTY INFORMATION
 A1.1

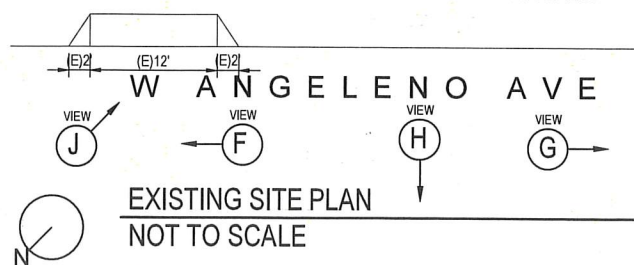
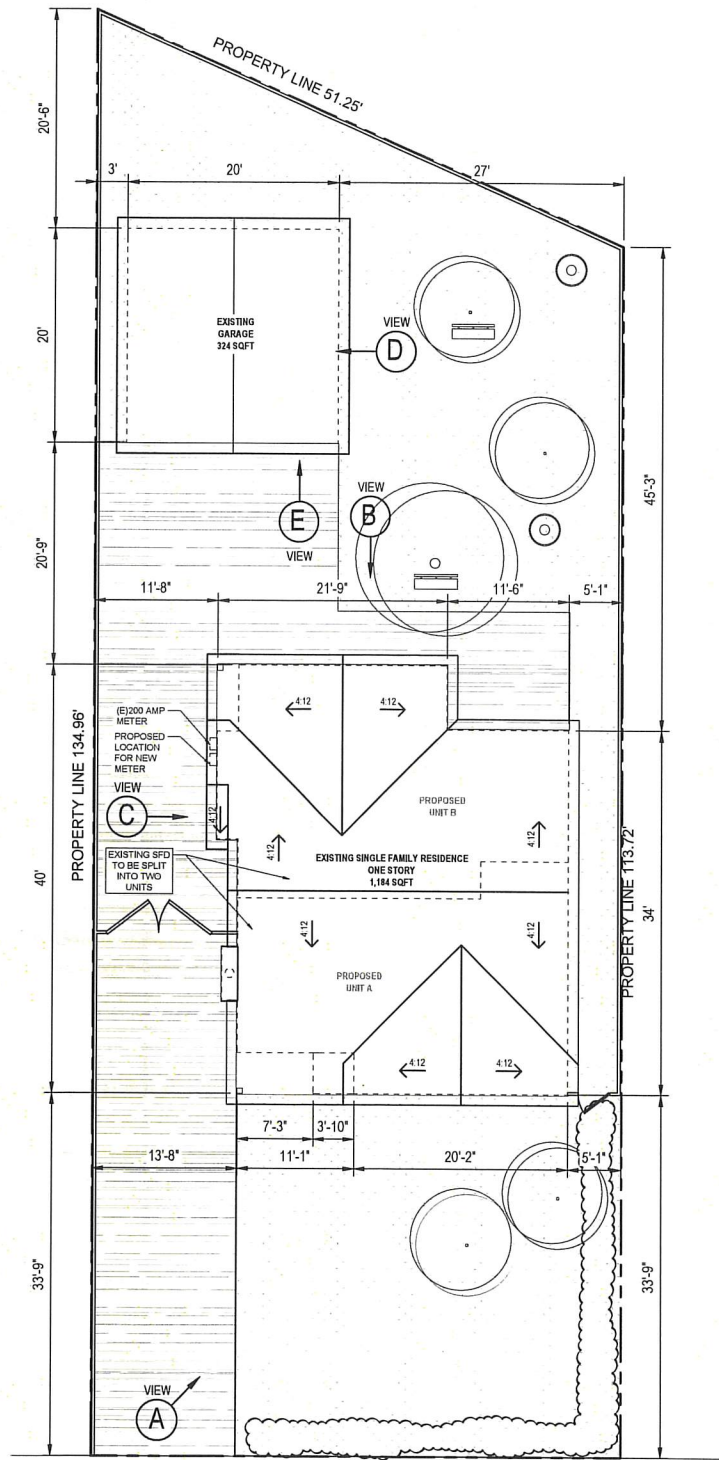
APPROVED
 NOV 30 2023
 CITY OF BURBANK
 PLANNING

