

GENERAL NOTES

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AS THEY RELATE TO DRAWINGS AND SHALL BE RESPONSIBLE FOR SAME. IN ANY DISCREPANCY, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/TENANT IMMEDIATELY, PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT INSTALLATION METHODS CONFORM TO ALL BUILDING CODE REQUIREMENTS; ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ TENANT IMMEDIATELY BY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE SPECIFIED WORK.
- ALL REQUIRED WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS; THEY SHALL BE ONE AND THE SAME.
- ALL DIMENSIONS ARE FINISH TO FINISH, UNLESS NOTED OTHERWISE (U.N.O.).
- ALL SNAP LINES AND SPRAYED CORNERS ARE TO BE PUT DOWN FIRST, AND APPROVED BY THE ARCHITECT/TENANT PRIOR TO THE ERECTION OF FRAMING. NO EXCEPTIONS.
- ALL EXISTING PARTITIONS, FLOORS, CONCRETE SLABS, CEILING, ETC. SHALL BE PATCHED OR REPAIRED AS REQUIRED BY NEW WORK. ALL REPAIRED SURFACES SHALL BE EQUAL TO NEW, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL ADVISE THE ARCHITECT/TENANT OF ANY EXISTING CONSTRUCTION WHICH IS NOT LEVEL OR PLUMB (WITHIN INDUSTRY STANDARDS AND THE ARCHITECTS/TENANTS SPECIFICATIONS) PRIOR TO START OF CONSTRUCTION.
- UNLESS NOTED OTHERWISE, DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DETAIL GOVERN OVER SMALL DETAILS.
- THE CONTRACTOR SHALL VERIFY KEYING REQUIREMENTS OF ALL LOCKS WITH THE TENANT.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY; WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. REFER TO THE ARCHITECTS/TENANTS GENERAL CONDITIONS AND SPECIFICATIONS, UNDER SEPARATE COVER IF APPLICABLE.
- NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, AND COST IMPACT FOR THE ARCHITECTS/TENANTS APPROVAL.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM THE CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE TENANT.
- AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE THE ARCHITECT/TENANT (IN WRITING) OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR WILL CAUSE DELAY IN CONSTRUCTION SCHEDULE.
- FOR ANY CLAIMS FOR ADDITIONAL COSTS ABOVE THE ORIGINAL SUM, THE CONTRACTOR SHALL GIVE THE BUILDING OWNER AND/OR TENANT WRITTEN NOTICE THEREOF WITHIN SEVEN (7) DAYS AFTER THE OCCURRENCE OF THE EVENT GIVING RISE TO SUCH CLAIM. THIS NOTICE SHALL BE GIVEN BY THE CONTRACTOR BEFORE PROCEEDING TO EXECUTE THE WORK, EXCEPT IN AN EMERGENCY ENDANGERING LIFE OR PROPERTY IN WHICH CASE THE CONTRACTOR SHALL PROCEED. ANY CHANGE IN THE CONTRACT SUM RESULTING FROM SUCH CLAIM SHALL BE AUTHORIZED BY A WRITTEN CHANGE ORDER ONLY AS SIGNED BY THE TENANT/OWNER.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES AND APPLIANCES, AND SHALL SUPPLY ALL SUCH FIXTURES AND APPLIANCES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATION OF ALL NECESSARY ACCESS PANELS (IN PARTITIONS, FLOORS, OR CEILINGS) AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT/TENANT PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL BLOCKING AND SUPPORTS IN PARTITIONS AND CEILINGS AS REQUIRED FOR INSTALLATION OF SPECIFIED EQUIPMENT, ACCESSORIES, AND CABINETS.
- THE CONTRACTOR SHALL SUBMIT ALL PERTINENT SHOP DRAWINGS FOR THE ARCHITECTS/TENANTS REVIEW ALLOWING ADEQUATE TIME FOR REVIEW AND CORRECTIVE ACTION. SHOULD IT BE REQUIRED BY SUBMITTING SHOP DRAWINGS, THE CONTRACTOR THEREBY REPRESENTS THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, METHODS OF ACCESS TO THE POINT OF INSTALLATION AND SIMILAR FIELD CRITERIA FOR CABINETRY/MILLWORK AND ALL PREFABRICATED ASSEMBLIES OTHER THAN BUILDING STANDARD WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SUPPLY OF TEMPORARY UTILITIES (POWER, LIGHTING, WATER) TO THE JOB SITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE WHO ARE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR.
- LOCATION OF ALL THERMOSTATS SHALL BE APPROVED BY THE ARCHITECT/TENANT.
- THE CONTRACTOR SHALL MAINTAIN THE PUBLIC RIGHT OF WAYS, SIDEWALKS, BASEMENT AREAS, CORRIDORS, ETC., AFFECTED BY THE CONSTRUCTION, FREE OF ALL SOIL, DEBRIS, TRASH, ETC., ON A DAILY BASIS. CLEAR EGRESS SHALL BE MAINTAINED AT ALL TIMES FOR ALL BUILDING TENANTS, THEIR EMPLOYEES AND GUESTS.
- ALL CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY.
- NOT USED
- WHEN APPLICABLE, PROVIDE MINIMUM ADDITIONAL PARTITION THICKNESS OR FURRING FOR PLUMBING WALLS. ALL TRADES SHALL BE RESPONSIBLE TO COORDINATE INTERFACE BETWEEN THEMSELVES I.E. PLUMBING, ROUGH-IN CABINETRY, ETC.
- FOR "UNKNOWN CONDITIONS", THESE SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: - HIDDEN FLOOR CONDITIONS UNDER EXISTING FLOOR FINISHES, - DUCTWORK IN, UNDER, OR ABOVE SUITE TO BE REMODELED IF SUCH IS THE CASE, - FLOOR CORING CONDITIONS, - EXISTING CEILING GRID CONDITIONS.
- PRIOR TO COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE TENANT, COMPLETE OPERATION AND MAINTENANCE INSTRUCTIONS FOR ALL MECHANICAL AND ELECTRICAL PORTIONS OF THE WORK.
- ELECTRICAL, PLUMBING AND MECHANICAL PERMITS SHALL BE OBTAINED AS REQUIRED UNDER SEPARATE PERMIT.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- ALL WORK SHALL CONFORM TO TITLE 9, CHAPTER 1 OF THE BURBANK MUNICIPAL CODE, THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA FIRE CODE, AND THE 2019 CALIFORNIA GREEN BUILDING STANDARDS, AS AMENDED BY BURBANK MUNICIPAL CODE
- SUSPENDED CEILING SYSTEM SHALL CONFORM TO R.R. #22179, OR EQUAL.
- PROVIDE SEISMIC TIES FOR SUSPENDED CEILINGS TO CONFORM TO RGA 4-7.4.
- H.V.A.C. MINIMUM AIR CHANGE 5 CFM/PERSON.
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306. PUBLIC WORKS APPROVAL AND A PERMIT SHALL BE OBTAINED PRIOR TO ANY WORK ADJACENT TO THE PUBLIC RIGHT OF WAY.
- DEFERRED SUBMITTAL FOR FREE STANDING DISPLAY SHELVING OVER 5'-9".



