

Notes

GENERAL NOTES:

- All construction shall comply with the 2019 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.
- Separate permits may be required for mechanical, electrical, plumbing, grading, and demolition.
- All property lines, easements, and existing buildings have been indicated on this site plan.
- A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3305.4)
- Water shall be provided on the site and used to control dust.
- Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1)
- The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4, CRC R401.3)
- The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)

STORM WATER MANAGEMENT NOTES:

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or winds.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way.
- Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Schedule construction activity to reduce area and duration of soil exposed to erosion by wind, rain, runoff and vehicle tracking.

DEMOLITION NOTE:
All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site. If a Single-Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure. This may also be required for a flat lot as determined by the Building Official. Documents indicating rodent and insect abatement has been performed must be presented to the building inspector prior to start of demolition.

RESIDENTIAL DEMOLITION NOTE:
Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Appendix Chapter 1 Sec. 113.2) and/or revocation of the permit (CBC Appendix Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.

Residential
DIVERSION OF C&D DEBRIS: A minimum 85% of generated debris shall be recycled, reused, or diverted from the landfill. A \$50.35 administrative fee and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-1-10.2).

DRAWINGS:
SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-110.3.1.1)

SCREENING WILL BE REQUIRED FOR EQUIPMENT LOCATED IN FRONT AND SIDE YARDS. THE SCREENING WILL INCLUDE THE ELECTRICAL PANELS, A/C COMPRESSOR UNITS, GAS METERS, AND TRANSFORMERS. ALL SCREENING WILL SUBJECT TO APPROVAL BY PLANNING AND BUILDING DIVISIONS. AND BWP.

FOUNDATION NOTES:

- Concrete strength for foundations shall be 2,500 psi min.
- Minimum footing reinforcement shall be two #4 bar top and bottom.
- Minimum anchor bolt size and spacing shall be 5/8" dia. AB @ 72" oc. with 7" embedment, and 3" x 3" x 1/2" plate washers. Anchor bolts shall be located a maximum of 12" and 4 1/2" minimum from the end of the plate.

Applicable Codes

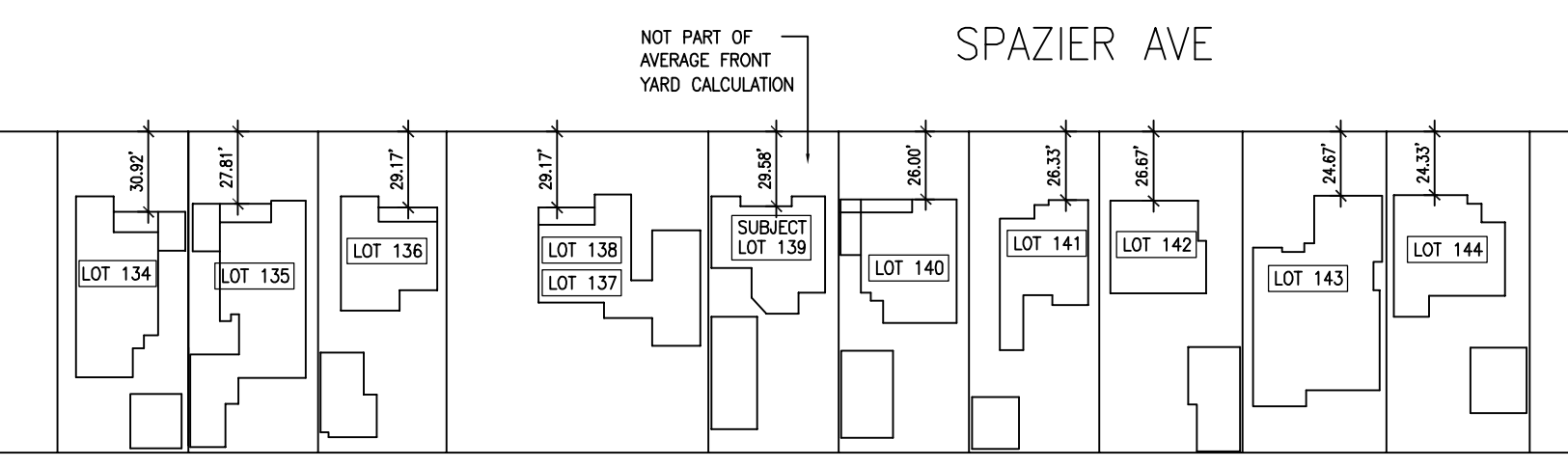
TITLE 9, CHAPTER 1, OF THE BURBANK MUNICIPAL CODE

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) AND BUILDING ENERGY EFFICIENCY STANDARDS

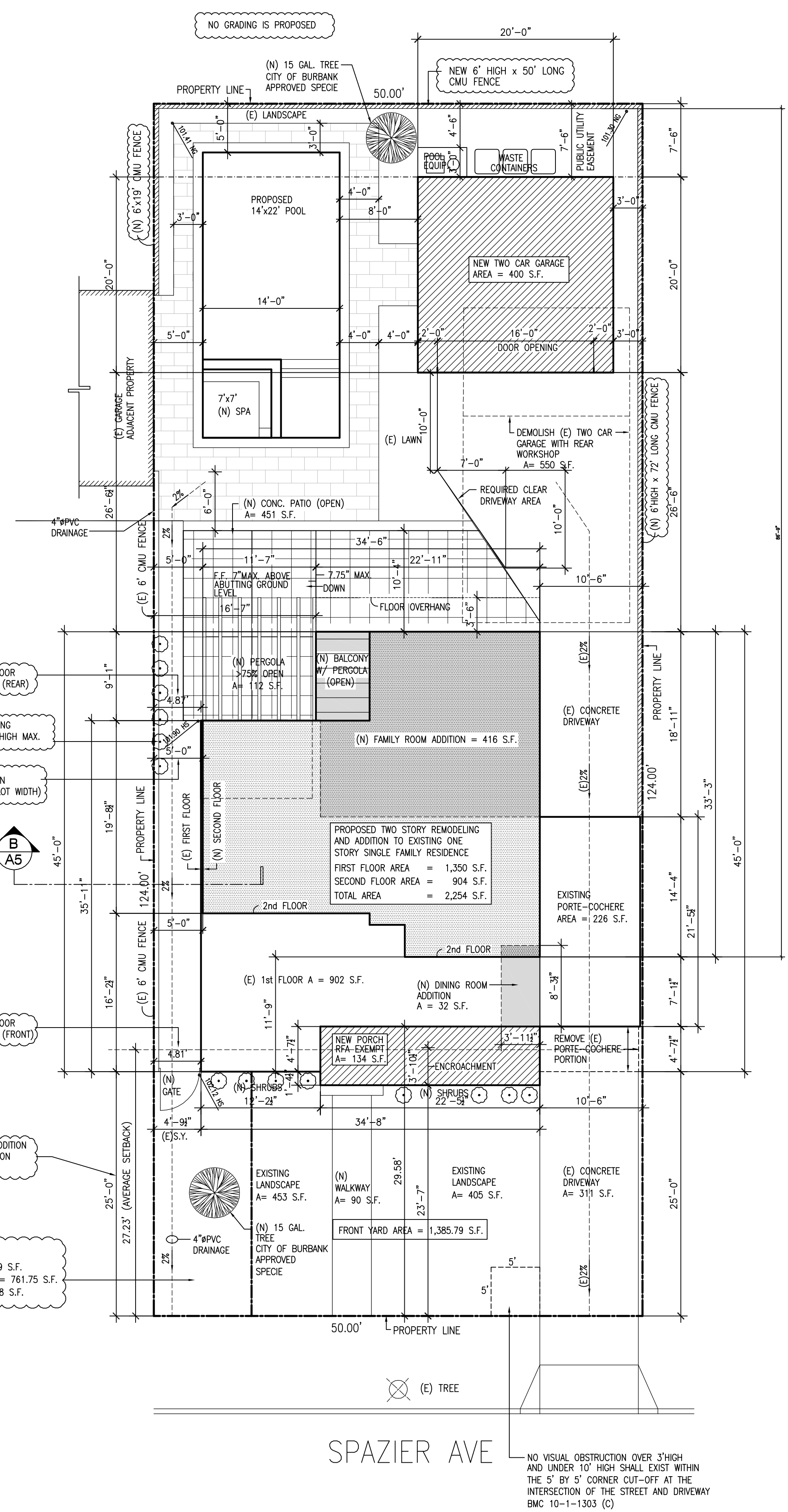
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A6	NEW GARAGE PLANS

LOT NUMBER	FRONT YARD
134	30.92'
135	27.81'
136	29.17'
137-138	29.17'
139	N/A
140	26.00'
141	26.33'
142	26.67'
143	24.67'
144	24.33'
TOTAL	245.07'
PREVAILING	= 245.07/9 = 27.23'



APPROVED HOURS OF CONSTRUCTION ARE:
 MONDAY TO FRIDAY 7:00 AM TO 7:00 PM
 SATURDAY 8:00 AM TO 5:00 PM
 NO CONSTRUCTION IS PERMITTED BY CONTRACTORS SUBCONTRACTORS AFTER HOURS, ON SUNDAY OR ON CITY HOLIDAYS WITHOUT PRIOR WRITTEN REQUEST AND APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.