MAILING LABELS

SYN	NAME	APN	ADDRESS	CITY	STATE	ZIP
1	OSBORN HENRY JR	2445-010-029	214 GRIFFITH PARK DR	BURBANK	CA	91508
2	MARIAN JIMENEZ	2445-010-012	216 S MARIPOSA STREET	BURBANK	CA	91508
3	BETTE BROWN	2445-010-011	218 S MARIPOSA STREET	BURBANK	CA	91508
4	WILLIAM K WACHS	2445-010-013	220 S MARIPOSA STREET	BURBANK	CA	91508
5	SAVO LARIC	2445-010-013	222 S MARIPOSA STREET	BURBANK	CA	91508
6	MARCO L SINDOVI	2445-010-001	230 S MARIPOSA STREET	BURBANK	CA	91508
7	STEVEN T HUBBELL	2445-010-002	234 S MARIPOSA STREET	BURBANK	CA	91508
8	JOSE J BARRAZ	2445-010-002	236 S MARIPOSA STREET	BURBANK	CA	91508
9	MATTHEW CARROLL W BIVONA	2445-010-004	212 S MARIPOSA STREET	BURBANK	CA	91508
10	JOHN J BLASUS	2445-010-005	216 S MARIPOSA STREET	BURBANK	CA	91508
11	QUINCY A MCGU	2445-010-006	220 S MARIPOSA STREET	BURBANK	CA	91508
12	MARY NGUYEN	2445-010-007	224 S MARIPOSA STREET	BURBANK	CA	91508
13	FRANCIS FAMILY TRUST	2445-010-008	228 S MARIPOSA STREET	BURBANK	CA	91508
14	RANDOLPH OSBORNE	2445-010-008	232 S MARIPOSA STREET	BURBANK	CA	91508
15	ROSEMARIE FARR	2445-010-010	236 S MARIPOSA STREET	BURBANK	CA	91508
16	LYDIA TONE	2445-010-011	240 S MARIPOSA STREET	BURBANK	CA	91508
17	CHARAVANTES RANDOLPH P	2445-010-015	244 S VIRGINIA AVE	BURBANK	CA	91508
18	BRUCE MINNEAR	2445-010-016	241 S VIRGINIA AVE	BURBANK	CA	91508
19	ARMEN HERMAN	2445-010-017	237 S VIRGINIA AVE	BURBANK	CA	91508
20	JEFFREY HOWARD	2445-010-018	233 S VIRGINIA AVE	BURBANK	CA	91508
21	ITAL J CERWAKO	2445-010-019	229 S VIRGINIA AVE	BURBANK	CA	91508
22	JAMES C ELLIOTT	2445-010-020	225 S VIRGINIA AVE	BURBANK	CA	91508
23	ROBERT R BERRACCO	2445-010-021	221 S VIRGINIA AVE	BURBANK	CA	91508
24	JOHN WINDHAM	2445-010-022	217 S VIRGINIA AVE	BURBANK	CA	91508
25	REAL ESTATE DEL CAMPO	2445-010-023	213 S VIRGINIA AVE	BURBANK	CA	91508
26	DIANE M VOSS	2445-010-024	209 S VIRGINIA AVE	BURBANK	CA	91508
27	NICHOLAS P DEACETIS	2445-010-025	205 S VIRGINIA AVE	BURBANK	CA	91508
28	MORNING FAMILY TRUST	2445-010-026	201 S VIRGINIA AVE	BURBANK	CA	91508
29	SUMNER ET FIDELI	2445-010-027	200 S VIRGINIA AVE	BURBANK	CA	91508
30	JOAN S RITTMER	2445-010-028	196 S VIRGINIA AVE	BURBANK	CA	91508
31	ALINA BARLAN	2445-010-029	192 S VIRGINIA AVE	BURBANK	CA	91508
32	KATHRYN A GARDNER	2445-010-030	188 S VIRGINIA AVE	BURBANK	CA	91508
33	KELLY J VARDZ	2445-010-031	184 S VIRGINIA AVE	BURBANK	CA	91508
34	NICHAN EDWARDS	2445-010-032	180 S VIRGINIA AVE	BURBANK	CA	91508
35	NICHOLAS DEGIO	2445-010-033	176 S VIRGINIA AVE	BURBANK	CA	91508
36	WALTER JOHN I	2445-010-034	172 S VIRGINIA AVE	BURBANK	CA	91508
37	RANDOLPH H OSBORNE	2445-010-035	168 S VIRGINIA AVE	BURBANK	CA	91508
38	MARINA C DELA	2445-010-036	164 S VIRGINIA AVE	BURBANK	CA	91508
39	ALBERTO DELA	2445-010-037	160 S VIRGINIA AVE	BURBANK	CA	91508
40	SHEILA S DEVORE	2445-010-038	156 S VIRGINIA AVE	BURBANK	CA	91508
41	CARL W CHAMBERLIN	2445-010-039	152 S VIRGINIA AVE	BURBANK	CA	91508
42	CHARLES DE BELINER	2445-010-040	148 S VIRGINIA AVE	BURBANK	CA	91508
43	JANE E SHAFER	2445-010-041	144 S VIRGINIA AVE	BURBANK	CA	91508
44	DAVID GAYTON	2445-010-042	140 S VIRGINIA AVE	BURBANK	CA	91508
45	CHRISTOPHER J TAYLOR	2445-010-043	136 S VIRGINIA AVE	BURBANK	CA	91508
46	JOHN L JANIBER	2445-010-044	132 S VIRGINIA AVE	BURBANK	CA	91508
47	CHARLES JAFFEE	2445-010-045	128 S VIRGINIA AVE	BURBANK	CA	91508
48	DAVID J RACON	2445-010-046	124 S VIRGINIA AVE	BURBANK	CA	91508
49	WALTER BOWEN	2445-010-047	120 S VIRGINIA AVE	BURBANK	CA	91508
50	PERSE PERREL	2445-010-048	116 S VIRGINIA AVE	BURBANK	CA	91508
51	LEONARD HENRY SR	2445-010-049	112 S VIRGINIA AVE	BURBANK	CA	91508
52	GREGORY D BETHERIDGE	2445-010-050	108 S VIRGINIA AVE	BURBANK	CA	91508
53	ROBERT R BENDER	2445-010-051	104 S VIRGINIA AVE	BURBANK	CA	91508
54	CATHERINE BENDAK	2445-010-052	100 S VIRGINIA AVE	BURBANK	CA	91508
55	NANCY LAMONTE	2445-010-053	96 S VIRGINIA AVE	BURBANK	CA	91508
56	JAMES J GOLASSO	2445-010-054	92 S VIRGINIA AVE	BURBANK	CA	91508
57	BARBARA GRANT	2445-010-055	88 S VIRGINIA AVE	BURBANK	CA	91508
58	BACON COLMAN	2445-010-056	84 S VIRGINIA AVE	BURBANK	CA	91508
59	DEANNA L BUCKLEY	2445-010-057	80 S VIRGINIA AVE	BURBANK	CA	91508
60	TRACY CHAMBERS	2445-010-058	76 S VIRGINIA AVE	BURBANK	CA	91508
61	EDWARD LACHIE	2445-010-059	72 S VIRGINIA AVE	BURBANK	CA	91508
62	DAVID E CHIVERS	2445-010-060	68 S VIRGINIA AVE	BURBANK	CA	91508
63	JOHN CERVANTES	2445-010-061	64 S VIRGINIA AVE	BURBANK	CA	91508
64	FERNANDO RODRIGUEZ	2445-010-062	60 S VIRGINIA AVE	BURBANK	CA	91508
65	KANDELA BUELL	2445-010-063	56 S VIRGINIA AVE	BURBANK	CA	91508
66	STEVEN GARCIA	2445-010-064	52 S VIRGINIA AVE	BURBANK	CA	91508
67	MONERRAT CASTRO	2445-010-065	48 S VIRGINIA AVE	BURBANK	CA	91508
68	MARLE HUBBELL	2445-010-066	44 S VIRGINIA AVE	BURBANK	CA	91508
69	CLAUDIA LAGANDE	2445-010-067	40 S VIRGINIA AVE	BURBANK	CA	91508
70	CLAUDIA FERNANDEZ	2445-010-068	36 S VIRGINIA AVE	BURBANK	CA	91508
71	GRAN HONG CHEN	2445-010-069	32 S VIRGINIA AVE	BURBANK	CA	91508
72	TER STEFANIAN OGDANS	2445-010-070	28 S VIRGINIA AVE	BURBANK	CA	91508
73	JEFFREY SMITH	2445-010-071	24 S VIRGINIA AVE	BURBANK	CA	91508
74	ROSE CORTIZ	2445-010-072	20 S VIRGINIA AVE	BURBANK	CA	91508
75	JOSEPH HANDEKER	2445-010-073	16 S VIRGINIA AVE	BURBANK	CA	91508
76	CHARLIE RUDAS	2445-010-074	12 S VIRGINIA AVE	BURBANK	CA	91508
77	BURWELL ERK R	2445-010-075	8 S VIRGINIA AVE	BURBANK	CA	91508
78	SEVAN KASHISHAN	2445-010-076	4 S VIRGINIA AVE	BURBANK	CA	91508
79	FILIPER JOSEPH	2445-010-077	0 S VIRGINIA AVE	BURBANK	CA	91508
80	MAURICE ADAMS	2445-010-078	0 S VIRGINIA AVE	BURBANK	CA	91508
81	RANDALL GUTH	2445-010-079	0 S VIRGINIA AVE	BURBANK	CA	91508
82	ELINA S DALANYAN	2445-010-080	0 S VIRGINIA AVE	BURBANK	CA	91508
83	JEREMY S LUZ	2445-010-081	0 S VIRGINIA AVE	BURBANK	CA	91508
84	ANDREA ALLEN SMITH	2445-010-082	0 S VIRGINIA AVE	BURBANK	CA	91508
85	REBEKAH ALD	2445-010-083	0 S VIRGINIA AVE	BURBANK	CA	91508
86	BROUGH DAVIS	2445-010-084	0 S VIRGINIA AVE	BURBANK	CA	91508
87	ANSEL RIVERA	2445-010-085	0 S VIRGINIA AVE	BURBANK	CA	91508
88	JANET D WALLACE	2445-010-086	0 S VIRGINIA AVE	BURBANK	CA	91508
89	DALENE NEVEL MCHENEN	2445-010-087	0 S VIRGINIA AVE	BURBANK	CA	91508
90	BIG DICK GARY LLC	2445-010-088	0 S VIRGINIA AVE	BURBANK	CA	91508
91	ANTHONY CHANG	2445-010-089	0 S VIRGINIA AVE	BURBANK	CA	91508
92	FRANCIS BANG	2445-010-090	0 S VIRGINIA AVE	BURBANK	CA	91508
93	ADAM GERTZOFF	2445-010-091	0 S VIRGINIA AVE	BURBANK	CA	91508
94	STEVEN E GARNHALL	2445-010-092	0 S VIRGINIA AVE	BURBANK	CA	91508
95	THOMAS A CALZA	2445-010-093	0 S VIRGINIA AVE	BURBANK	CA	91508
96	ARANTO QUIN	2445-010-094	0 S VIRGINIA AVE	BURBANK	CA	91508
97	ALEX M WITCHEN INC	2445-010-095	0 S VIRGINIA AVE	BURBANK	CA	91508
98	MARIO CONTRERAS	2445-010-096	0 S VIRGINIA AVE	BURBANK	CA	91508
99	MACHAVATHAN ALVING TRUST	2445-010-097	0 S VIRGINIA AVE	BURBANK	CA	91508
100	ANNE E VINCIG	2445-010-098	0 S VIRGINIA AVE	BURBANK	CA	91508
101	EMILY BROWN	2445-010-099	0 S VIRGINIA AVE	BURBANK	CA	91508
102	MI & LLC	2445-010-100	0 S VIRGINIA AVE	BURBANK	CA	91508
103	JAMES HOLDINGS LLC	2445-010-101	0 S VIRGINIA AVE	BURBANK	CA	91508
104	CREATIVE ASSEMBLY LLC	2445-010-102	0 S VIRGINIA AVE	BURBANK	CA	91508
105	DANAN R JEDDO	2445-010-103	0 S VIRGINIA AVE	BURBANK	CA	91508
106	318 WEST VIRGO RD LLC	2445-010-104	0 S VIRGINIA AVE	BURBANK	CA	91508
107	FRANK CHEN A	2445-010-105	0 S VIRGINIA AVE	BURBANK	CA	91508
108	WENJIE TIAN	2445-010-106	0 S VIRGINIA AVE	BURBANK	CA	91508
109	KANACEE L SOODHASTRIM	2445-010-107	0 S VIRGINIA AVE	BURBANK	CA	91508
110	KEVIN B KENNEDY	2445-010-108	0 S VIRGINIA AVE	BURBANK	CA	91508
111	308 TULANGA AVENUE LLC	2445-010-109	0 S VIRGINIA AVE	BURBANK	CA	91508
112	WENJIE TIAN	2445-010-110	0 S VIRGINIA AVE	BURBANK	CA	91508
113	CONORAN SCOTT H H COMMUNITY	2445-010-111	0 S VIRGINIA AVE	BURBANK	CA	91508
114	SANDRA OGDON	2445-010-112	0 S VIRGINIA AVE	BURBANK	CA	91508
115	278 W TULANGA AVE COM LLC	2445-010-113	0 S VIRGINIA AVE	BURBANK	CA	91508
116	278 W TULANGA AVENUE LLC	2445-010-114	0 S VIRGINIA AVE	BURBANK	CA	91508
117	ALTRIA NATIONAL CENTER OF THE	2445-010-115	0 S VIRGINIA AVE	BURBANK	CA	91508
118	VICTORY J OLIVE LLC	2445-010-116	0 S VIRGINIA AVE	BURBANK	CA	91508
119	ANTHONY FANTOLLA	2445-010-117	0 S VIRGINIA AVE	BURBANK	CA	91508
120	BURBANK PROPERTIES LLC	2445-010-118	0 S VIRGINIA AVE	BURBANK	CA	91508
121	BAJA HOLDINGS LLC	2445-010-119	0 S VIRGINIA AVE	BURBANK	CA	91508
122	BAJA HOLDINGS LLC	2445-010-120	0 S VIRGINIA AVE	BURBANK	CA	91508
123	JEROME J LEVINS	2445-010-121	0 S VIRGINIA AVE	BURBANK	CA	91508
124	JEROME J LEVINS	2445-010-122	0 S VIRGINIA AVE	BURBANK	CA	91508
125	JEROME J LEVINS	2445-010-123	0 S VIRGINIA AVE	BURBANK	CA	91508
126	MICHAEL A EZZA	2445-010-124	0 S VIRGINIA AVE	BURBANK	CA	91508
127	FRANK SARTACHE	2445-010-125	0 S VIRGINIA AVE	BURBANK	CA	91508
128	NERSON VICTORY LLC	2445-010-126	0 S VIRGINIA AVE	BURBANK	CA	91508
129	NERSON VICTORY LLC	2445-010-127	0 S VIRGINIA AVE	BURBANK	CA	91508
130	GERSONIE MITLEBARA	2445-010-128	0 S VIRGINIA AVE	BURBANK	CA	91508
131	CHAO WILLIAM H	2445-010-129	0 S VIRGINIA AVE	BURBANK	CA	91508
132	KAREN FAY TRUST	2445-010-130	0 S VIRGINIA AVE	BURBANK	CA	91508
133	FRAN RINA	2445-010-131	0 S VIRGINIA AVE	BURBANK	CA	91508
134	JORIE VERRANO	2445-010-132	0 S VIRGINIA AVE	BURBANK	CA	91508
135	TUDON C HSU	2445-010-133	0 S VIRGINIA AVE	BURBANK	CA	91508
136	KEVIN HUNG BOWEN CORP	2445-010-134	0 S VIRGINIA AVE	BURBANK	CA	91508
137	WANGEL ENO AVE LLC	2445-010-135	0 S VIRGINIA AVE	BURBANK	CA	91508
138	WANGEL ENO AVE LLC	2445-010-136	0 S VIRGINIA AVE	BURBANK	CA	91508
139	ANGEL VILA	2445-010-137	0 S VIRGINIA AVE	BURBANK	CA	91508
140	CULAN HORTALITY INC	2445-010-138	0 S VIRGINIA AVE	BURBANK	CA	91508



SYN	NAME	APN	ADDRESS	CITY	STATE	ZIP
140	AGNES A ROEDEL	2445-010-095	915 W OLIVE AVE	BURBANK	CA	91506
141	WITCH HILL PROPERTIES LLC	2445-010-092	321 W OLIVE AVE	BURBANK	CA	91506
142	WICKEDON INC LLC	2445-010-098	925 W OLIVE AVE	BURBANK	CA	91506
143	PATRICIA LUGHEIT	2445-010-093	327 W OLIVE AVE	BURBANK	CA	91506
144	103 OLIVE LLC	2445-010-091	333 W OLIVE AVE	BURBANK	CA	91506
145	MUHAMMAD RUSTAM	2445-010-013	1001 W OLIVE AVE	BURBANK	CA	91509
146	LELAND POSTEL	2445-010-093	1007 W OLIVE AVE	BURBANK	CA	91506
147	GREGORY GLEN	2445-010-094	1009 W OLIVE AVE	BURBANK	CA	91506
148	BRADLEY HOWARD	2445-010-012	1011 W OLIVE AVE	BURBANK	CA	91506
149	BURBANK CITY	2445-010-090	1301 W OLIVE AVE	BURBANK	CA	91506
150	BURBANK CITY	2445-010-090	1301 W OLIVE AVE	BURBANK	CA	91506
151	JAMES H ALFIELDO	2445-010-010	1020 W CLARK AVE	BURBANK	CA	91506
152	JAMES H ALFIELDO	2445-010-011	1010 W CLARK AVE	BURBANK	CA	91506
153	HOLEN M HEADOTE	2445-010-012	1004 W CLARK AVE	BURBANK	CA	91506
154	BEVERLY A MORSHAW	2445-010-017	117 N OLIVE ST	BURBANK	CA	91508
155	AMERICAN LEGION BURBANK POST 150	2445-010-011	940 W OLIVE A			