MENDOCINO FARMS

sandwich market

4301 RIVERSIDE DRIVE

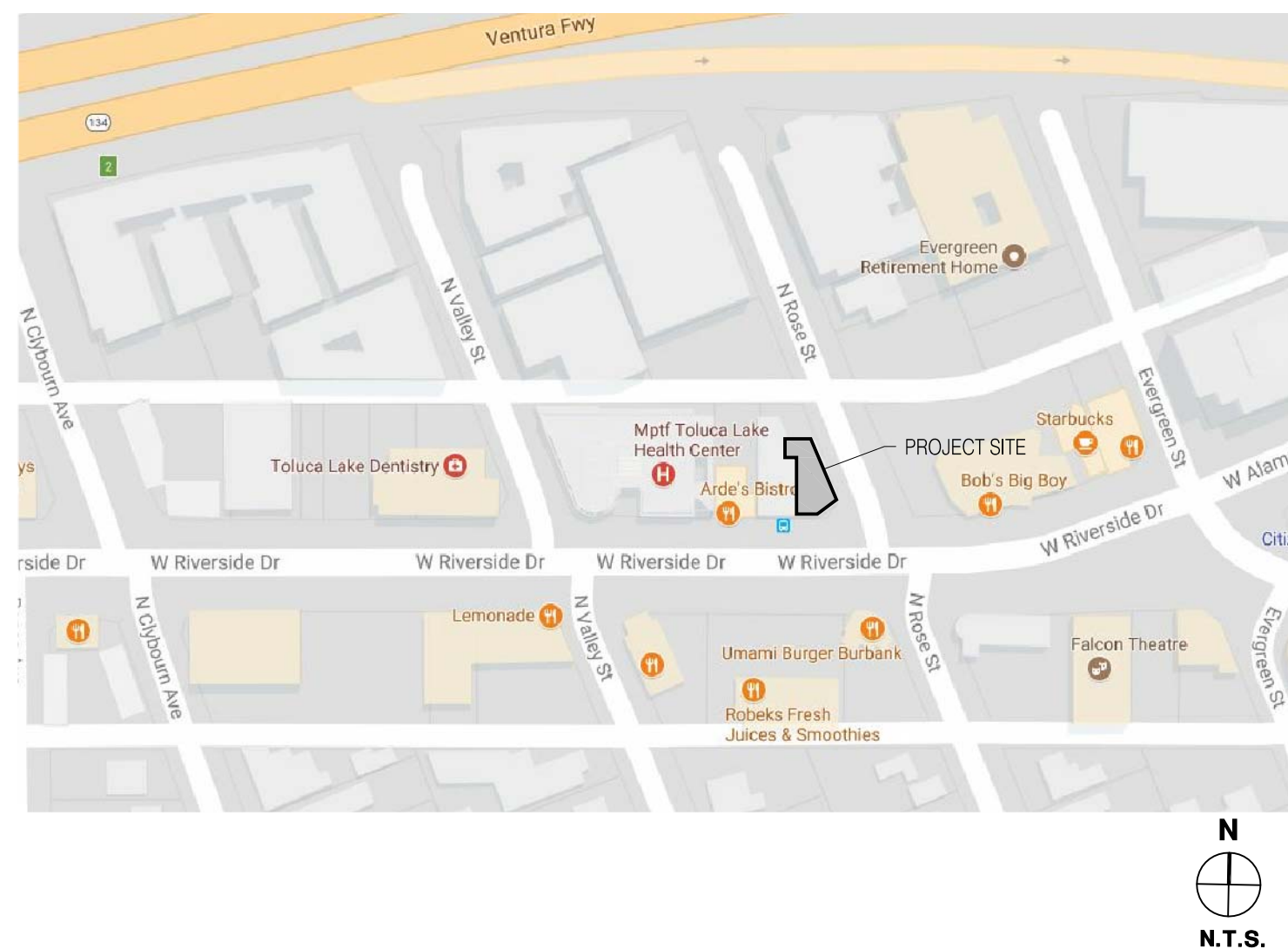
BURBANK, CA 91505

PROJECT INFORMATION

OWNER:	MENDOCINO FARMS 13103 VENTURA BLVD., SUITE 100 STUDIO CITY, CALIFORNIA 91604	BUILDING AREA:	5,819 S.F.
PROJECT ADDRESS:	4301 RIVERSIDE DRIVE BURBANK, CA 91505	TENANT SPACE:	2,288 S.F.
APN#:	2485-001-030	CONST. TYPE:	V-B
LEGAL DESCRIPTION:	TRACT: 9517, LOT: 42	OCCUPANCY:	A-2 (OCC.>50)
ZONE:	MDC-2	OCCUPANT LOAD:	897 S.F./15 = 60 (CUSTOMER AREA) 897 S.F./200 = 4 (SERVICE AREA) 64 OCCUPANTS
PARKING:	NO CHANGE IN PARKING VALET SERVICE TO BE PROVIDED FREE OF CHARGE BETWEEN 11:00 AM-3:30 PM & 5:30-7:30 PM WEEKDAYS & WEEKENDS	INDOOR:	64 OCCUPANTS
HOURS OF OPERATION:	7:00 AM - 9:00 PM PATIO HOURS: 11:00 AM - 9:00 PM	OUTDOOR:	580 S.F./15 = 39 (CUSTOMER AREA)
SCOPE OF WORK:	THE TENANT IMPROVEMENT OF AN EXISTING 2,288 SQUARE FOOT RESTAURANT WITH A COVERED 580 SQ. FT. DINING PATIO (EXIST).	TOTAL OCCUPANT LOAD:	= 103 OCCUPANTS
		RESTAURANT SEAT COUNT:	INDOOR SEATS = 25 OUTDOOR SEATS = 28 53 TOTAL

OWNER:	CYPRESS EQUITY INVESTMENTS 12121 WILSHIRE BLVD., #720 LOS ANGELES, CA 90025	TENANT:	MENDOCINO FARMS 13103 VENTURA BLVD., SUITE 100 STUDIO CITY, CALIFORNIA 91604	ARCHITECT:	VMC ARCHITECTURE 25725 WALLACE PLACE STEVENSON RANCH, CA 91381
CONTACT:	MS. JESSICA MURPHY TEL: 310-405-0508 EMAIL: jessica@cypressequity.com	CONTACT:	MR. CHRIS KONENY TEL: (415) 545-8840 EMAIL: chris@mendocinofarms.com	CONTACT:	MR. VICTOR CORONA, AIA TEL: (213) 407-4756 EMAIL: victor@vmc-architecture.com
ELECTRICAL:	TEK ENGINEERING 16830 VENTURA BLVD., #326 ENCINO, CA 91436	MECH/PLUMB.:	SPEC ENGINEERING 16830 VENTURA BLVD., #326 ENCINO, CA 91436		
CONTACT:	MR. MASOUD NARIMAN TEL: (818) 763-6965 EMAIL: MASOUD@SPECTRUMGROUP.COM	CONTACT:	MR. SIA GARESTANI TEL: (818) 763-6965 EMAIL: SIA@SPECTRUMGROUP.COM		

VICINITY MAP



SHEET INDEX

A-0.0	COVER PAGE
A-1.0	SITE PLAN
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A-3.4	EXTERIOR ELEVATIONS & DETAILS
A-3.5	EXTERIOR ELEVATIONS
A-3.6	RENDERED EXTERIOR ELEVATIONS

SYMBOLS

	DETAIL NUMBER		ROOM NAME
	SHEET NUMBER		ROOM NUMBER
	ELEVATION NUMBER		PLUMB. FIXTURE NUMBER
	WINDOW NUMBER		REVISION CLOUD
	DOOR NUMBER		INTERIOR ELEVATION NUMBER
	KEY NOTES		SHEET NUMBER
			ROOM HEIGHT
			CEILING MATERIAL
			CEILING FINISH

