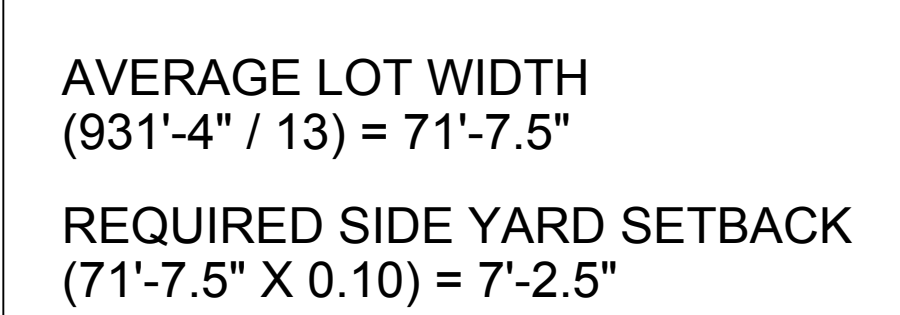


SCALE - 3/64" = 1'-0"

ZONING GENERAL NOTES:
THERE ARE NO OAK, BAY, OR SYCAMORE TREES ON SITE
OR WITHIN TWENTY (20) FEET OF THE SITE.

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND
PATIO COVERS REQUIRE SEPARATE PERMITS.

NO NEW ROOFTOP EQUIPMENT IS ALLOWED.



SCALE - 3/32" = 1'-0"

TOTAL FRONT YARD - 2,090 SQFT.
LANDSCAPE AREA - 1,403 SQFT.
PAVED AREA - 687 SQFT.

$(1,403 \text{ SQFT.} / 2,090 \text{ SQFT.}) = 67.13\%$

SITE PLAN

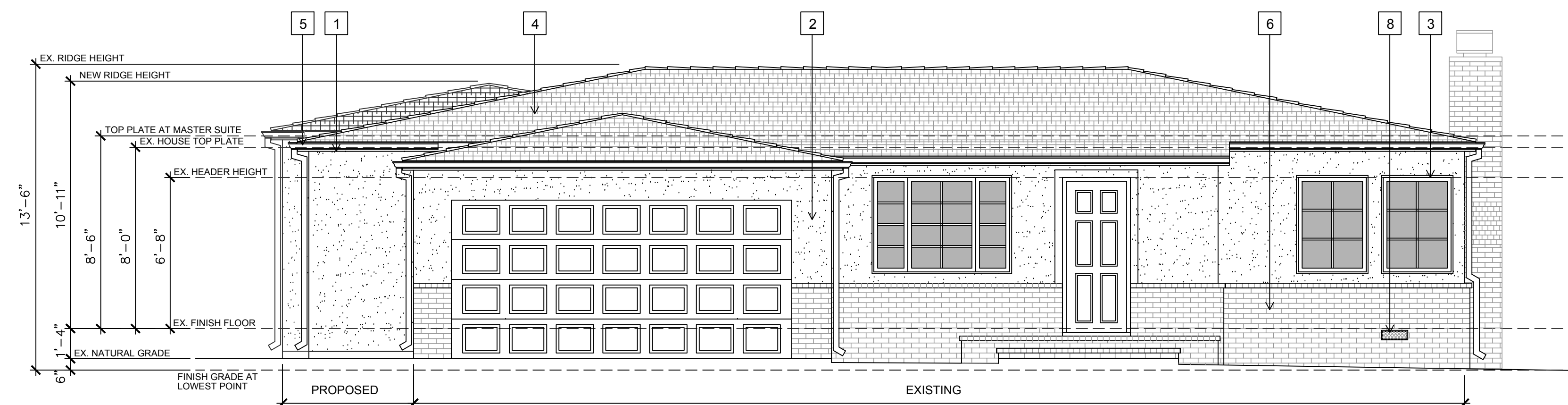
SCALE - 1/8" = 1'-0"

2234 Del Mar. Rd. #1
Montrose, CA 91020
T - (818) 653-6081
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[illegible]