PROJECT SITE FROM THE STREET
FRONT SIDE OF EXISTING RESIDENCE VIEW A



BACKSIDE OF EXISTING RESIDENCE VIEW B



SIDE OF EXISTING RESIDENCE VIEW C



SIDE OF EXISTING DETACHED GARAGE VIEW D



FRONT SIDE OF EXISTING DETACHED GARAGE VIEW E



ADJACENT TO PROJECT SITE VIEW F



ADJACENT TO PROJECT SITE VIEW G



ADJACENT TO PROJECT SITE VIEW H



ADJACENT REAR PROJECT SITE VIEW I



PROJECT SITE FROM THE STREET VIEW J



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LOUIS-DESIGNSTUDIO.COM



PREPARED FOR:

PROJECT ADDRESS

1100 W ANGELENO AVE
BURBANK, CA 91506

MARK	DATE	DESCRIPTION

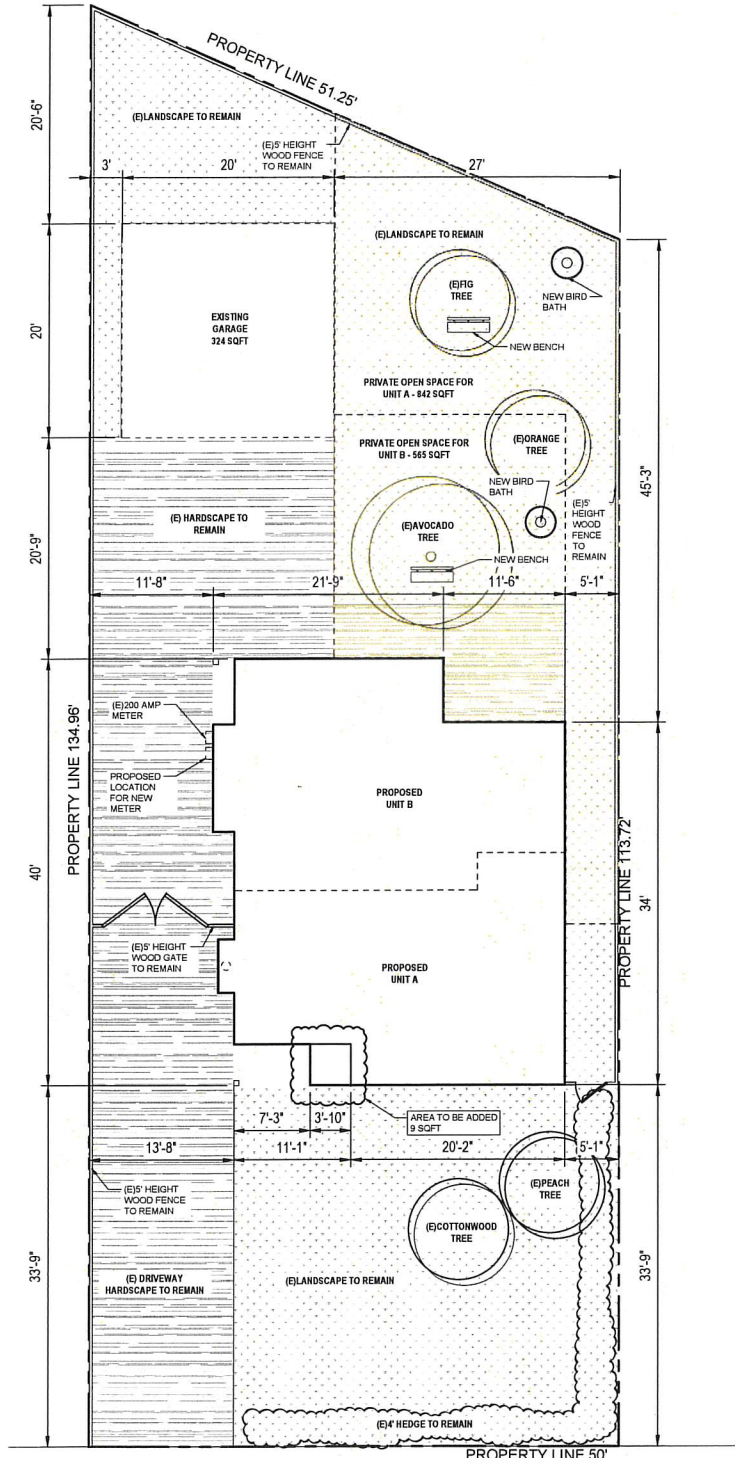
PROJECT NO: 22-0401
CAD DWG FILE:
DRAWN BY: R.DUBEN
CHK'D BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

SHEET TITLE

IMAGES AND
SITE PLAN

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MATERIALS ARE TO REMAIN THE SAME. EXTERIOR IS TO REMAIN THE SAME. ADDITION TO MATCH EXISTING MATERIALS AND ARCHITECTURAL STYLE.



W ANGELENO AVE

EXISTING LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



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CONSULTANT STAMP



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1100 W ANGELENO AVE
BURBANK, CA 91506

MARK	DATE	DESCRIPTION

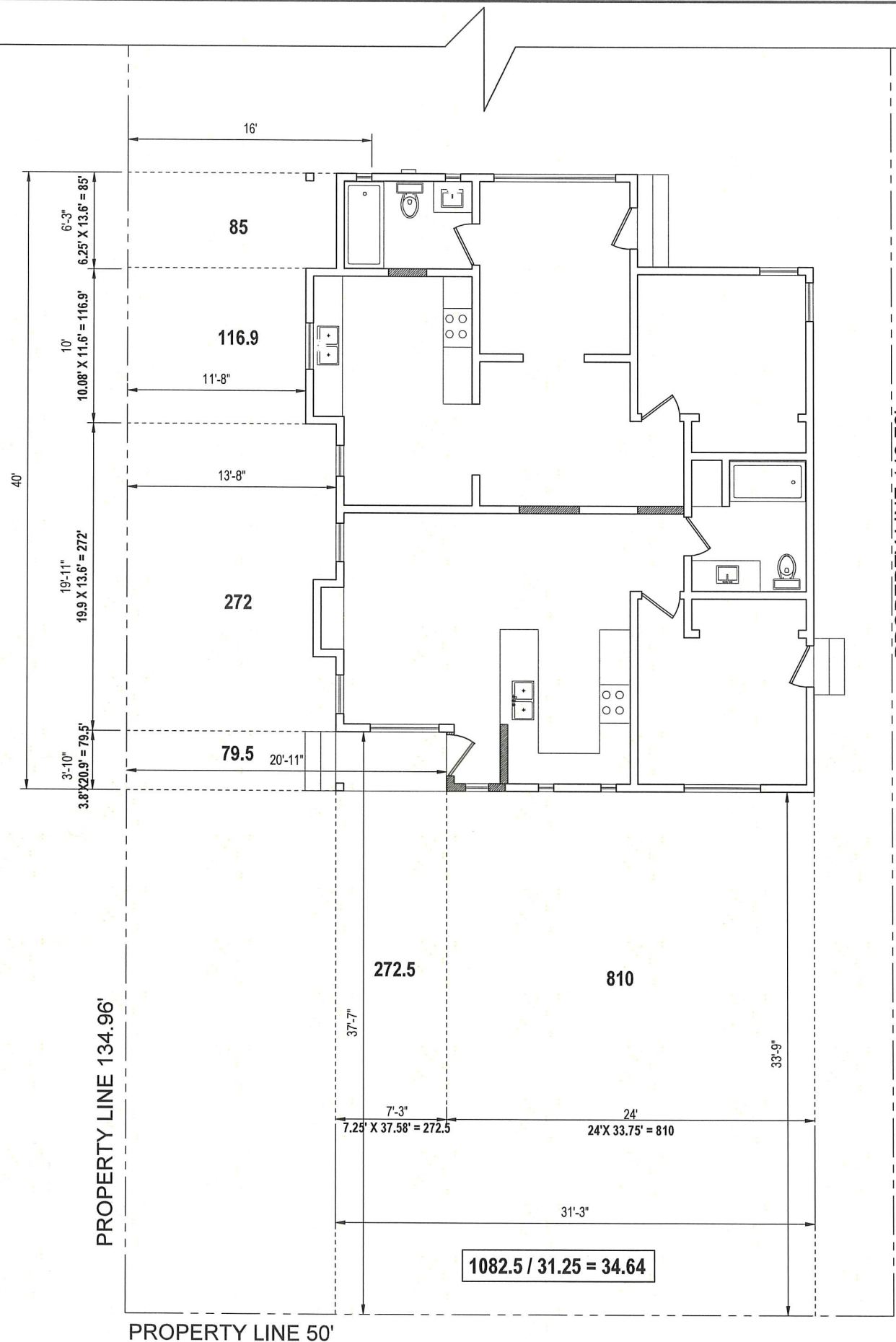
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CAD DWG FILE:
DRAWN BY: R.DUBEN
CHK'D BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

[Signature]
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SHEET TITLE
**LANDSCAPE
PLAN**

A1.4

$553.4 / 40 = 13.8$



PROPERTY LINE 134.96'

PROPERTY LINE 113.72'

PROPERTY LINE 50'

W A N G E L E N O A V E

$1082.5 / 31.25 = 34.64$

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AVERAGE SETBACK AND PLANE BREAKS
 SCALE: 1/4" = 1'-0"



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PREPARED FOR:

PROJECT ADDRESS

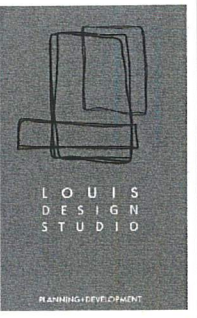
1100 W ANGELENO AVE
 BURBANK, CA 91506

MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
 CAD DWG FILE:
 DRAWN BY: R.DUBEN
 CHK'D BY: L.ROMERO
 DATE: 03/07/23
 PLAN CHECK NO:

SHEET TITLE
 AVERAGE
 SETBACK AND
 PLANE BREAKS

A1.5



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PREPARED FOR:

PROJECT ADDRESS

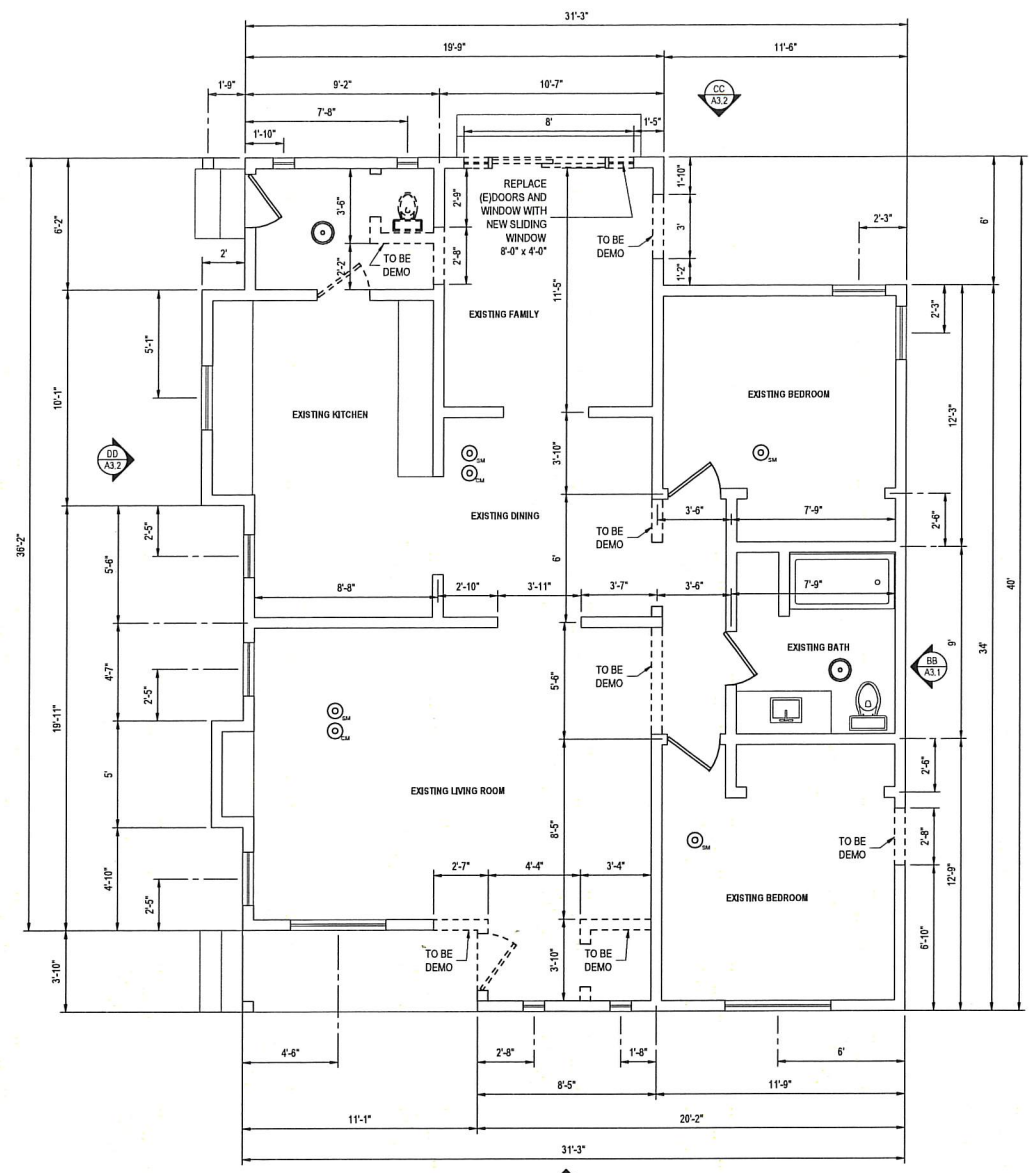
1100 W ANGELENO AVE
 BURBANK, CA 91506

MARK	DATE	DESCRIPTION

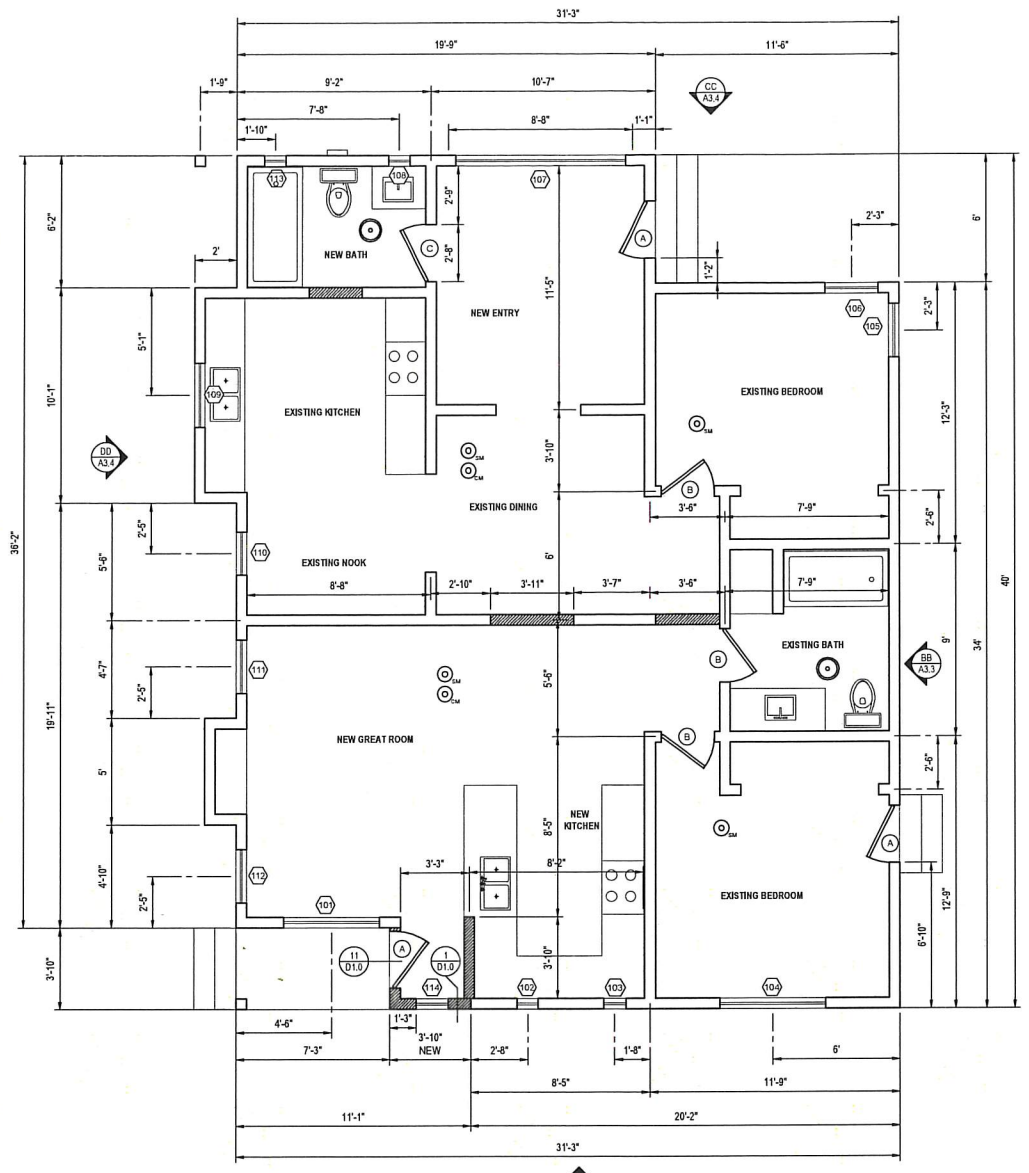
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 CAD DWG FILE:
 DRAWN BY: R.DUBEN
 CHK'D BY: L.ROMERO
 DATE: 03/07/23
 PLAN CHECK NO:

SHEET TITLE
 EXISTING AND
 NEW FLOOR
 PLAN

A2.1



EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

LEGEND

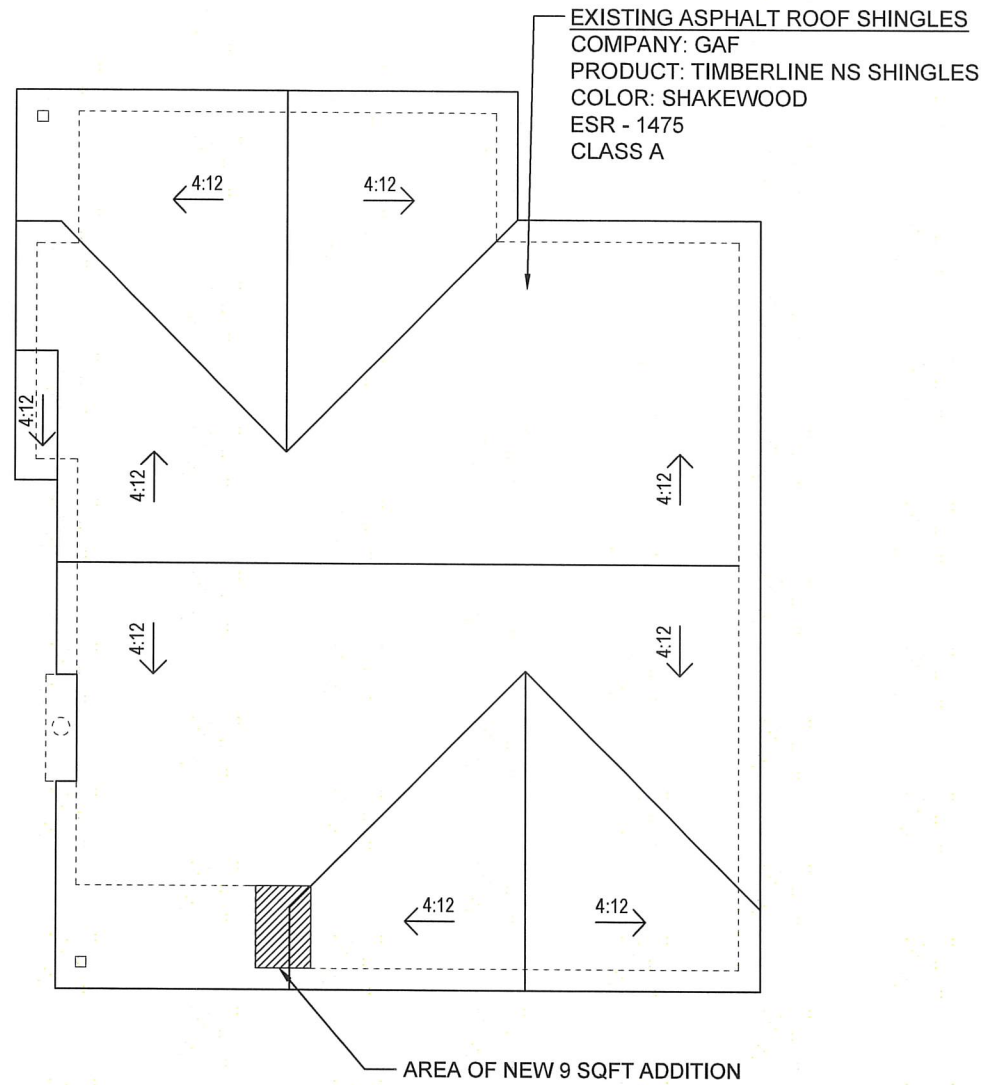
- DOOR TAG
- WINDOW TAG
- EXISTING SMOKE DETECTOR /CARBON MONOXIDE, HARDWIRED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP (907.2.11.4,R314.4)
- EXISTING EXHAUST FAN. 50-CFM INTERMITTENT MODEL: BROAN XB SERIES 80 CFM, ENERGY STAR RATED OR EQUAL. NOTE:FANS SHALL BE ENERGY STAR COMPLAINT AND BE DUCTED TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- EXISTING STUDS @ 16" O/C WITH 1/2" GYP. BRD.
- TO BE DEMO
- NEW STUDS @ 16" O/C WITH 1/2" GYP. BRD.