FIRE PREVENTION NOTES

- FIRE DAMPERS OR DOORS SHALL BE PROVIDED WHERE AIR DUCTS PENETRATE FIRE RATED WALLS OR CEILINGS. (SECT. 606.2 CM.C.)
- CONTRACTOR TO PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE FLOOR, DURING AND AFTER CONSTRUCTION.
- CONTRACTOR TO PROVIDE ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR. LOCATIONS OF FIRE EXTINGUISHERS TO BE APPROVED BY THE DESIGNER/TENANT.
- EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.
- EXIT LIGHTING AND SIGNS SHALL BE PROVIDED (MINIMUM 3/4"x6" HIGH LETTERS) AT REQUIRED EXITS.
- INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED END POINT FLAME SPREAD RATING OF 200. EXIT CORRIDOR WALL AND CEILING FINISHES NOT-TO-EXCEED F.S.R. OF 75. ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME PROOFED IN AN APPROVED MANNER.
- DOORS OPENING INTO REQUIRED 1 HOUR FIRE RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP FIRE ASSEMBLY HAVING A 20 MINUTE RATING WITH SELF CLOSERS. A MINIMUM 44" WIDE AISLE CLEARANCE SHALL BE MAINTAINED TO ALL REQUIRED EXITS.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING MORE THAN 50 PERSONS (CHAPTER 10, CBC). EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. (CHAPTER 10 CBC)
- PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS SERVING ROOMS, CORRIDORS, OR STAIRWAYS HANDLING AN OCCUPANT CAPACITY OF 50 OR MORE PERSONS (CHAPTER 10, CBC.)
- ALL CONDITIONS TITLED "PRIOR TO FINAL INSPECTION", AND/OR ANY TYPE OF FIRE SUPPRESSION SYSTEMS, MUST BE APPROVED, INSPECTED AND FINALIZED BY THE CITY OF BURBANK FIRE DEPARTMENT, PRIOR TO BUILDING AND SAFETY'S FINAL INSPECTION. THE FIRE DEPARTMENT LETTER OF CONDITIONS, JOB CARD AND APPROVED PLANS MUST BE AT THE JOB SITE FOR ALL INSPECTIONS.
- DURING THE CONSTRUCTION OF THIS PROJECT, THE SITE ADDRESS SHALL BE CLEARLY POSTED AT THE JOB SITE ENTRANCE. THIS WILL ENABLE INCOMING EMERGENCY EQUIPMENT AND THE INSPECTORS TO LOCATE THE JOB-SITE FROM THE ASSIGNED STREET LOCATION. NUMBERS SHALL BE A MINIMUM OF 24 INCHES IN HEIGHT.
- IT IS PROHIBITED TO USE, PROCESS OR STORE ANY MATERIAL IN THIS OCCUPANCY THAT WOULD CLASSIFY IT AS AN 'H' OCCUPANCY PER THE 2010 CALIFORNIA BUILDING CODE.
- EXISTING FIRE LANES SHALL BE MAINTAINED, ADDITIONAL FIRE LANES MAY BE REQUIRED. CONTACT FIRE DEPARTMENT FOR GUIDELINE HANDOUT.
- INSTALL PORTABLE FIRE EXTINGUISHERS WITH A MINIMUM RATING OF 2A-10BC ONE PER 3,000 SQ. FT. OR 75 FEET OF TRAVEL DISTANCE. FIRE EXTINGUISHERS LOCATED IN PUBLIC AREAS SHALL BE IN RECESSED CABINETS MOUNTED 48 INCHES TO CENTER ABOVE FLOOR LEVEL WITH MAXIMUM 4 INCH PROJECTION FROM THE WALL. EXTINGUISHERS MUST HAVE CURRENT CSFM SERVICE TAG AFFIXED.
- A U.L. 300 HOOD DUCT FIRE EXTINGUISHING SYSTEM MUST BE INSTALLED OVER THE COOKING EQUIPMENT, WET CHEMICAL EXTINGUISHING SYSTEM MUST PROVIDE AUTOMATIC SHUTDOWN OF ALL ELECTRICAL COMPONENTS AND OUTLETS UNDER THE HOOD UPON ACTIVATION. SYSTEM MUST BE INSTALLED BY A LICENSED C-16 CONTRACTOR. PLANS MUST BE SUBMITTED WITH CURRENT FEE TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. NOTE: A DEDICATED ALARM SYSTEM IS NOT REQUIRED TO BE INSTALLED FOR THE EXCLUSIVE PURPOSE OF MONITORING THIS SUPPRESSION SYSTEM. HOWEVER A NEW OR PRE-EXISTING ALARM SYSTEM MUST BE CONNECTED TO THE EXTINGUISHING SYSTEM. SEPARATE FIRE ALARM PLANS MUST BE SUBMITTED FOR CONNECTION.
- RAPID KEY ENTRY LOCK BOX SYSTEM SHALL BE INSTALLED ON THE OUTSIDE OF THE BUILDING. PLANS SHALL BE SUBMITTED WITH CURRENT FEE TO THE CITY OF BURBANK FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CONTACT FIRE DEPARTMENT FOR GUIDELINE HANDOUT.
- PENETRATIONS IN WALLS REQUIRING PROTECTED OPENINGS MUST BE FIRESTOPPED WITH AN APPROVED MATERIAL IN ACCORDANCE WITH SECTION 709.6. SPACE BETWEEN PENETRATING MATERIALS (DESCRIBED BELOW) MUST BE DESIGNED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES.
 - COPPER OR FERROUS PIPES OR CONDUITS MAY PENETRATE THE WALLS OR PARTITIONS, PROVIDED THEY ARE FIRESTOPPED.
 - OPENINGS TO SMALL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT AGGREGATE MORE THAN 100 SQUARE INCHES OR 100 SQUARE FEET OF WALL OR PARTITIONS. OUTLET BOXES ON OPPOSITE SIDES OF WALLS OR PARTITIONS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.
 - WHERE WALLS ARE PENETRATED BY THE OTHER MATERIALS OR WHERE LARGER OPENINGS ARE REQUIRED THAN PERMITTED IN (a) ABOVE, THEY MUST BE QUALIFIED BY TESTS CONDUCTED IN ACCORDANCE WITH SECTION 703.2.
- SMOKE AND FIRE DAMPERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTIONS 713.10 & 11:
 - DUCT PENETRATIONS OF AREA OR OCCUPANCY SEPARATION WALLS WITH RATINGS OF TWO HOURS OR LESS.
 - DUCTS PASSING THROUGH HORIZONTAL EXIT WALLS
 - DUCTS PENETRATING SHAFTS
 - DUCTS PENETRATING FIRE-RESISTIVE ELEMENTS OF FIRE-RATED CORRIDOR WALLS. SEE EXCEPTION FOR STEEL DUCTS WITH NO OPENINGS INTO CORRIDOR.
- FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 708.2.1, IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
- COMBINATION SMOKE AND FIRE DAMPERS SHALL BE REQUIRED WHERE A FIRE AND SMOKE BARRIER OR WALL IS REQUIRED, CBC 716.5
- ALL FIRE SPRINKLER WORK SHALL BE SUBMITTED UNDER SEPARATE PERMIT TO THE CITY OF BURBANK FIRE DEPARTMENT (CFC 901.3)
- ALL FIRE ALARM SYSTEM WORK SHALL BE SUBMITTED UNDER SEPARATE PERMIT TO THE CITY OF BURBANK FIRE DEPARTMENT (CFC 901.3)

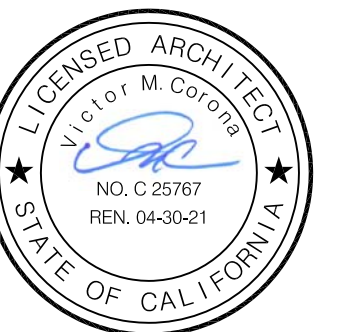
ABBREVIATIONS

AIR CONDITIONING	A/C	FLOOR	FLR.	PLASTIC LAMINATE	P.L.
ACOUSTICAL	ACOUS.	FLOURESCENT	FLOUR.	QUARRY TILE	Q.T.
ABOVE FINISHED FLOOR	A.F.F.	FACE OF STUD	F.O.S.	RADIUS	RAD.
ALUMINUM	ALUM.	GAUGE	GA.	REFRIGERATOR/FREEZER	R/F
AT	@	GALVANIZED	GAL.	REFERENCE	REF.
BUILDING	BLDG.	GARBAGE DISPOSAL	GD.	REQUIRED	REQ.
CEMENT	CEM.	GLASS	GL.	ROOM	RM.
CEILING	CLG.	GYPSUM BOARD	GYP. BD.	RESTROOM	RESTRM.
CLEAR OPENING	CL. OPNG	HARDWOOD	HDWD.	SEPARATE CIRCUIT	S.C.
COLUMN	COL.	HARDWARE	HWDR.	SECTION	SECT.
CONCRETE	CONC.	HOLLOW METAL	H.M.	SHEET	SHT.
CONTINUOUS	CONT.	HEIGHT	HGT.	SIMILAR	SIM.
CONTRACTOR	CONTR.	HEATING, VENTILATING	H.V.A.C.	SPECIFICATIONS	SPECS.
CERAMIC TILE	C.T.	LAVATORY	LAV.	STOVE/RANGE	S/R
DETAIL	DET.	MAXIMUM	MAX.	STAINLESS STEEL	S.S.TL.
DRINKING FOUNTAIN	D.F.	METAL	MTL.	STANDARD	STD.
DIAMETER	DIA.	MANUFACTURER	MFG.	SUSPENDED	SUSP.
DIMENSION	DIM.	MINIMUM	MIN.	TRASH COMPACTOR	T.C.
DOOR	DR.	MIRROR	MIR.	TO BE DETERMINED	TBD.
DISH-WASHER	DW.	MULLION	MUL.	TELEPHONE	TELE.
DRAWING	DWG.	MICROWAVE	MW.	THICK	THK.
ELEVATION	ELEV.	NOT IN CONTRACT	N.I.C.	TYPICAL	TYP.
ELECTRICAL	ELEC.	NOT TO SCALE	N.T.S.	UNLESS NOTED OTHERWISE	U.N.O.
ELEVATOR	ELEVAT.	OVER ALL	O.A.	VERTICAL	VERT.
EXISTING	EXIST.	ON CENTER	O.C.	VERIFY IN FIELD	V.I.F.
FLOOR DRAIN	F.D.	PARTITION	PART.	VINYL COMPOSITION TILE	V.C.T.
FIRE EXTINGUISHER	F.E.	PLASTIC LAMINATE	P.L.	WALL COVERING	WC.
FIRE HOSE CABINET	F.H.C.	POLISHED	POL.		
FINISH	FIN.	PAIR	PR.		

