

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 EDITION OF THE CBC, CRC, CMC, CPC & CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
2. SEPARATE PERMITS SHALL BE OBTAINED FOR MECHANICAL, ELECTRICAL, PLUMBING AND GRADING.
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING.
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE.
7. THE FINISH GRADE SHALL SLOPE A MIN OF 2% TO A POINT 10 FEET FROM THE BUILDING FOUNDATION OR TO AN APPROVED EXTERIOR DRAINAGE METHOD OF REMOVAL OF WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MIN OF 2%.
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MIN OF 12" PLUS 2%.

1. THE GC SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE OWNER AND USER OF THE PROJECT. THIS INCLUDES FLOOR, CEILING, PLUMBING & ELECTRICAL FIXTURES, DOORS & FRAMES, AND HVAC/FAU EQUIPMENT.
2. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM FOR TEMPORARY LIGHTS IN THE AREA OF WORK AS REQUIRED.
3. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS, AS REQUIRED, TO COMPLETE THE DEMOLITION AND REMOVAL OF ITEMS INDICATED ON THE DRAWINGS.
4. SINCE IT IS IMPOSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK THAT IS TO BE REMOVED BY DOTTED LINES AND NOTES, THE CONTRACTOR IS ADVISED TO BECOME ACQUAINTED WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS ARE TO BE MADE. THE DRAWINGS AND NOTES COVER THE WORK THAT IS REQUIRED, IT IS THEREFORE ASSUMED THAT WHEN THE NEW WORK IS INDICATED, THAT ALL SUCH EXISTING WORK SHALL BE REMOVED, UNLESS NOTED AS EXISTING TO REMAIN. VERIFY ALL SUCH CONDITIONS AT THE JOB SITE.
5. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT ON ALL MATTERS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION OF THE WORK INDICATED BY THE DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF GOVERNING CODE FOR DEMOLITION AND REMOVAL OF DEBRIS. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE REGULATIONS OF THE GOVERNING AGENCIES.
7. ALL WORK TO BE DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER. COORDINATE IN THE FIELD WITH THE OWNER.
8. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION (NOT BEING USED) INCLUDING SWITCH PLATES, PLATES AND BOXES. REMOVE ALL ELECTRICAL/TELEPHONE EQUIPMENT NOT BEING USED.
9. THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISHED SURFACES ALL PROJECTING PLUMBING ITEMS AND OTHER PROJECTED ITEMS WHICH ARE BEING ABANDONED.
10. THE CONTRACTOR TO LEAVE THE PROJECT BROOM CLEAN NIGHTLY.
11. THE CONTRACTOR TO REMOVE ALL WALLS TO BE REMOVED ARE NON-BEARING BEFORE DEMOLITION TAKES PLACE. NOTIFY THE ARCHITECT IMMEDIATELY IF WALLS ARE FOUND TO BE BEARING. CONTRACTOR TO PROVIDE SHORING AS NEEDED FOR BEARING WALLS TO BE TO BE REMOVED OR MODIFIED FOR OPENINGS.
12. THE GENERAL CONTRACTOR/OWNER TO REMOVE ALL MATERIALS TO BE REMOVED FOR ASBESTOS & LEAD BASED PAINT AND TO REMOVE ANY MATERIAL FOUND THAT CONTAINS ASBESTOS/LEAD BASED PAINT IN ACCORDANCE WITH APPLICABLE REGULATIONS.
13. THE GENERAL CONTRACTOR TO PROVIDE ALL NEED MATERIALS AND LABOR FOR A COMPLETE JOB.
14. COORDINATE WITH THE OWNER PRIOR TO COORDINATE THE CABINET DESIGN, FINISH AND WORK TYPE WITH THE OWNER PRIOR TO FABRICATING THE CABINETS.
15. THE OWNER TO SELECT AND APPROVE THE PAINT COLOR FOR THE PROJECT (3 COAT SYSTEM)
16. CONTRACTOR TO CONSULT WITH A MOLDFUNGUS SPECIALIST IF THE CONTRACTOR OR SUB CONTRACTOR HAS A MOLD/FUNGUS DURING THE PROJECT. THE REMOVAL AND ABATEMENT OF THE MOLDFUNGUS SHALL BE DONE PER THE RECOMMENDATION OF THE MOLDFUNGUS SPECIALIST.

