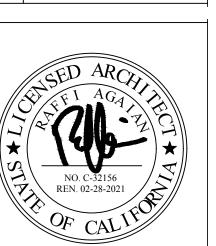


DESIGN

RIGHT

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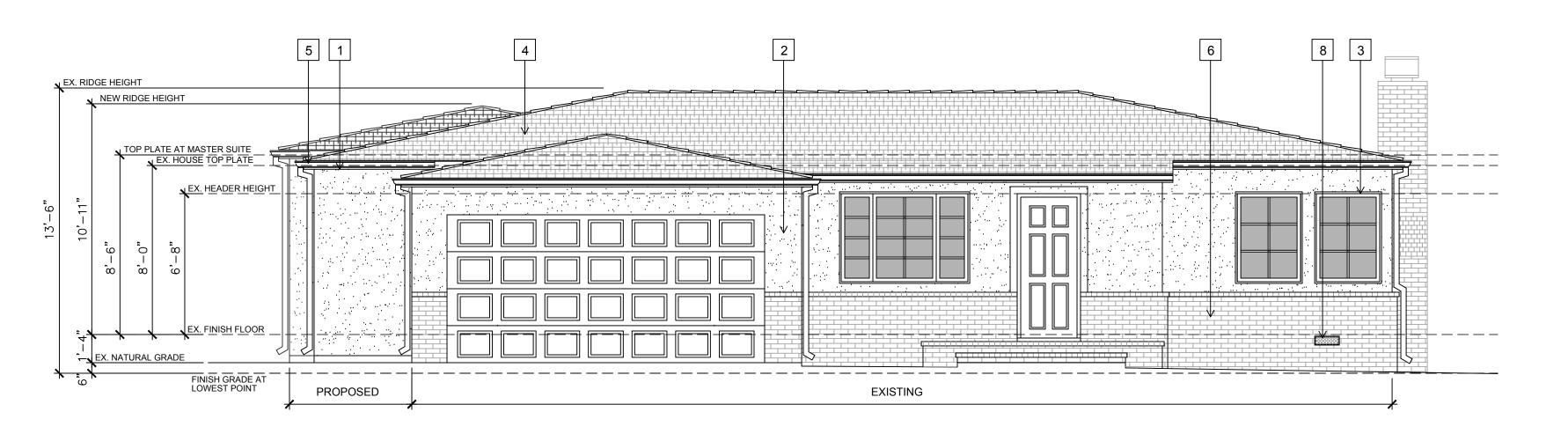


Rose St. Residence

600 North Rose Street Burbank, CA 91505

SHEET TITLE / NO.: SITE PLAN & DIAGRAMS

A.1



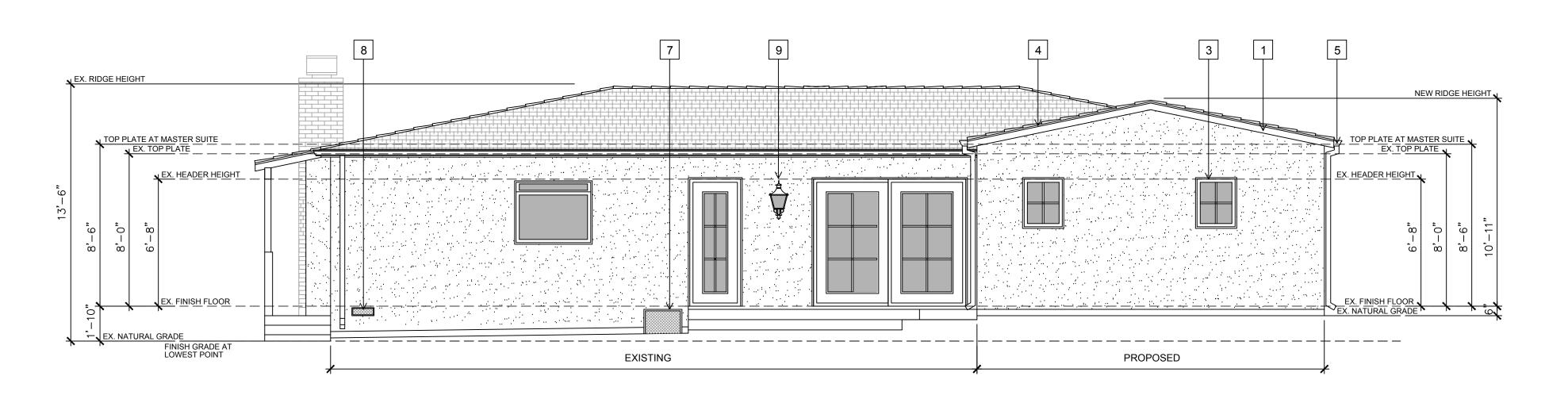
PROPOSED WEST ELEVATION

SCALE - 1/4" = 1'-0"