DOOR SCHEDULE						
SYMBOL	QUANTITY	EXISTING/NEW	WIDTH	HEIGHT	TYPE	NOTES
A	3	NEW	2'-8"	6'-8"	1 DOOR - SWING	VINYL TEMPERED, DUAL GLAZ
B	3	NEW	2'-6"	6'-8"	1 DOOR - SWING	HOLLOW CORE
C	1	NEW	2'-8"	6'-8"	1 DOOR - SWING	HOLLOW CORE

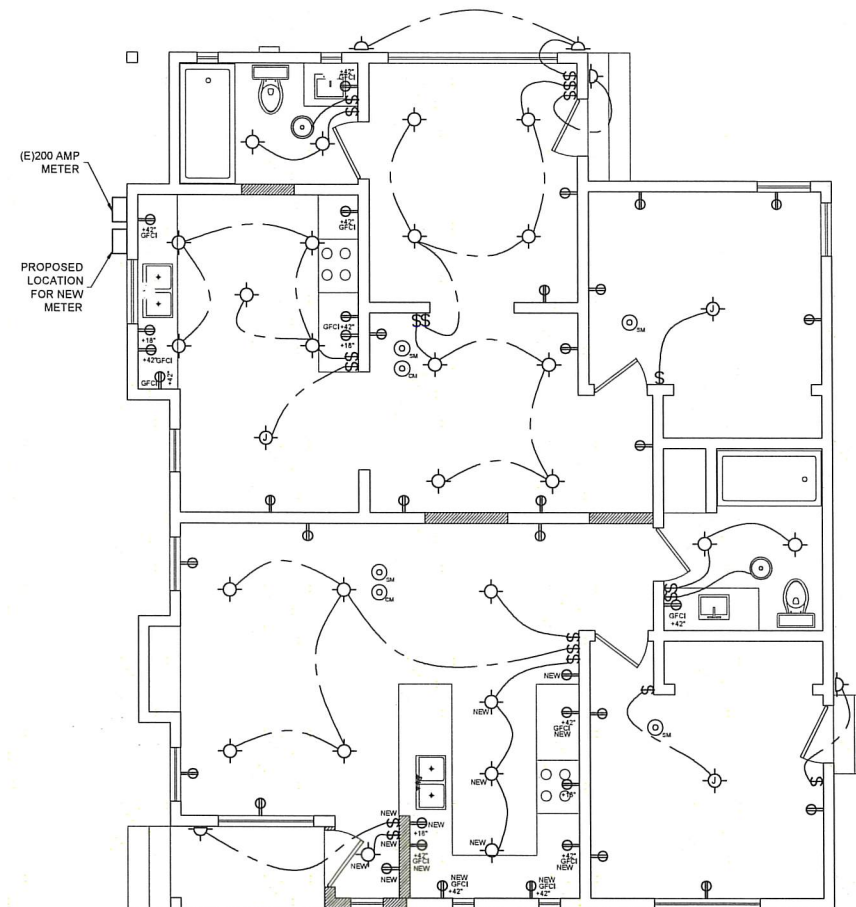
WINDOW SCHEDULE										
SYMBOL	EXISTING/NEW	LOCATION	WDTH	HEIGHT	TYPE	MATERIAL	GLAZING	TEMPERED	U-FACTOR	SHGC
101	EXISTING	NEW GREAT ROOM	4'-6"	5'-0"	SLIDER	EXISTING	DUAL			PER TITLE 24
102	EXISTING	NEW KITCHEN	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
103	EXISTING	NEW KITCHEN	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
104	EXISTING	EXISTING BEDROOM	5'-0"	4'-0"	SLIDER	EXISTING	DUAL			PER TITLE 24
105	EXISTING	EXISTING BEDROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
106	EXISTING	EXISTING BEDROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
107	NEW	NEW ENTRY	8'-0"	4'-0"	SLIDER	TO MATCH EXISTING	DUAL			PER TITLE 24
108	EXISTING	NEW BATHROOM	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL	TEMPERED		PER TITLE 24
109	EXISTING	EXISTING KITCHEN	3'-0"	3'-0"	SLIDER	EXISTING	DUAL	TEMPERED		PER TITLE 24
110	EXISTING	EXISTING NOOK	2'-0"	4'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
111	EXISTING	NEW GREAT ROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
112	EXISTING	NEW GREAT ROOM	2'-6"	4'-0"	SINGLE HUNG	EXISTING	DUAL			PER TITLE 24
113	EXISTING	NEW BATHROOM	1'-0"	2'-0"	SINGLE HUNG	EXISTING	DUAL	TEMPERED		PER TITLE 24
114	NEW	NEW ENTRY	1'-6"	4'-0"	FIXED	TO MATCH EXISTING	DUAL	TEMPERED		PER TITLE 24

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ROOF PLAN
 SCALE: 1/4" = 1'-0"



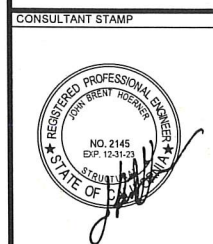
ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



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LEGEND	
W.P.	WEATHERPROOF COVER (CEC210.8, CEC406.9)
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
\$	LIGHT SWITCH + 48" SINGLE POLE
Ⓛ	DUPLEX RECEPTACLE 20 AMP, 125 VOLT GROUNDED AT 18" A.F.F. U.N.O., FLUSH WALL. TAMPER - RESISTANT
Ⓛ	DUPLEX RECEPTACLE IN CEILING (TAMPER-RESISTANT)
Ⓛ	COMPACT LED CAN-LIGHT FIXTURE.
Ⓛ	SMOKE DETECTOR / CARBON MONOXIDE, HARDWIRED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP (907.2.11.4.R314.4)
Ⓛ	CEILING/WALL MOUNTED J-BOX FOR LIGHT FIXTURE
Ⓛ	DOOR TAG
Ⓛ	WINDOW TAG
Ⓛ	EXHAUST FAN. 50-CFM INTERMITTENT MODEL: BROAN XB SERIES 80 CFM, ENERGY STAR RATED OR EQUAL. NOTE: FANS SHALL BE ENERGY STAR COMPLAINT AND BE DUCTED TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
Ⓛ	EXISTING STUDS @ 16" O/C WITH 1/2" GYP. BRD.
Ⓛ	TO BE DEMO
Ⓛ	NEW STUDS @ 16" O/C WITH 1/2" GYP. BRD.

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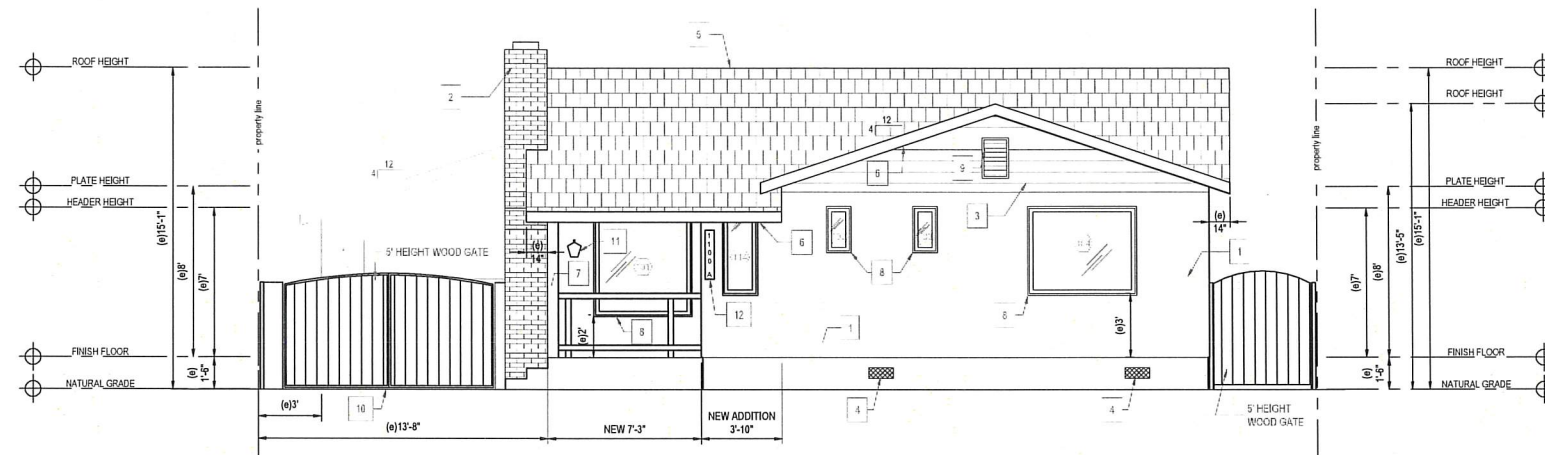
PREPARED FOR:
 PROJECT ADDRESS:

1100 W ANGELENO AVE
 BURBANK, CA 91506

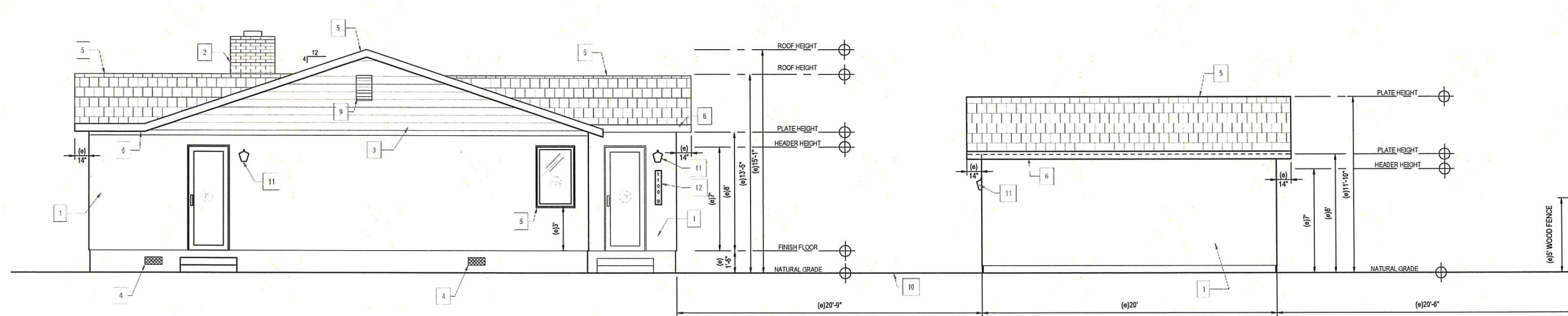
MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
 CAD DWG FILE:
 DRAWN BY: R.DUBEN
 CHK'D BY: L.ROMERO
 DATE: 03/07/23
 PLAN CHECK NO:

ROOF PLAN AND
 ELECTRICAL PLAN
 A2.2

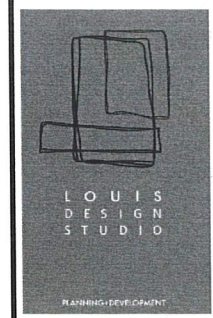


NEW NORTH WEST ELEVATION
SCALE: 1/4" = 1'-0" AA

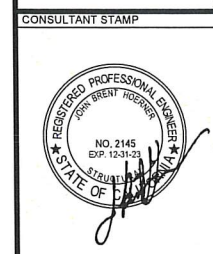


NEW SOUTH WEST ELEVATION
SCALE: 1/4" = 1'-0" BB

EXISTING MATERIAL FINISHES	
1	7/8" STUCCO FINISH (BEIGE)
2	RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
3	8" WOOD SIDING, PAINTED DARK BROWN
4	6"X14" UNDER FLOOR VENTS (WIRE MESH)
5	COMPOSITION ROOF - CLASS A - BROWN
6	2X FASCIA BOARD PAINTED DARK BROWN
7	4"X4" WOOD POST PAINTED, DARK BROWN
8	WINDOW TRIM PAINTED, DARK BROWN
9	2'X1' ATTIC VENT W/ 3" PLANTON ALL AROUND PAINTED DARK BROWN
10	CONCRETE DRIVEWAY
11	EXTERIOR LIGHT FIXTURES (PER Burbank Municipal Code 5-3-505)
12	NUMBERS/ADDRESS Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be visible and legible from the street or road fronting the property and from the alley or rear access way to the property. Numbers/addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke.