No.	Revisions / Submissions	Date
1	PRELIMINARY DESIGN	11/05/19

Drawing title:

**General Notes and
Door & Window
Schedule**

DATE : OCTOBER 2019

SCALE : AS SHOWN

DRAWN : VD

JOB : V/R 1943

Sheet

A1.2

DOOR SCHEDULE

SYM. ○	SIZE W/H	TYPE	REMARKS	MANUFACTURER	U-FACTOR	SHGC	ORIENTATION
A	3'-0"x6'-8"	SOLID WOOD FRONT DOOR, MAHOGANY WITH INSULATED TEMPERED GLASS	EXTERIOR, KEY LOCK AND DEADBOLT	MAI DOORS	-	-	NORTHWEST
B	14'-0"x6'-8"	HIGH DENSITY FIBERGLASS, DUAL GLAZING MULTI-SLIDE DOOR	EXTERIOR, KEY LOCK	MARVIN SIGNATURE ULTIMATE	0.-	0.-	SOUTHEAST
C	2'-8"x6'-8"	SINGLE, SWINGING, FRENCH DOOR DUAL GLAZING, TEMPERED	EXTERIOR, KEY LOCK AND DEADBOLT	MARVIN SIGNATURE ULTIMATE	0.-	0.-	SOUTHEAST
D	2'-8"x6'-8" 2'-0"x6'-8"	SINGLE, SWINGING, FRENCH DOOR W/ SIDELIGHT DUAL GLAZING, TEMPERED	EXTERIOR, KEY LOCK AND DEADBOLT 5'-0"x6'-8" UNIT	MARVIN SIGNATURE ULTIMATE	-	-	NORTHEAST
E	2'-8"x6'-8"	WOOD, SWINGING DOOR WITH TEMPERED DUAL GLASS WINDOW	EXTERIOR, KEY LOCK AND DEADBOLT	-	0.-	0.-	NORTHEAST
F	2'-8"x6'-8"	SOLID CORE WOOD, INTERIOR	PRIVACY SET BEDROOMS AND BATHROOMS	-	-	-	-
G	2'-8"x6'-8"	SOLID CORE WOOD, INTERIOR	PASSAGE SET	-	-	-	-
H	2'-8"x6'-8"	TEMPERED GLASS, PIVOT SHOWER DOOR	-	-	-	-	-
I	2'-8"x6'-8"	SOLID CORE WOOD, DOUBLE DOOR	PULL SET WITH MAGNET DOOR CATCH	-	-	-	-
J	12'-4"x6'-8" UNIT	6'-0"x6'-8" DOUBLE FRENCH DOORS WITH (2) 3'-0"x6'-8" SIDELIGHTS	EXTERIOR, KEY LOCK AND DEADBOLT	MARVIN SIGNATURE ULTIMATE	-	-	NORTHEAST (GARAGE)
K	16'-0"x7'-0"	SECTIONAL, INSULATED WITH WINDOWS	AUTOMATIC GARAGE OPENER	CLOPAY, VALUE SERIES	-	-	NORTHWEST (GARAGE)

SAFETY GLAZING (TEMPERED GLAZING) IS REQUIRED FOR THE FOLLOWING:

- A) WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR. [CRC R308.4.2 ITEM 1]
- B) WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN SWINGING DOOR. [CRC R308.4.2 ITEM 2]
- C) GLAZING LESS THAN 60" ABOVE A SHOWER OR TUB FLOOR [CRC R308.4.5]
- D) GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE THE STAIRWAY, LANDINGS, AND RAMPS. [CRC R308.4.6]
- E) GLAZING ADJACENT TO THE STAIRWAY BOTTOM LANDING WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE SAFETY GLAZING [CRC R308.4.7]

NOTE:

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT FINAL FINAL INSPECTION HAS BEEN COMPLETED.

WINDOW SCHEDULE

SYM. ○	SIZE W/H	TYPE			MANUFACTURER	LOCATION	U-FACTOR	SHGC	ORIENTATION
		OPERATION	GLAZING TYPE	MATERIAL					
FIRST FLOOR WINDOWS									
1	3'-0"x4'-2"	SINGLE CASEMENT	DUAL GLAZING TEMPERED, EGRESS	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	BEDROOM 1	0.-	0.-	NORTHWEST
2	9'-0"x5'-0"	CASEMENT-FIXED-CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	DINING ROOM	0.-	0.-	NORTHWEST
3	4'-0"x3'-0"	DOUBLE CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	KITCHEN	0.-	0.-	SOUTHWEST
4	2'-6"x5'-6"	CASEMENT	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	FAMILY ROOM	0.-	0.-	SOUTHWEST
5	5'-0"x5'-0"	DOUBLE CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	FAMILY ROOM	0.-	0.-	NORTHEAST
6	2'-0"x1'-3"	AWNING	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	BATHROOM 1	0.-	0.-	NORTHEAST
7	3'-0"x4'-0"	CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	BEDROOM 1	0.-	0.-	NORTHEAST
SECOND FLOOR WINDOWS									
8	6'-0"x1'-6"	DOUBLE CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	BEDROOM 2	0.-	0.-	NORTHEAST
9	2'-6"x3'-0"	CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	BATHROOM 2	0.-	0.-	NORTHWEST
10	3'-0"x3'-6"	CASEMENT	DUAL GLAZING	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	MASTER BATHROOM (TOILET ROOM)	0.-	0.-	NORTHWEST
11	3'-0"x3'-6"	CASEMENT	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	MASTER BATHROOM	0.-	0.-	NORTHWEST
12	4'-0"x2'-6"	DOUBLE CASEMENT	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	MASTER BATHROOM	0.-	0.-	SOUTHWEST
13	2'-6"x5'-6"	CASEMENT (TOP) FIX (BOTTOM)	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	MASTER BEDROOM	0.-	0.-	SOUTHWEST
14	6'-0"x7'-0"	DBL. CASEMENT (TOP) FIX (BOTTOM)	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	MASTER BEDROOM	0.-	0.-	SOUTHEAST
15	3'-0"x4'-0"	CASEMENT	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	STAIRWAY LANDING SECOND FLOOR	0.-	0.-	SOUTHEAST
16	3'-0"x5'-6"	FIX	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	STAIRWAY SECOND FLOOR	0.-	0.-	SOUTHEAST
17	3'-0"x8'-6"	FIX	DUAL GLAZING TEMPERED	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	STAIRWAY SECOND FLOOR	0.-	0.-	NORTHEAST
18	4'-0"x3'-6"	DOUBLE CASEMENT	DUAL GLAZING EGRESS	WOOD WITH ALUMIN. CLADDING	MARVIN, SIGNATURE MODERN	STAIRWAY SECOND FLOOR	0.-	0.-	NORTHEAST

No.	Revisions / Submissions	Date
1	PRELIMINARY DESIGN	11/05/19

Drawing title:

Proposed Elevations

DATE : OCTOBER 2019

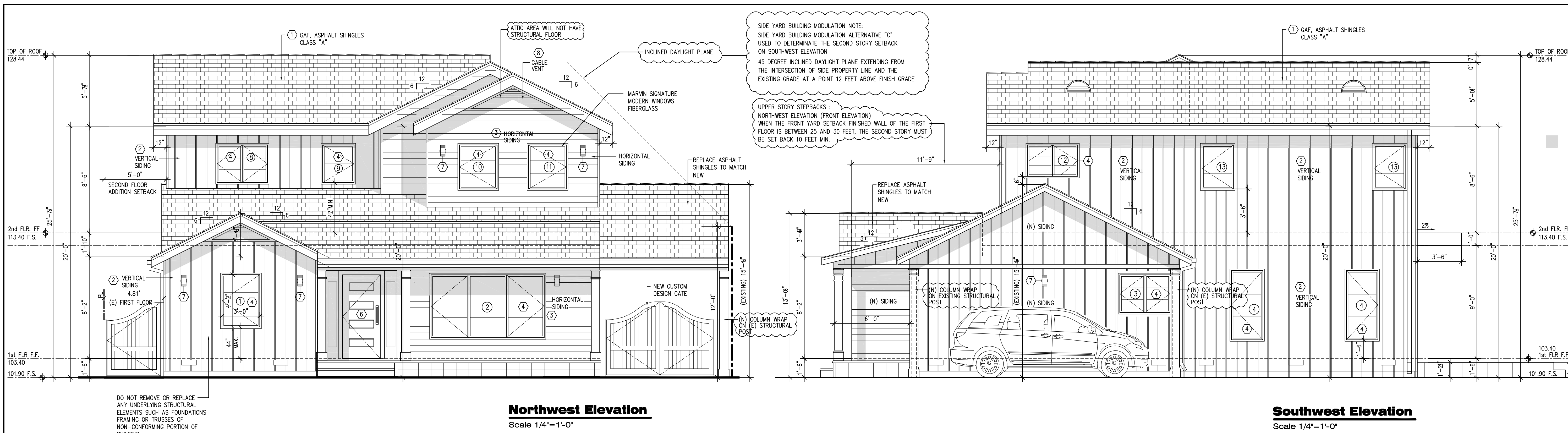
SCALE : AS SHOWN

DRAWN : VD

JOB : VR 1943

Sheet

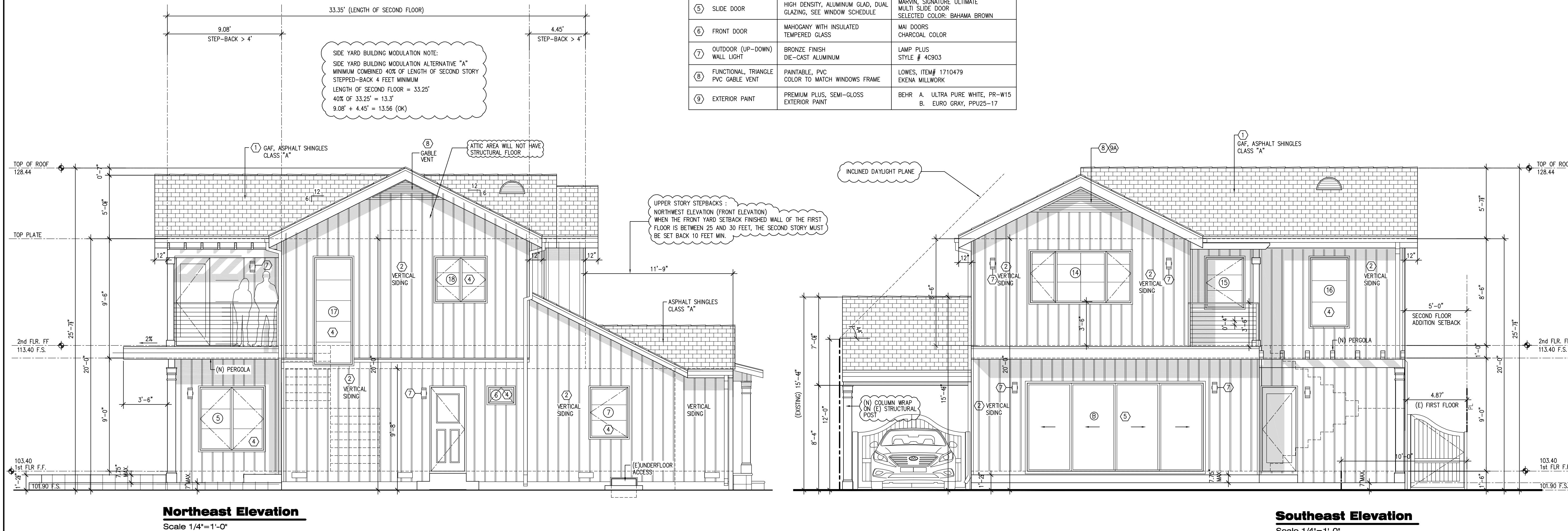
A4



SIDE YARD BUILDING MODULATION NOTE:
SIDE YARD BUILDING MODULATION ALTERNATIVE "C"
USED TO DETERMINE THE SECOND STORY SETBACK
ON SOUTHWEST ELEVATION
45 DEGREE INCLINED DAYLIGHT PLANE EXTENDING FROM
THE INTERSECTION OF SIDE PROPERTY LINE AND THE
EXISTING GRADE AT A POINT 12 FEET ABOVE FINISH GRADE

UPPER STORY STEPBACKS:
NORTHWEST ELEVATION (FRONT ELEVATION)
WHEN THE FRONT YARD SETBACK FINISHED WALL OF THE FIRST
FLOOR IS BETWEEN 25 AND 30 FEET, THE SECOND STORY MUST
BE SET BACK 10 FEET MIN.

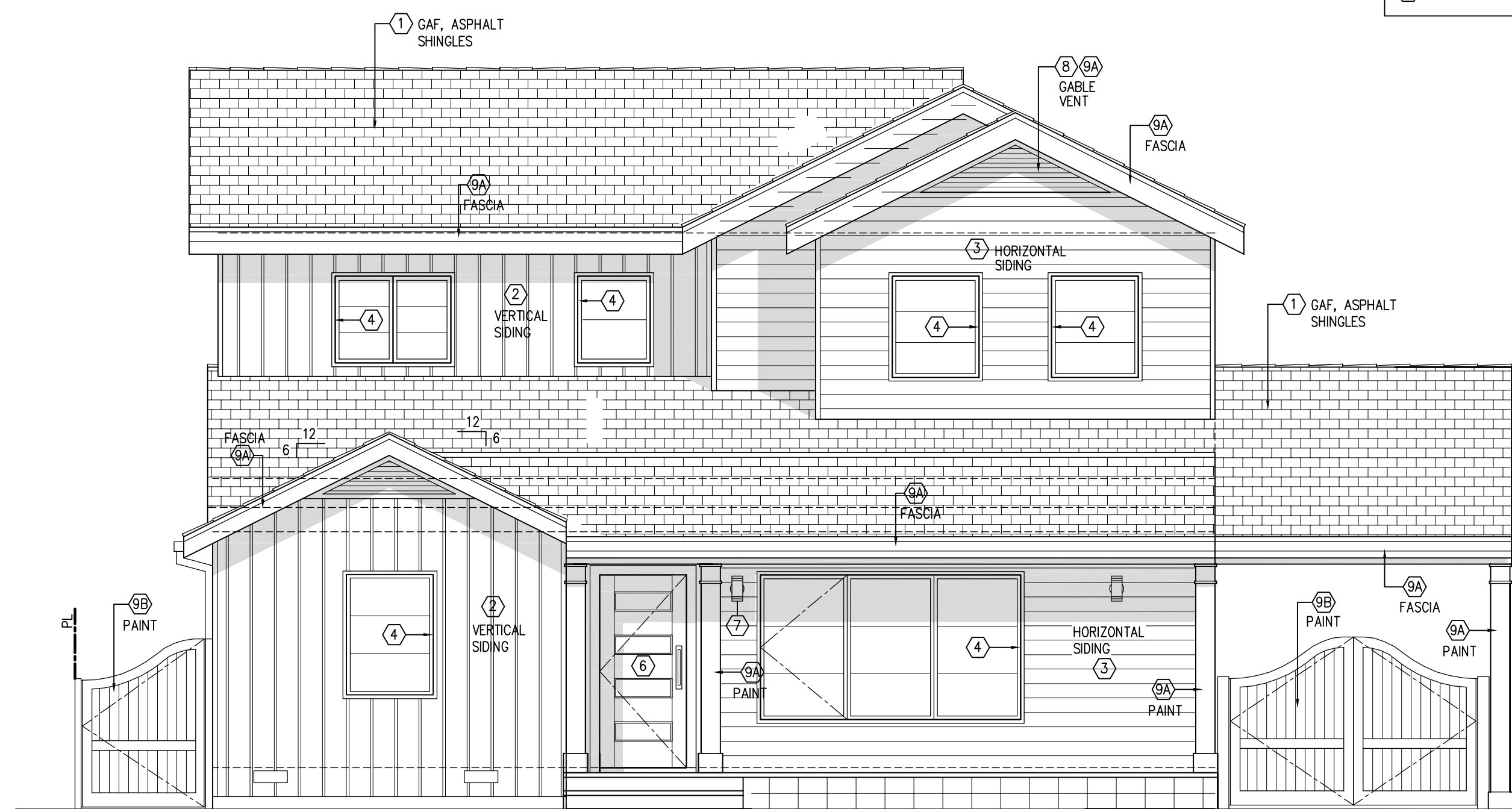
ELEVATIONS NOTES		
ELEMENT	MATERIAL	MANUFACTURER
① ROOFING	ASPHALT SHINGLES CLASS "A"	GAF, TIMBERLINE, HDZ CHARCOAL, ICC ES 1475
② WALL VERTICAL SIDING	FIBER CEMENT PANEL	JAMES HARDIE FIBER CEMENT VERTICAL SIDING PANEL, ARCTIC WHITE ICC# 2290
③ WALL HORIZONTAL SIDING	FIBER CEMENT ARTISAN LAP SIDING	JAMES HARDIE FIBER CEMENT, ARCTIC WHITE LAP SIDING, ICC# 2290
④ WINDOWS	HIGH DENSITY, ALUMINUM/GLAZ, DUAL GLAZING, SEE WINDOW SCHEDULE	MARVIN, SIGNATURE COLLECTION MODERN, SEE WINDOW SCHEDULE SELECTED COLOR: BAHAMA BROWN
⑤ SLIDE DOOR	HIGH DENSITY, ALUMINUM GLAZ, DUAL GLAZING, SEE WINDOW SCHEDULE	MARVIN, SIGNATURE ULTIMATE MULTI SLIDE DOOR SELECTED COLOR: BAHAMA BROWN
⑥ FRONT DOOR	MAHOGANY WITH INSULATED TEMPERED GLASS	MAI DOORS CHARCOAL COLOR
⑦ OUTDOOR (UP-DOWN) WALL LIGHT	BRONZE FINISH DIE-CAST ALUMINUM	LAMP PLUS STYLE # 4C903
⑧ FUNCTIONAL, TRIANGLE PVC GABLE VENT	PAINTABLE, PVC COLOR TO MATCH WINDOWS FRAME	LOWES, ITEM# 1710479 EKENA MILLWORK
⑨ EXTERIOR PAINT	PREMIUM PLUS, SEMI-GLOSS EXTERIOR PAINT	BEHR A. ULTRA PURE WHITE, PR-W15 B. EURO GRAY, PPU25-17



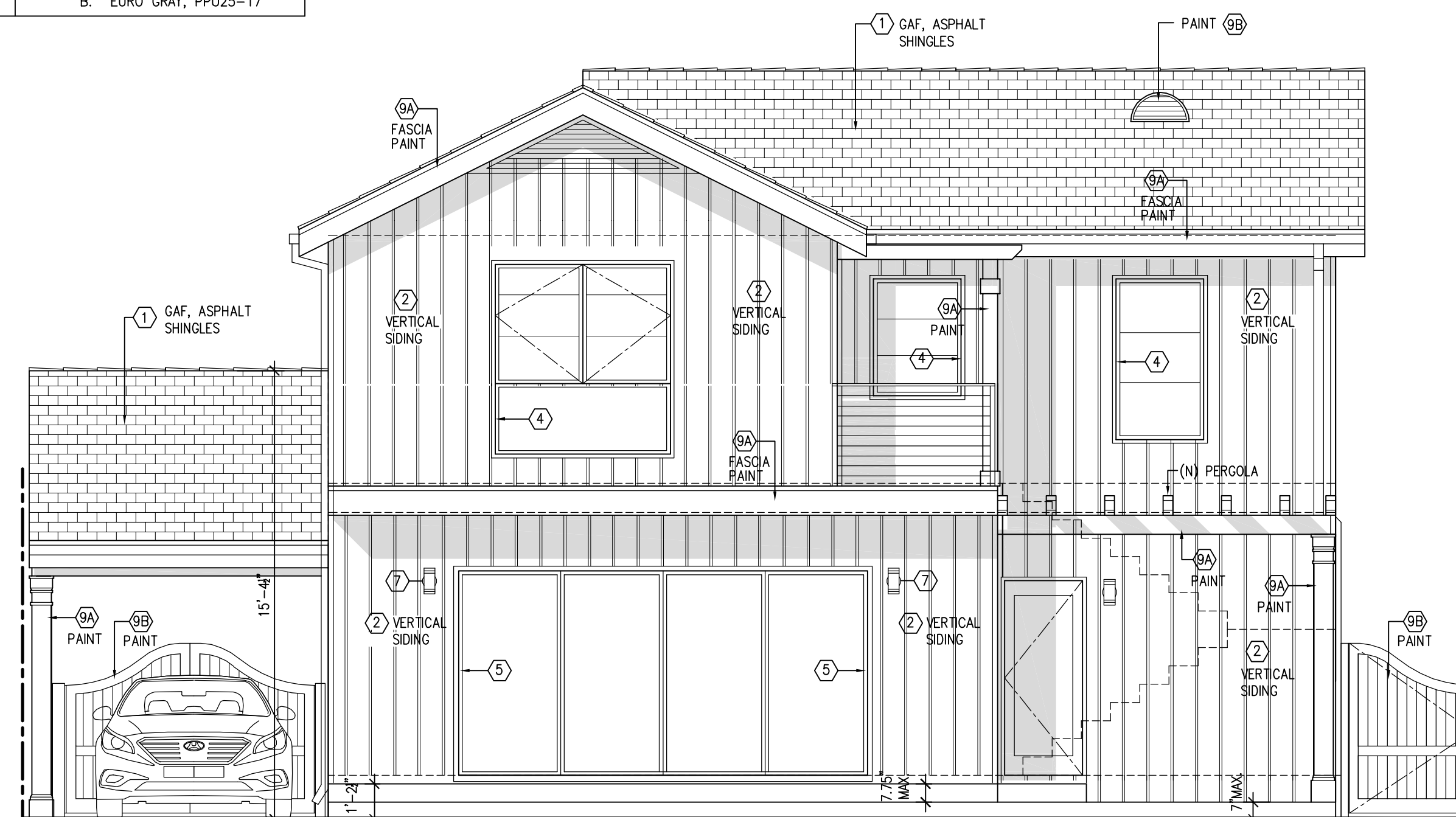
SIDE YARD BUILDING MODULATION NOTE:
SIDE YARD BUILDING MODULATION ALTERNATIVE "A"
MINIMUM COMBINED 40% OF LENGTH OF SECOND STORY
STEPPED-BACK 4 FEET MINIMUM
LENGTH OF SECOND FLOOR = 33.25'
40% OF 33.25' = 13.3'
9.08' + 4.45' = 13.56' (OK)