19'-2"

11'-1"

(E) COVERED PATIO  
213 SF

40'-0"

24'-11"

(E) 1st FLOOR  
1,418 SF

1'-10 1/2"

2'-0"

1'-0"

1st FLOOR

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED CONTAINERS ARE TO BE PROTECTED FROM WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
8. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
9. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING

SETBACK CERTIFICATION REQ.  
A CALIFORNIA STATE LICENSED SURVEYOR IS  
REQUIRED TO CERTIFY THE LOCATION &  
SETBACKS OF NEW CONSTRUCTION PRIOR TO  
THE FIRST FOUNDATION INSPECTION. A COPY  
OF THE CERTIFICATION SHALL BE AVAILABLE TO  
THE BUILDING DIVISION INSPECTOR FOR THE  
JOB FILE PRIOR TO THE FIRST INSPECTION

16'-3"

15'-1"

20'-2"

18'-2"

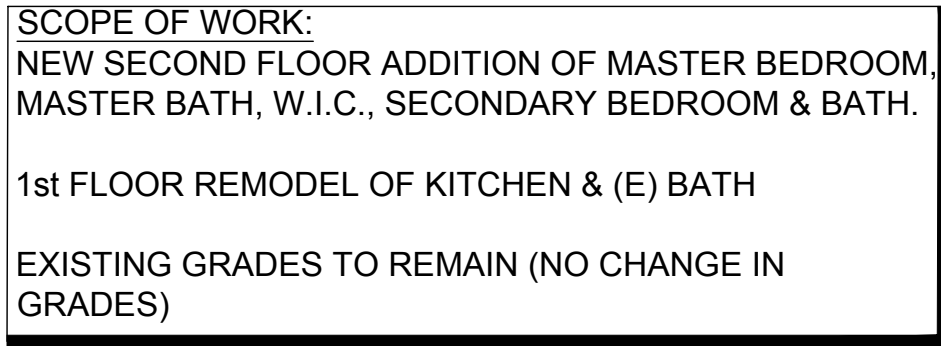
(E) GARAGE  
366 SF

3'-1"

10'-3"

17'-10"

(E) COVERED  
ENTRY PORCH  
57 SF



DIVERSION OF C&D DEBRIS  
A MINIMUM 65% OF  
GENERATED DEBRIS SHALL  
BE RECYCLED, REUSED, OR  
DIVERTED FROM THE  
LANDFILL. A \$59.04  
ADMINISTRATIVE FEE AND A  
REFUNDABLE DEPOSIT WILL  
BE COLLECTED AT THE TIME  
OF PERMIT ISSUANCE. THE  
DEPOSIT CAN BE REFUNDED  
IF RECYCLING RECEIPTS ARE  
SUBMITTED TO BUILDING  
DIVISION WITHIN 60 DAYS OF  
PERMIT FINAL.

314 EAST BROADWAY SUITE E  
GLENDALE, CALIFORNIA 91205  
(818) 240-2095 [www.sturgillassociates.com](http://www.sturgillassociates.com)

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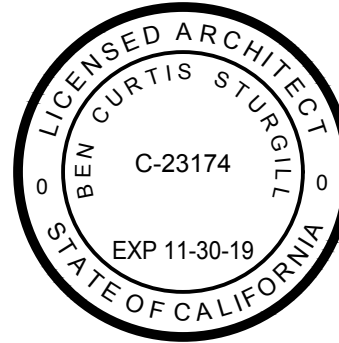
SITE AREA	=	6,575 SF
LOT COVERAGE RATIO (L/C)		
MAXIMUM L/C 50%	=	3,287 SF
PROPOSED L/C 31%	=	2,050 SF
FLOOR AREA RATIO (FAR)		
MAXIMUM FAR 40%	=	2,630 SF
PROPOSED FAR 38.6%	=	2,546 SF
PARKING		
REQUIRED PARKING	=	2
PROVIDED PARKING	=	2
NEW 2ND FLOOR LIVEABLE AREA	=	952 SF
(E) LIVEABLE AREA (1st FLOOR)	=	1,418 SF
(E) NON-LIVEABLE AREA		
COVERED ENTRY PORCH	=	52 SF
COVERED PATIO	=	210 SF
GARAGE	=	370 SF