A.1

OCTOBER 26, 2020



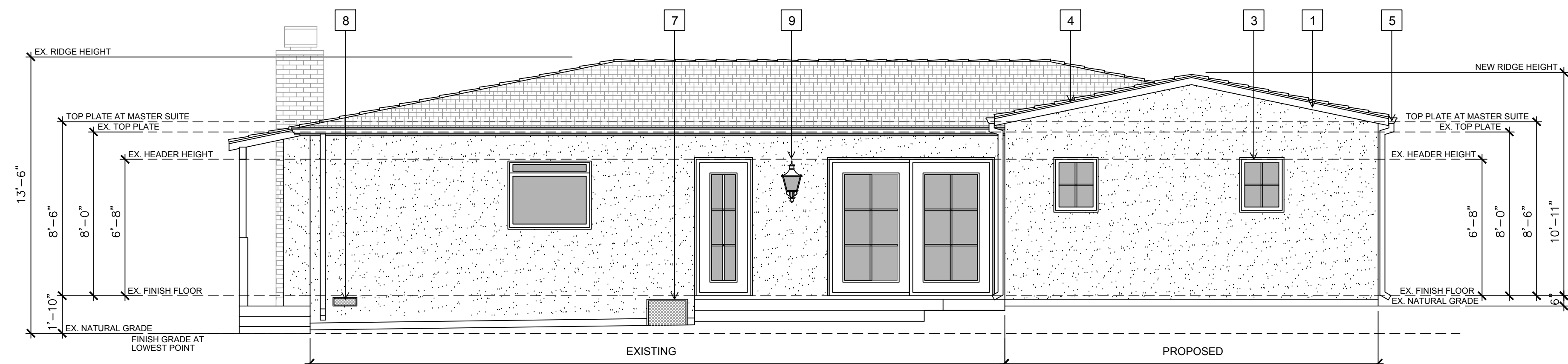
PROPOSED WEST ELEVATION

ELEVATION NOTE NUMBERS

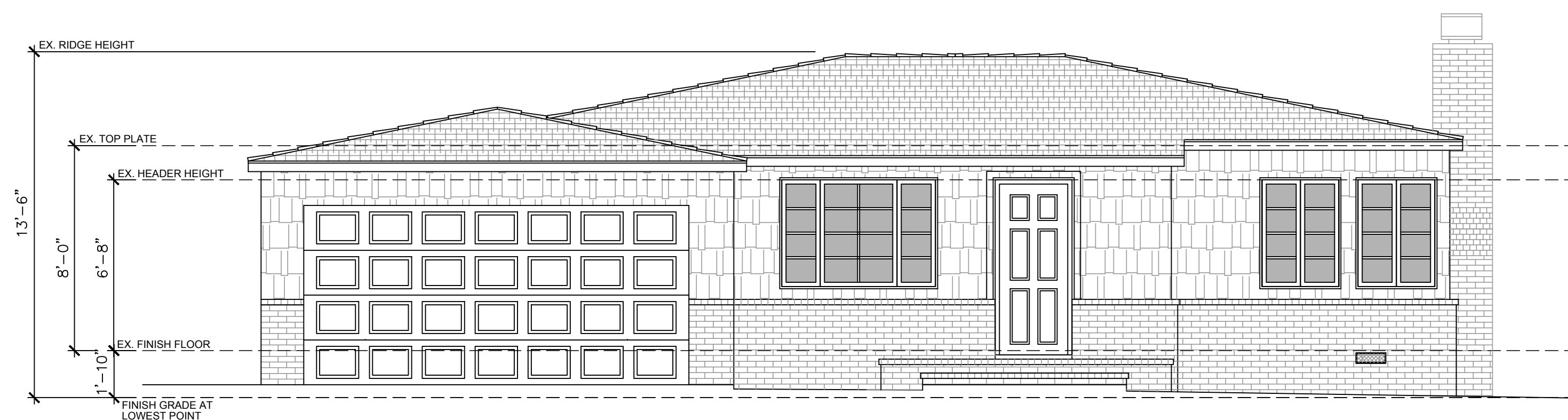
1. RAFTER TAILS, MATCH EXISTING
2. STUCCO EX. SAND FINISH
3. VINYL / FIBERGLASS WINDOWS & DOORS
4. ASPHALT SHINGLE ROOF
5. K-STYLE GUTTER AND DOWNSPOUT
6. EX. DECORATIVE BRICK TO REMAIN
7. EX. CRAWL SPACE ACCESS
8. EX. CRAWL SPACE VENTS
9. DECORATIVE LIGHT FIXTURE -
TO BE SELECTED BY HOMEOWNER