submittal	date
HEALTH & PC SUBMITTAL	02-12-21
HEALTH & PC RE- SUBMIT	04-09-21

revision	date
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ARCHITECTURAL STAMP:



PROJECT TITLE:
MENDOCINO FARMS
4301 RIVERSIDE DRIVE
BURBANK, CA 91505

PROJECT TITLE:

SHEET TITLE:
COVER SHEET

JOB NO:	20-016
DATE:	01/20
SCALE:	AS NOTED
DRAWN BY:	JO
CHECKED BY:	VC

SHEET NO:

A-0.0



MENDOCINO FARMS
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BURBANK, CA 91505

PROJECT TITLE:

**EXISTING ADA
PATH OF TRAVEL**

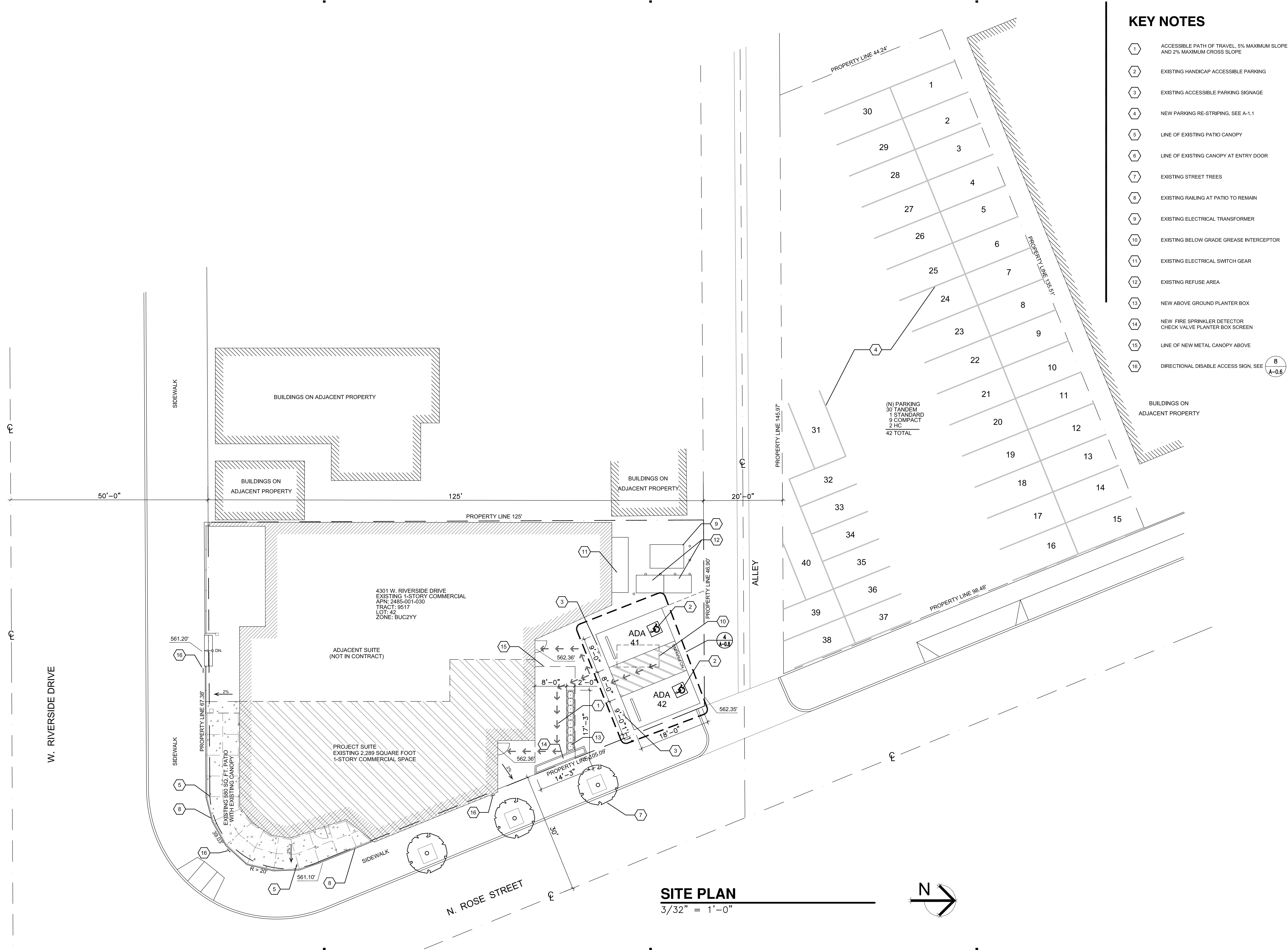
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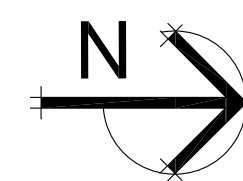
KEY NOTES