1. RAFTER TAILS, MATCH EXISTING 2. STUCCO EX. SAND FINISH 3. VINYL / FIBERGLASS WINDOWS & DOORS 4. ASPHALT SHINGLE ROOF 5. K-STYLE GUTTER AND DOWNSPOUT 6. EX. DECORATIVE BRICK TO REMAIN 7. EX. CRAWL SPACE ACCESS 8. EX. CRAWL SPACE VENTS 9. DECORATIVE LIGHT FIXTURE TO BE SELECTED BY HOMEOWNER

ELEVATION NOTES

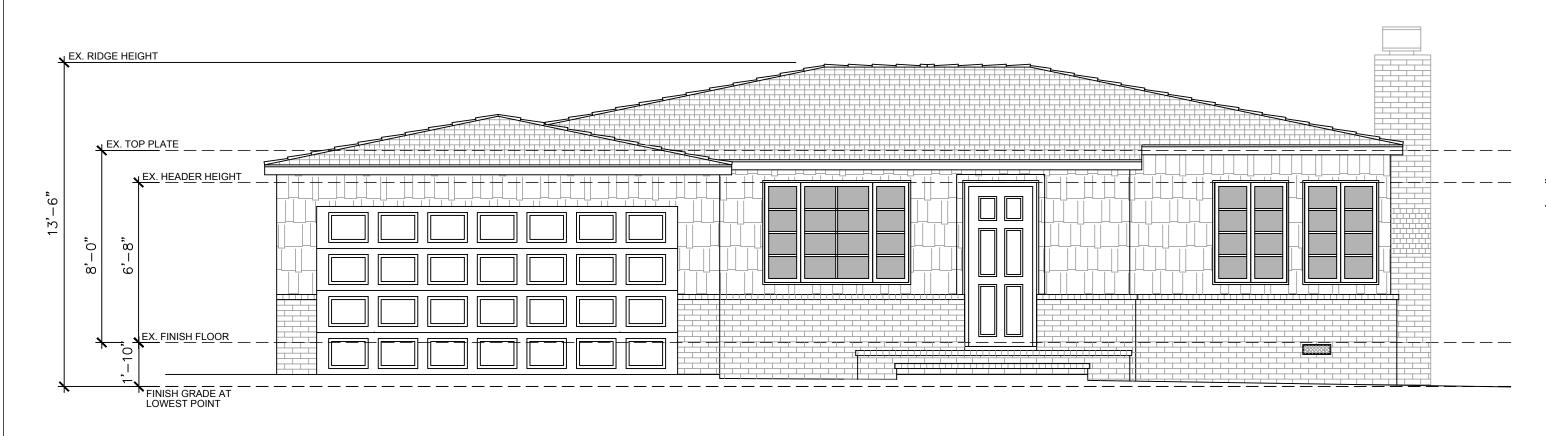
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION & BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.