ELEVATION NOTES

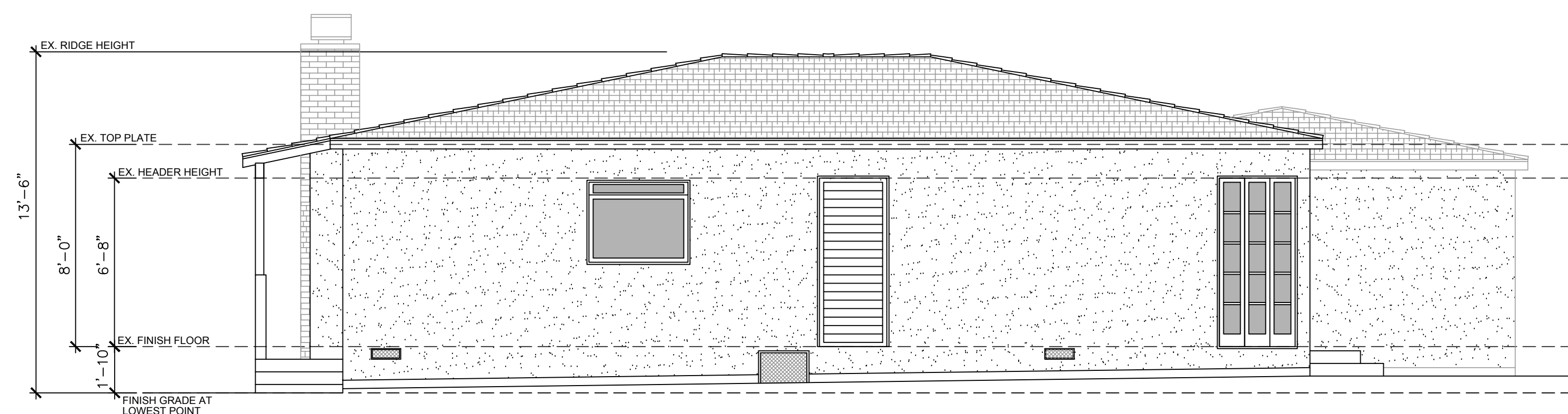
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION & BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.



PROPOSED EAST ELEVATION



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION

DESIGN

RIGHT

234 Del Mar. Rd. #1
 Montrose, CA 91020
 T - (818) 653-6081
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REVISIONS