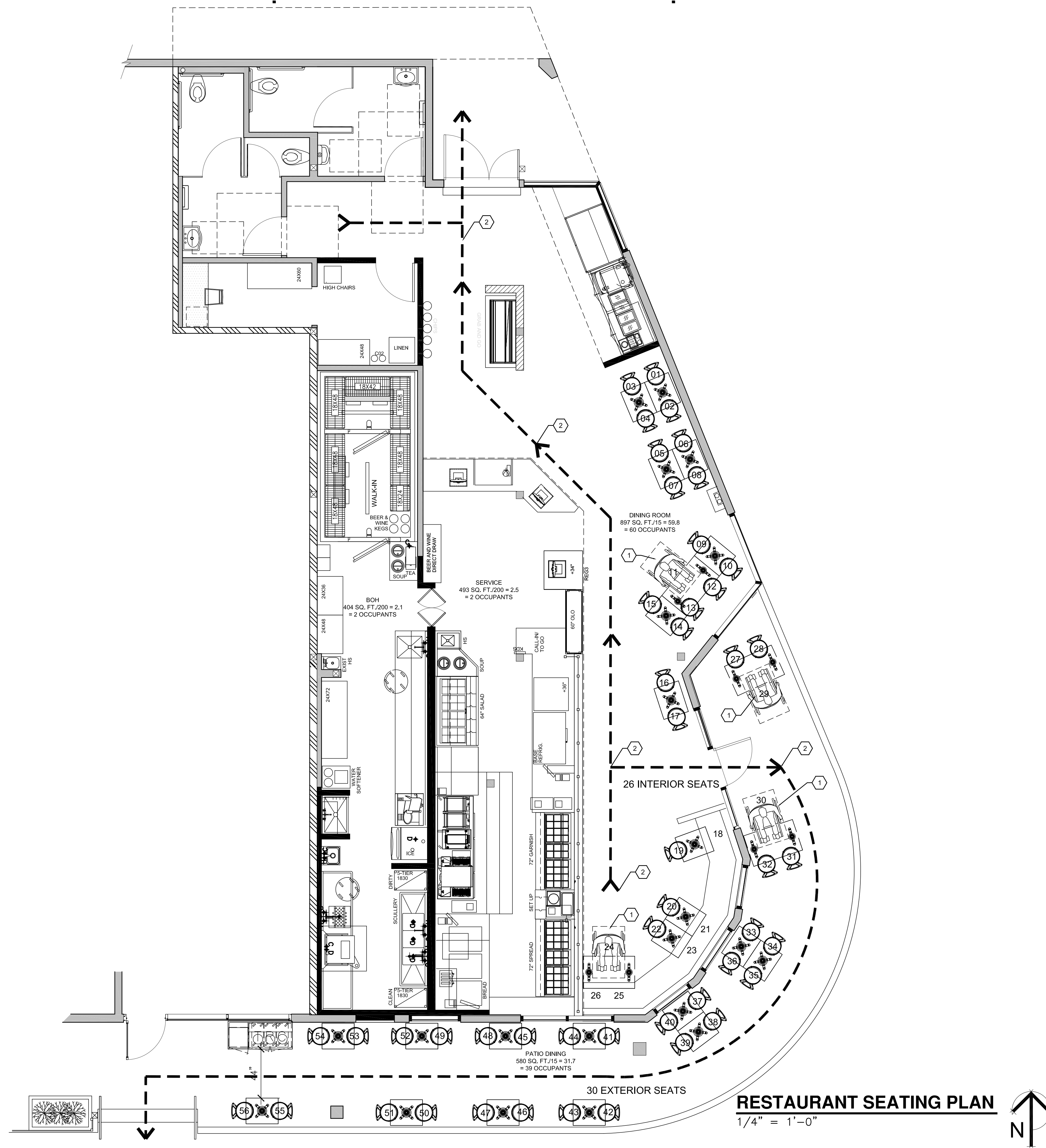
- 1 ACCESSIBLE PATH OF TRAVEL, 5% MAXIMUM SLOPE AND 2% MAXIMUM CROSS SLOPE
- 2 EXISTING HANDICAP ACCESSIBLE PARKING
- 3 EXISTING ACCESSIBLE PARKING SIGNAGE
- 4 NEW PARKING RE-STRIPING, SEE A-1.1
- 5 LINE OF EXISTING PATIO CANOPY
- 6 LINE OF EXISTING CANOPY AT ENTRY DOOR
- 7 EXISTING STREET TREES
- 8 EXISTING RAILING AT PATIO TO REMAIN
- 9 EXISTING ELECTRICAL TRANSFORMER
- 10 EXISTING BELOW GRADE GREASE INTERCEPTOR
- 11 EXISTING ELECTRICAL SWITCH GEAR
- 12 EXISTING REFUSE AREA
- 13 NEW ABOVE GROUND PLANTER BOX
- 14 NEW FIRE SPRINKLER DETECTOR CHECK VALVE PLANTER BOX SCREEN
- 15 LINE OF NEW METAL CANOPY ABOVE
- 16 DIRECTIONAL DISABLE ACCESS SIGN, SEE A-0.6



SITE PLAN

3/32" = 1'-0"





SEAT COUNT

INDOOR	26
OUTDOOR	30
TOTAL	56 (x 5% ADA = 2.8, 4 PROVIDED)

KEY NOTES

- ① 30" X 48" ADA COMPLIANT SEATING
- ② EXIT PATH OF TRAVEL

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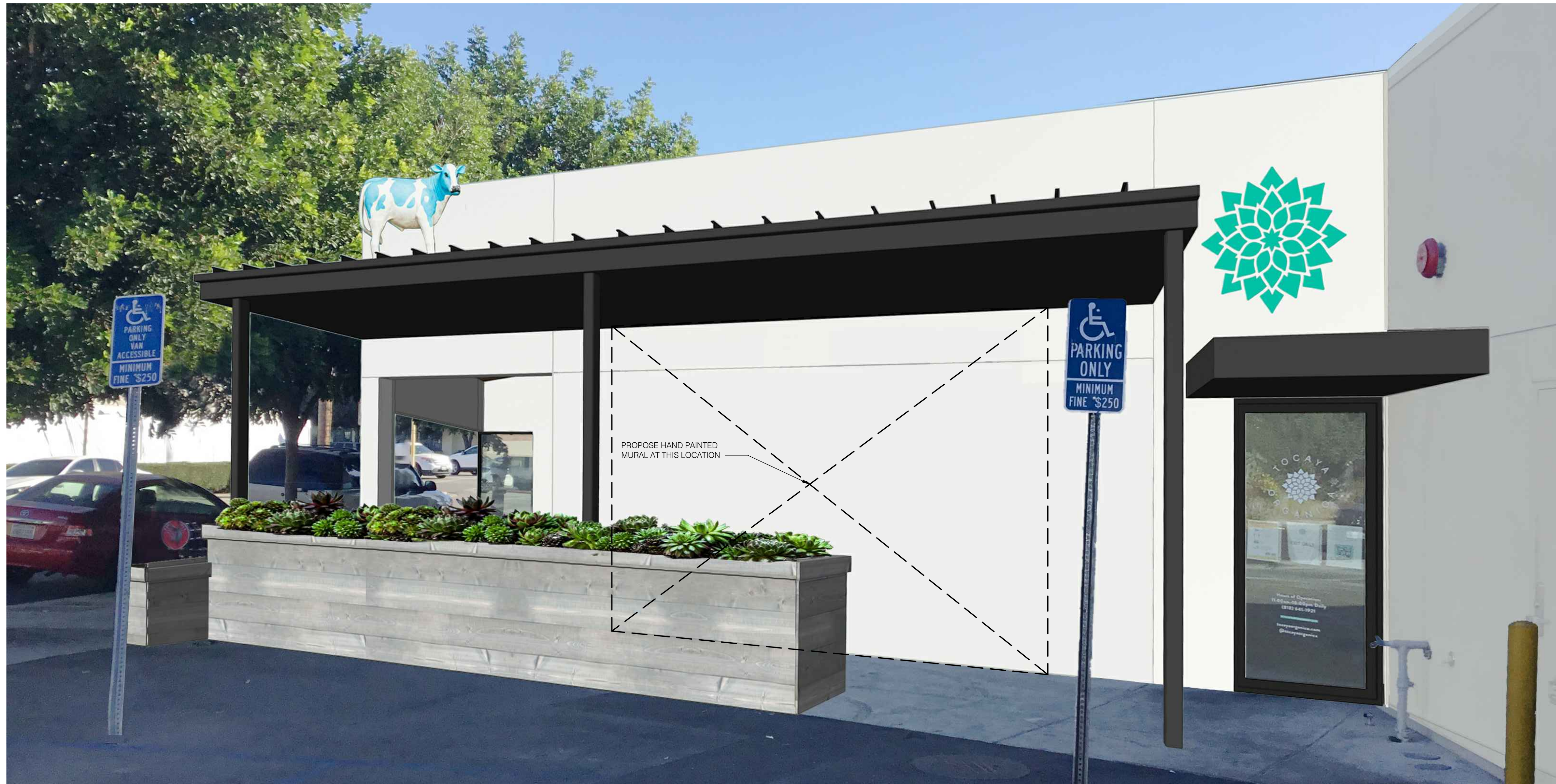
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BURBANK, CA 91505

SHEET TITLE:

SEATING PLAN

JOB NO:	20-016
DATE:	0/0/20
SCALE:	1/4" = 1'-0"
DRAWN BY:	JO
CHECKED BY:	VC
SHEET NO:	

RESTAURANT SEATING PLAN
1/4" = 1'-0"