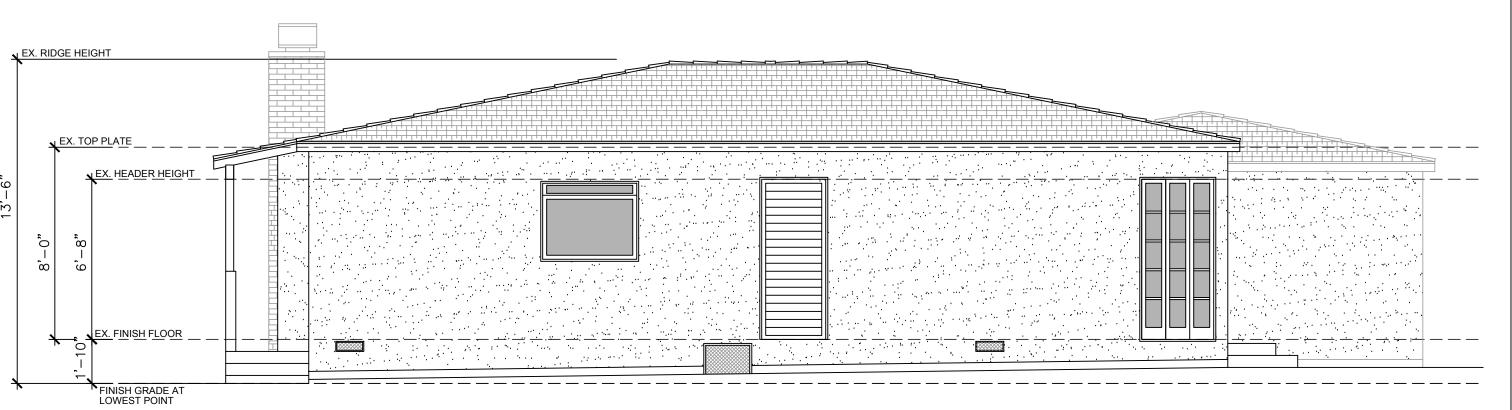
PROPOSED EAST ELEVATION

SCALE - 1/4" = 1'-0"

SCALE - 1/4" = 1'-0"



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION

SCALE - 1/4" = 1'-0"

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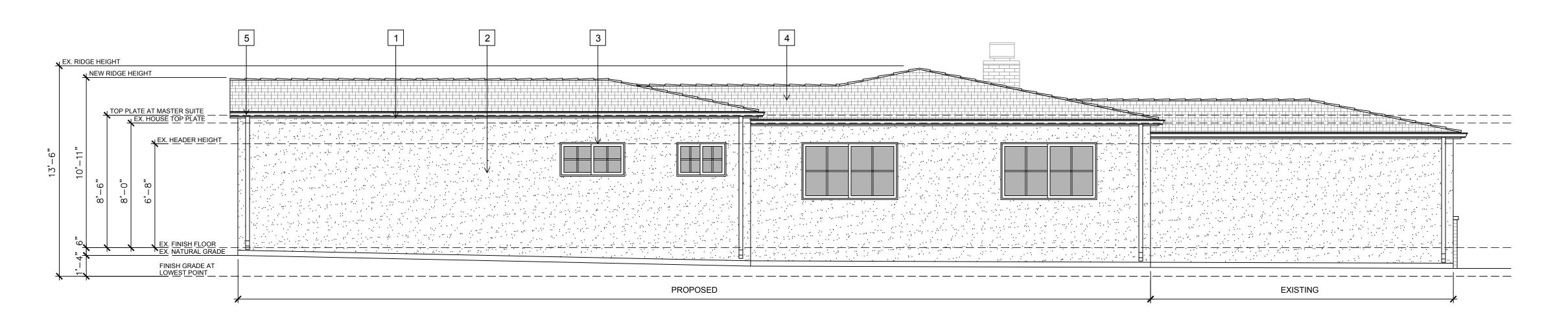
NO. C-32156
REN. 02-28-2021

Rose St. Residence

600 North Rose Street

SHEET TITLE / NO.: ELEVATIONS

A.5



PROPOSED NORTH ELEVATION

SCALE - 1/4" = 1'-0"

ELEVATION NOTE NUMBERS

- 1. RAFTER TAILS, MATCH EXISTING
- 2. STUCCO EX. SAND FINISH3. VINYL / FIBERGLASS WINDOWS & DOORS
- 4. ASPHALT SHINGLE ROOF
- 5. K-STYLE GUTTER AND DOWNSPOUT6. EX. DECORATIVE BRICK TO REMAIN
- 7. EX. CRAWL SPACE ACCESS
- 8. EX. CRAWL SPACE VENTS9. DECORATIVE LIGHT FIXTURE -
- TO BE SELECTED BY HOMEOWNER

