



# STARBUCKS COFFEE

## BURBANK, CA

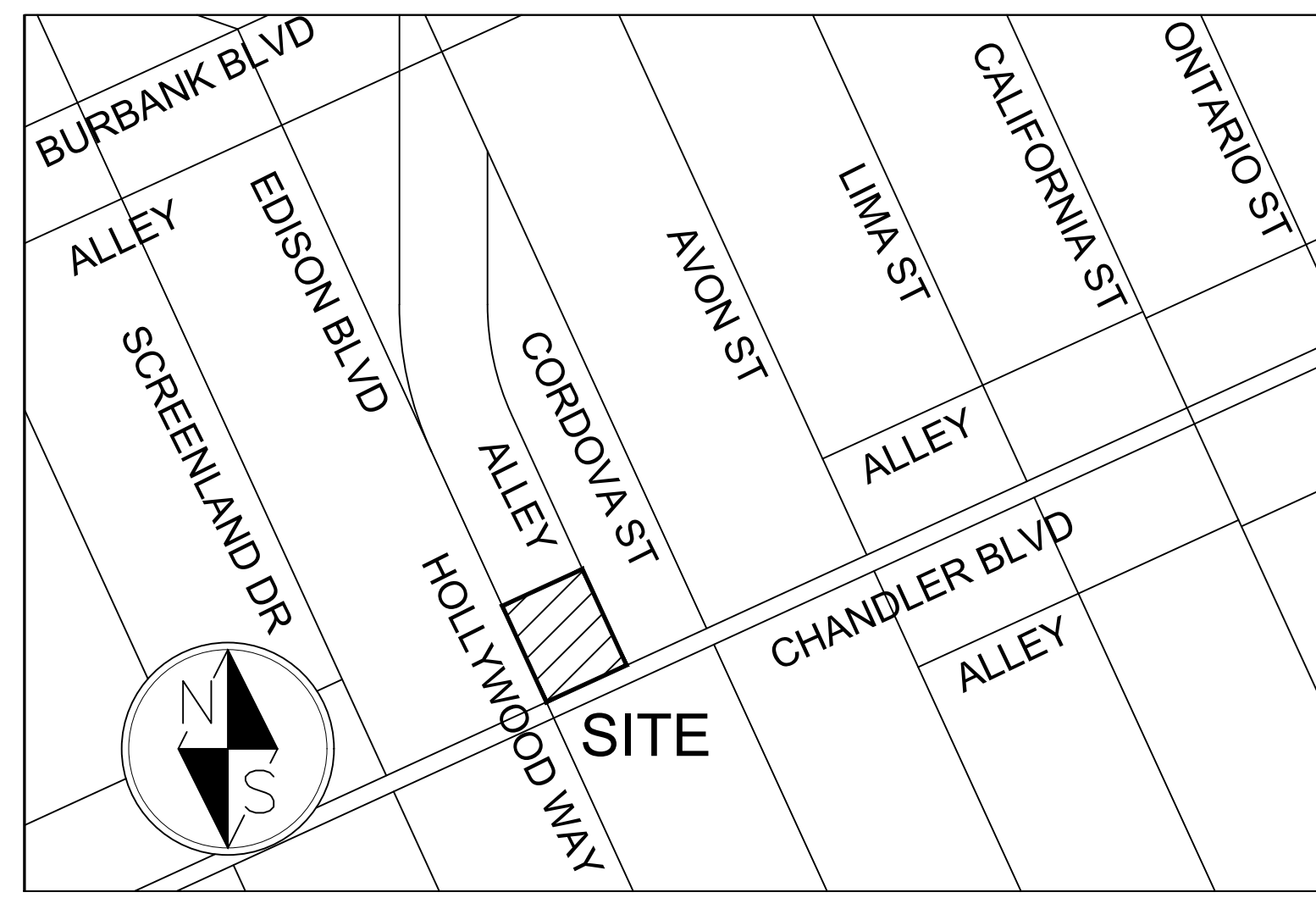
### PROJECT INFORMATION

|                                                                                                                                                                                                                                                                                                                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>PROJECT LOCATION</b>                                                                                                                                                                                                                                                                                                   |
| 1200 N HOLLYWOOD WAY<br>BURBANK, CA                                                                                                                                                                                                                                                                                       |
| <b>PROJECT DESCRIPTION</b>                                                                                                                                                                                                                                                                                                |
| PROPOSED ±880 SF DRIVE THROUGH STARBUCKS IN PLACE OF EXISTING RESTAURANT BUILDING TO BE DEMOLISHED. OUTDOOR SEATING IS PROPOSED IN CONJUNCTION WITH STARBUCKS USE.                                                                                                                                                        |
| <b>ASSESSOR'S PARCEL NUMBER</b>                                                                                                                                                                                                                                                                                           |
| APN: 2477-011-034                                                                                                                                                                                                                                                                                                         |
| <b>LEGAL DESCRIPTION (PORTION)</b>                                                                                                                                                                                                                                                                                        |
| A PORTION OF LOT 3 IN BLOCK 3 OF THE RANCHO PROVIDENCIA AND SCOTT TRACT, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGES 47 ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. SEE TITLE REPORT FOR FULL LEGAL DESCRIPTION. |
| <b>ZONING</b>                                                                                                                                                                                                                                                                                                             |
| JURISDICTION: CITY OF BURBANK                                                                                                                                                                                                                                                                                             |
| ZONING                                                                                                                                                                                                                                                                                                                    |
| EXISTING ZONE: C-2 COMMERCIAL LIMITED BUSINESS ZONE                                                                                                                                                                                                                                                                       |
| REQUIRED ZONE: C-2 COMMERCIAL LIMITED BUSINESS ZONE                                                                                                                                                                                                                                                                       |
| GENERAL PLAN: CORRIDOR COMMERCIAL                                                                                                                                                                                                                                                                                         |

### CONTACTS

|                                                                                                                                                                              |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>APPLICANT</b>                                                                                                                                                             |
| STARBUCKS COFFEE COMPANY<br>555 ANTON BLVD, SUITE 300<br>COSTA MESA, CA 92626<br>CONTACT: STEVEN POON spoon@starbucks.com                                                    |
| <b>APPLICANT REPRESENTATIVE</b>                                                                                                                                              |
| SCOTT A. MOMMER CONSULTING<br>10657 E SAN FELIPE AVE.<br>CLOVIS CA 93619<br>t: 559-978-7060 f: 559-276-0850<br>CONTACT: SCOTT MOMMER smommer@scottmommer.com                 |
| <b>ARCHITECT</b>                                                                                                                                                             |
| GREENBERGFARROW<br>30 EXECUTIVE PARK, SUITE 100<br>IRVINE, CA 92614<br>t: 949-296-0450 f: 949-296-0437<br>CONTACT: INDIRA IBRAHIMBEGOVIC iibrahimbegovic@greenbergfarrow.com |
| <b>CIVIL ENGINEER</b>                                                                                                                                                        |
| LARS ANDERSEN & ASSOCIATES, INC.<br>4694 WEST JACQUELYN AVENUE<br>FRESNO, CA 93722<br>t: 559-276-2790 f: 559-276-0850<br>CONTACT: DANIEL J. ZOLDAK dzoldak@larsandersen.com  |
| <b>LANDSCAPE ARCHITECT</b>                                                                                                                                                   |
| GREENBERGFARROW<br>30 EXECUTIVE PARK, SUITE 100<br>IRVINE, CA 92614<br>t: 949-296-0450 f: 949-296-0437<br>CONTACT: KURT KOETHER, RLA, No. 5557 kkoether@greenbergfarrow.com  |

### SITE VICINITY MAP



### DRAWING INDEX

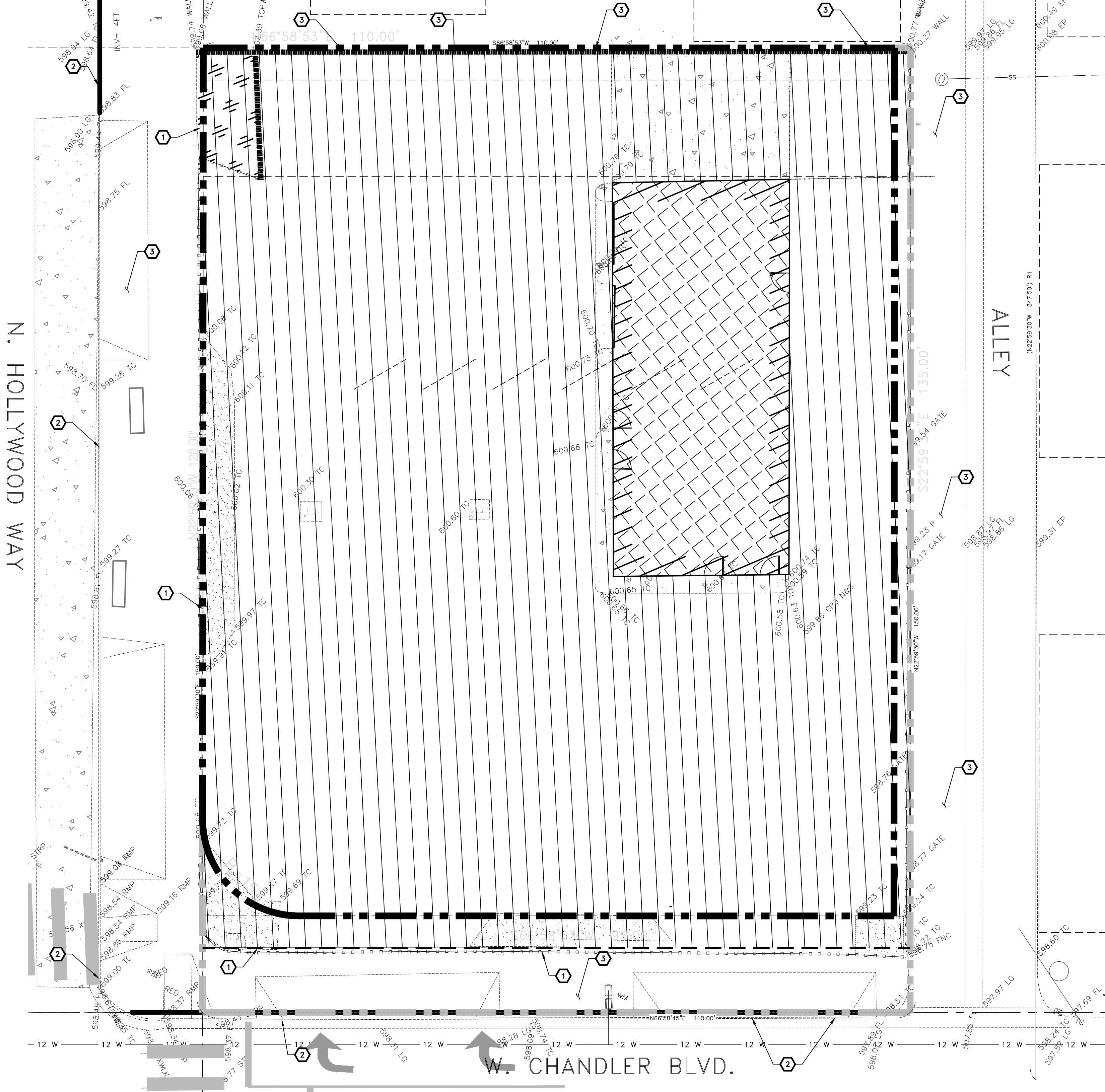
|            |                                           |
|------------|-------------------------------------------|
| SHEET 01   | COVER SHEET                               |
| SHEET 02   | SITE PLAN                                 |
| SHEET 03   | CONCEPTUAL GRADING & DRAINAGE & DEMO PLAN |
| SHEET 03.1 | CONCEPTUAL GRADING DETAILS                |
| SHEET 04   | CONCEPTUAL STORMWATER & UTILITIES PLAN    |
| SHEET 05   | CIRCULATIONS PLAN & NOTES                 |
| SHEET 06   | LANDSCAPE CONCEPTUAL PLAN                 |
| SHEET 07   | CONCEPTUAL LIGHTING PLAN                  |
| SHEET 08   | FLOOR PLAN                                |
| SHEET 09   | ROOF PLAN                                 |
| SHEET 10   | EXTERIOR ELEVATIONS                       |
| SHEET 11   | EXTERIOR ELEVATIONS - COLOR               |
| SHEET 12   | CONCEPTUAL SITE SECTIONS                  |







