



City of Burbank
Planning Division
Single-Family Hillside
STORY POLE INSTRUCTIONS AND REQUIREMENTS

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PURPOSE: To provide requirements for the installation of story poles for new construction and additions for all projects subject to a Hillside Development Permit (HDP) located within the designated hillside area of the R-1 Single Family Residential zone.

Why Story Poles? Story poles are three-dimensional, full-scale, silhouette structures that best represent the location, bulk and mass of a proposed structure(s) on a site for view assessment, allowing property owner(s), neighbor(s), and city staff to consider the visual impact of a structure(s) from various vantage points (*also known as a view study*). Story poles are required in order to document the impacts of a proposed structure(s) on views from adjacent properties prior to a final decision on an HDP by the Community Development Director, or their designee. The view impacts may not be limited to only those parcels that are abutting or adjacent to the project site. In some cases, a house may impact the views from homes further up (or down) the hillside, depending upon the surrounding terrain. In unique cases, the story pole requirements may be waived where it is determined through on site investigation, evaluation of topographic maps, photographic evidence, or by other means that there is no possibility the proposed development will create or contribute to adverse impacts upon views.

Who Can Assist Me With Story Poles? Story poles must be installed by a story pole or construction company who can certify the accuracy of installation to the proposed project plans. You can consult with your architect or designer for recommendations or review the complimentary list of companies enclosed.

STEP 1 – Story Pole Plan: Once your Hillside Development Permit has been reviewed for code compliance and your plans are in good order, your Project Planner will advise you to prepare a story pole plan. *Your application can not be deemed complete until a view study has been completed.*

- Provide one hardcopy (11" x 17" format) and one electronic copy (PDF) of your Story Pole Plan to your Project Planner for review and approval before installation on site.
- The story pole locations are to be shown on the roof plan and building elevations of the proposed new structure or addition. Story poles should be shown in a distinct color (e.g. red preferred) superimposed on black-and-white plan sheets. Hand-drawn plans will not be accepted.
- At minimum, the poles shall be placed at all outside building corners and at each end of the prominent ridgelines of the structure(s) to accurately demonstrate the different roof lines and maximum roof heights. The height should be accurate for the finished building surface at that point. The end of the roof ridge and top of the hip roof should also be marked. See example story pole plans on following page.
- The plan should include the existing grade elevation at the base of each pole and the elevation of the ridges. If the storypoles are constructed entirely above an existing structure such that the poles do not touch existing grade, the existing grade at the base of the existing structure shall be shown on the elevations along the peak height of the new roofline. Story poles at deck locations shall extend to the top of railings.
- The plan must also include the contact information for the licensed contractor, surveyor, architect, or engineer installing the story poles.
- If at any time the plans are modified, City staff may require the story poles and certification to be updated.

STEP 2 – Story Pole Installation:

- The story pole material shall be constructed of 2" x 4" lumber, or other sturdy material (*PVC is not acceptable*), and should be properly braced and supported to ensure the health, safety and general welfare of the public and withstand weather.
- The top one foot of the pole shall be painted with black paint and the height of each pole should be clearly marked on the base of each pole.
- The netting shall be of bright orange construction mesh (snow fencing) material, or a comparable material or color, measuring at least twenty-four (24) inches in width and be able to withstand reasonably foreseeable weather. Netting shall be extended atop one pole to another pole to depict the roofline and ridgelines and should be placed on top of the blank painted portions of the posts. Flags, string, or rope are not acceptable netting materials.
- If story poles are damaged or at any time become unsafe, they must be replaced or repaired and reset immediately. The City is not liable for any damage or injury associated with the erection of story poles.