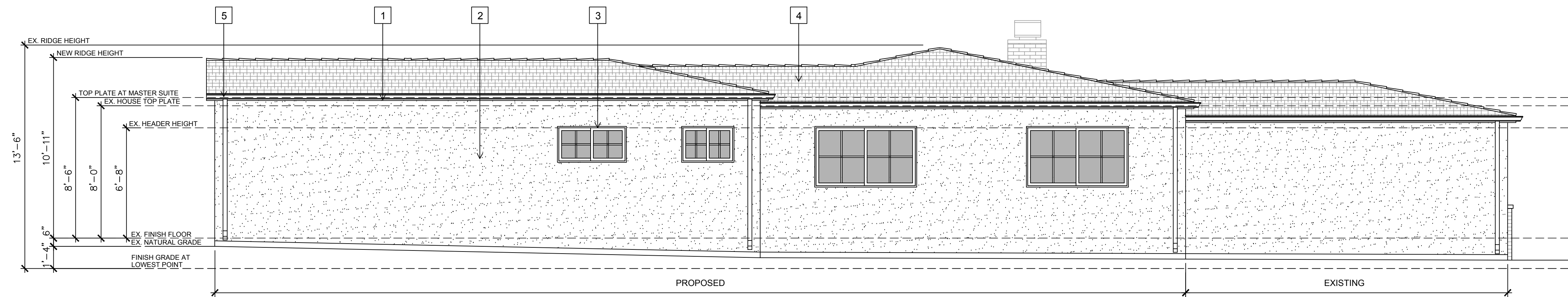
Rose St. Residence

00 North Rose Street
Burbank, CA 91505

SHEET TITLE / NO.:
ELEVATIONS

A.5

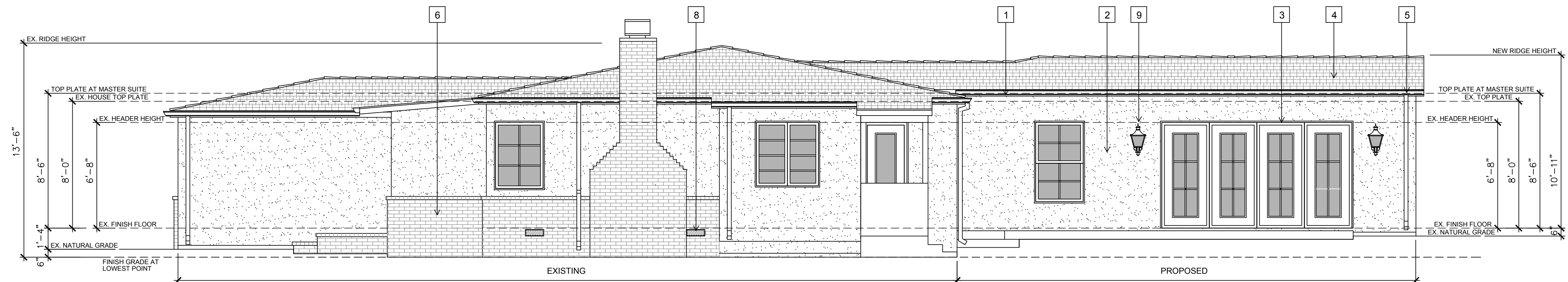
OCTOBER 26, 2020



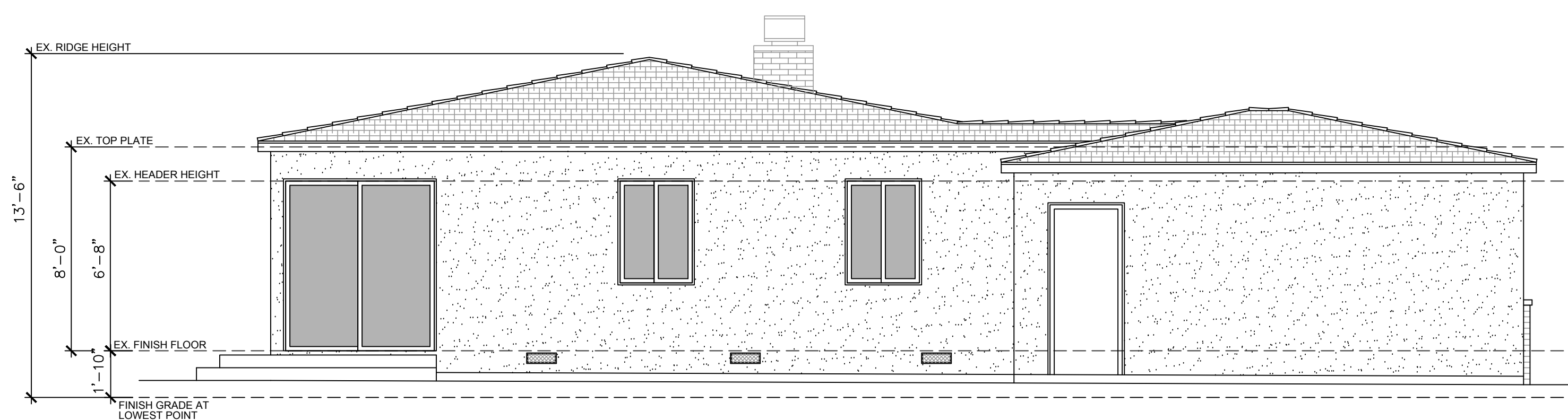
SCALE - 1/4" = 1'-0"