N. HOLLYWOOD WAY



DEMOLITION SYMBOL NOTES:

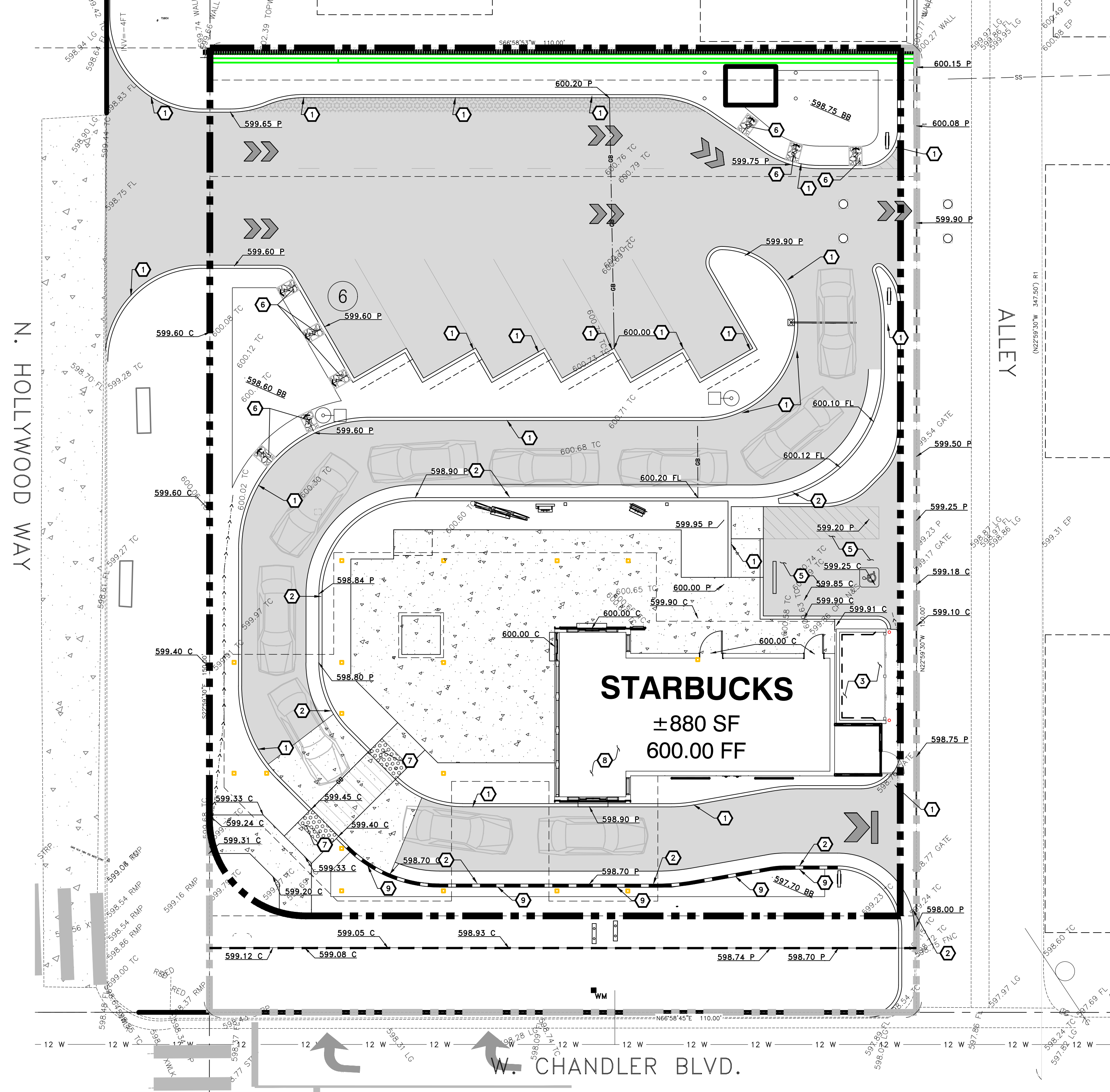
- 1 DEMO EXISTING CONCRETE CURB OR CURB & GUTTER.
- 2 PROTECT EXISTING CURB OR CURB & GUTTER.
- 3 PROTECT ADJACENT PROPERTY IMPROVEMENTS AS REQUIRED.

LEGEND:

- SAWCUT LINE
- DEMO & REMOVE EXISTING BUILDING
- DEMO & REMOVE EXISTING ASPHALT/CONCRETE PAVEMENT, STRUCTURES, AND CURBS

CONCEPTUAL DEMOLITION PLAN

N. HOLLYWOOD WAY



CONSTRUCTION SYMBOL NOTES:

- 1 CONSTRUCT CONCRETE CURB.
- 2 CONSTRUCT CONCRETE CURB AND GUTTER.
- 3 CONSTRUCT TRASH ENCLOSURE. TRASH ENCLOSURE SHALL BE DESIGNED TO BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING ON SITE. SEE ARCHITECT PLANS.
- 4 ADJUST EXISTING UTILITY VAULT AND/OR BOX LID/COVER TO NEW FINISHED GRADES, AND REPLACE LID/COVER WITH HEAVY DUTY TRAFFIC AS REQUIRED PER UTILITY COMPANY STANDARDS AND REQUIREMENTS.
- 5 ACCESSIBLE PARKING STALLS NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
- 6 INSTALL 3" RIVER ROCK 6" DEEP AND 3' WIDE OVER NON-WOVEN NEEDLE PUNCHED GEO-TEXTILE FABRIC.
- 7 INSTALL 36" WIDE DETECTABLE WARNING STRIP (TRUNCATED DOMES) PER C.B.C. STANDARDS AND REQUIREMENTS.
- 8 INSTALL VAPOR BARRIER.
- 9 INSTALL 4FT RETAINING WALL PER SPPWC PLAN.

GRADING LEGEND AND SYMBOLS:

- EXISTING ELEVATION
- EXISTING CONTOUR
- NEW ELEVATION
- GRADE BREAK LINE
- SWALE LINE
- GRADING SLOPE

ESTIMATED QUANTITIES :

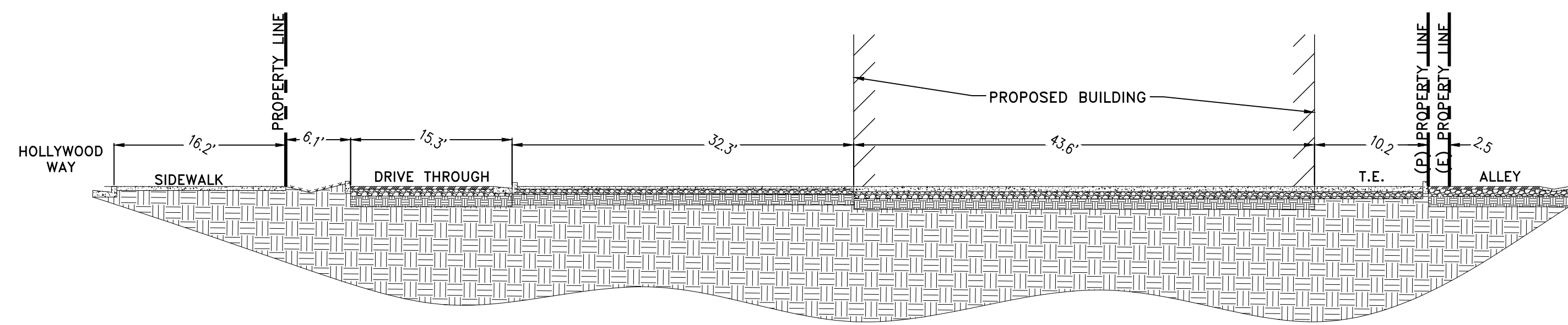
CUT: 148 CU. YDS. FILL: 25 CU. YDS.