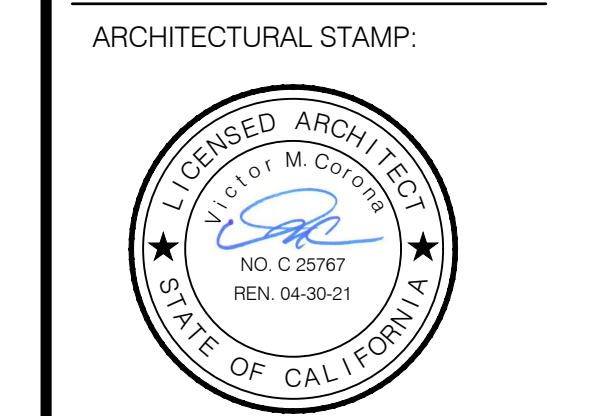


VIEW FROM PARKING LOT TOWARDS ENTRANCE

PROPOSE HAND PAINTED MURAL AT THIS LOCATION

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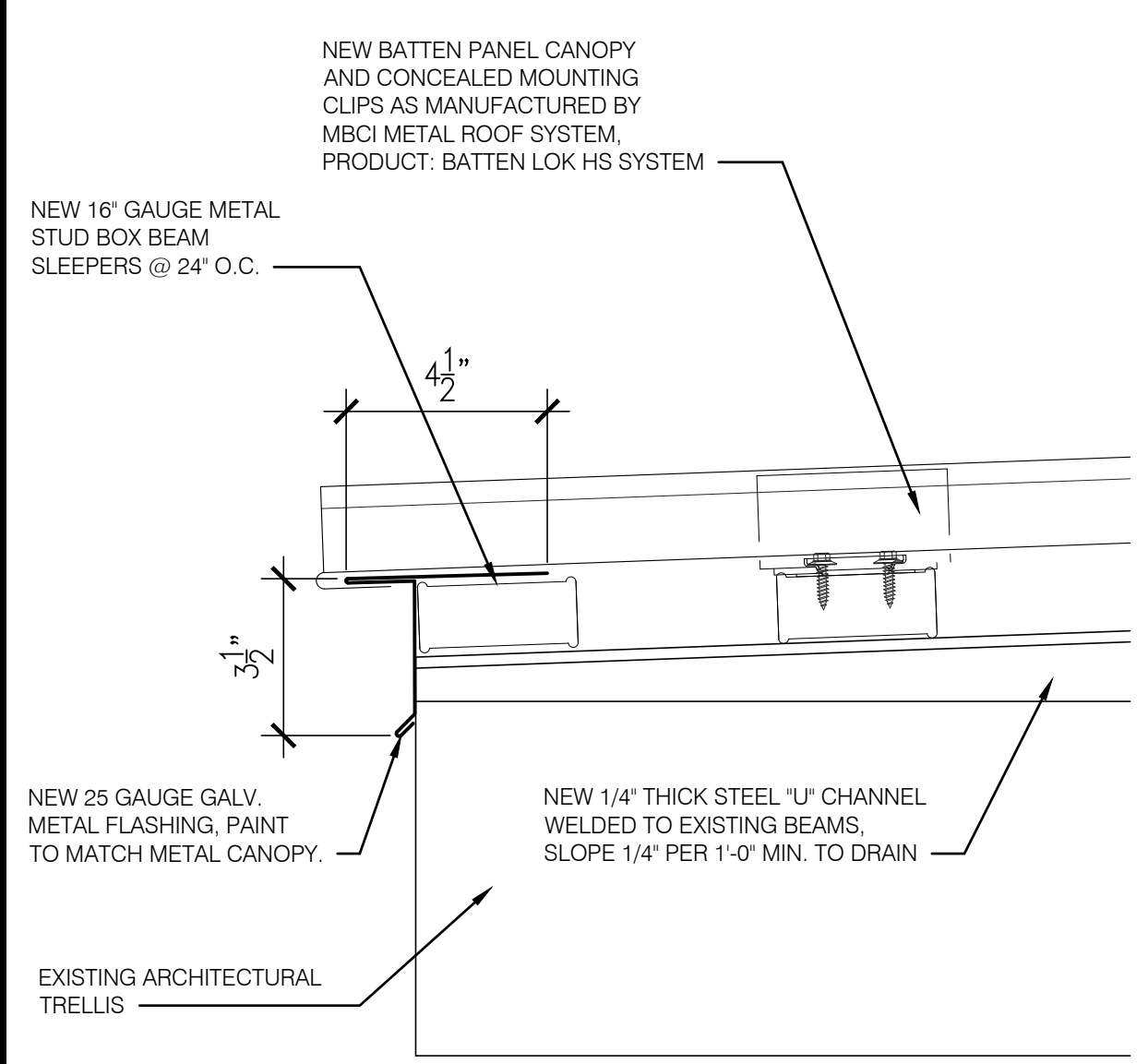
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4301 RIVERSIDE DRIVE
BURBANK, CA 91505

PROJECT TITLE:

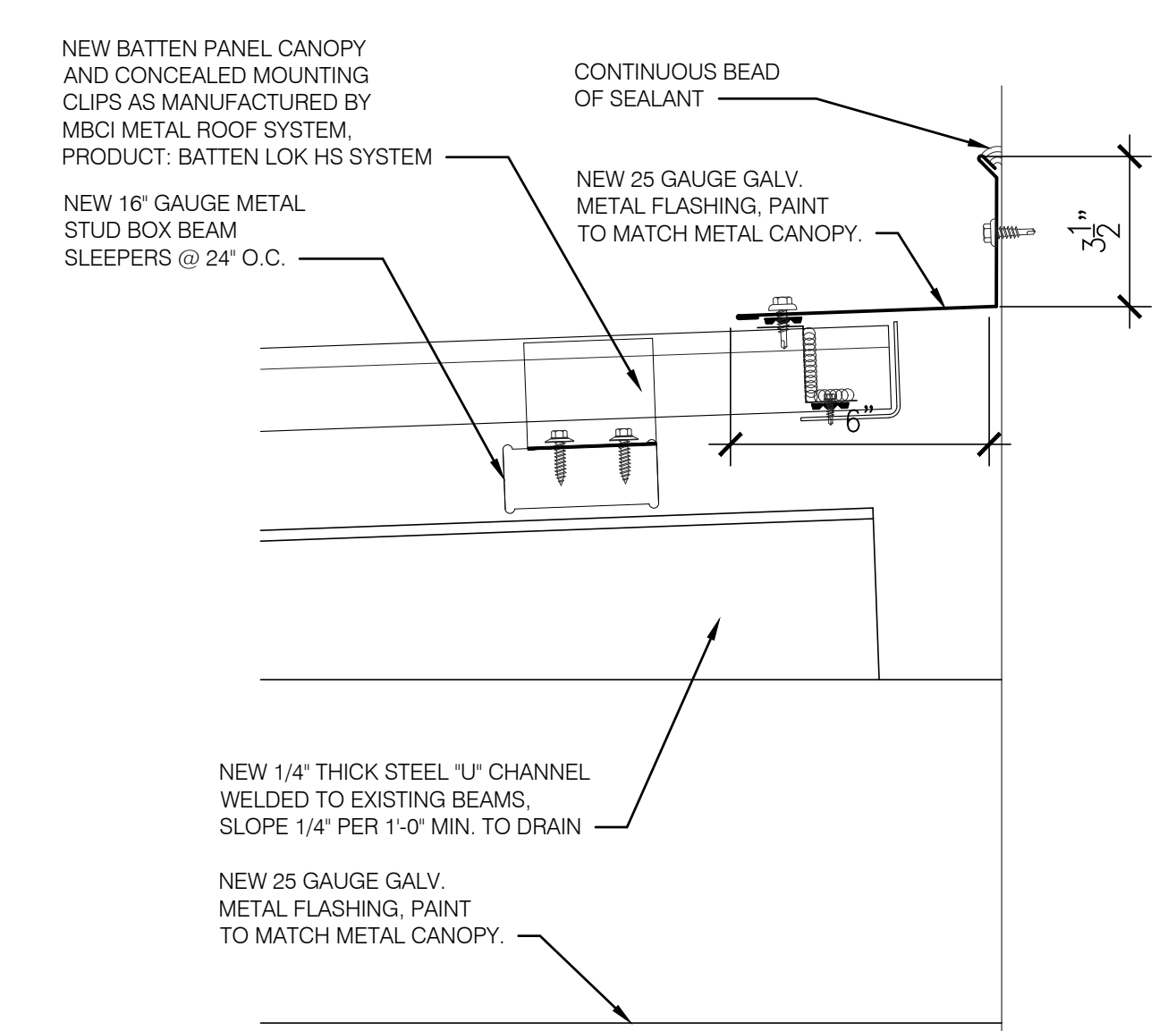
SHEET TITLE:
EXTERIOR ELEVATIONS

JOB NO:	20-016
DATE:	0/0/20
SCALE:	1/4" = 1'-0"
DRAWN BY:	JO
CHECKED BY:	VC
SHEET NO:	