FLOOR LEVEL	EXIST'G	NEW	CREDIT	TOTAL
1st FLOOR	1,418 SF	0 SF	0 SF	1,418 SF
2nd FLOOR (INCLUDES STAIR AREA)	0 SF	915 SF	0 SF	915 SF
GARAGE	366 SF		-366 SF	0 SF
COVERED FRONT PORCH	57 SF		-57 SF	0 SF
COVERED PATIO	213 SF	0 SF	0 SF	213 SF
TOTAL				2,546 SF

rev. XX-XX-XX date                      description

ADDITION & ALTERATION TO THE  
CARTWRIGHT RESIDENCE  
3141 JOLLEY DR  
BURBANK, CA 91504

project

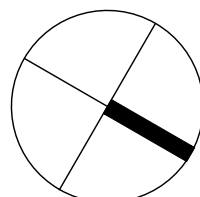


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Drawn 04-10-19 date

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sheet

 $\frac{1}{8}''=1'-0''$

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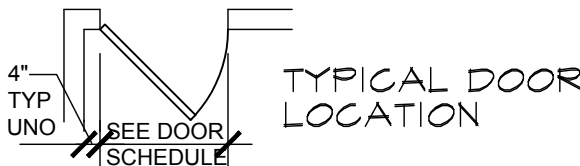
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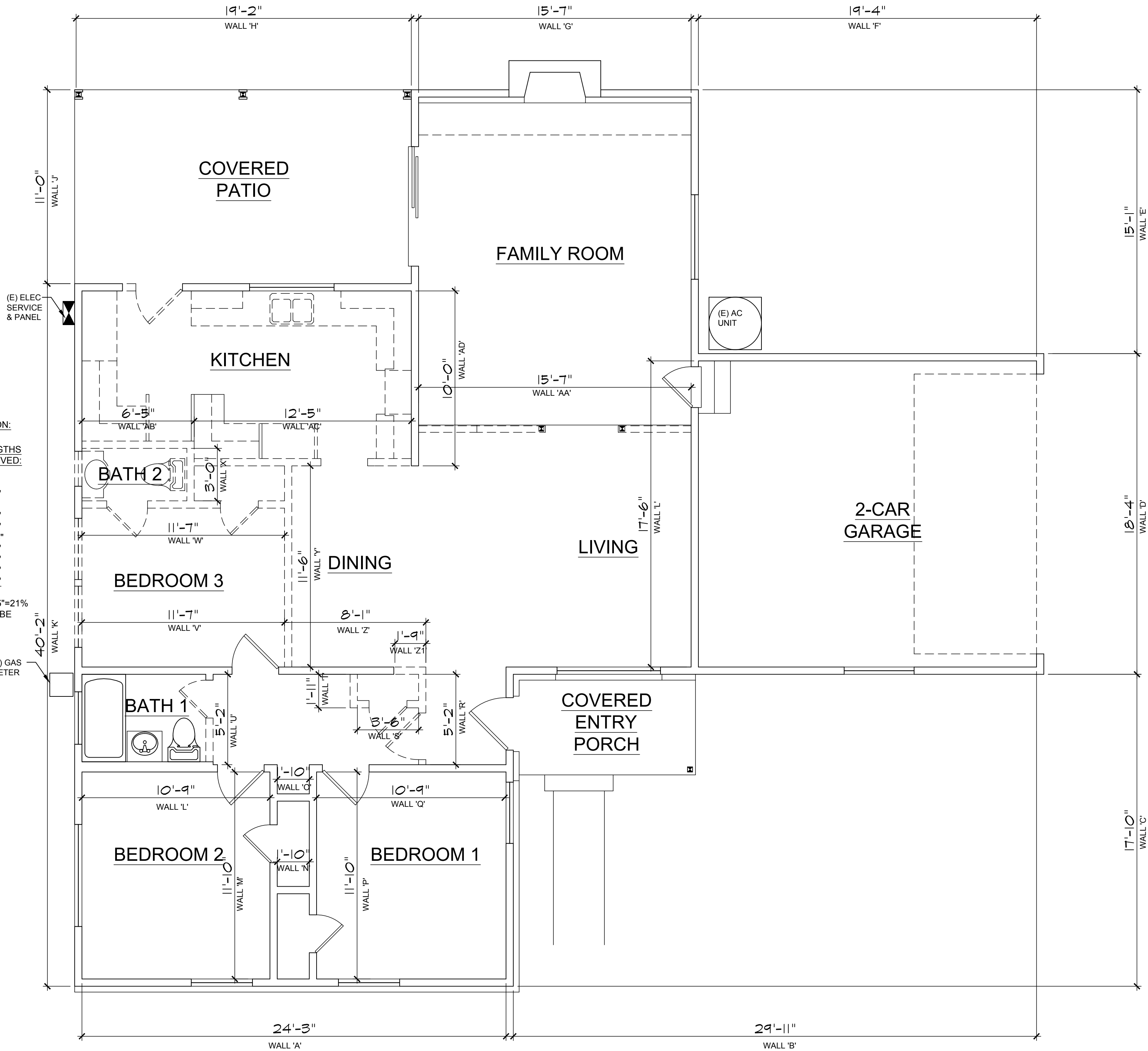
WALL LEGEND