HATCHING LEGEND :

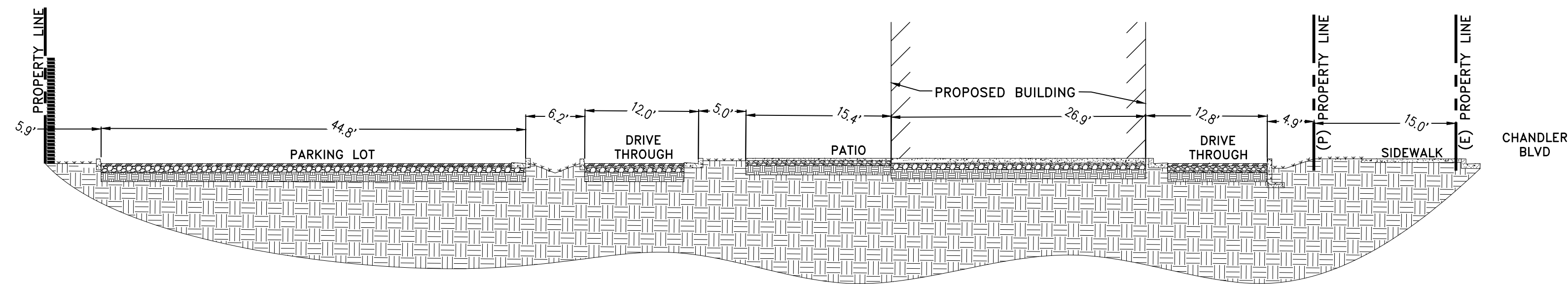
- AC PAVEMENT
- PCC PAVEMENT
- "RIP-RAP"
- INSTALL 3" RIVER ROCK 6" DEEP MIN.
- "PERVIOUS PAVERS"

CONCEPTUAL GRADING PLAN

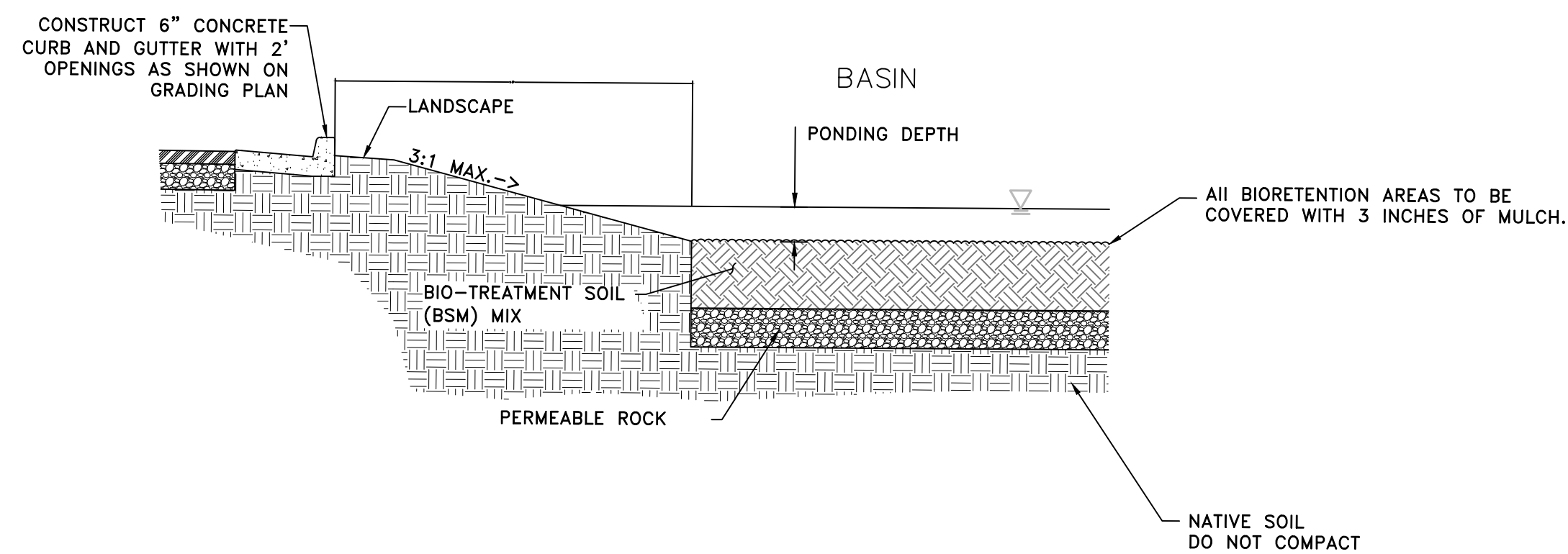




SECTION A-A  
NO SCALE



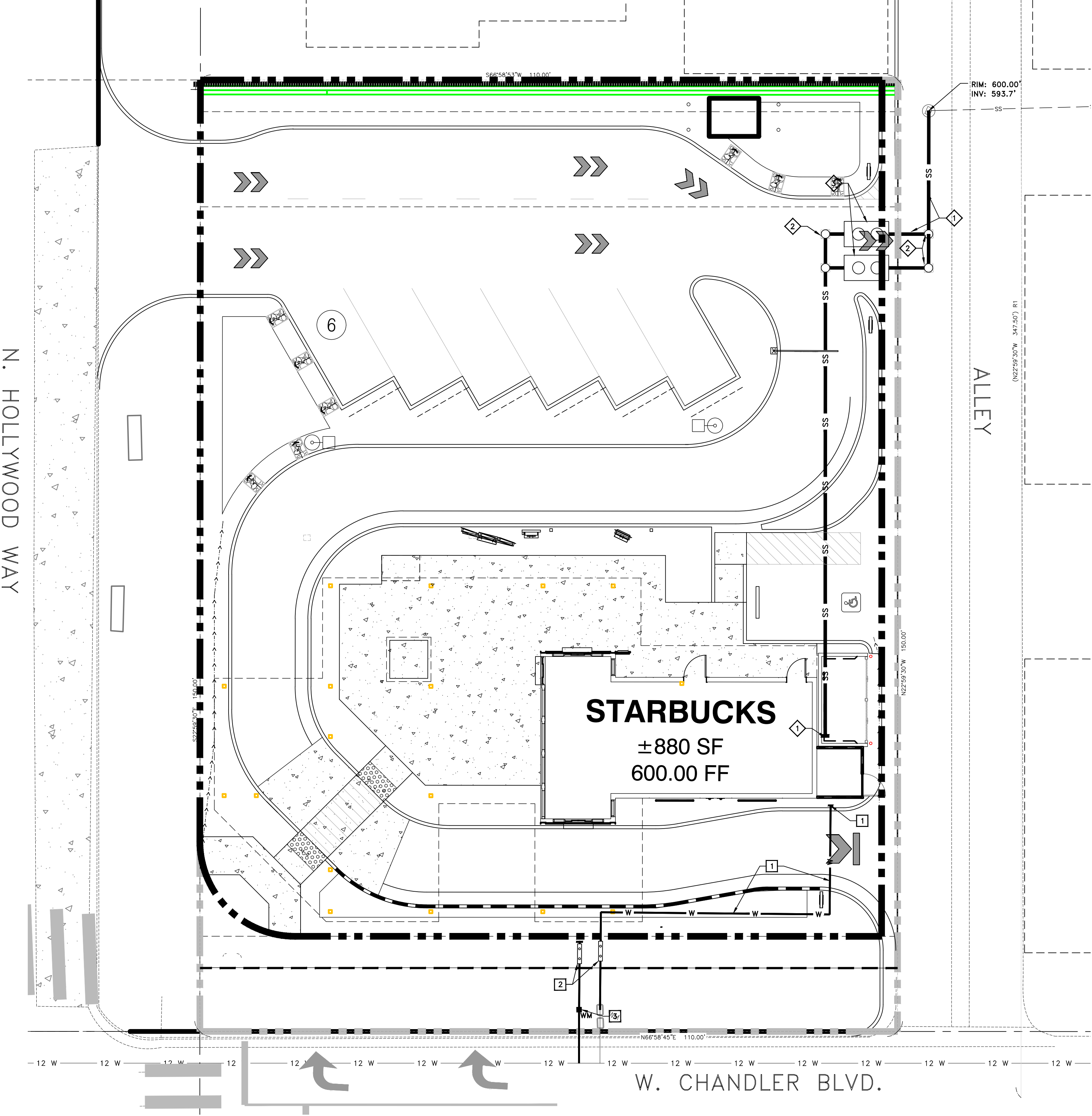
SECTION B-B  
NO SCALE



BIO-RETENTION AREA DETAIL  
NO SCALE

## CONCEPTUAL GRADING DETAILS





LEGEND :

- E UG — EXISTING ELECTRIC UNDERGROUND
- T UG — EXISTING TELEPHONE UNDERGROUND
- NG — EXISTING GAS SERVICE LINE
- W — EXISTING WATER SERVICE PIPE
- SS — EXISTING SANITARY SEWER PIPE
- IW — PROPOSED IRRIGATION WATER SERVICE WITH BACK FLOW PREVENTION ASSEMBLY
- W — PROPOSED DOMESTIC WATER SERVICE PIPE
- SS — PROPOSED SANITARY SEWER SERVICE PIPE

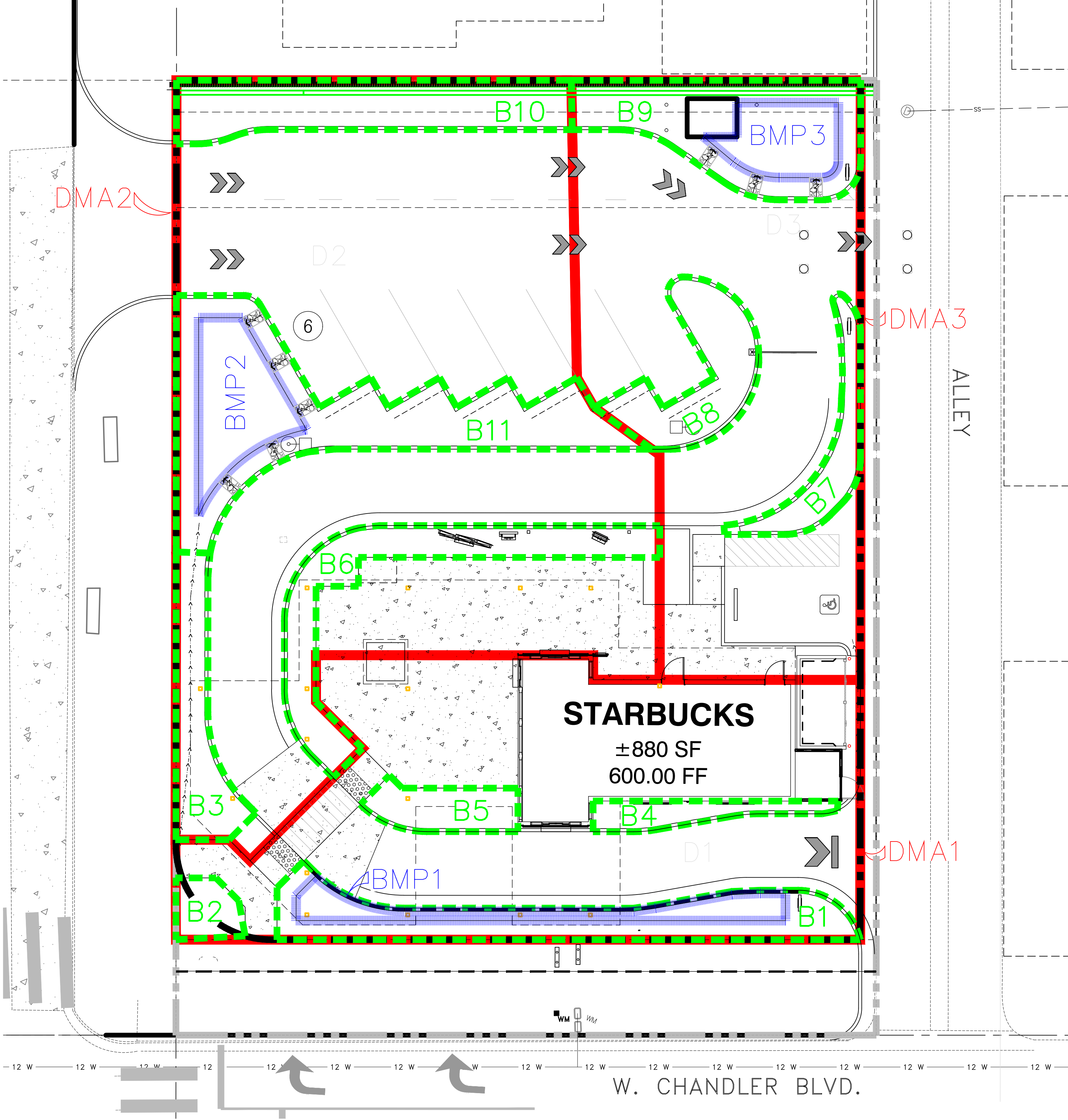
SANITARY SEWER NOTES:

- 1 INSTALL SDR-26 PVC SANITARY SEWER SERVICE PER CITY OF BURBANK REQUIREMENTS.
- 2 INSTALL SANITARY SEWER CLEANOUT PER CITY OF BURBANK REQUIREMENTS.
- 3 INSTALL GREASE INTERCEPTOR, SIZE AND SPECIFICATIONS PER ARCHITECTURAL PLANS.