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LOUIS-DESIGNSTUDIO.COM



PREPARED FOR:

PROJECT ADDRESS

1100 W ANGELENO AVE
BURBANK, CA 91506

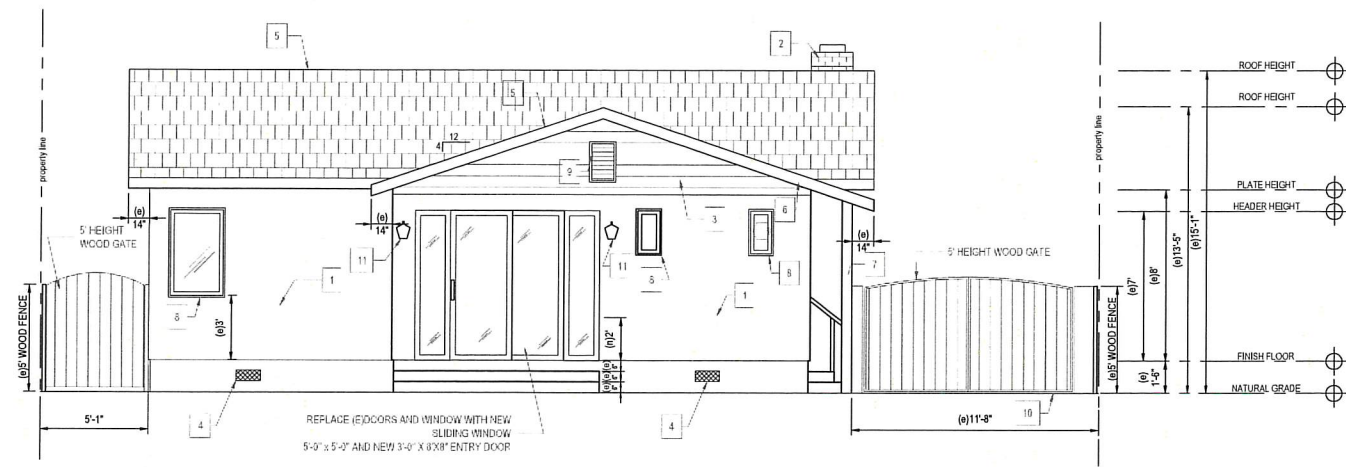
MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
CAD DWG FILE:
DRAWN BY: R.DUBEN
CHKD BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

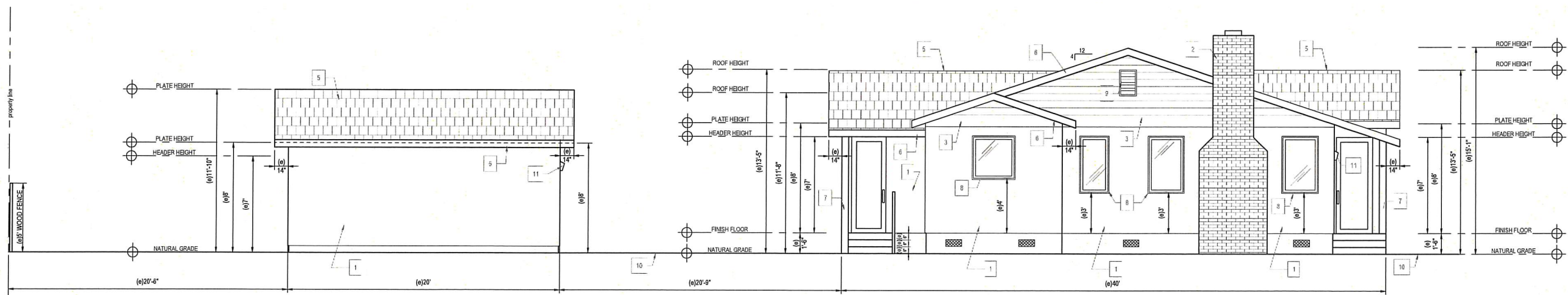
SHEET TITLE
NEW ELEVATIONS

A3.3

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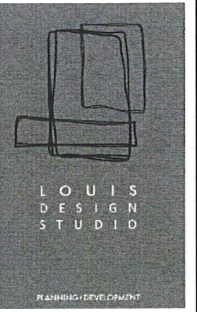
EXISTING SOUTH EAST ELEVATION
SCALE: 1/4" = 1'-0" (DD)



EXISTING NORTH EAST ELEVATION
SCALE: 1/4" = 1'-0" (CC)

EXISTING MATERIAL FINISHES

- 1 7/8" STUCCO FINISH (BEIGE)
 - 2 RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
 - 3 8" WOOD SIDING, PAINTED DARK BROWN
 - 4 6"X14" UNDER FLOOR VENTS (WIRE MESH)
 - 5 COMPOSITION ROOF - CLASS A - BROWN
 - 6 2X FASCIA BOARD PAINTED DARK BROWN
 - 7 4"X4" WOOD POST PAINTED, DARK BROWN
 - 8 WINDOW TRIM PAINTED, DARK BROWN
 - 9 2'X1' ATTIC VENT W/ 3" PLANTON ALL AROUND PAINTED DARK BROWN
 - 10 CONCRETE DRIVEWAY
 - 11 EXTERIOR LIGHT FIXTURES (PER Burbank Municipal Code 5-3-505)
- NUMBERS/ADDRESS
Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be visible and legible from the street or road fronting the property and from the alley or rear access way to the property. Numbers/addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke.



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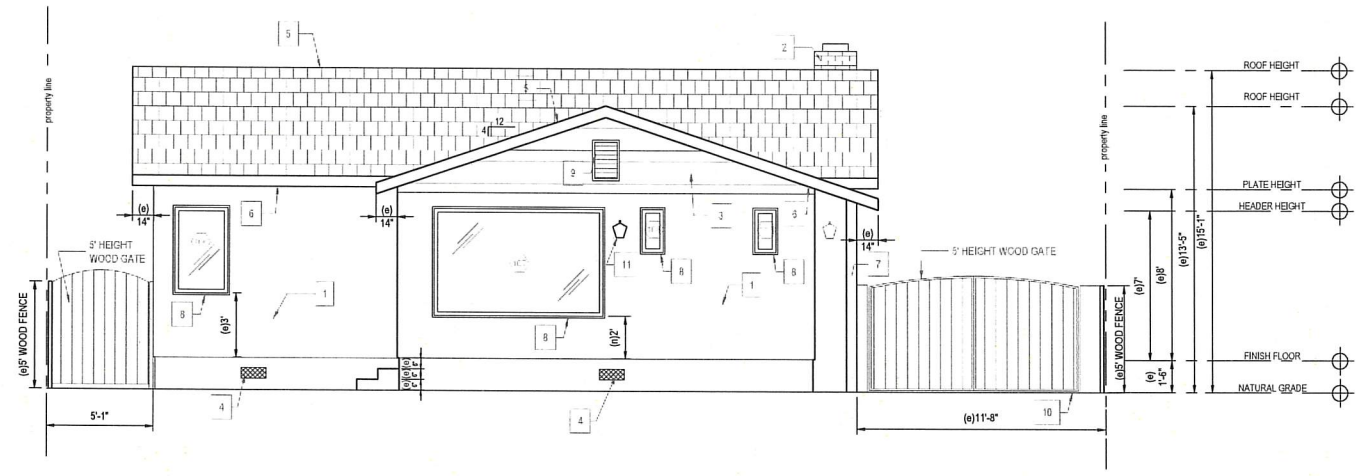
PROJECT ADDRESS
**1100 W ANGELENO AVE
BURBANK, CA 91506**

MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
CAD DWG FILE:
DRAWN BY: R.DUBEN
CHK'D BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

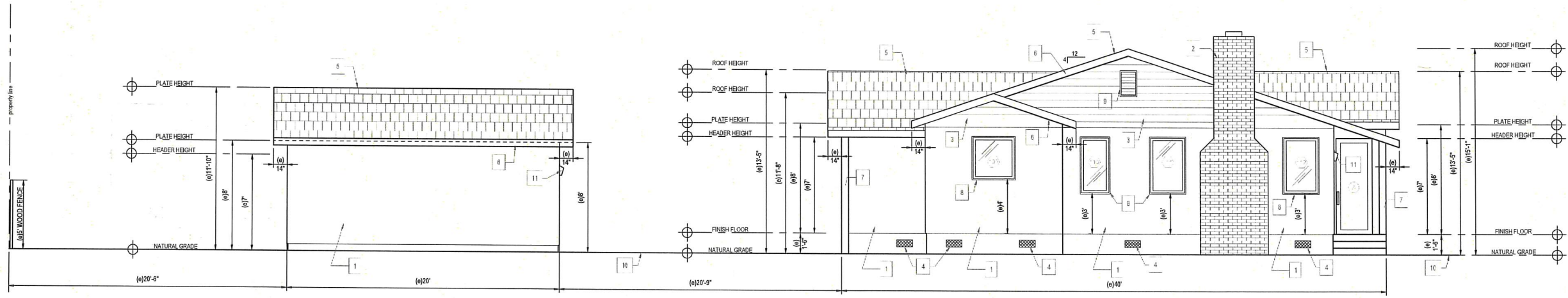
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SHEET TITLE
EXISTING ELEVATIONS
A3.1



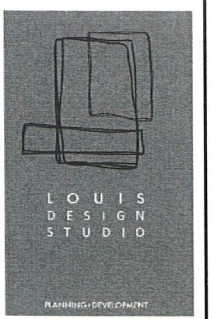
NEW SOUTH EAST ELEVATION
SCALE: 1/4" = 1'-0" DD

EXISTING MATERIAL FINISHES	
1	7/8" STUCCO FINISH (BEIGE)
2	RED BRICK - 2"X5" W/ 1/2" MORTAR JOINT
3	8" WOOD SIDING, PAINTED DARK BROWN
4	6"X14" UNDER FLOOR VENTS (WIRE MESH)
5	COMPOSITION ROOF - CLASS A - BROWN
6	2X FASCIA BOARD PAINTED DARK BROWN
7	4"X4" WOOD POST PAINTED, DARK BROWN
8	WINDOW TRIM PAINTED, DARK BROWN
9	2'X1' ATTIC VENT W/ 3" PLANTON ALL AROUND PAINTED DARK BROWN
10	CONCRETE DRIVEWAY
11	EXTERIOR LIGHT FIXTURES (PER Burbank Municipal Code 5-3-505)
12	NUMBERS/ADDRESS Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be visible and legible from the street or road fronting the property and from the alley or rear access way to the property. Numbers/addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke.