UPPER STORY STEPBACKS:
NORTHWEST ELEVATION (FRONT ELEVATION)
WHEN THE FRONT YARD SETBACK FINISHED WALL OF THE FIRST
FLOOR IS BETWEEN 25 AND 30 FEET, THE SECOND STORY MUST
BE SET BACK 10 FEET MIN.

MATERIALS KEY--NOTES		
ELEMENT	MATERIAL	MANUFACTURER
① ROOFING	ASPHALT SHINGLES CLASS "A"	GAF, TIMBERLINE, HDZ CHARCOAL, ICC ES 1475
② WALL VERTICAL SIDING	FIBER CEMENT PANEL	JAMES HARDIE FIBER CEMENT VERTICAL SIDING PANEL, ARCTIC WHITE ICC# 2290
③ WALL HORIZONTAL SIDING	FIBER CEMENT ARTISAN LAP SIDING	JAMES HARDIE FIBER CEMENT, ARCTIC WHITE LAP SIDING, ICC# 2290
④ WINDOWS	HIGH DENSITY, ALUMINUM/GLAZ, DUAL GLAZING, SEE WINDOW SCHEDULE	MARVIN, SIGNATURE COLLECTION MODERN, SEE WINDOW SCHEDULE SELECTED COLOR: BAHAMA BROWN
⑤ SLIDE DOOR	HIGH DENSITY, ALUMINUM GLAZ, DUAL GLAZING, SEE WINDOW SCHEDULE	MARVIN, SIGNATURE ULTIMATE MULTI SLIDE DOOR SELECTED COLOR: BAHAMA BROWN
⑥ FRONT DOOR	MAHOGANY WITH INSULATED TEMPERED GLASS	MAI DOORS CHARCOAL COLOR
⑦ OUTDOOR (UP-DOWN) WALL LIGHT	BRONZE FINISH DIE-CAST ALUMINUM	LAMP PLUS STYLE # 4C903
⑧ FUNCTIONAL, TRIANGLE PVC GABLE VENT	PAINTABLE, PVC COLOR TO MATCH WINDOWS FRAME	LOWES, ITEM# 1710479 EKENA MILLWORK
⑨ EXTERIOR PAINT	PREMIUM PLUS, SEMI-GLOSS EXTERIOR PAINT	BEHR A. ULTRA PURE WHITE, PR-W15 B. EURO GRAY, PPU25-17



MATERIAL COLORS
Northwest Elevation
Scale 1/4"=1'-0"



MATERIAL COLORS
Southeast Elevation
Scale 1/4"=1'-0"

TWO STORY ADDITION AND REMODELING
TO EXISTING ONE STORY SINGLE FAMILY
RESIDENCE
348 W. SPAZIER AVE., BURBANK CA 91506

MATERIAL COLOR PALETTES



Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle) (21-Pieces) by GAF > [Shop the Collection](#)