WATER MAIN NOTES:

- 1 CONTRACTOR TO INSTALL WATER SERVICE TO TIE IN TO BUILDING (SEE ARCHITECTURAL PLAN) FROM EXISTING POINT OF CONNECTION.
- 2 INSTALL BACKFLOW PREVENTION DEVICE PER CITY OF BURBANK REQUIREMENTS
- 3 INSTALL WATER METER AND METER BOX PER CITY OF BURBANK REQUIREMENTS

CONCEPTUAL UTILITIES PLAN



DMA 1 TABLE

| PAVEMENT/BUILDING   | NAME  | AREA (S.F.)     |
|---------------------|-------|-----------------|
| PAVEMENT/BUILDING   | D1    | 2,028           |
|                     | B1    | 570             |
|                     | B2    | 89              |
| LANDSCAPE           | B4    | 122             |
|                     | B5    | 156             |
|                     | TOTAL | Σ B + Σ D 3,985 |
| BIO-TREATMENT BASIN | BMP1  | 191             |

DMA 2 TABLE

| PAVEMENT/BUILDING   | NAME  | AREA (S.F.)     |
|---------------------|-------|-----------------|
| PAVEMENT/BUILDING   | D2    | 4,569           |
|                     | B3    | 286             |
|                     | B6    | 464             |
| LANDSCAPE           | B10   | 501             |
|                     | B11   | 1,035           |
|                     | TOTAL | Σ B + Σ D 6,855 |
| BIO-TREATMENT BASIN | BMP2  | 285             |

DMA 3 TABLE

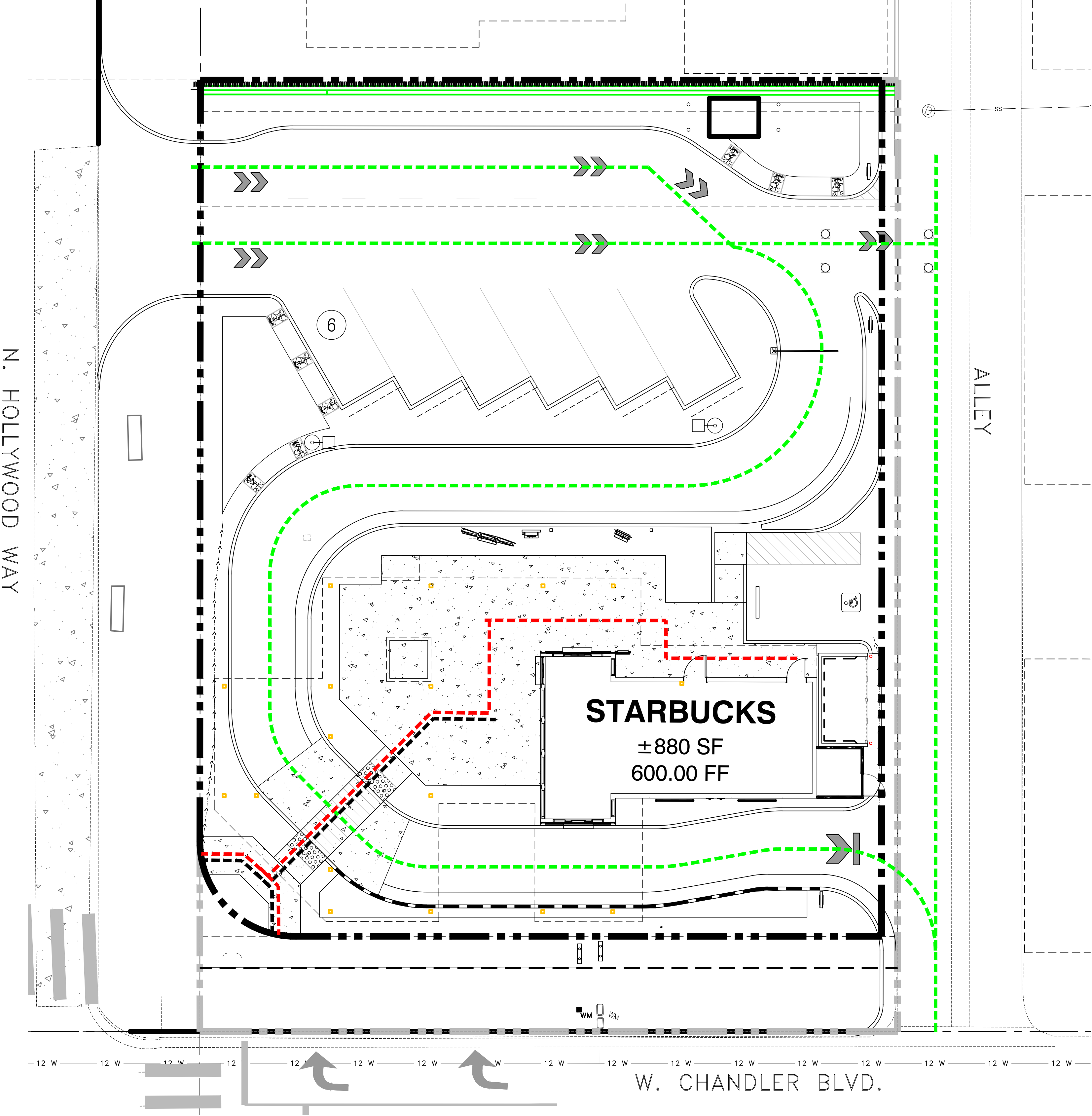
| PAVEMENT/BUILDING   | NAME  | AREA (S.F.)     |
|---------------------|-------|-----------------|
| PAVEMENT/BUILDING   | D3    | 2,555           |
|                     | B7    | 189             |
|                     | B8    | 323             |
| LANDSCAPE           | B9    | 625             |
|                     | TOTAL | Σ B + Σ D 3,692 |
| BIO-TREATMENT BASIN | BMP3  | 193             |

LEGEND:

- DMA AREA (LANDSCAPE)
- DMA AREA (IMPERVIOUS)
- LID BMP (BIO-RETENTION BASIN)
- PROPOSED BIO-RETENTION BASIN
- DMA DRAINAGE MAINTENANCE AREA

CONCEPTUAL DMA PLAN





LEGEND :

- VEHICULAR ACCESS
- BICYCLIST ACCESS
- PEDESTRIAN ACCESS

CIRCULATION PLAN

ENGINEERING DIVISION

GENERAL REQUIREMENTS:

- APPLICANT SHALL PROTECT IN PLACE ALL SURVEY MONUMENTS (CITY, COUNTY, STATE, FEDERAL, AND PRIVATE). PURSUANT TO CALIFORNIA BUSINESS AND PROFESSIONS CODE SECTION 8771, WHEN MONUMENTS EXIST THAT MAY BE AFFECTED BY THE WORK, THE MONUMENTS SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR OR LICENSED CIVIL ENGINEER LEGALLY AUTHORIZED TO PRACTICE LAND SURVEYING, PRIOR TO CONSTRUCTION, AND A CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES SHALL BE FILED WITH THE COUNTY SURVEYOR. A PERMANENT MONUMENT SHALL BE RESET OR A WITNESS MONUMENT OR MONUMENTS SET TO PERPETUATE THE LOCATION IF ANY MONUMENT THAT COULD BE AFFECTED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY SURVEYOR PRIOR TO THE RECORDING OF A CERTIFICATE OF COMPLETION FOR THE PROJECT.
- NO BUILDING APPURTENANCES FOR UTILITY OR FIRE SERVICE CONNECTIONS SHALL ENROACH OR PROJECT INTO PUBLIC RIGHT-OF-WAY (I.E. STREETS AND ALLEYS). LOCATION OF THESE APPURTENANCES SHALL BE SHOWN ON THE BUILDING SITE PLAN AND THE OFF-SITE IMPROVEMENT PLANS [BMC 7-3-701.1].
- NO STRUCTURE IS PERMITTED IN ANY PUBLIC RIGHT-OF-WAY OR ANY PUBLIC UTILITY EASEMENT/POLE LINE EASEMENTS [BMC 7-3-701.1, BMC 9-1-1-3203].
- ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE PERMITTED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE CONSTRUCTION CAN COMMENCE. ALL CONSTRUCTION WORK IN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH BURBANK STANDARD PLANS AND MUST BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER. A PUBLIC WORKS EXCAVATION PERMIT IS REQUIRED. THE EXCAVATION PERMIT REQUIRES A DEPOSIT ACCEPTABLE TO THE PUBLIC WORKS DIRECTOR TO GUARANTEE TIMELY CONSTRUCTION OF ALL OFF-SITE IMPROVEMENTS. BURBANK STANDARD PLANS CAN BE ACCESSSED AT: [HTTP://FILE.BURBANKCA.GOV/PUBLICWORKS/ONLINECOUNTER/MAIN/INDEX.HTM](http://file.burbankca.gov/publicworks/onlinecounter/main/index.htm)

THE FOLLOWING MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

- OFF-SITE IMPROVEMENT PLANS (IN THE PUBLIC RIGHT-OF-WAY) MUST BE APPROVED BY THE PUBLIC WORKS DIRECTOR. PLANS MUST BE SUBMITTED IN THE CITY OF BURBANK STANDARD FORMAT AND AS-BUILT PLANS MUST BE SUBMITTED ON MYLAR PAPER.