NEW NORTH EAST ELEVATION
SCALE: 1/4" = 1'-0" CC

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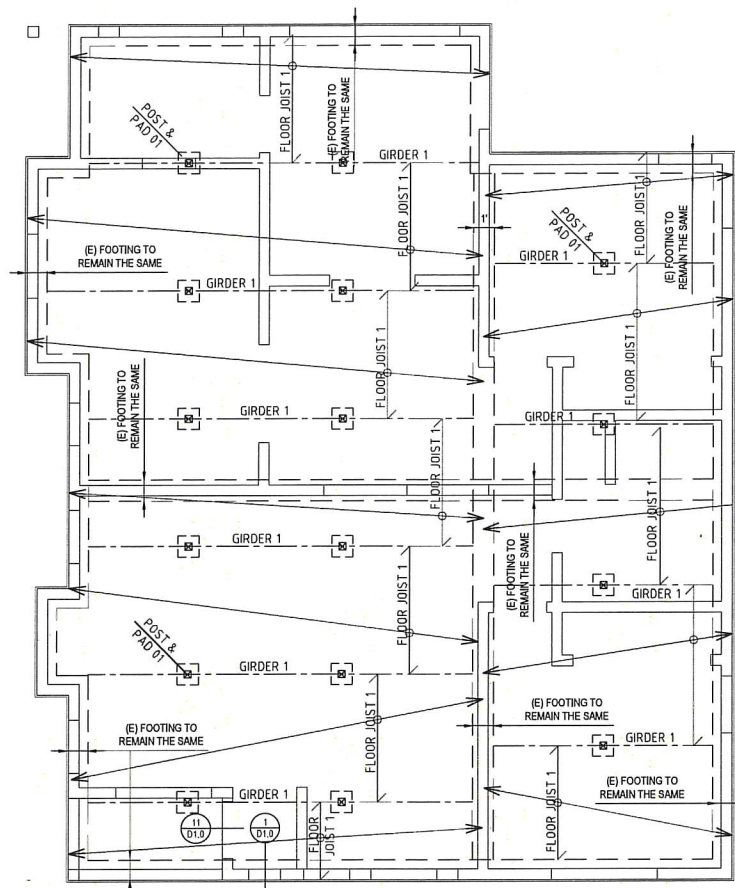
PROJECT ADDRESS
1100 W ANGELENO AVE
BURBANK, CA 91506

MARK	DATE	DESCRIPTION

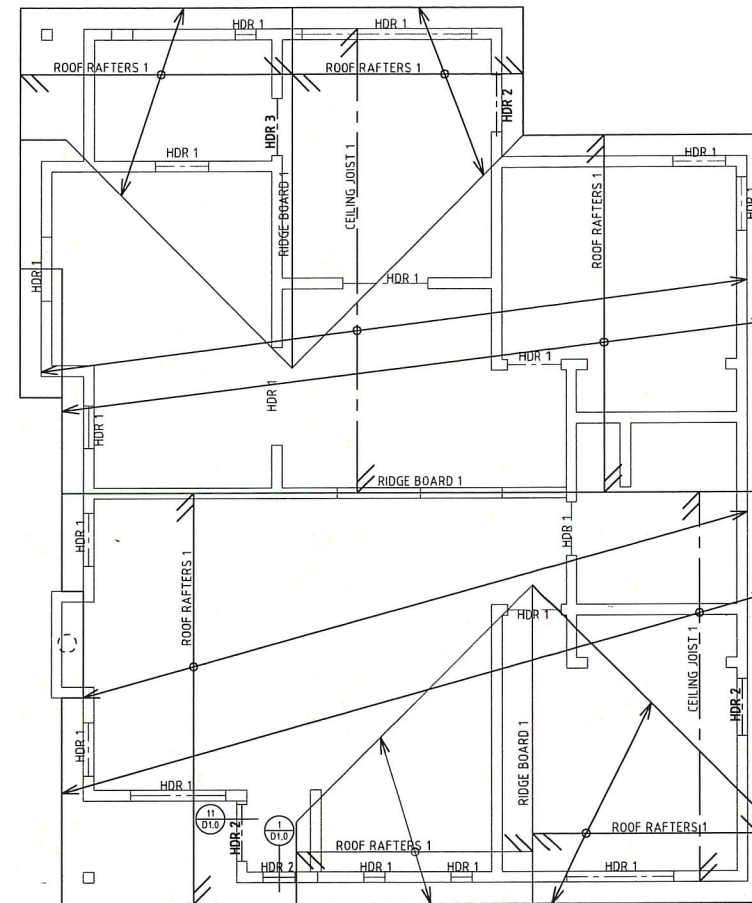
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CAD DWG FILE:
DRAWN BY: R.DUBEN
CHK'D BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

SHEET TITLE
NEW ELEVATIONS

A3.4



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PLANNING

STRUCTURAL MEMBERS	
IDENTIFICATION	DESCRIPTION
HDR 1	EXISTING TO REMAIN THE SAME
HDR 2	NEW 4 X 6 PER SCHEDULE SHEET D1.0
HDR 3	NEW 4 X 6 PER SCHEDULE SHEET D1.0
ROOF RAFTERS 1	EXISTING TO REMAIN THE SAME
CEILING JOISTS 1	EXISTING TO REMAIN THE SAME
RIDGE BOARD 1	EXISTING TO REMAIN THE SAME
FLOOR JOIST 1	EXISTING TO REMAIN THE SAME
GIRDER 1	EXISTING TO REMAIN THE SAME
PAD & POST 1	EXISTING TO REMAIN THE SAME



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CONSULTANT STAMP



PREPARED FOR:

PROJECT ADDRESS

1100 W ANGELENO AVE
BURBANK, CA 91506

MARK	DATE	DESCRIPTION

PROJECT NO: 22-0401
CAD DWG FILE:
DRAWN BY: R.DUBEN
CHK'D BY: L.ROMERO
DATE: 03/07/23
PLAN CHECK NO:

SHEET TITLE
FOUNDATION
AND FRAMING
PLAN

S1.1



Wood Frame Prescriptive Provisions for One-Story Residential Wood Construction
(2019 CRC w/ Burbank Amendments BMC 9-1)



The purpose of this Wood Frame Prescriptive Provisions (WFPP) Information Bulletin is to assist owners, builders and others to meet the general requirements and specifications prescribed in the 2019 California Residential Code (CRC) for building one- and two-family dwellings, townhouses, and attached or detached Accessory Dwelling Units (ADUs) not more than one story in height with light frame wood construction.

Light-frame wood frame construction is a type of construction where vertical and horizontal structural elements are primarily formed by a system of repetitive wood framing members. It is the least restrictive construction type permitted by the CRC. The WFPP Information Bulletin is for information and reference only and are not a substitute for accurate construction documents (i.e., drawings, plan specifications, etc.) prepared for each proposed construction project. Additional construction documents may be required when the scope of work exceeds the limits of light frame wood construction as prescribed by the CRC.

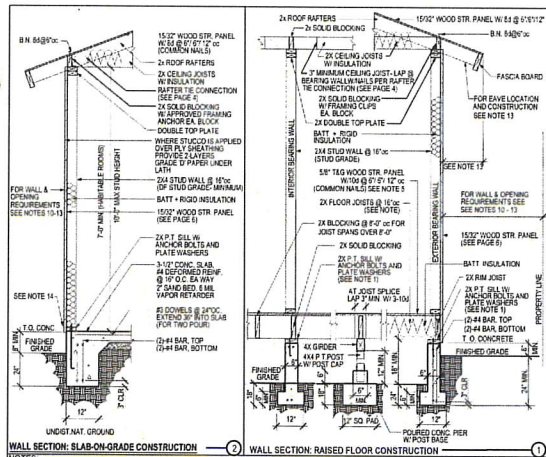
When portions of a building or structure are constructed of other than light frame wood construction, exceed the limits of this WFPP Information Bulletin, or as required by other local ordinances, these portions and the supporting load path shall be designed by a registered design professional licensed in the State of California. This WFPP Information Bulletin may not be suitable in all cases. Where the proposed construction is located on a site with slope steeper than 10% or has adverse soil conditions (e.g., expansive soil, liquefaction, flood hazard, etc.), a registered design professional licensed in the State of California should be consulted. The use of this WFPP Information Bulletin is permitted at the discretion of the Building Official on a case-by-case basis.

An automatic fire sprinkler system shall be installed in new one and two-family dwellings, and townhouses per CRC R313.2. Installation of a fire sprinkler system may also be required in additions and alterations, upon review from Burbank Fire Department.

All work must comply with the California Energy Code (CEC) requirements for the climate zone B for City of Burbank. Compliance Forms and Plans to be submitted.

For new construction and additions/alterations that increase the conditioned space, a minimum of 65-percent of construction and demolition waste shall be recycled or salvaged for reuse per 4.08.1 of the California Green Building Standards Code (CALGreen). Refer to Burbank Municipal Code for further requirements. For newly constructed one- and two-family dwellings with an attached private garage, provide accommodation for future installation of an electric vehicle charger per 4.106.4.1 of 2019 CALGreen Code.

It is the responsibility of the owner and/or builder to review the 2019 Existing Building Code to verify the minimum requirements for the structural strength, means of egress facilities, stability, sanitation, adequate lighting and ventilation and energy conservation requirements are met.



- Anchor bolts 1/2" x 14" embedded 7" and spaced maximum 6' with 1/2" x 3" x 3" plate washers, minimum 2 anchor bolts per location, located not more than 12" or less than 7" bolt diameters from each end of the piece.
- All foundation plates or sills and sleepers on a concrete or masonry slab, which is in direct contact with the slab, and sills that rest on concrete or masonry foundations shall be preservative treated wood (AWPA U1) and field cut ends, notches, and drilled holes shall be field treated in accordance with ANPMA 104. Fasteners (other than anchor bolts) to preservative treated wood or fire retardant treated wood shall be hot dip coated galvanized steel or stainless steel.
- Minimum concrete strength 2,500 psi.
- Stairing walls and braced wall panels require continuous footings.
- Where 2x12" thick T&G plywood is required, 2x4" joist spacing may be used.
- Where exterior walls are shear walls, wall framing and sheathing shall extend to the roof sheathing (See Page 6).
- Footings on or adjacent to slopes shall meet the requirements of R301.7.
- Walls separating units in townhouses shall be fire-resistance rated per R302.2 and provided with a parapet in accordance with R302.2.2. Walls separating two-family dwellings shall be fire-resistance rated per R302.2.
- New construction located in the Very High Fire Hazard Severity Zone (VHFHSS) must also incorporate the requirements of R321 into the design.
- Exterior walls of dwellings and accessory structures shall be 1-1/2" (non-sprinkled) or 1-3/4" (sprinkled) to the property line shall be 1-1/2" fire-resistance rated construction.
- No openings other than approved foundation vents shall be permitted in the exterior walls of dwellings and accessory buildings where the exterior wall is less than 3-ft to the property line.
- The area of exterior wall openings of non-sprinkled dwellings and accessory buildings located 2-1/2, 3-1/2, and 5-1/2 ft to the property line shall be limited to 20% of the wall area. Exterior wall openings and unbraced exterior walls are located 5-8 ft from non-sprinkled dwellings and 2-3-1/2 ft from sprinkled dwellings.
- When pipes or service vents occur, access shall be of 1-1/2" fire-resistance construction on the underside when located between 2-1/2 and 5-1/2 ft from the property line for non-sprinkled buildings and between 2-1/2 and 3-1/2 ft from the property line for sprinkled buildings. Disconnected gangways within 2-0 ft of a property line may have a maximum 4-inch access, provided the access does not extend over the property line and is allowed by the Zoning Code.
- Exterior gasket (patency) walls shall be provided with a corrosion resistant wrap conforming with R703.7.2.1
- Insulation shall meet the prescriptive requirements of 2019 California Energy Code, Table 150.1-A.