ELEVATION NOTE NUMBERS

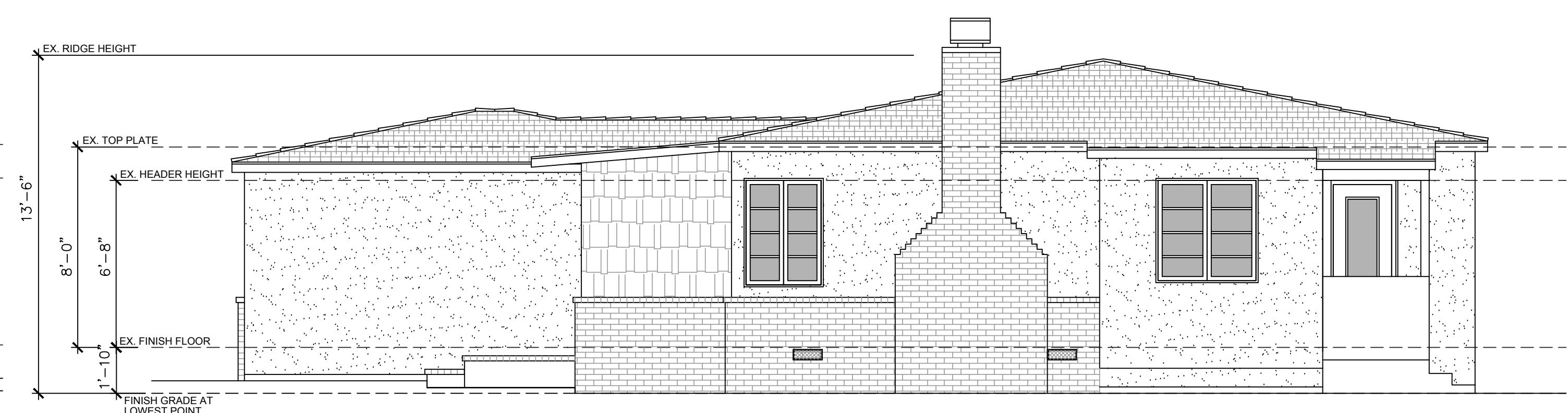
ELEVATION NOTES



SCALE - 1/4" = 1'-0"



SCALE - 1/4" = 1'-0"