ADDITIONAL COMMENTS:

- BUILDING ACCESS DOORS, LOADING DOCKS DOORS, AND ACCESS GATES MAY NOT SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY [BMC 7-3-701.1].
- IF ANY UTILITY CUTS OR CONSTRUCTION RELATED IMPACTS ARE MADE ON CHANDLER BOULEVARD OR ON HOLLYWOOD WAY, APPLICANT WILL HAVE TO RESURFAYE WITH RUBBER ASPHALT (ARHM) PER MORATORIUM REQUIREMENTS FRONTING THE PROPERTY.
- ADDITIONAL IMPACTS TO STREET TRIGGERED BY THIS PROJECT COULD EXTEND THE PAVING RESTORATION LIMITS.

WATER RECLAMATION AND SEWER

WASTEWATER REQUIREMENTS:

- AN INDUSTRIAL WASTE DISCHARGE PERMIT WILL BE REQUIRED [BMC 8-1-502 AND BMC 8-1-503].
- EVERY BUILDING OR STRUCTURE IN WHICH PLUMBING FIXTURES ARE INSTALLED WHICH CONVEYS SEWAGE MUST BE CONNECTED TO THE MUNICIPAL WASTEWATER SYSTEM [BMC 8-1-104].
- NO PERSON SHALL CONNECT TO OR TAP AN EXISTING PUBLIC SEWER WITHOUT OBTAINING A PERMIT [BMC 8-1-301]
- ANY EXISTING FIXTURE OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE A BUILDING DEMOLITION OCCURS.
- A BACKWATER VALVE IS REQUIRED ON EVERY PRIVATE SEWER LATERAL(S) CONNECTED TO A PRIVATE BUILDING(S), UNLESS IT CAN BE SHOWN THAT ALL FIXTURES CONTAINED THEREIN HAVE FLOOD LEVEL RIM ELEVATIONS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MAINTENANCE HOLE COVER OF THE PUBLIC SEWER SERVING THE PROPERTY, OR A CONDITIONAL WAIVER IS GRANTED BY THE DIRECTOR [BMC 8-1-313]. PLEASE NOTE THAT PUBLIC WORKS' WASTEWATER DIVISION WILL NOT SIGN OFF ON THE CERTIFICATE OF OCCUPANCY UNTIL THE OWNER/DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAS BEEN INSTALLED.

STORMWATER REQUIREMENTS:

- PER BMC 9-3-407, BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING, DEMOTION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.
- CERTAIN CONSTRUCTION AND RE-CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY WILL NEED TO COMPLY WITH POST-CONSTRUCTION BEST MANAGEMENT PRACTICE (BMPs), WHICH INCLUDE SECTIONS 8-1-1007 AND 9-3-414.D OF THE BMC AUTHORIZING THE CITY TO REQUIRE PROJECTS TO COMPLY WITH THE STANDARD URBAN STORMWATER MITIGATION PLAN PROVISIONS AND THE CITY'S LOW IMPACT DEVELOPMENT (Iid) ORDINANCE. FOR QUESTIONS ON THESE REQUIREMENTS PLEASE CONTACT THE CITY'S BUILDING DIVISION AT (818) 238-5220.

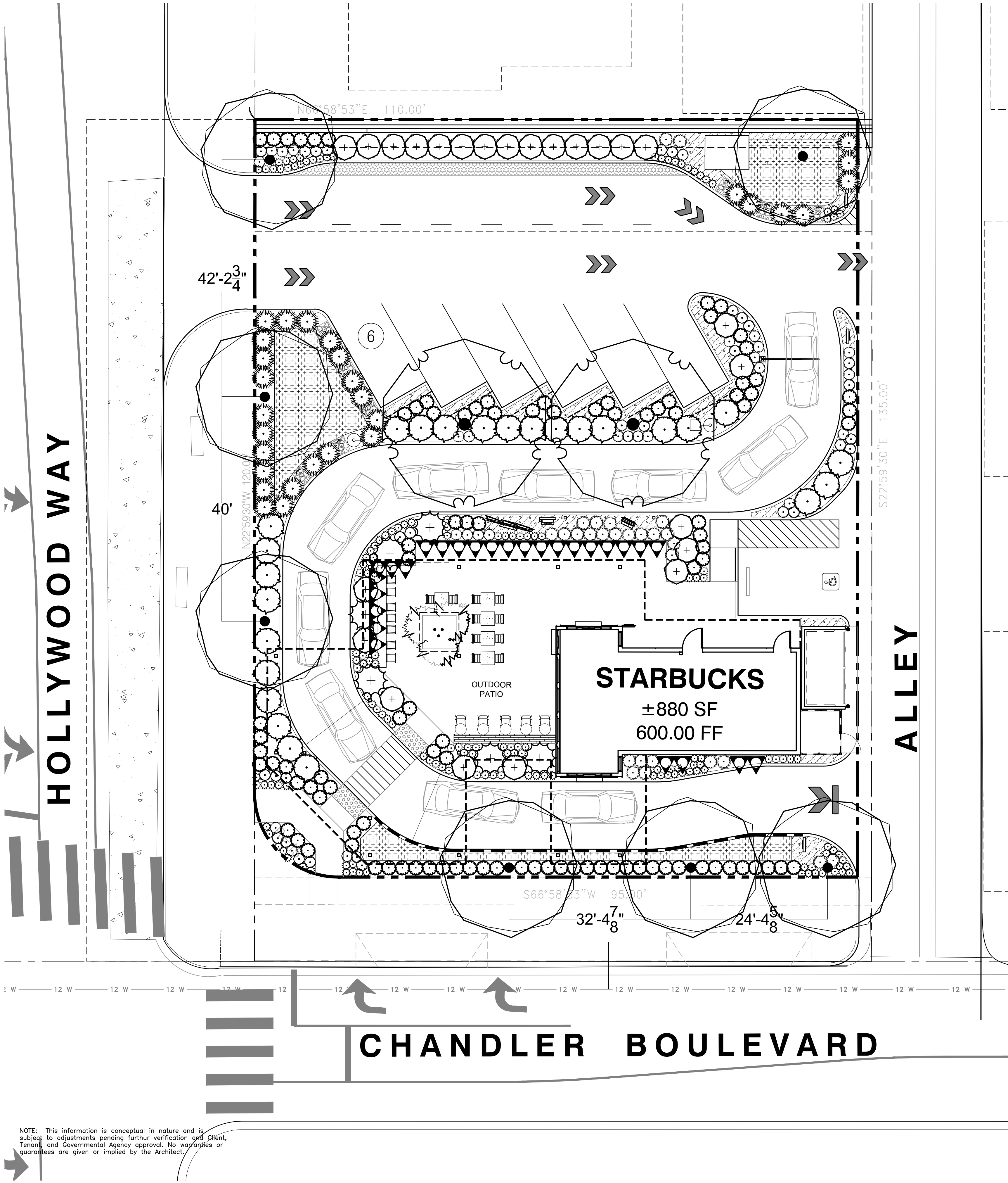
FIELD SRVICES

STREET COMMENTS:

- ALL DAMAGED INFRASTRUCTURE ADJACENT TO THE PROPERTY TO BE REMOVED AND REPLACED.
- ALL INFRASTRUCTURE ADJACENT TO THE PROPERTY SHALL BE UPGRADED TO THE LATEST ADA STANDARDS – THIS INCLUDES DRIVEWAYS, ALLEYS APPROACHES, ALLEY PEDESTRIAN RAMPS AND PEDESTRIAN RAMPS.
- ALL IMPROVEMENTS MUST BE CONSTRUCTED TO THE LATEST BURBANK STANDARD.

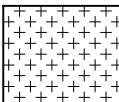
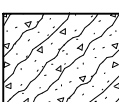
NOTES





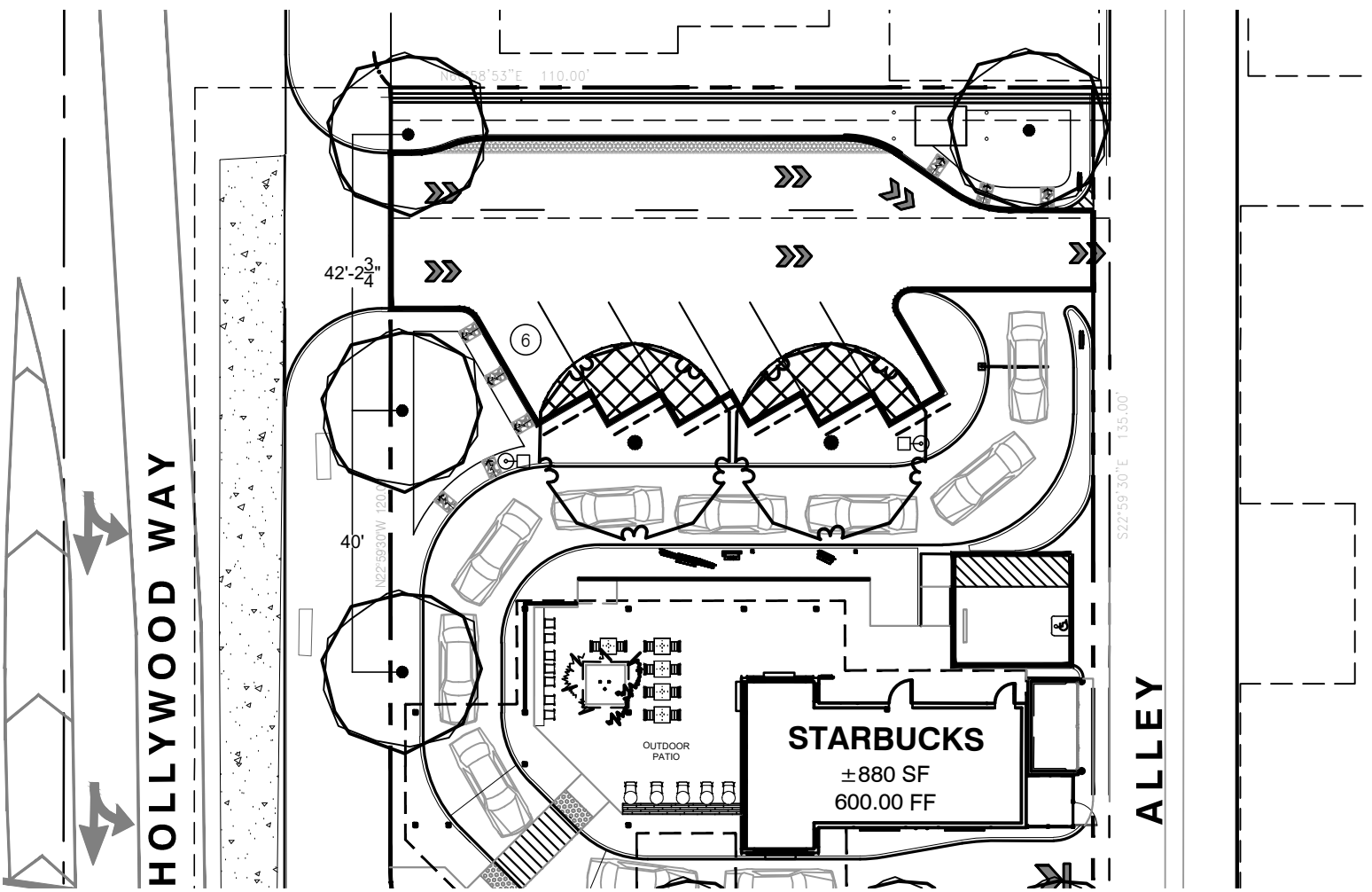
NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and Client, Tenant, and Governmental Agency approval. No warranties or guarantees are given or implied by the Architect.