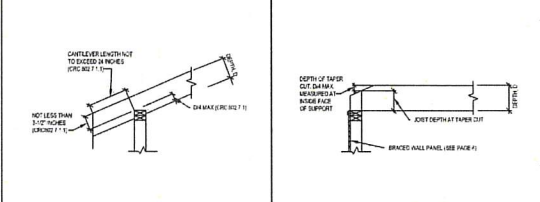
ALLOWABLE SPANS FOR DF #2 ROOF RAFTERS (DF-LARCH)				ALLOWABLE SPANS FOR DF #2 CEILING JOISTS (DF-LARCH)				ALLOWABLE SPANS FOR DF #2 FLOOR JOISTS (DF-LARCH)			
Light Ceiling Load: 10 psf Max. Roofing Load: 8 psf (Asphalt Shingles) Live Load: 20 psf (1.4 x 2.0) (T-R802.1.1)				Light Ceiling Load: 10 psf Live Load: 20 psf (1.4 x 2.0) (T-R802.1.1)				Light Ceiling Load: 10 psf Live Load: 40 psf (1.4 x 3.0) (T-R802.1.1)			
RAFTER SIZE	SPACING	ALLOWABLE SPAN	JOIST SIZE	SPACING	ALLOWABLE SPAN	JOIST SIZE	SPACING	ALLOWABLE SPAN	JOIST SIZE	SPACING	ALLOWABLE SPAN
2 X 8	12"	12'-7"	2 X 4	12"	8'-11"	2 X 8	16"	10'-0"	2 X 8	16"	10'-0"
2 X 8	16"	10'-0"	2 X 6	12"	12'-0"	2 X 8	24"	10'-0"	2 X 8	24"	10'-0"
2 X 10	16"	12'-0"	2 X 8	16"	10'-0"	2 X 10	16"	10'-0"	2 X 10	16"	10'-0"
2 X 12	16"	12'-7"	2 X 10	24"	10'-0"	2 X 12	24"	10'-0"	2 X 12	24"	10'-0"

ALLOWABLE SPANS FOR DF #2 EXTERIOR BEARING WALLS				ALLOWABLE SPANS FOR DF #2 INTERIOR BEARING WALLS			
Max. Roof and Ceiling Dead Load: 20 psf Max. Live Load: 20 psf (T-R802.7.1)				Max. Roof and Ceiling Dead Load: 20 psf Max. Live Load: 20 psf (T-R802.7.1)			
SIZE	2-1/2" Building Width	NJ	2-1/2" Building Width	SIZE	2-1/2" Building Width	NJ	2-1/2" Building Width
2 X 6	3'-0"	1	2 X 6	3'-0"	1	2 X 6	3'-0"
2 X 8	4'-0"	1	2 X 8	3'-0"	1	2 X 8	3'-0"
2 X 10	4'-0"	2	2 X 10	4'-0"	2	2 X 10	4'-0"
2 X 12	5'-7"	2	2 X 12	5'-7"	2	2 X 12	5'-7"
2 X 8	5'-0"	1	2 X 8	4'-9"	1	2 X 8	4'-9"
2 X 10	6'-0"	1	2 X 10	5'-7"	1	2 X 10	5'-7"
2 X 12	7'-0"	2	2 X 12	6'-7"	2	2 X 12	6'-7"

- Building width is perpendicular to ridge measured to exterior wall.
- Number of Jack Studs required to support each end of header.
- Building width is perpendicular to ridge measured to exterior wall.
- Number of Jack Studs required to support each end of header.

ALLOWABLE SPANS FOR DF #2 FLOOR GIRDERS SUPPORTING ONE FLOOR ONLY				RAFTER TIE CONNECTION			
Max. Floor Dead Load: 15 psf (T-R802.7(1))				Minimum number of 1/6d common nails at all other tie connections			
SIZE	2-1/2" Building Width	Roof Span (ft.)	Rafter Slope	Tie Spacing (in.)		Roof Span (ft.)	
2 X 6	3'-0"	12	3:12	16	5	8	8
2 X 8	4'-0"	12	3:12	16	4	8	8
2 X 10	5'-0"	12	4:12	16	3	8	8
2 X 12	6'-0"	12	5:12	16	3	8	8
2 X 12	6'-7"	12	5:12	24	4	7	8

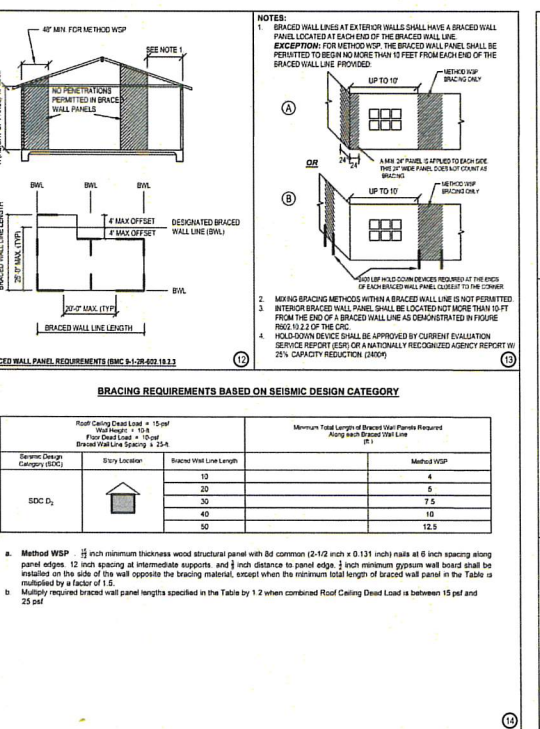
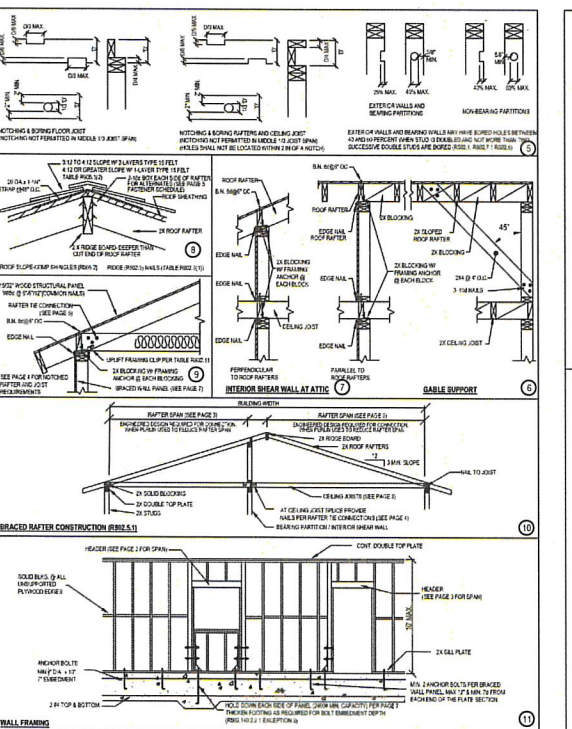
ALLOWABLE SPANS AND LOADS FOR WOOD STRUCTURAL PANEL SHEATHING AND SINGLE-FLOOR GRADES CONTINUOUS OVER TWO OR MORE SPANS WITH STRENGTH AND PERPENDICULAR TO SUPPORTS. NOTE: APPLIES TO PANELS 2" OR WIDER (TABLE R802.2.1(1))					
SHEATHING PANELS	EMERALD GRADES THICKNESS (INCHES)	MAXIMUM SPAN (INCHES)		LOADS (PSF)	
		EDGE SUPPORT	NO EDGE SUPPORT	TOTAL LOAD	LIVE LOAD
		ROOF	FLOOR		
24/0	3/8	24	20	40	30
24/16	7/16	24	24	40	40
24/10	1/2	22	28	40	30
24/20	5/8	40	30	40	30
24/24	3/4	48	35	45	35



- Building width is perpendicular to ridge measured to exterior walls.
- Number of Jack Studs required to support each end of header.
- Building width is perpendicular to ridge measured to exterior wall.
- Number of Jack Studs required to support each end of header.

ALLOWABLE SPANS FOR DF #2 EXTERIOR BEARING WALLS				ALLOWABLE SPANS FOR DF #2 INTERIOR BEARING WALLS			
Max. Roof and Ceiling Dead Load: 20 psf Max. Live Load: 20 psf (T-R802.7(1))				Max. Roof and Ceiling Dead Load: 20 psf Max. Live Load: 20 psf (T-R802.7(1))			
SIZE	2-1/2" Building Width	NJ	2-1/2" Building Width	SIZE	2-1/2" Building Width	NJ	2-1/2" Building Width
2 X 6	3'-0"	1	2 X 6	3'-0"	1	2 X 6	3'-0"
2 X 8	4'-0"	1	2 X 8	3'-0"	1	2 X 8	3'-0"
2 X 10	4'-0"	2	2 X 10	4'-0"	2	2 X 10	4'-0"
2 X 12	5'-7"	2	2 X 12	5'-7"	2	2 X 12	5'-7"
2 X 8	5'-0"	1	2 X 8	4'-9"	1	2 X 8	4'-9"
2 X 10	6'-0"	1	2 X 10	5'-7"	1	2 X 10	5'-7"
2 X 12	7'-0"	2	2 X 12	6'-7"	2	2 X 12	6'-7"

FASTENING SCHEDULE (PARTIAL) SEE RESULTS & BURBANK AMENDMENTS			
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION	EXPLANATION
1. 1" x 4" exterior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
2. 2" x 4" exterior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
3. 2" x 6" exterior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
4. 2" x 8" exterior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
5. 2" x 10" exterior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
6. 2" x 12" exterior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
7. 2" x 4" interior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
8. 2" x 6" interior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
9. 2" x 8" interior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
10. 2" x 10" interior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
11. 2" x 12" interior wall studs	16d common (12" x 12" x 12" x 12")	16" o.c.	
12. 2" x 4" ceiling joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
13. 2" x 6" ceiling joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
14. 2" x 8" ceiling joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
15. 2" x 10" ceiling joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
16. 2" x 12" ceiling joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
17. 2" x 4" floor joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
18. 2" x 6" floor joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
19. 2" x 8" floor joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
20. 2" x 10" floor joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
21. 2" x 12" floor joists	16d common (12" x 12" x 12" x 12")	16" o.c.	
22. 2" x 4" roof rafters	16d common (12" x 12" x 12" x 12")	16" o.c.	
23. 2" x 6" roof rafters	16d common (12" x 12" x 12" x 12")	16" o.c.	
24. 2" x 8" roof rafters	16d common (12" x 12" x 12" x 12")	16" o.c.	
25. 2" x 10" roof rafters	16d common (12" x 12" x 12" x 12")	16" o.c.	
26. 2" x 12" roof rafters	16d common (12" x 12" x 12" x 12")	16" o.c.	
27. 2" x 4" exterior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
28. 2" x 6" exterior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
29. 2" x 8" exterior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
30. 2" x 10" exterior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
31. 2" x 12" exterior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
32. 2" x 4" interior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
33. 2" x 6" interior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
34. 2" x 8" interior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
35. 2" x 10" interior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
36. 2" x 12" interior sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
37. 2" x 4" roof sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
38. 2" x 6" roof sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
39. 2" x 8" roof sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
40. 2" x 10" roof sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	
41. 2" x 12" roof sheathing	16d common (12" x 12" x 12" x 12")	16" o.c.	



FASTENING SCHEDULE (PARTIAL) SEE RESULTS & BURBANK AMENDMENTS			
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION	EXPLANATION
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