SIDING COLORS

Arctic White

Request a Quote > Request a Sample >

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

James Hardie 48-in x 120-in ColorPlus-HZ10 HardiePanel

Arctic White Stucco Vertical Siding

HARDIEPANEL® VERTICAL SIDING PRODUCTS

Arctic White Stucco Vertical Siding

SIDING COLORS

Arctic White

Request a Quote > Request a Sample >

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

HARDIEPLANK® LAP SIDING PRODUCTS

HARDIEPLANK® LAP SIDING PRODUCTS

MARVIN SIGNATURE™ ULTIMATE

Clad Color Options

Selected: Bahama Brown

Bahama Brown

④ ⑤ WINDOWS AND SLIDING DOOR COLOR

Ultra Pure White® PR-W15

Euro Gray PPU25-17

BEHR PREMIUM PLUS® Exterior Paints

⑨ EXTERIOR PAINT

Project Title
RESIDENTIAL REMODELING

OWNER : DIEGO AND JACKIE CEVALLOS
TEL. (818) 238-5315

ADDRESS : 348 W. SPAZIER AVE.
BURBANK CA 91506

No.	Revisions / Submissions	Date
1	PRELIMINARY DESIGN	11/05/19

Drawing title:
Materials Color Palette

DATE : OCTOBER 2019
SCALE : AS SHOWN
DRAWN : VD
JOB : VR 1943

Sheet
A4.1

TWO STORY ADDITION AND REMODELING
TO EXISTING ONE STORY SINGLE FAMILY
RESIDENCE
348 W. SPAZIER AVE., BURBANK CA 91506

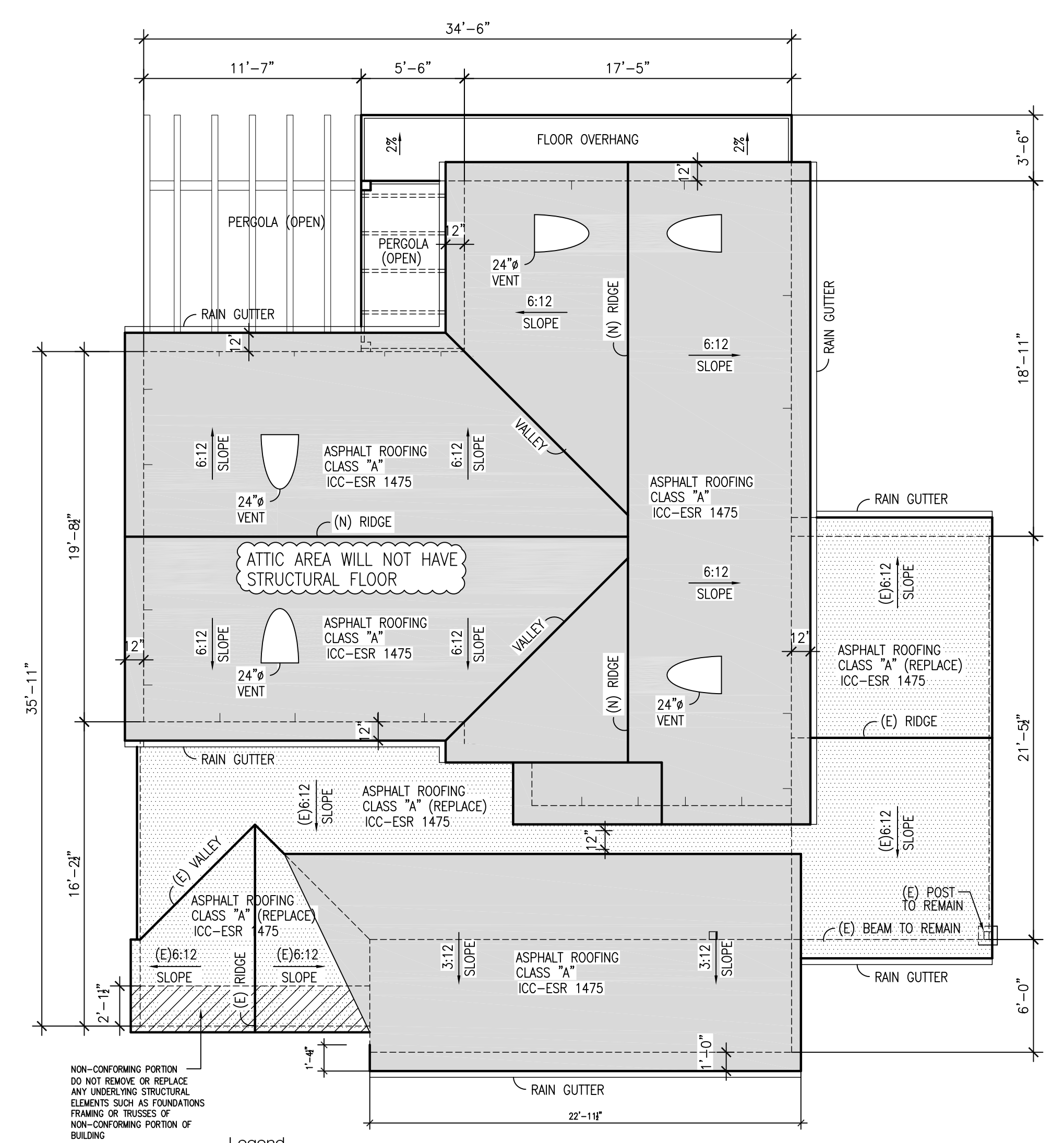
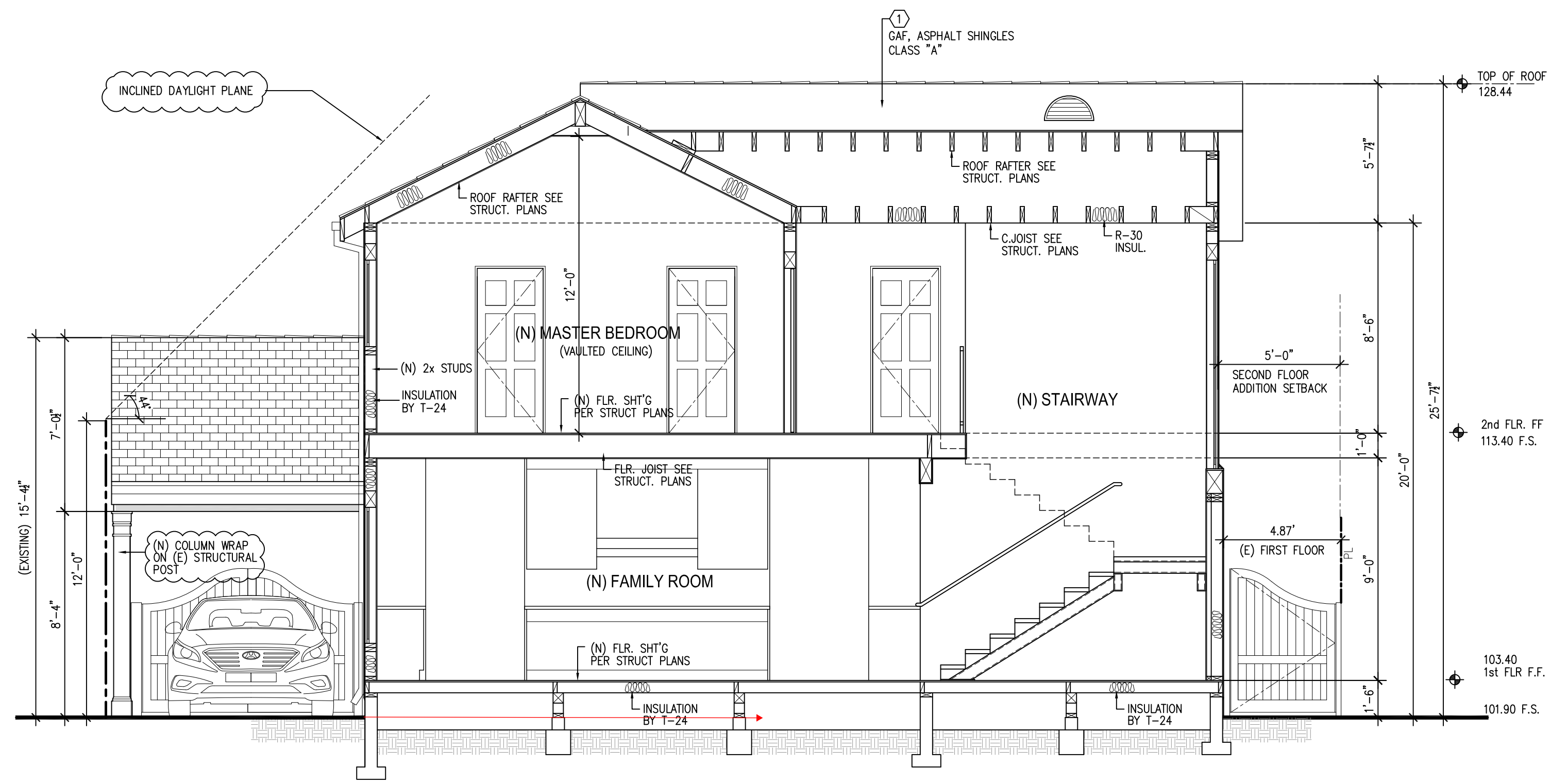
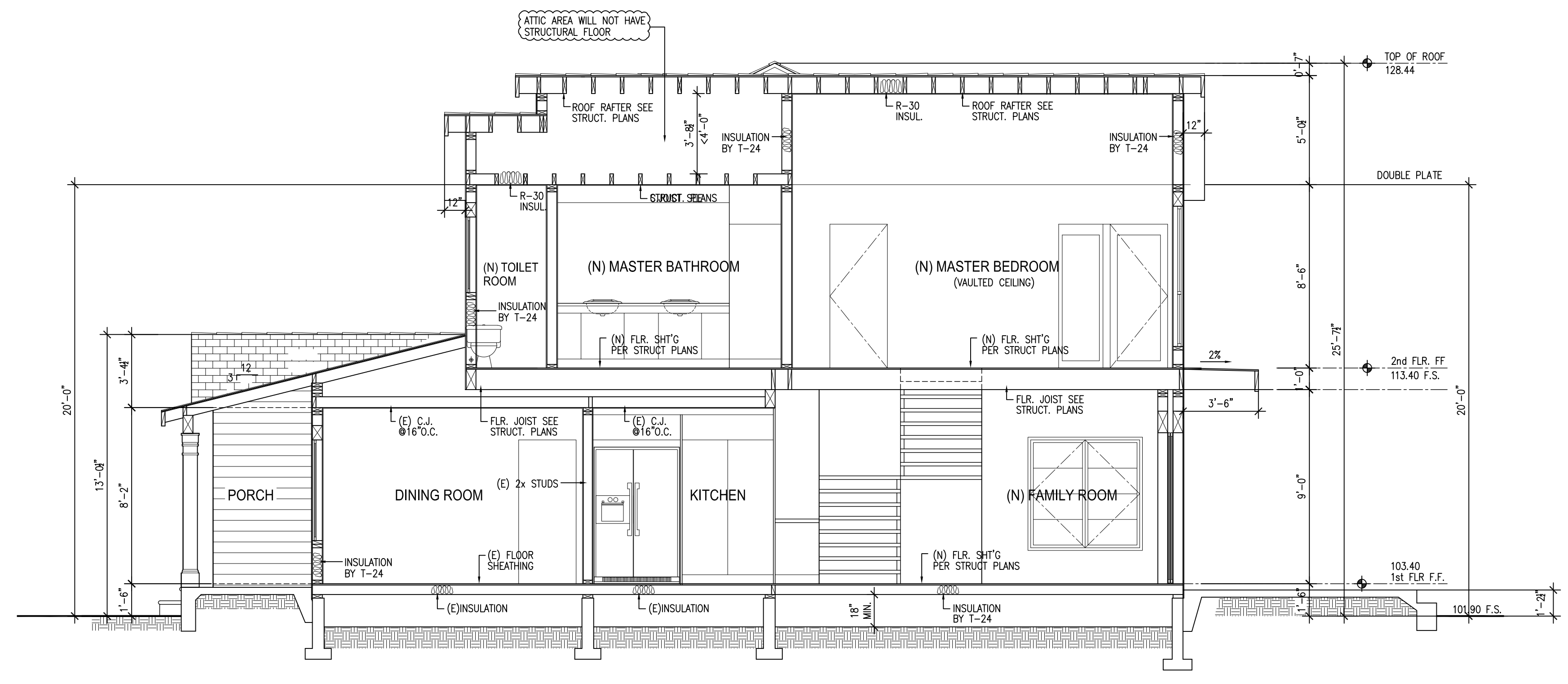
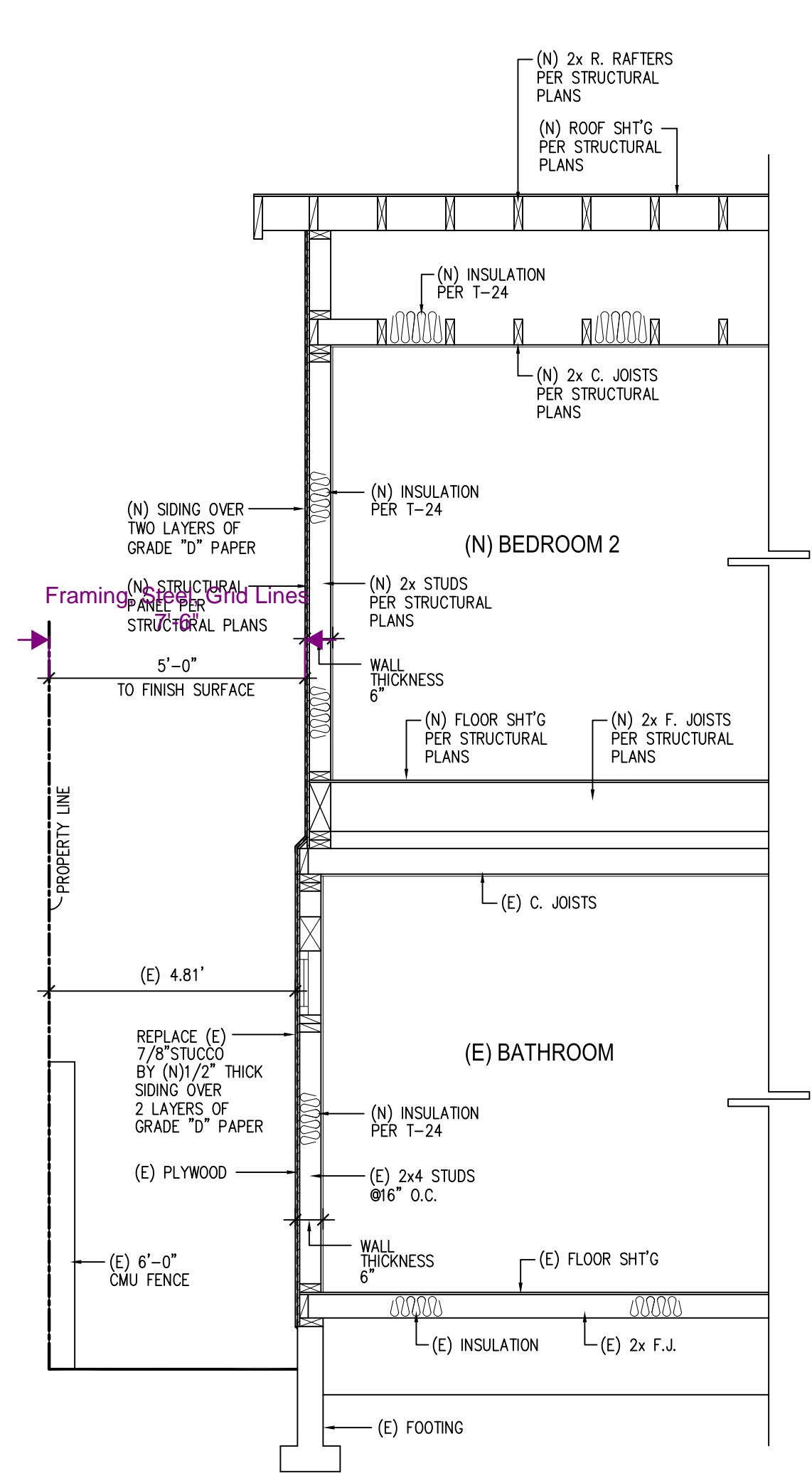
Project Title
RESIDENTIAL REMODELING
OWNER : DIEGO AND JACKIE CEVALLOS
TEL. (818) 238-5315
ADDRESS : 348 W. SPAZIER AVE.
BURBANK CA 91506