2x4 WALL  
2x6 WALL



SCHEDULE

EXISTING WALL LENGTHS:	EXISTING WALL LENGTHS TO BE REMOVED:
A. = 24'-3"	R. = 5'-2"
B. = 29'-11"	S. = 3'-6"
C. = 17'-10"	T. = 1'-11"
D. = 18'-4"	U. = 5'-2"
E. = 15'-1"	W. = 11'-7"
F. = 19'-4"	X. = 3'-0"
G. = 15'-7"	Y. = 11'-6"
H. = 19'-2"	Z1. = 1'-9"
J. = 11'-0"	AA. = 15'-7"
K. = 40'-2"	AB. = 6'-5"
L. = 10'-9"	AC. = 12'-5"
M. = 11'-10"	78'-0"
N. = 1'-10"	78'-0"/364'-5"=21%
O. = 1'-10"	WALLS TO BE REMOVED
P. = 10'-10"	
Q. = 10'-9"	
R. = 5'-2"	
S. = 3'-6"	
T. = 1'-11"	
U. = 5'-2"	
V. = 11'-7"	
W. = 11'-7"	
X. = 3'-0"	
Y. = 11'-6"	
Z. = 8'-1"	
AA. = 15'-7"	
AB. = 6'-5"	
AC. = 12'-5"	
AD. = 10'-0"	
	364'-5"

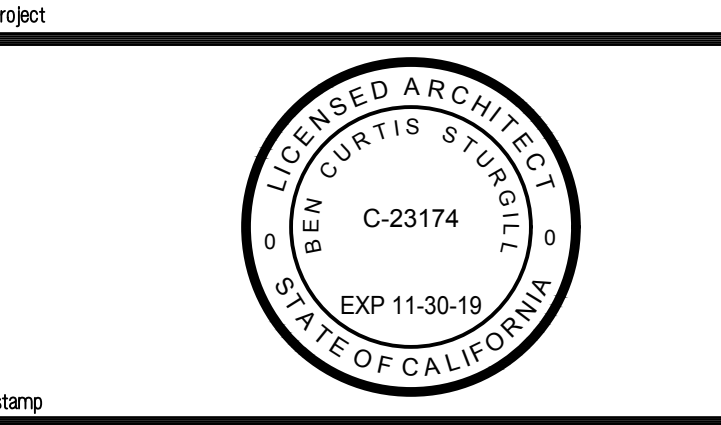


EXISTING / DEMOLITION FLOOR PLAN

1/2"=1'-0"