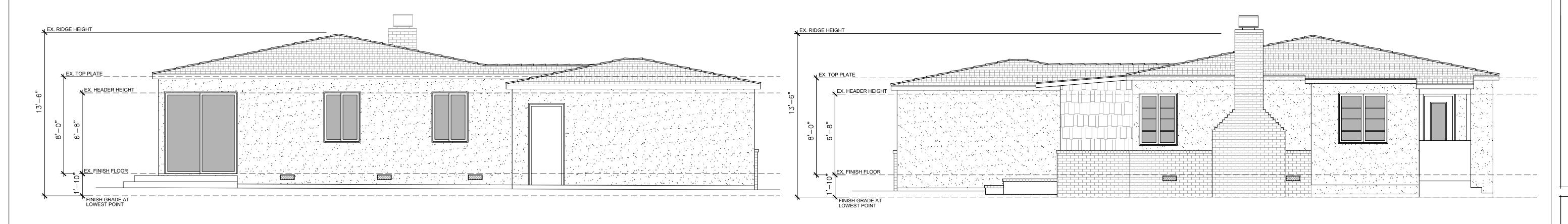
ELEVATION NOTES

ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION & BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.



PROPOSED SOUTH ELEVATION

SCALE - 1/4" = 1'-0"



EXISTING NORTH ELEVATION

EXISTING SOUTH ELEVATION

SCALE - 1/4" = 1'-0"