PLANT SCHEDULE

| TREES                                                                                 | BOTANICAL NAME                  | COMMON NAME            | CONT.   | WUCOLS IV |          |
|---------------------------------------------------------------------------------------|---------------------------------|------------------------|---------|-----------|----------|
|    | Parkinsonia florida             | Palo Verde             | 36"box  | L         |          |
|    | Pistacia chinensis              | Chinese Pistache       | 36"box  | M         |          |
|    | Trachycarpus fortunei           | Windmill Palm          | 17' BTH | L         |          |
| SHRUBS                                                                                | BOTANICAL NAME                  | COMMON NAME            | CONT.   | WUCOLS    |          |
|    | Achillea x 'Moonshine'          | Moonshine Yarrow       | 5 gal   | L         |          |
|    | Agave attenuata                 | Foxtail Agave          | 5 gal   | L         |          |
|    | Aloe striata                    | Coral Aloe             | 5 gal   | L         |          |
|    | Baccharis pilularis             | Coyote Brush           | 5 gal   | L         |          |
|    | Diets iridioides                | Fortnight Lily         | 5 gal   | L         |          |
|    | Hesperaloe parviflora           | Red Yucca              | 5 gal   | L         |          |
|    | Lavandula stoechas 'Otto Quast' | Spanish Lavender       | 5 gal   | L         |          |
| GRASS                                                                                 | BOTANICAL NAME                  | COMMON NAME            | CONT.   | WUCOLS    |          |
|    | Chondropetalum elephantinum     | Large Cape Rush        | 1 gal   | L         |          |
| VINE                                                                                  | BOTANICAL NAME                  | COMMON NAME            | CONT.   | WUCOLS    |          |
|   | Clytostoma callistegioides      | Violet Trumpet Vine    | 5 gal   | M         |          |
| GROUND COVERS                                                                         | BOTANICAL NAME                  | COMMON NAME            | ROOT    | WUCOLS    | SPACING  |
|  | Carex divulsa                   | Berkeley Sedge         | 5 gal   | L         | 12" o.c. |
|  | Lantana camara 'Gold Rush' TM   | Gold Rush Bush Lantana | 5 gal   | L         | 48" o.c. |

EXHIBIT

PARKING LOT SHADE COVERAGE



PARKING SURFACE: 3,704 SF  
 TREE CANOPY COVERAGE: 411 SF

PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER (APN) 2477-011-034

ZONING CLASSIFICATION

JURISDICTION BURBANK CA  
EXISTING ZONE C-2 COMMERCIAL LIMITED BUSINESS ZONE  
REQUIRED ZONE C-2 COMMERCIAL LIMITED BUSINESS ZONE  
GENERAL PLAN CORRIDOR COMMERCIAL

SITE AREA

NET SITE AREA: ±0.339 AC (±14,802 SF)

LANDSCAPE SUMMARY

CITY OF BURBANK LANDSCAPE REQUIREMENTS :  
- IN REQUIRED FRONT AND EXPOSED SIDE YARDS, A MINIMUM OF ONE (1) TREE SHALL BE PLANTED FOR EVERY 40 LINEAR FEET OF STREET FRONTAGE OR FRACTION THEREOF.  
- A MINIMUM OF 50% OF REQUIRED TREES SHALL BE A MINIMUM 36-INCH BOX SIZE, WITH THE REMAINDER A MINIMUM 24-INCH BOX SIZE. THE REQUIRED 36-INCH BOX TREES SHALL BE EQUALLY DISTRIBUTED IN REQUIRED FRONT OR STREET SIDE YARDS.  
- TREES SHALL BE PLANTED AND MAINTAINED THROUGHOUT THE PARKING LOT TO ENSURE THAT, WITHIN 15 YEARS AFTER ESTABLISHMENT OF THE PARKING LOT, AT LEAST 50 PERCENT (%) OF THE PARKING LOT WILL BE SHADED.  
- SHADE TREES SHALL BE A MINIMUM 36-INCH BOX SIZE AT PLANTING.

TOTAL TREE SHADE : 411 SF  
TOTAL PARKING AREA : 3,704 SF  
411 SF / 3,704 SF = 11% OF PARKING STALL AREA IS SHADED

TOTAL FRONT YARD + STREET SIDE YARD LANDSCAPE AREA : 1,073 SF  
TOTAL FRONT YARD + STREET SIDE YARD AREA : 1,212.5 SF  
1,073 SF / 1,212.5 SF = 88 % OF TOTAL YARD AREA

ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

A LANDSCAPE DOCUMENT PACKAGE AS PER A.B. 1881 SHALL BE PROVIDED.

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL OF THE CITY.

ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.

WHERE TREES ARE WITHIN 5' OF WALKWAYS AND / OR PAVING SURFACES, ROOT BARRIERS SHALL BE INSTALLED.

ON-SITE AND PARKWAY LANDSCAPE SHALL BE MAINTAINED BY BUSINESS OWNERS.

PROJECT NOTES

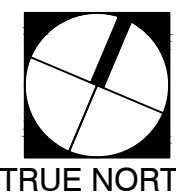
- THIS CONCEPTUAL SITE PLAN IS FOR PLANING SUBMITTAL PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON A CAD FILE OF THE SITE BASE PREPARED BY LARS ANDERSEN & ASSOCIATES, INC, DATED 06/04/2020.

DRAWING ISSUE/REVISION RECORD

| DATE       | NARRATIVE        | INITIALS |
|------------|------------------|----------|
| 04.12.2019 | PREP SP-1        | II       |
| 11.17.2019 | PREP SP-4 SCHEME | II       |
| 01.03.2020 | PREP SP-4        | II       |
| 02.18.2020 | PREP SP-5        | MM       |
| 02.26.2020 | PREP SP-6        | MM       |
| 06.17.2020 | PREP SP-7        | II       |
| 09.11.2020 | PREP SP-8        | II       |
| 09.23.2020 | PREP SP-9        | II       |
| 10.13.2020 | PREP SP-10       | JN       |
| 10.26.2020 | PREP SP-11       | JN       |

GREENBERG FARROW CONTACTS

SITE PLANNER/PROJECT MANAGER I.LIBRAHIMBEGOVIC



SCALE: 1"=10'-0"





HOLLYWOOD WAY

CHANDLER BOULEVARD

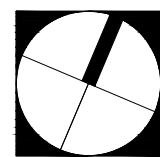
STARBUCKS

±880 SF  
600.00 FF

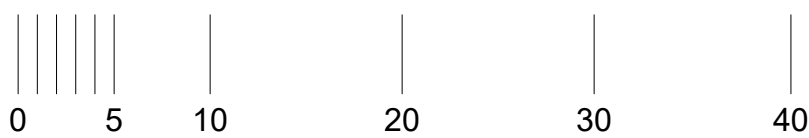
NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
  2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
  3. DISTANCE BETWEEN READINGS 10
  4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
- MOUNTING HEIGHT = 14 FT (POLE)  
TILT = 0  
CALCULATION GRID IS AT GRADE (Z=0)

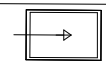
| UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES |          |               |            | <br><small>SECURITY<br/>LIGHTING™</small><br><br><small>2100 Gulf Road, Suite 400, Rolling Meadows, IL 60008<br/>1-800-844-0468</small> |
|----------------------------------------------------------|----------|---------------|------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NOTES:                                                   |          |               |            |                                                                                                                                                                                                                              |
| SCALE<br>1" = 10' 0"                                     | DATE     | NEXT ASSEMBLY | REF. DRWG. | <b>POINT-BY-POINT FOOTCANDLE PLOT FOR</b><br><br><b>STARBUCKS</b><br><b>HOLLYWOOD WAY &amp; CHANDLER BLVD</b><br><b>BURBANK, CA</b>                                                                                          |
| DRAWN BY<br>XX                                           | 10/14/20 |               |            |                                                                                                                                                                                                                              |
| CHECKED BY                                               |          |               |            |                                                                                                                                                                                                                              |
| APPROVED BY                                              |          | FINISH        |            |                                                                                                                                                                                                                              |
| APPROVED BY                                              |          |               |            |                                                                                                                                                                                                                              |
| SHOP ORDER                                               |          | MATERIAL      |            | DRAWING NUMBER                                                                                                                                                                                                               |
| PROJECT NO                                               |          |               |            | SL2002031.AGI                                                                                                                                                                                                                |



SCALE: 1"=10'-0"