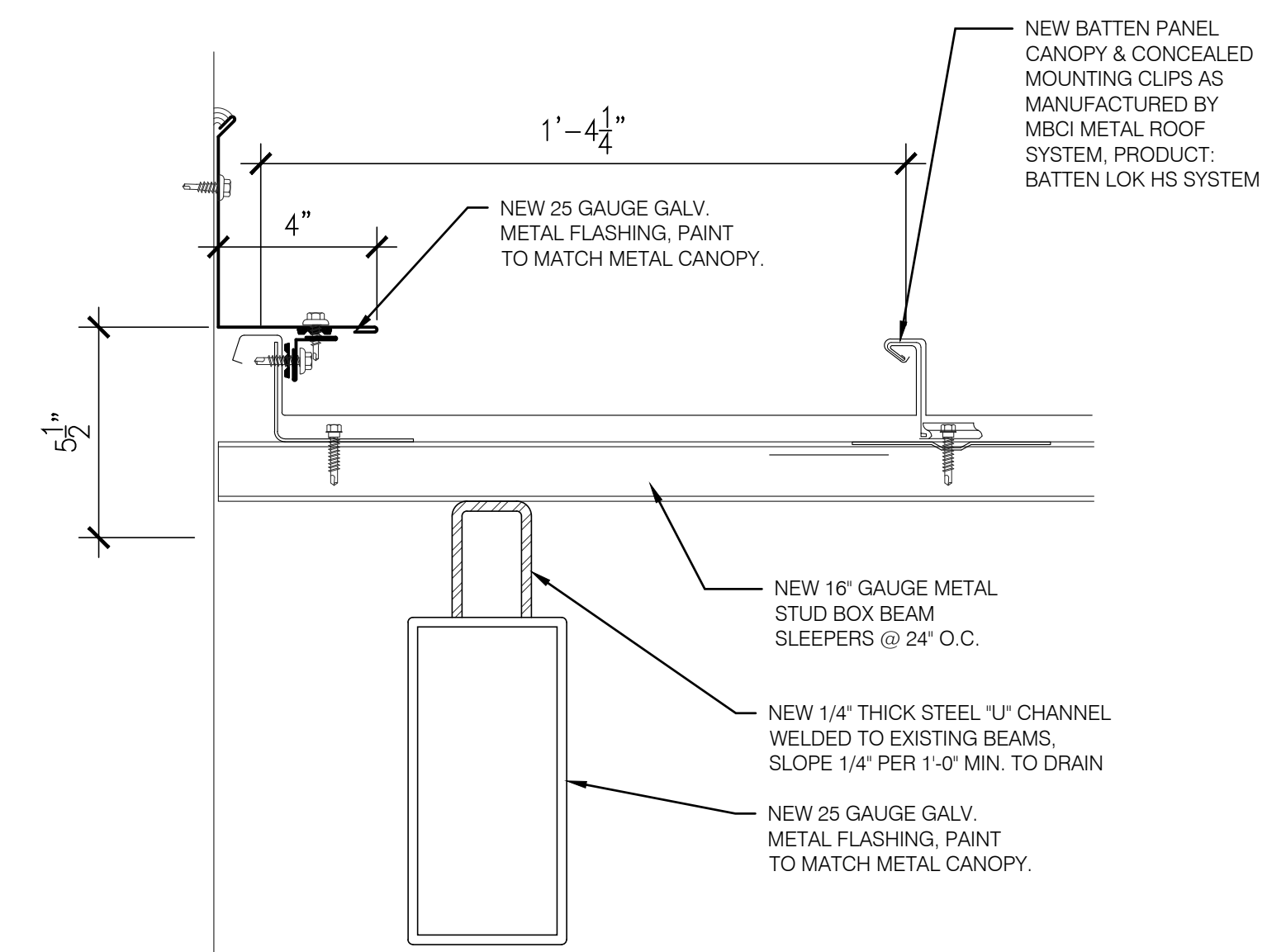
A-3.3



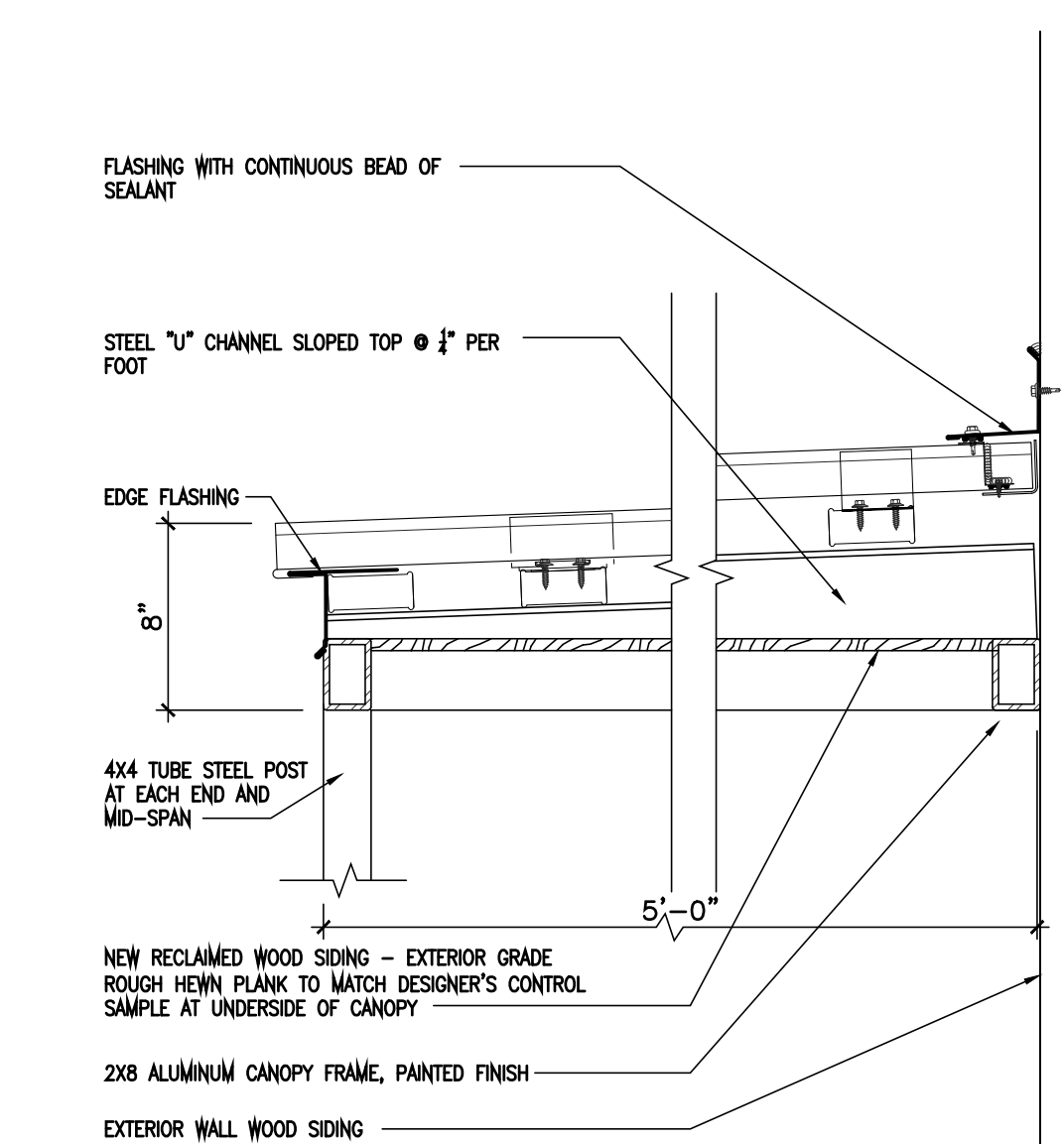
1 METAL CANOPY DETAIL
3" = 1'-0"