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Rose St. Residence

00 North Rose Street

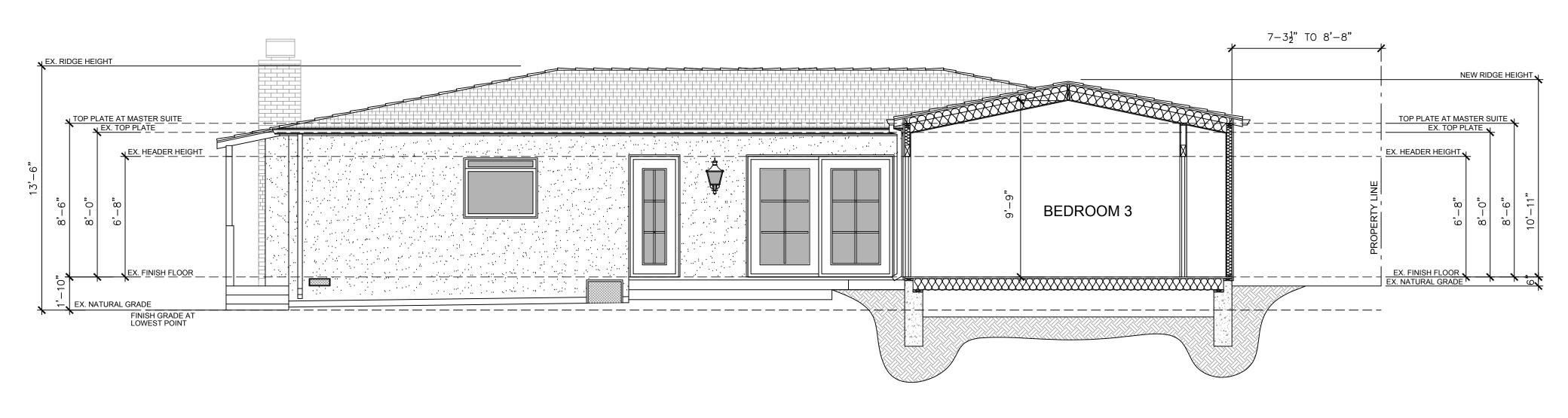
SHEET TITLE / NO.: ELEVATIONS

AF

OCTOBER 26, 2020

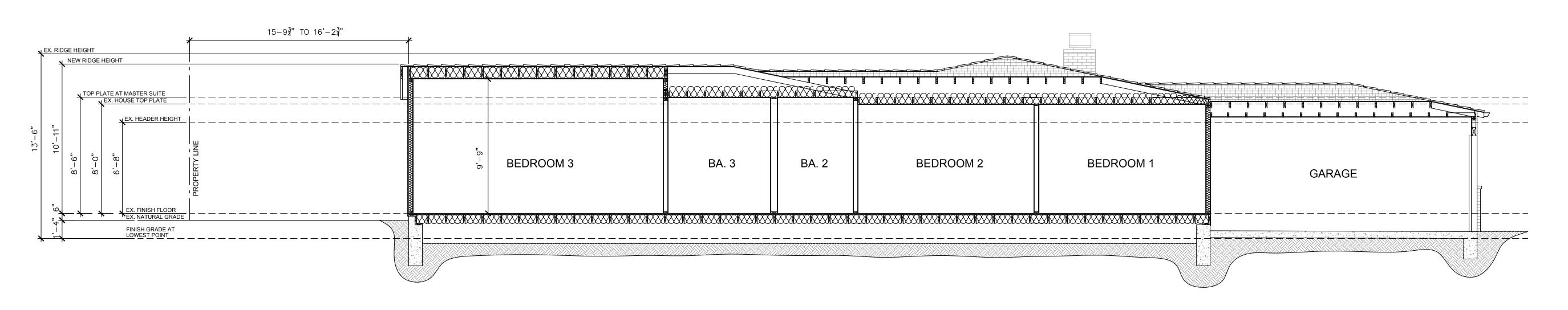
SCALE - 1/4" = 1'-0"

LE - 1/4 - 1-0



SECTION - 1

SCALE - 1/4" = 1'-0"



SECTION - 2

SCALE - 1/4" = 1'-0"

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Rose St. Residence

600 North Rose Street Burbank, CA 91505

SHEET TITLE / NO.: SECTIONS

A.7

ROSE STREET RESIDENCE

PROJECT DATA

OWNER - REBECCA WEBER & JAMES WEBER
PROJECT ADDRESS - 600 NORTH ROSE ST. BURBANK, CA 91505
LEGAL DESCRIPTION - (TRACT NO. 12699, LOT 78)
ASSESSORS ID NUMBER - 2481-017-001
LOT AREA = 8,315 SQFT.
ZONE - R1
TYPE OF CONSTRUCTION - TYPE V-B
OCCUPANCY TYPE - SINGLE FAMILY DETACHED (R-3)
NUMBER OF STORIES - (1)

NUMBER OF STORIES - (1)
CA CLIMATE ZONE - (9)
HIGH FIRE HAZARD ZONE - NO
FIRE SPRINKLER - NO

CODES - 2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CA MECHANICAL CODE
2019 CA PLUMBING CODE
2019 CA ELECTRIC CODE
2019 CA ENERGY CODE
GOVERNING BODY - BURBANK CITY

DIRECTORY

CLIENT - REBECCA WEBER & JAMES WEBER ADDRESS - 600 NORTH ROSE ST. BURBANK, CA 91505

ARCHITECT - DESIGN RIGHT, INC.

CONTACT - RAFFI AGAIAN

ADDRESS - 2234 DEL MAR RD. #1 MONTROSE, CA 91020

PH. (818) 653-6081

EMAIL - INC_DR@YAHOO.COM

SQUARE FOOTAGE

RESIDENTIAL AREA

EX. LIVING AREA - (1,153 SQFT.) EX. ATTACHED 2-CAR GARAGE AREA - (360 SQFT.) - UNCHANGED

DEMOLISH EXISTING GUEST HOUSE - (200 SQFT.)

PROPOSED NEW LIVING AREA - (900 SQFT.)
PROPOSED REMODEL AREA - (336 SQFT.)

TOTAL LOT AREA - (8,315 SQFT.)

FLOOR AREA RATIO / LOT COVERAGE

TOTAL FLOOR AREA RATIO - (2,053 SQFT.) / LOT AREA (8,315 SQFT.) = (24.69%)