Luminaire Schedule

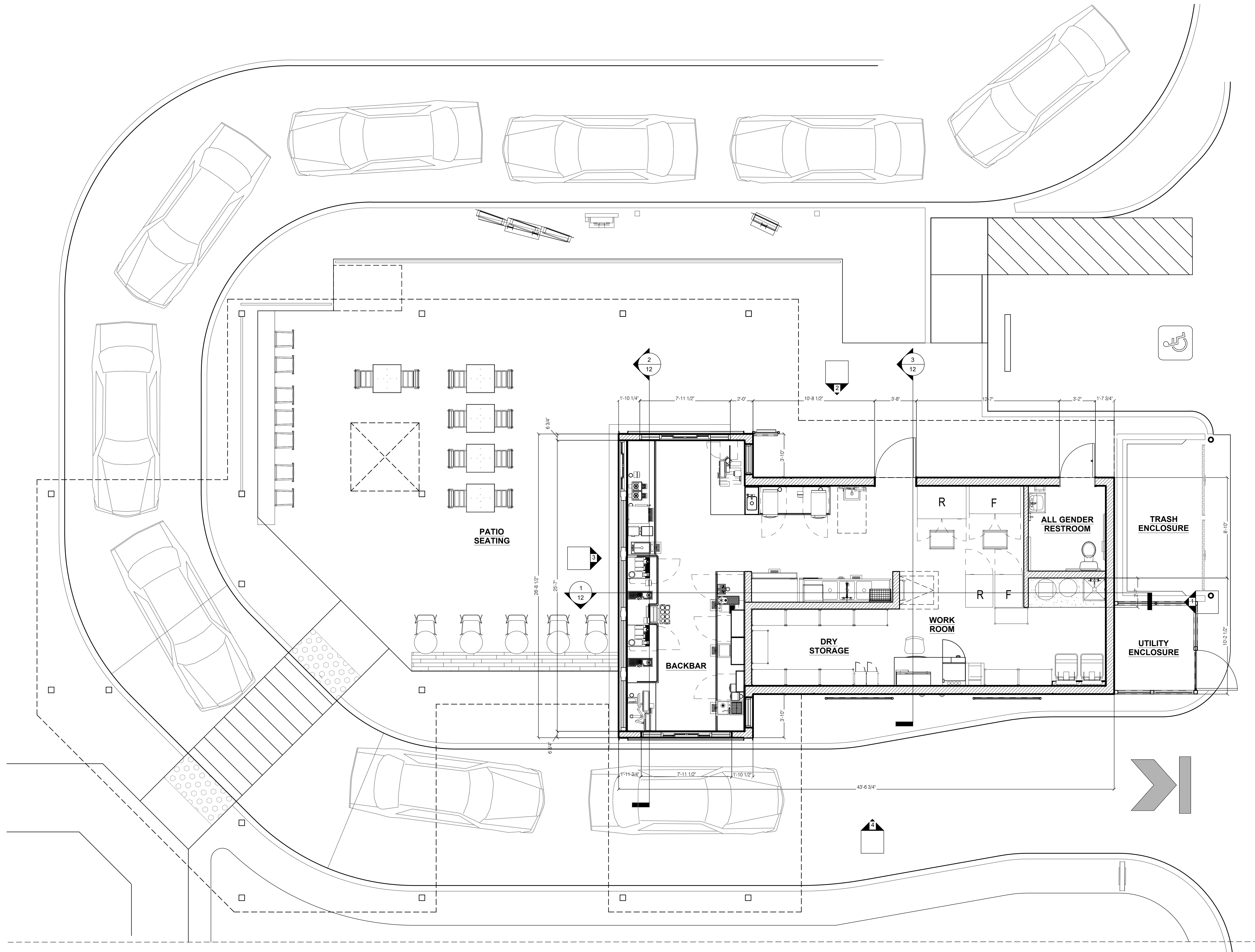
| Symbol                                                                              | Qty | Label | Arrangement | LLF   | Description                    | EPA | Mtg Height | Pole Type                 |
|-------------------------------------------------------------------------------------|-----|-------|-------------|-------|--------------------------------|-----|------------|---------------------------|
|  | 2   | A     | SINGLE      | 0.900 | VP-S-48L-110-5K7-4W-BC-SCP/40F | .67 | 14         | SES-12-40-1-GL-TA-xx (4") |

Calculation Summary

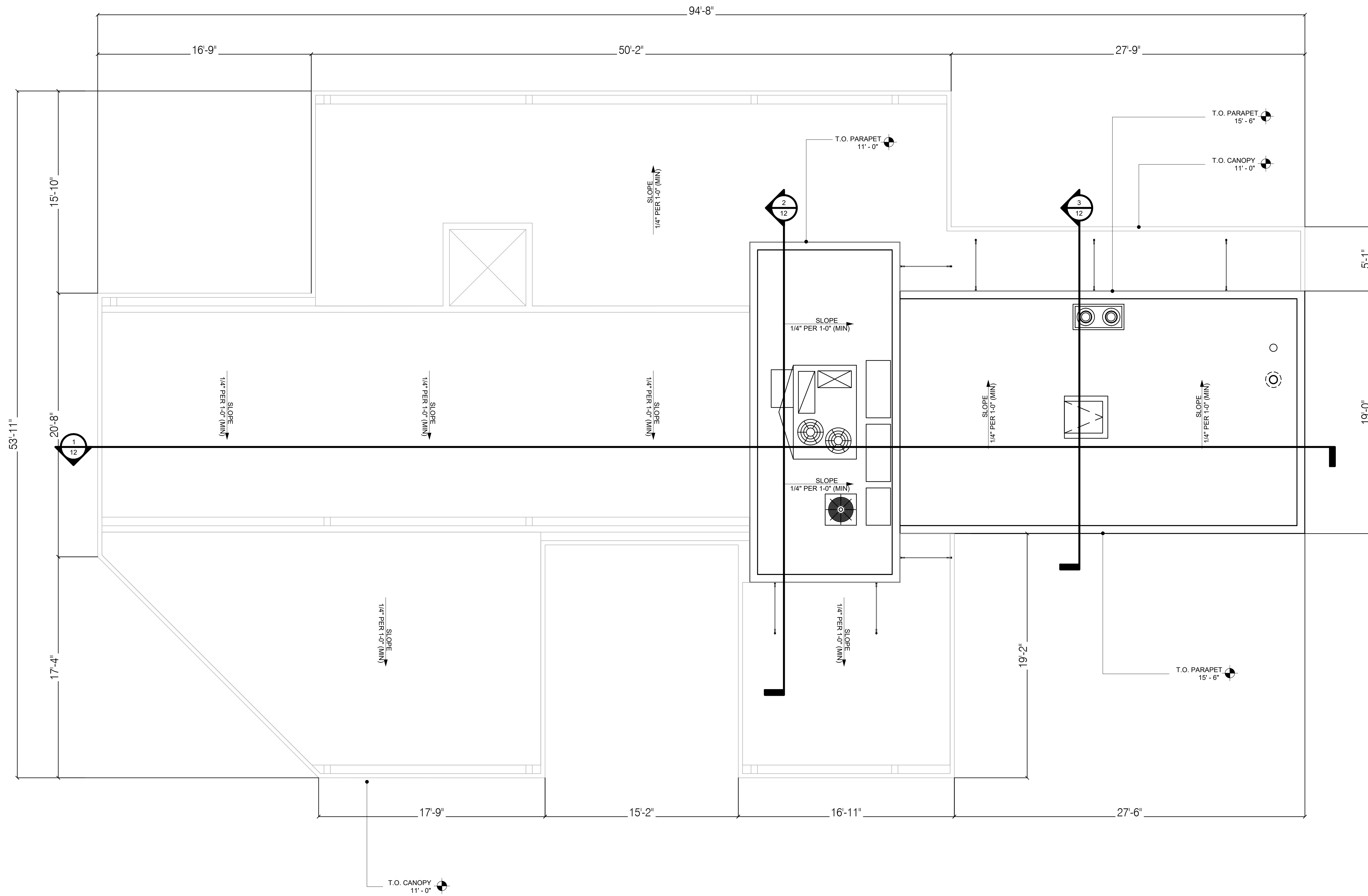
| Label                  | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
|------------------------|-------------|-------|------|-----|-----|---------|---------|
| PAVED SURFACE READINGS | Illuminance | Fc    | 1.34 | 7.7 | 0.0 | N.A.    | N.A.    |
| PROPERTY LINE READINGS | Illuminance | Fc    | 0.00 | 0.1 | 0.0 | N.A.    | N.A.    |