No.	Revisions / Submissions	Date
1	PRELIMINARY DESIGN	11/05/19

Drawing title:
Proposed Sections and Roof Plan

DATE : OCTOBER 2019
SCALE : AS SHOWN
DRAWN : VD
JOB : VR 1943

Sheet
A5



- NON-CONFORMING PORTION DO NOT REMOVE OR REPLACE ANY UNDERLYING STRUCTURAL ELEMENTS SUCH AS FOUNDATIONS, FRAMING OR TRUSSES OF NON-CONFORMING PORTION OF BUILDING.
- Legend**
- NEW ROOF
 - EXISTING ROOF FRAMING TO REMAIN
 - REPLACE EXISTING ROOFING TO MATCH NEW
 - NON-CONFORMING ROOF PORTION

TWO STORY ADDITION AND REMODELING
TO EXISTING ONE STORY SINGLE FAMILY
RESIDENCE
348 W. SPAZIER AVE., BURBANK CA 91506

Project Title
RESIDENTIAL REMODELING

OWNER : DIEGO AND JACKIE CEVALLOS
TEL. (818) 238-5315

ADDRESS : 348 W. SPAZIER AVE.
BURBANK CA 91506

No.	Revisions / Submissions	Date
1	PRELIMINARY DESIGN	11/05/19

Drawing title:

**Proposed
Two car garage**

DATE : OCTOBER 2019

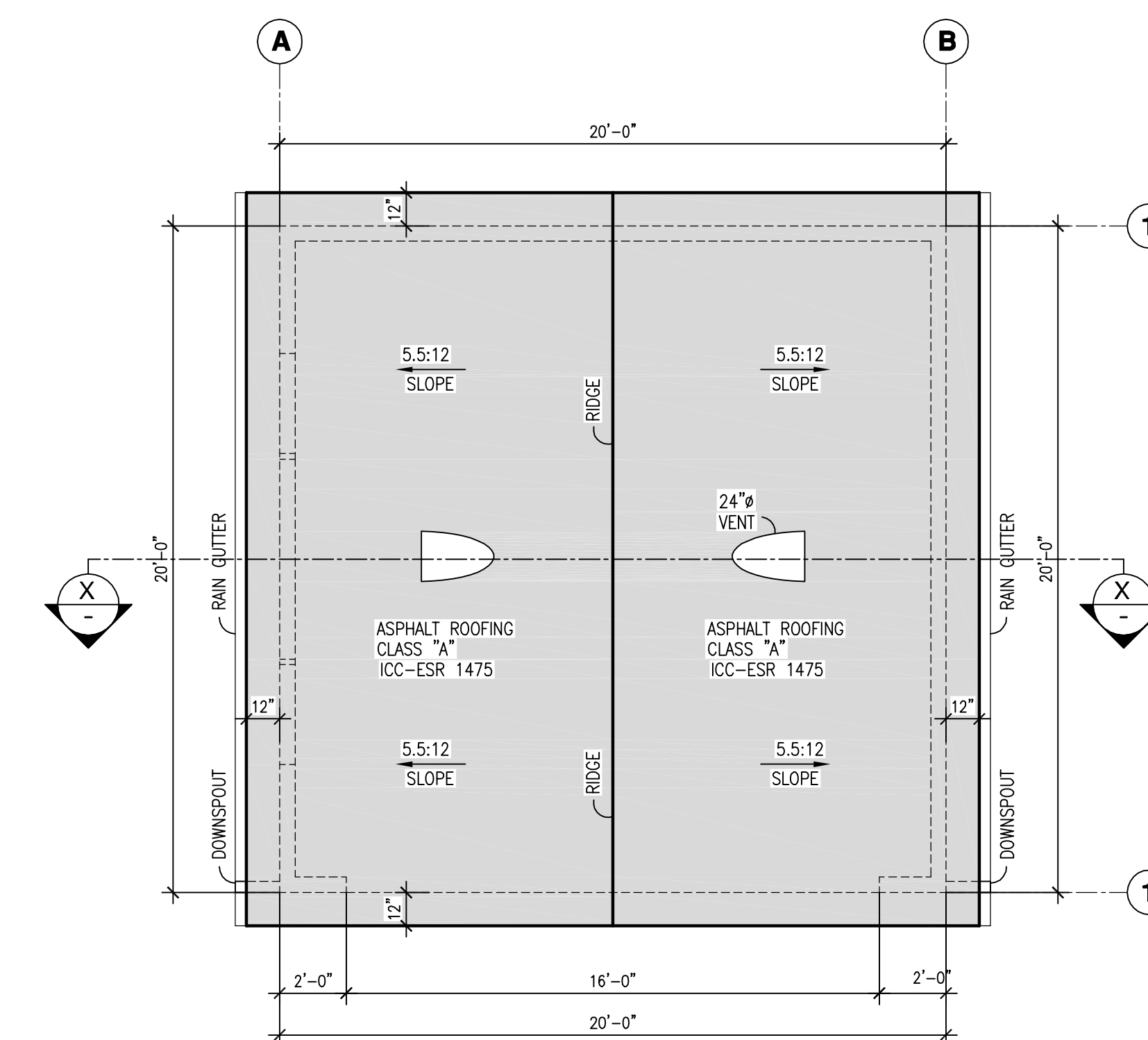
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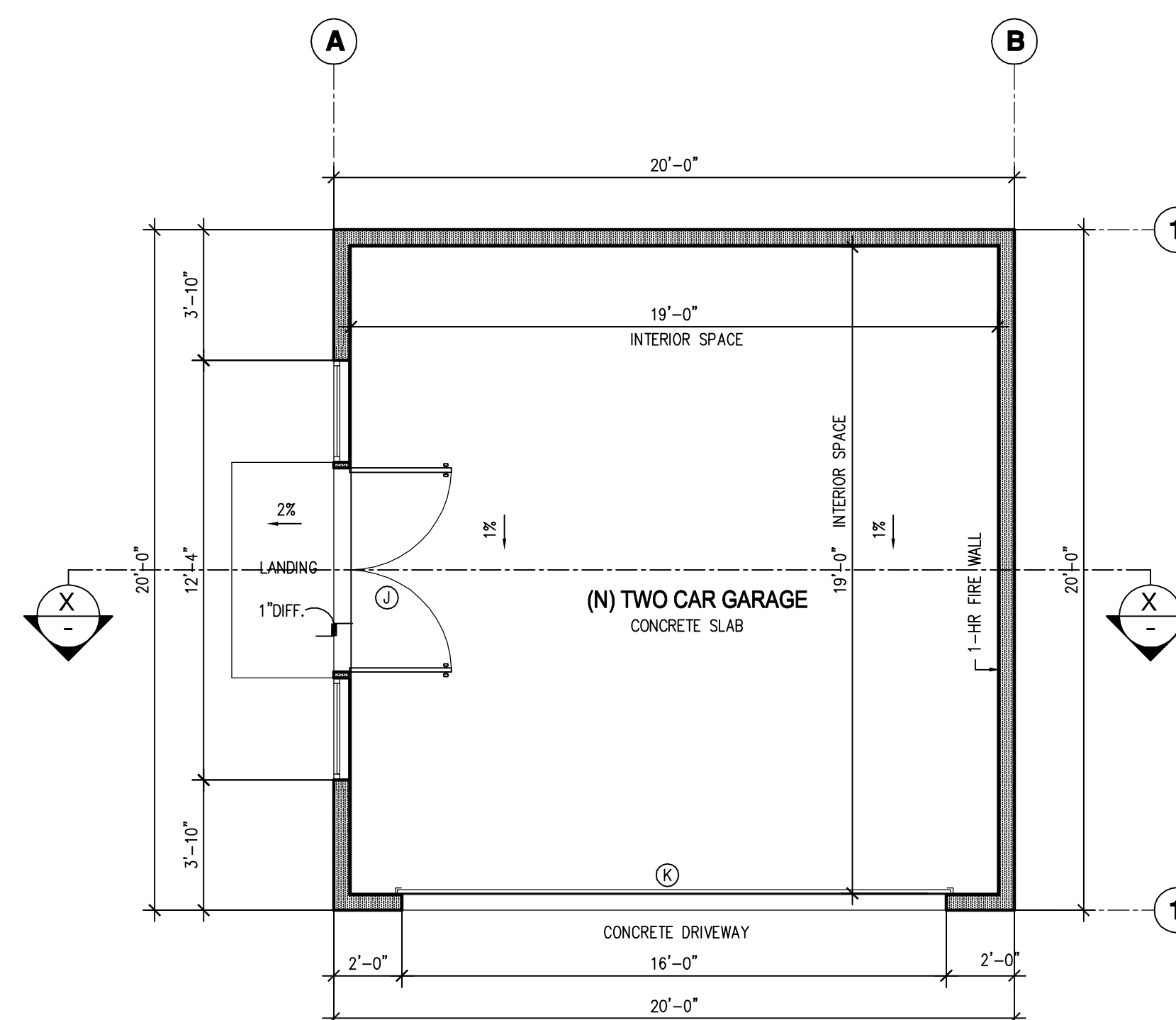
JOB : VR 1943