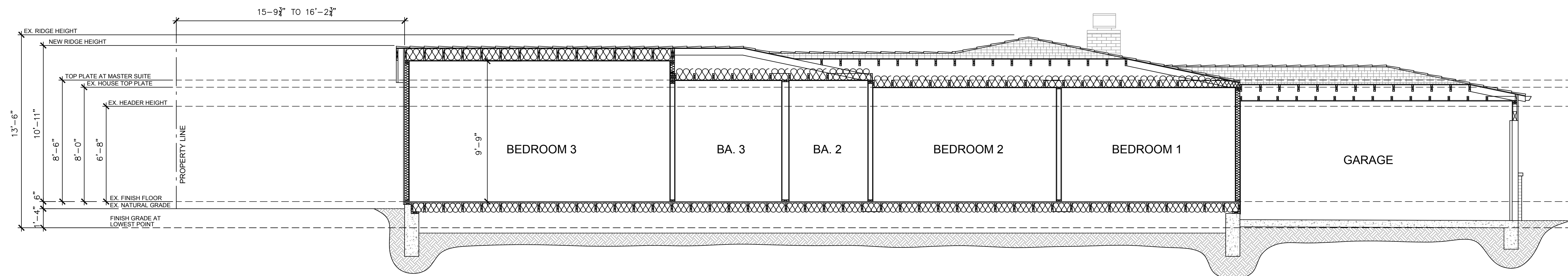
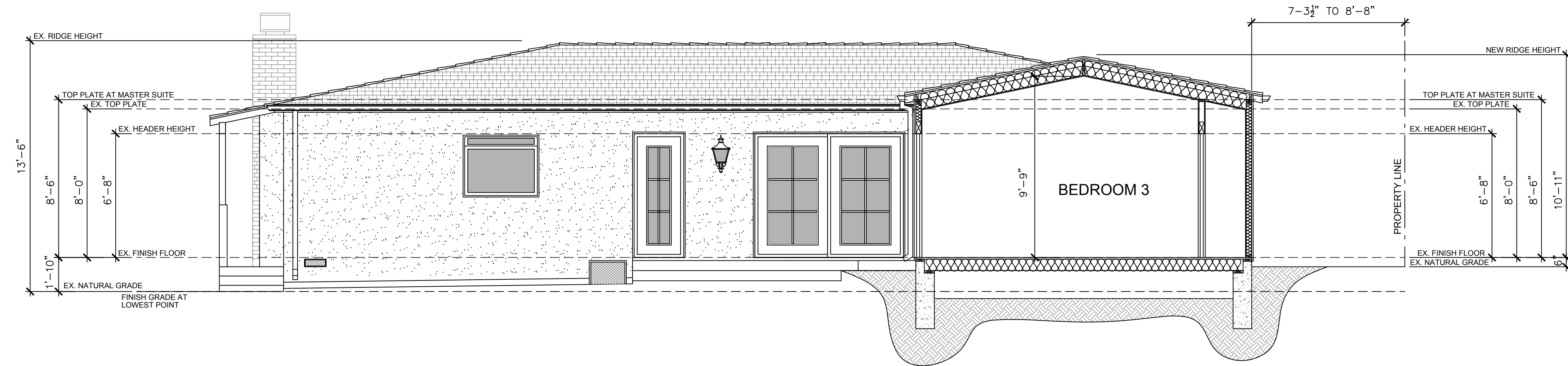


SCALE - 1/4" = 1'-0"



SHEET TITLE / NO.:
ELEVATIONS

OCTOBER 26, 2020



DESIGN RIGHT

REVISIONS



SHEET TITLE / NO.:
SECTIONS

OCTOBER 26, 2020



REVISIONS

[illegible]

COVER

OCTOBER 26, 2020

VICINITY MAP

DIRECTORY

SQUARE FOOTAGE

RESIDENTIAL AREA

FLOOR AREA RATIO / LOT COVERAGE

PROJECT DESCRIPTION

The map shows the location of 600 North Rose Street in North Hollywood, California. The address is marked with a red pin and labeled in red text. The map includes major highways such as I-5, I-101, and I-170, as well as local streets like N Hollywood Way, W Burbank Blvd, and W Magnolia Blvd. Key landmarks and areas are labeled, including Hollywood Burbank Airport, Universal Studios Hollywood (Temporarily closed), Warner Bros. Studios, Mt Sinai Memorial Parks and Mortuaries, and the Hollywood Sign. The map also shows the Griffith Observatory (Temporarily closed) and the Hollywood Sign. The map is oriented with North at the top.

SHEET INDEX

SHEET	ARCHITECTURAL
COVER	COVER SHEET
SURVEY	SURVEY
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A.1-1	SITE PICTURES
A.1-2	NEIGHBORHOOD PICTURES
A.2	DEMOLITION PLAN
A.3	PROPOSED FLOOR PLAN
A.4	ROOF PLANS
A.5	ELEVATIONS
A.6	ELEVATIONS
A.7	SECTIONS