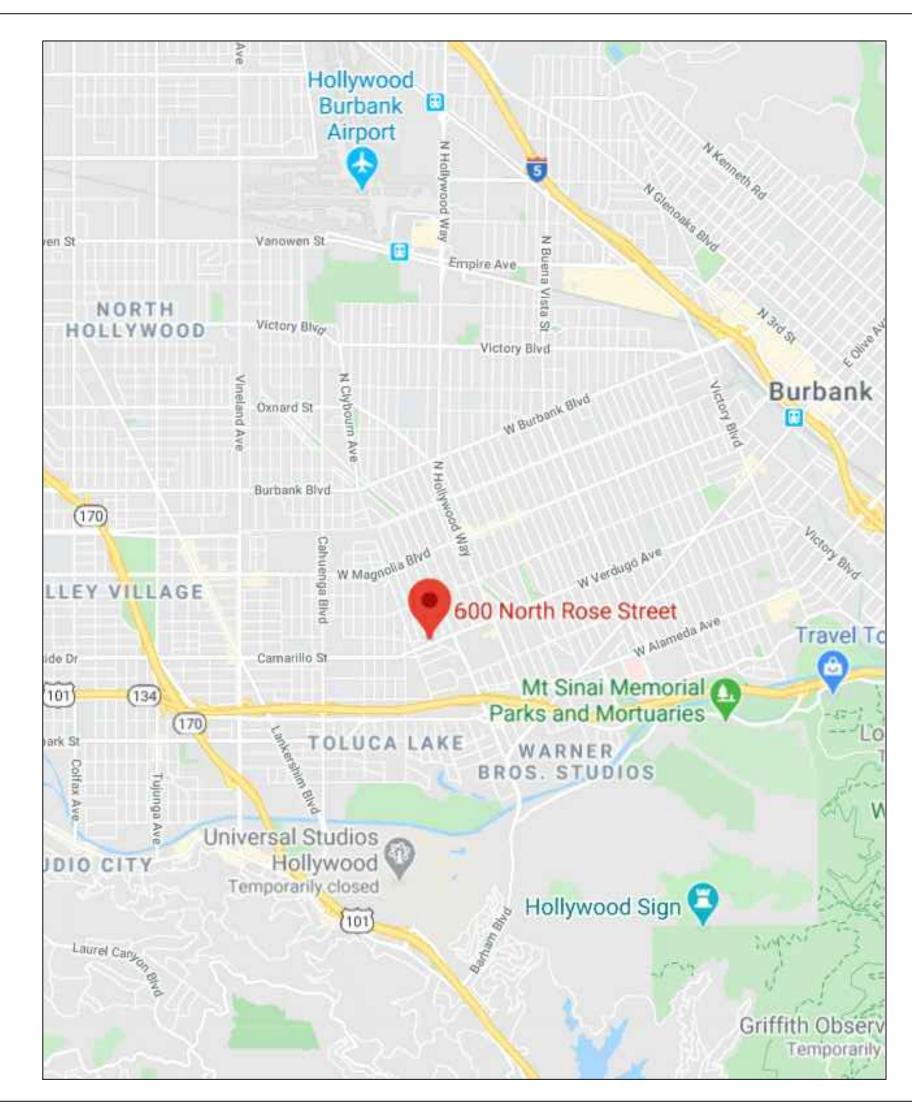
TOTAL LOT COVERAGE - (2,413 SQFT.) / LOT AREA (8,315 SQFT.) = (29.02%)

PROJECT DESCRIPTION

ADDITION (900 SQFT.) & REMODEL (336 SQFT.)

- 1) ADD (3) NEW BEDROOMS & (2) NEW BATHROOMS.
- 2) CONVERT EXISTING BEDROOM 1 TO A FLEX / BONUS ROOM.
- 3) CONVERT EXISTING BEDROOM 2 TO A LAUNDRY / MUD ROOM & HALLWAY.
- 4) PROVIDE GARAGE ACCESS FROM HOUSE.
- 5) PROVIDE NEW DOOR ACCESS FROM EXISTING BATHROOM 1 TO REAR YARD.
- 6) CLOSE DOOR ACCESS FROM HALLWAY TO FAMILY RM.
- 7) REPLACE (3) WINDOWS IN LIVING ROOM.
- 8) REPLACE SIDING AT FRONT OF HOUSE WITH STUCCO TO MATCH EXISTING.
- 9) REPLACE EX. ASPHALT SHINGLES WITH NEW ROOFING.

VICINITY MAP



SHEET INDEX

SHEET	ARCHITECTURAL
COVER	COVER SHEET
SURVEY	SURVEY
A.1	SITE PLAN & DIAGRAMS
A.1-1	SITE PICTURES
A.1-2	NEIGHBORHOOD PICTURES
A.2	DEMOLITION PLAN
A.3	PROPOSED FLOOR PLAN
A.4	ROOF PLANS
A.5	ELEVATIONS
A.6	ELEVATIONS
A.7	SECTIONS

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Rose St. Residence

SHEET TITLE / NO.:

COVER SHEET

600 North Rose Street Burbank, CA 91505

COVER