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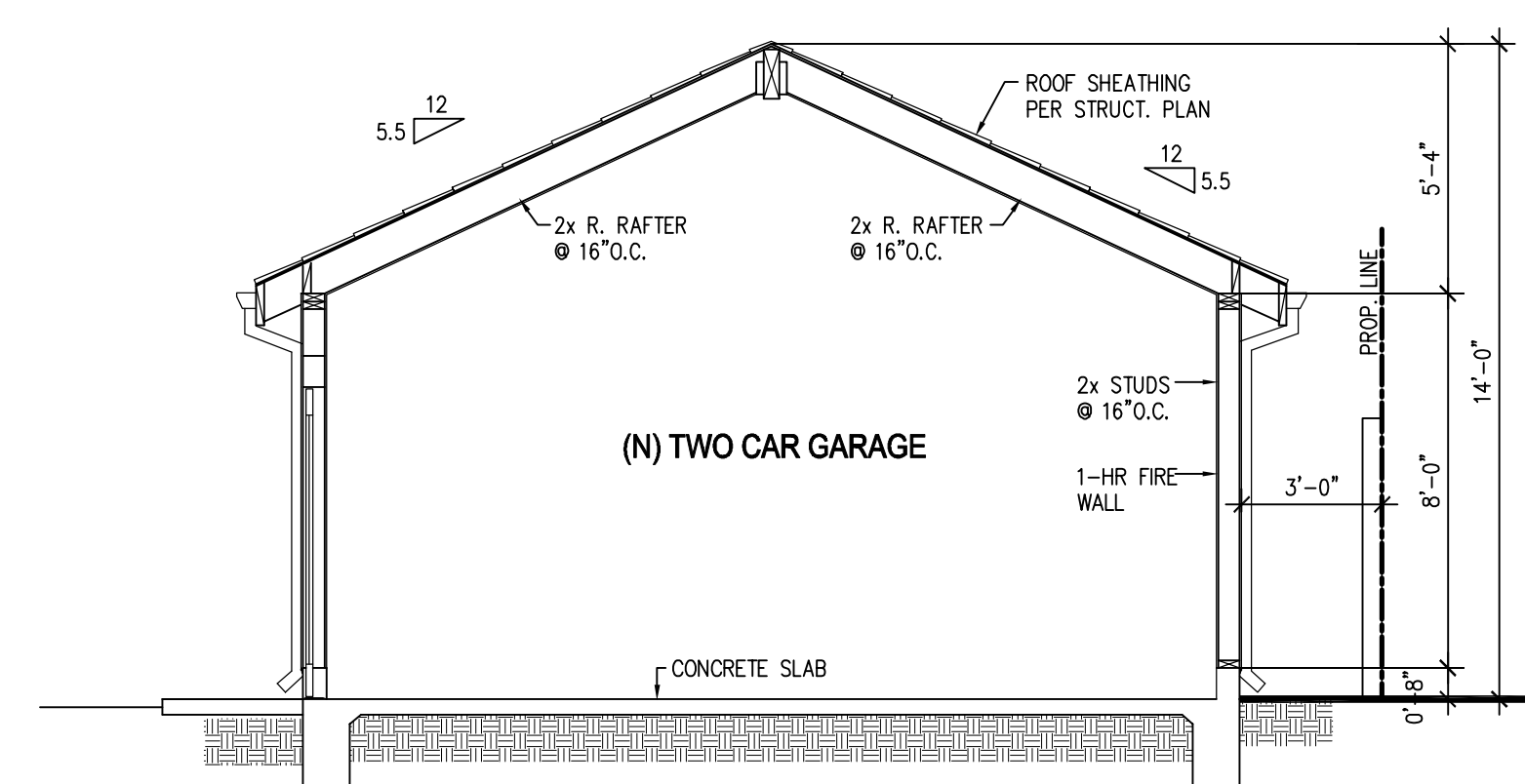
A6



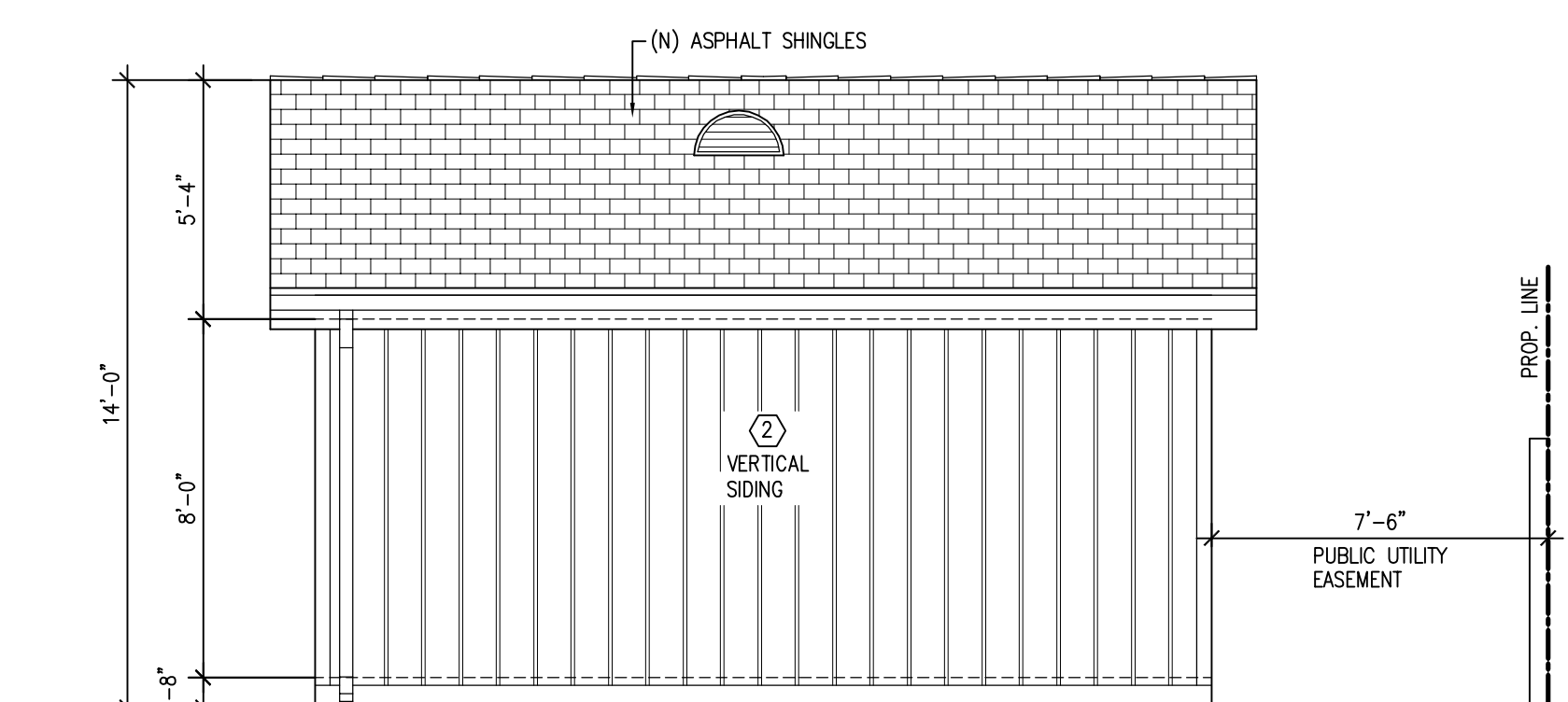
**(N) GARAGE
Roof Plan**
Scale 1/4"=1'-0"