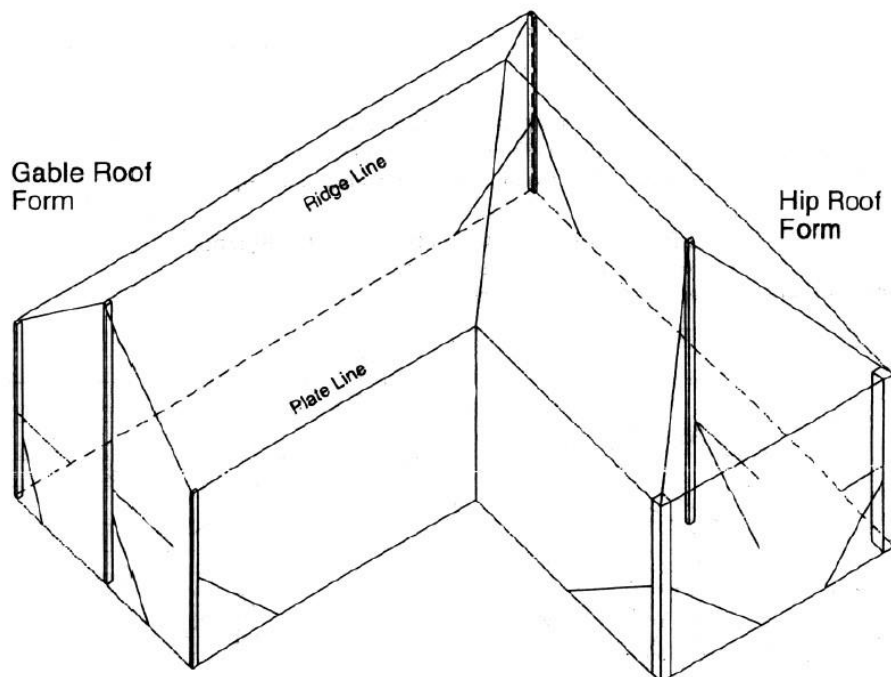
- The City can request the story poles be removed or modified if it is determined at any time there is a risk to public health and safety.

STEP 3 – Story Pole Certification:

- Upon completion of the story pole installation per the Planner-approved story pole plan, the installation must be certified accurate by a licensed architect, engineer, or surveyor with the enclosed *Story Poles Affidavit* based on the Story Pole Plan. The property owner may not certify the story pole height or position.
- Once installed, the applicant shall submit photographs from at least 3 vantage points showing the completed story pole installation. ***The photos submitted for certification must include a key that identifies the location and direction of each of the views photographed from perspectives of neighboring properties.*** Photographs and drawings should be numbered or otherwise keyed to the locations shown on the site map.
- Once the affidavit and photos are completed, submit them to your Project Planner for verification. The Project Planner will verify the Affidavit was completed and conduct a site visit. Upon confirmation by your Project Planner, the public noticing period for your HDP application can begin once the postcards have been mailed out.

STEP 4 – Story Pole Removal:

- Story poles must remain in place throughout the application review process, inclusive of the 15-day appeal period. They can be removed the next business day after conclusion of the appeal period, if no appeal has been filed.
- Should an appeal be filed on the permit, the story poles must remain in place until a final decision has been made on the application by the Planning Board and/or City Council and the subsequent appeal periods have concluded.



STORY POLES AFFIDAVIT



TO: City of Burbank
Community Development Department
Planning Division

REFERENCE:

Name of Applicant

Project Address

Permit Number

As the licensed architect / engineer / surveyor (circle one) for the above-referenced project, I hereby declare that the project's story poles have been installed in accordance with the approved Story Pole Plan on file in the Planning Division office. I further declare that all story poles have been accurately placed, installed to ensure the safety of all persons and the general public, and are the correct height in accordance with the approved Story Pole Plan. A certified copy of the Story Pole Plan (site plan and roof plan) that verifies accuracy is attached herewith. This information is accurate to the best of my knowledge.

I/WE DECLARE UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.

EXECUTED ON _____, 20___ AT _____, CALIFORNIA.

PREPARER'S SIGNATURE

PREPARER'S NAME (PLEASE PRINT CLEARLY)

COMPANY NAME

PREPARER'S TELEPHONE NUMBER

FOR OFFICE USE ONLY

Date Stamp Received:

STORY POLE CONTRACTOR LIST

Note: This list is provided as a convenience only. The City of Burbank assumes no responsibility for the product or actions of the companies herein described.

<p>Scharff Construction Inc. 3714 Sawtelle Blvd. Los Angeles, CA 9006 (310) 391-4464 ext. 303</p>	<p>Coastline Story Poles (310) 266-7197 coastlinestorypoles@gmail.com</p>
<p>California Story Poles (310) 439-3203 info@californiastorypoles.com</p>	<p>Bronze House Development Inc. 501 W. Glenoaks Blvd, Suite 610 Glendale, CA 91202 (818)913-9119 info@bronzehousedevlopment.com</p>