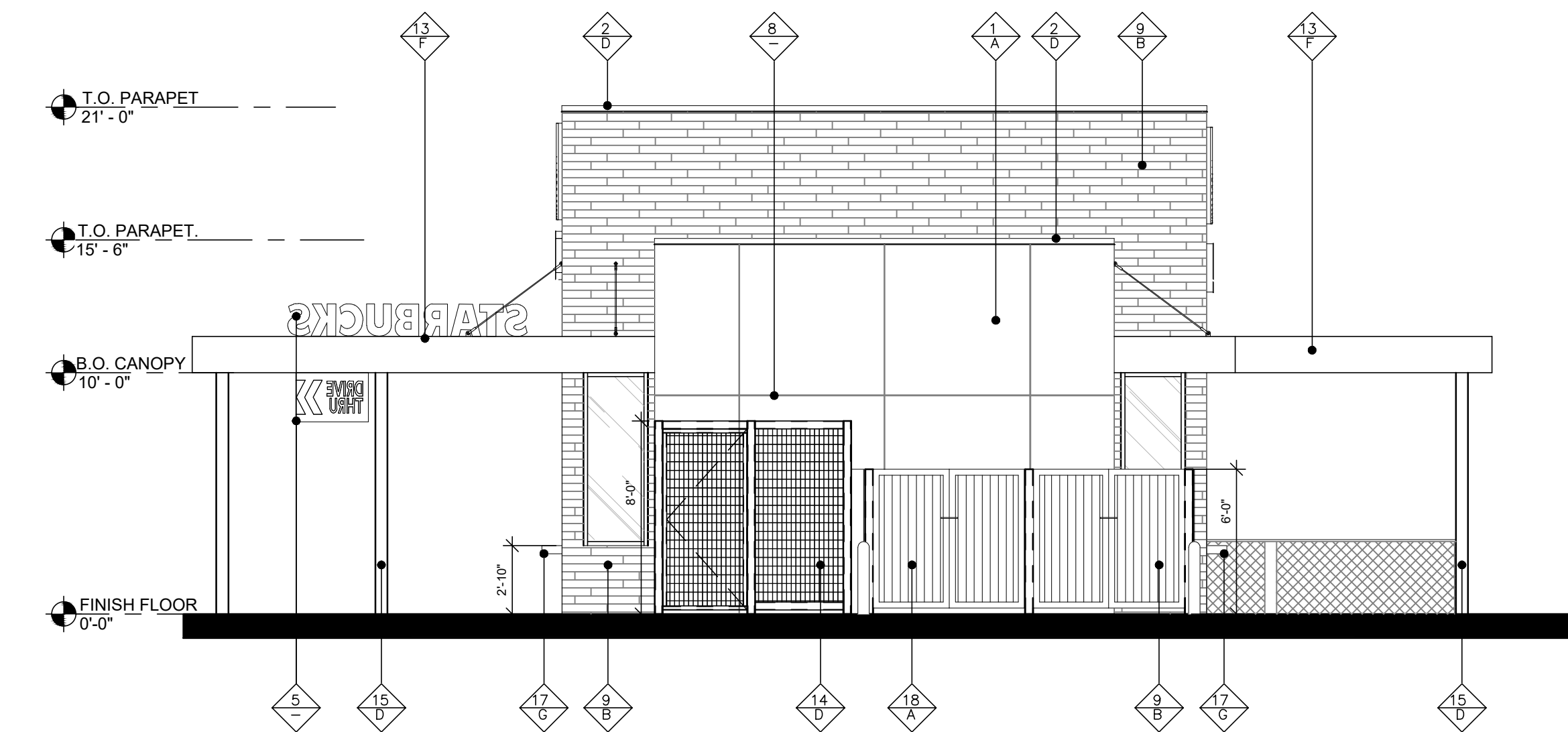




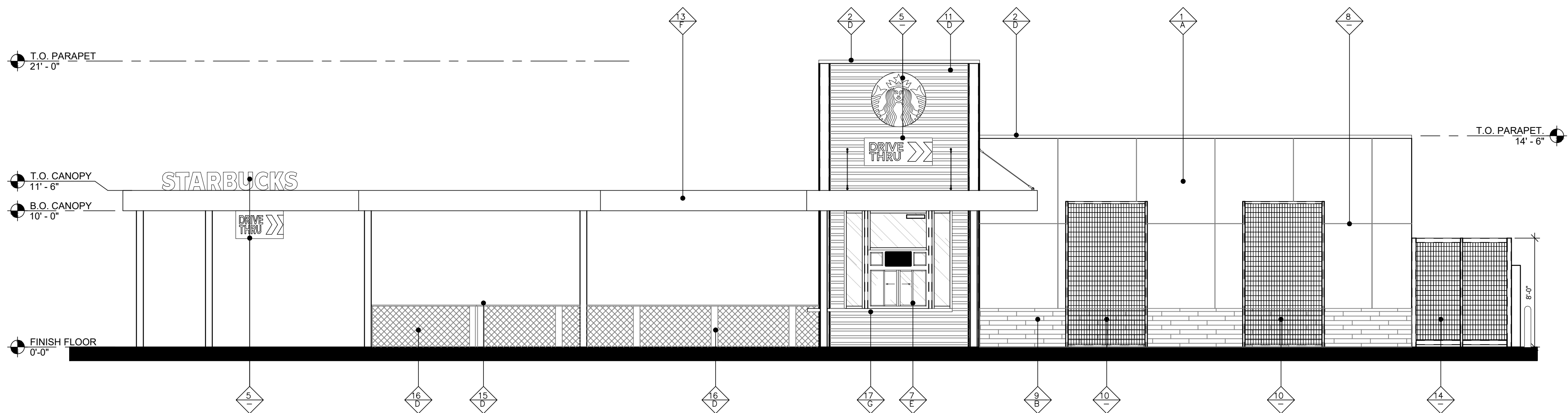




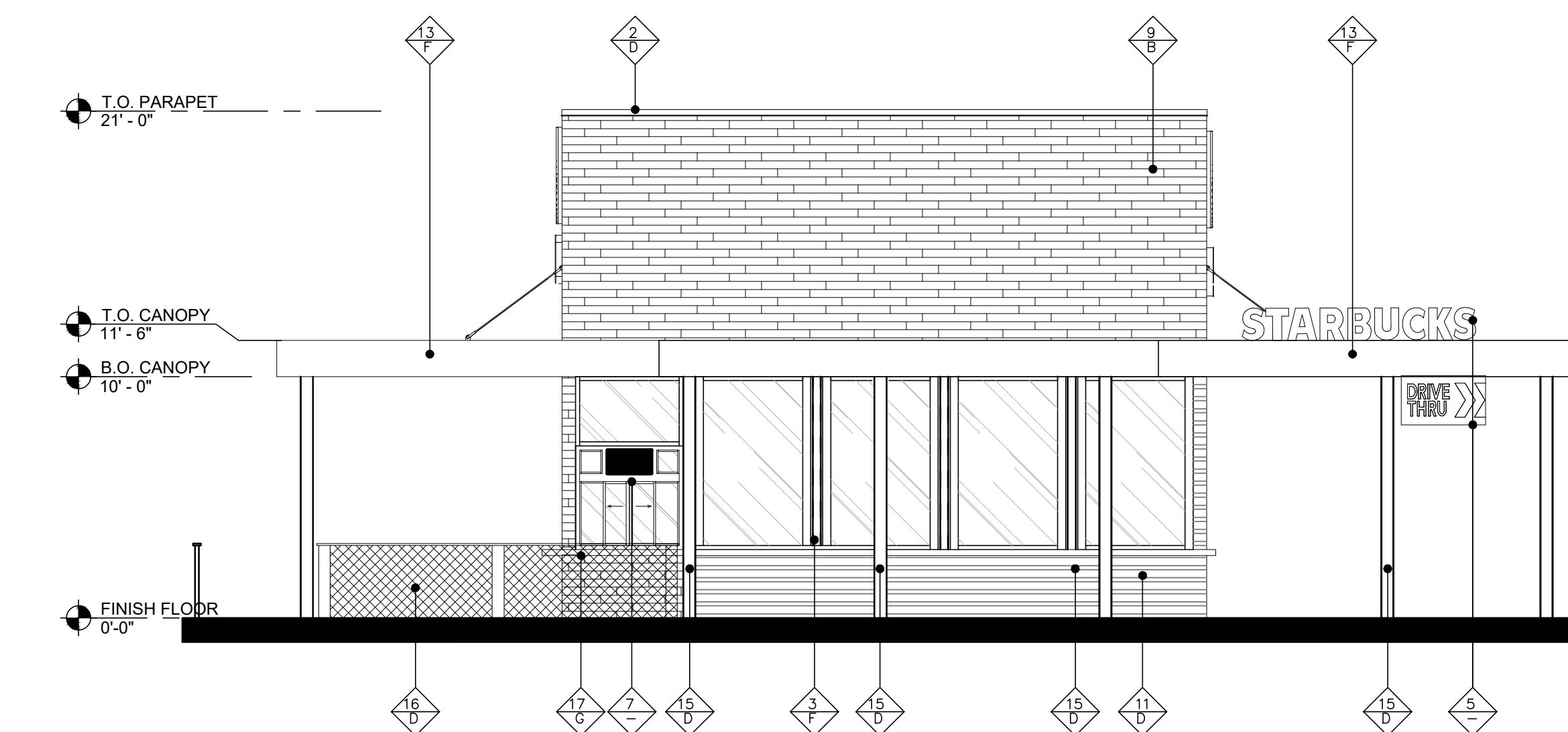




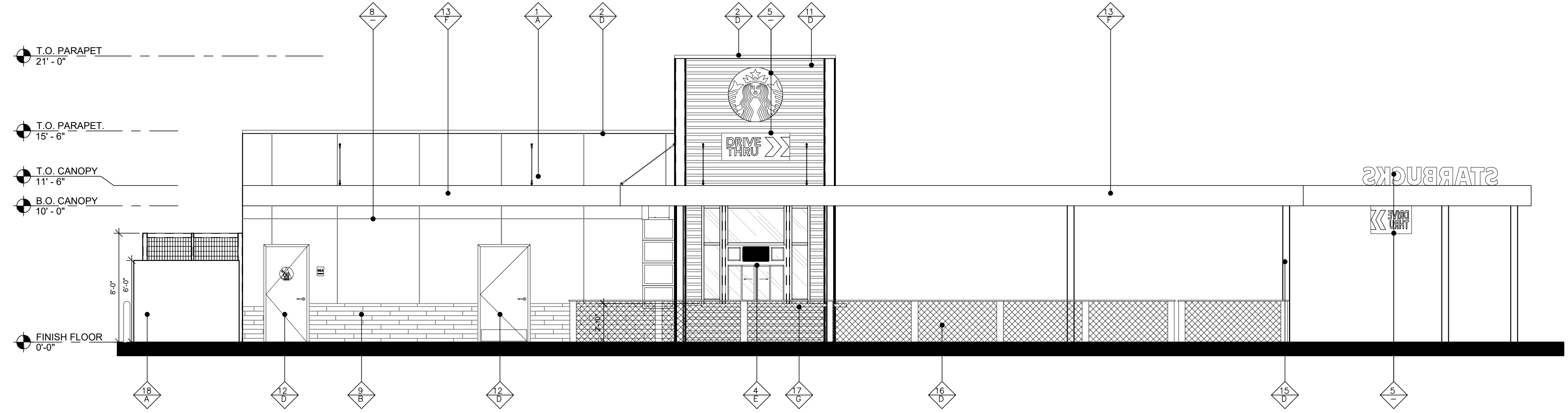
1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION  
SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

| FINISH SCHEDULE                                                    |                                                 |
|--------------------------------------------------------------------|-------------------------------------------------|
| FINISH MATERIAL                                                    | FINISH COLOR                                    |
| 1 CEMENT PLASTER W/ INTEGRAL COLOR FINISH COAT - MEDIUM SAND FLOAT | A RAW CONCRETE COLOR                            |
| 2 PREFINISHED METAL COPING                                         | B THERMO TREATED ASH - NATURAL WOOD COLOR       |
| 3 ALUMINUM STOREFRONT SYSTEM                                       | C PAINT TO MATCH DARK BRONZE                    |
| 4 DRIVE-THRU WINDOW                                                | D POWDER COAT DARK BRONZE                       |
| 5 SIGNAGE UNDER SEPARATE PERMIT                                    | E STOREFRONT MULLION/FRAME TO MATCH DARK BRONZE |
| 6 EXTERIOR WALL SCOFF                                              | F BLACK PAINT                                   |
| 7 WALK-UP WINDOW                                                   | G SEALED CONCRETE - NATURAL                     |
| 8 CEMENT PLASTER CONTROL JOINT                                     |                                                 |
| 9 RECLAIMED HORIZONTAL WOOD SIDING                                 |                                                 |
| 10 METAL TRELLIS                                                   |                                                 |
| 11 EXTERIOR METAL CLADDING                                         |                                                 |
| 12 SOLID METAL DOOR                                                |                                                 |
| 13 WOOD CANOPY FASCIA                                              |                                                 |
| 14 EXTERIOR UTILITY ENCLOSURE                                      |                                                 |
| 15 METAL COLUMN                                                    |                                                 |
| 16 GREEN SCREEN                                                    |                                                 |
| 17 SHELF                                                           |                                                 |
| 18 TRASH ENCLOSURE                                                 |                                                 |

Note:  
Colors shown on these elevations are for illustration  
purposes only. For actual colors, refer to manufacturer's  
samples.







1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION  
SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

| FINISH SCHEDULE                                                    |                                                 |
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| 6 EXTERIOR WALL SCONCE                                             | F BLACK PAINT                                   |
| 7 WALK-UP WINDOW                                                   | G SEALED CONCRETE - NATURAL                     |
| 8 CEMENT PLASTER CONTROL JOINT                                     |                                                 |
| 9 RECLAIMED HORIZONTAL WOOD SIDING                                 |                                                 |
| 10 METAL TRELLIS                                                   |                                                 |
| 11 EXTERIOR METAL CLADDING                                         |                                                 |
| 12 SOLID METAL DOOR                                                |                                                 |
| 13 WOOD CANOPY FASCIA                                              |                                                 |
| 14 EXTERIOR UTILITY ENCLOSURE                                      |                                                 |
| 15 METAL COLUMN                                                    |                                                 |
| 16 GREEN SCREEN                                                    |                                                 |
| 17 SHELF                                                           |                                                 |
| 18 TRASH ENCLOSURE                                                 |                                                 |

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