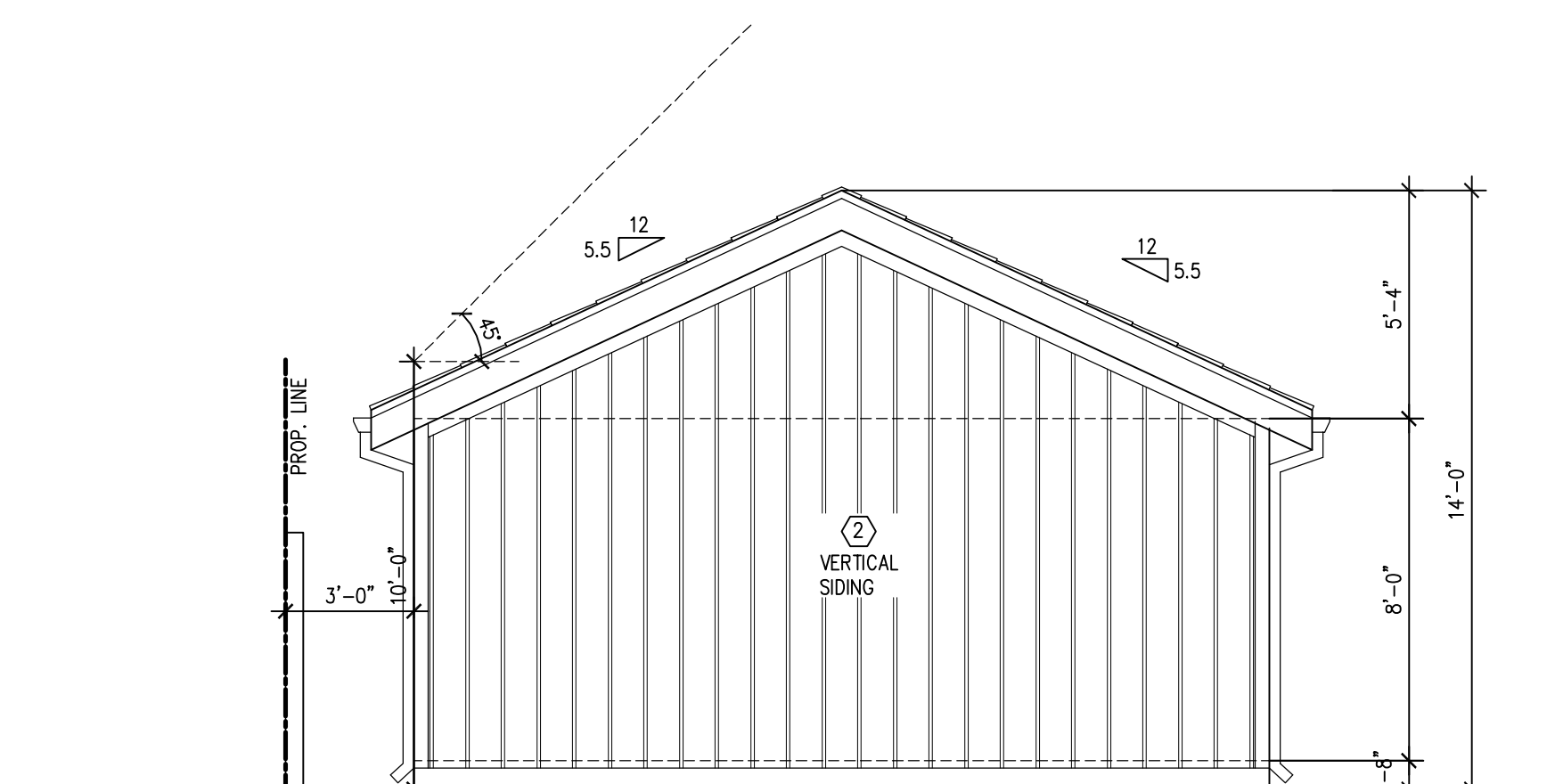
**(N) GARAGE
Floor Plan**
Scale 1/4"=1'-0"



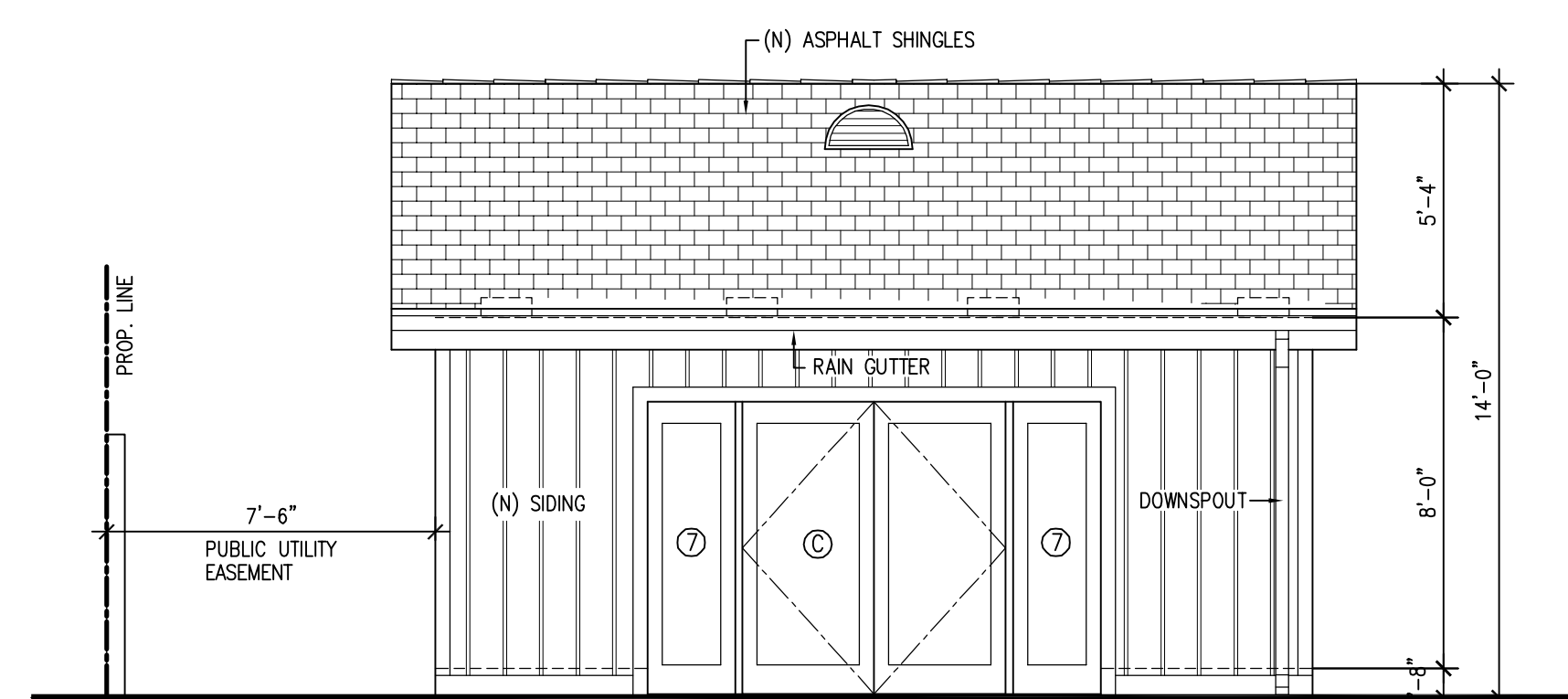
Section X
Scale 1/4"=1'-0"



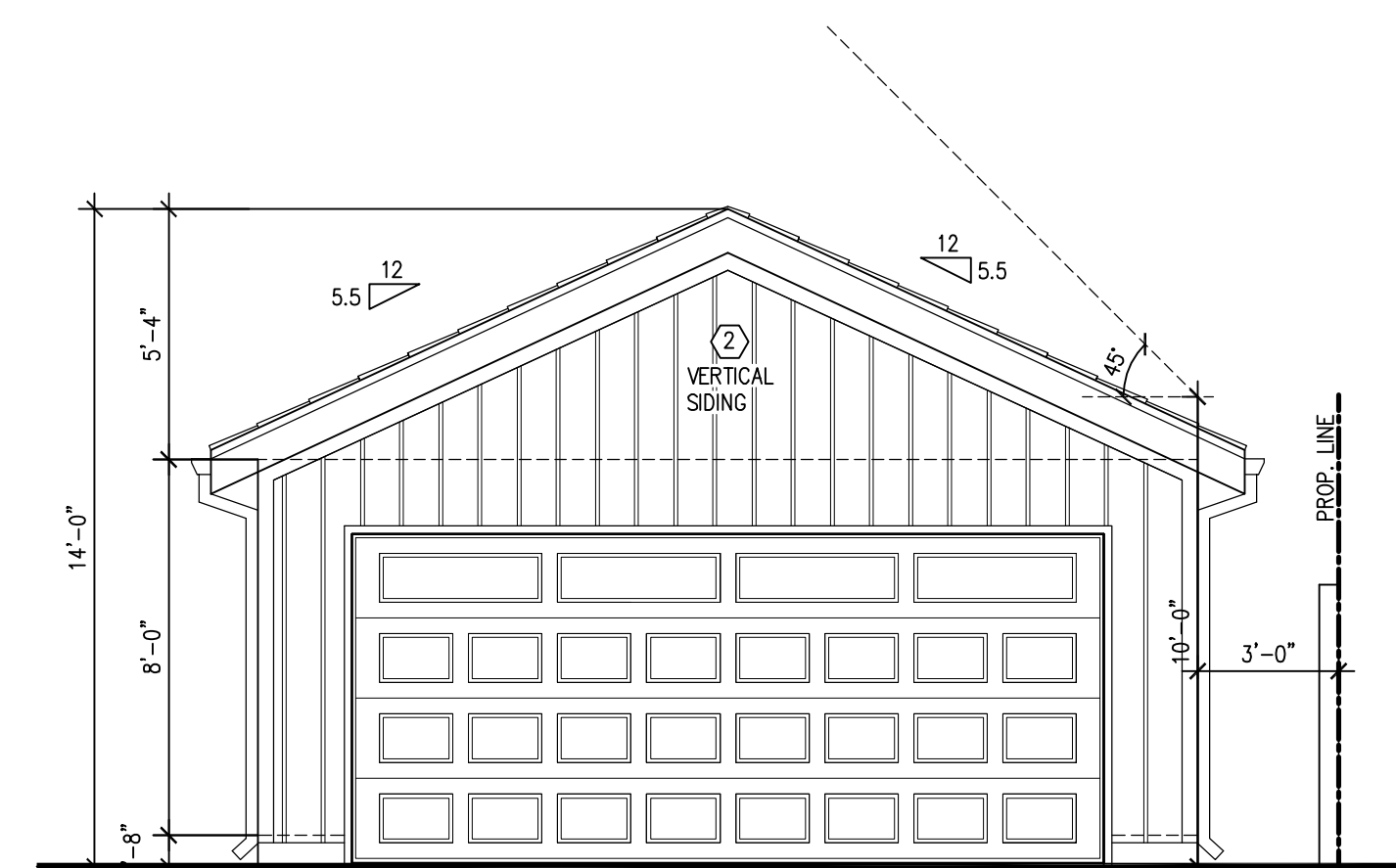
Southwest Elevation
Scale 1/4"=1'-0"



Southeast Elevation
Scale 1/4"=1'-0"



Northeast Elevation
Scale 1/4"=1'-0"



Northwest Elevation
Scale 1/4"=1'-0"