2 METAL CANOPY DETAIL
3" = 1'-0"



3 METAL CANOPY DETAIL
3" = 1'-0"



4 CANOPY DETAIL
1-1/2" = 1'-0"

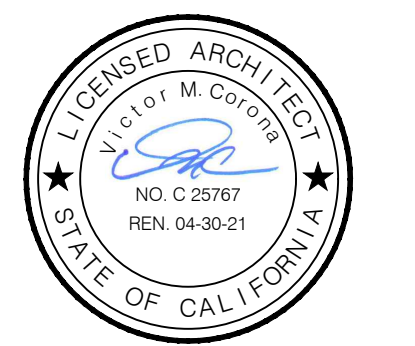
G.C. TO SUBMIT SHOP DRAWINGS FOR REVIEW

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submittal	date
HEALTH & PC SUBMITTAL	02-09-20

revision	date
▲	
▲	
▲	

ARCHITECTURAL STAMP:



MENDOCINO FARMS
4301 RIVERSIDE DRIVE
BURBANK, CA 91505

PROJECT TITLE:

SHEET TITLE:

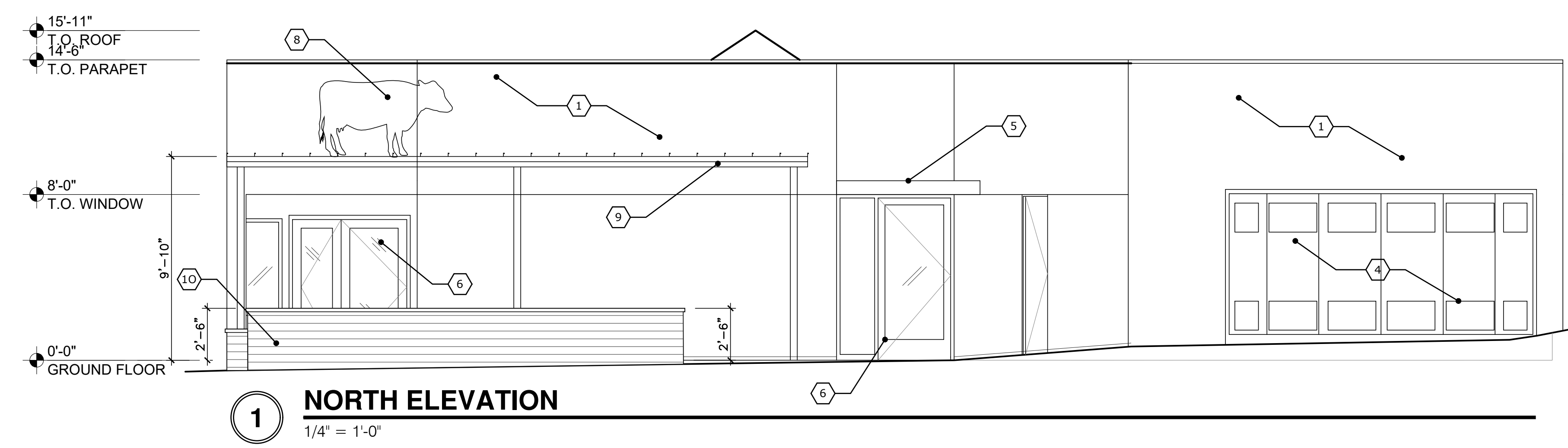
**EXTERIOR
ELEVATIONS**

JOB NO:	20-016
DATE:	0/0/20
SCALE:	1/4" = 1'-0"
DRAWN BY:	JO
CHECKED BY:	VC
SHEET NO:	

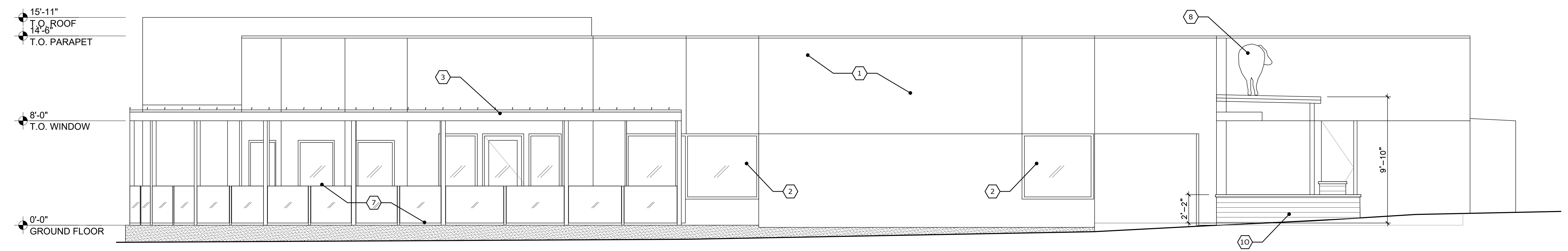
A-3.5

KEY NOTES

- 1 EXISTING CEMENT PLASTER FINISH WITH METAL REVEALS
- 2 EXISTING STOREFRONT WINDOWS
- 3 EXISTING METAL CANOPY WITH NEW STANDING SEAM METAL ROOF
- 4 EXISTING ELECTRICAL SWITCH GEAR
- 5 EXISTING METAL CANOPY
- 6 EXISTING STOREFRONT ENTRANCE
- 7 EXISTING GLASS RAILING
- 8 NEW FIBERGLASS DECORATIVE COW
- 9 NEW METAL CANOPY WITH STANDING SEAM METAL ROOF AND 4X4 METAL POSTS
- 10 NEW VINTAGE GREY SHIP LAP WOOD PLANTER BOX



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

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submittal	date
HEALTH & PC SUBMITTAL	02-09-20

revision	date
▲	
▲	
▲	

ARCHITECTURAL STAMP:



PROJECT TITLE:
MENDOCINO FARMS
4301 RIVERSIDE DRIVE
BURBANK, CA 91505

SHEET TITLE:
RENDERED EXTERIOR ELEVATIONS

JOB NO:	20-016
DATE:	0/0/20
SCALE:	1/4" = 1'-0"
DRAWN BY:	JO
CHECKED BY:	VC
SHEET NO:	

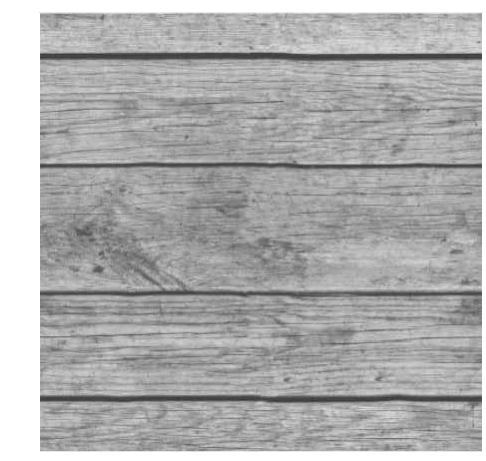
COLOR LEGEND



1 EXISTING WHITE SAND FINISH CEMENT PLASTER



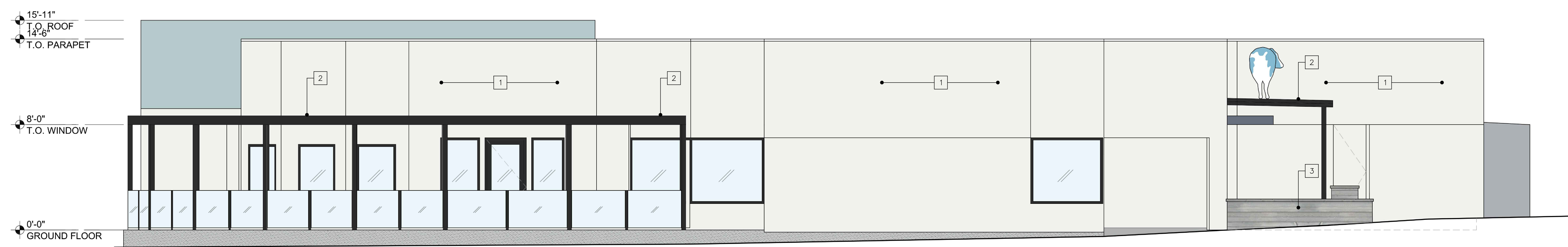
2 NEW ALUMINUM AWNING BLACK COLOR TO MATCH EXISTING



3 NEW 8" HIGH SHIPLAP VINTAGE GREY BOARD



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"