XX-XX-XX  
REV. DATE DESCRIPTION

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19/2020 8:33:04  
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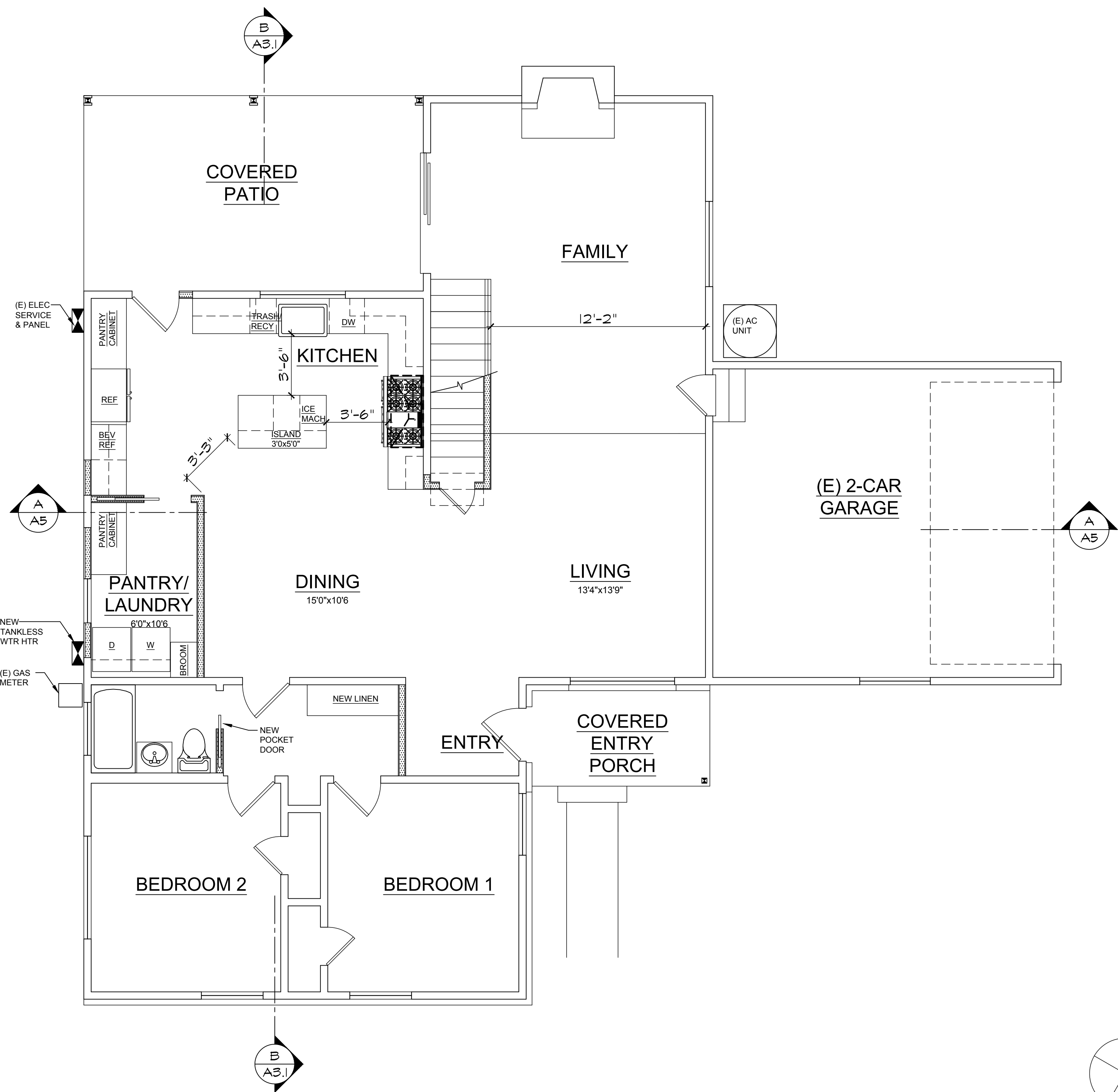
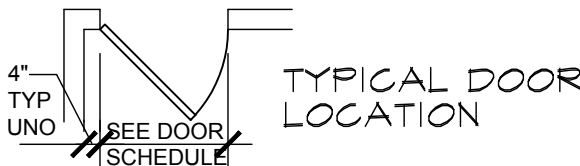
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WALL LEGEND

2x4 WALL  
2x6 WALL



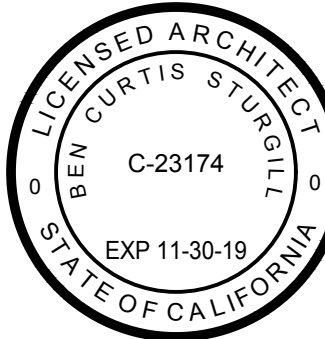
1st FLOOR PLAN

1/2"=1'-0"

rev.	date	description
XX-XX-XX		

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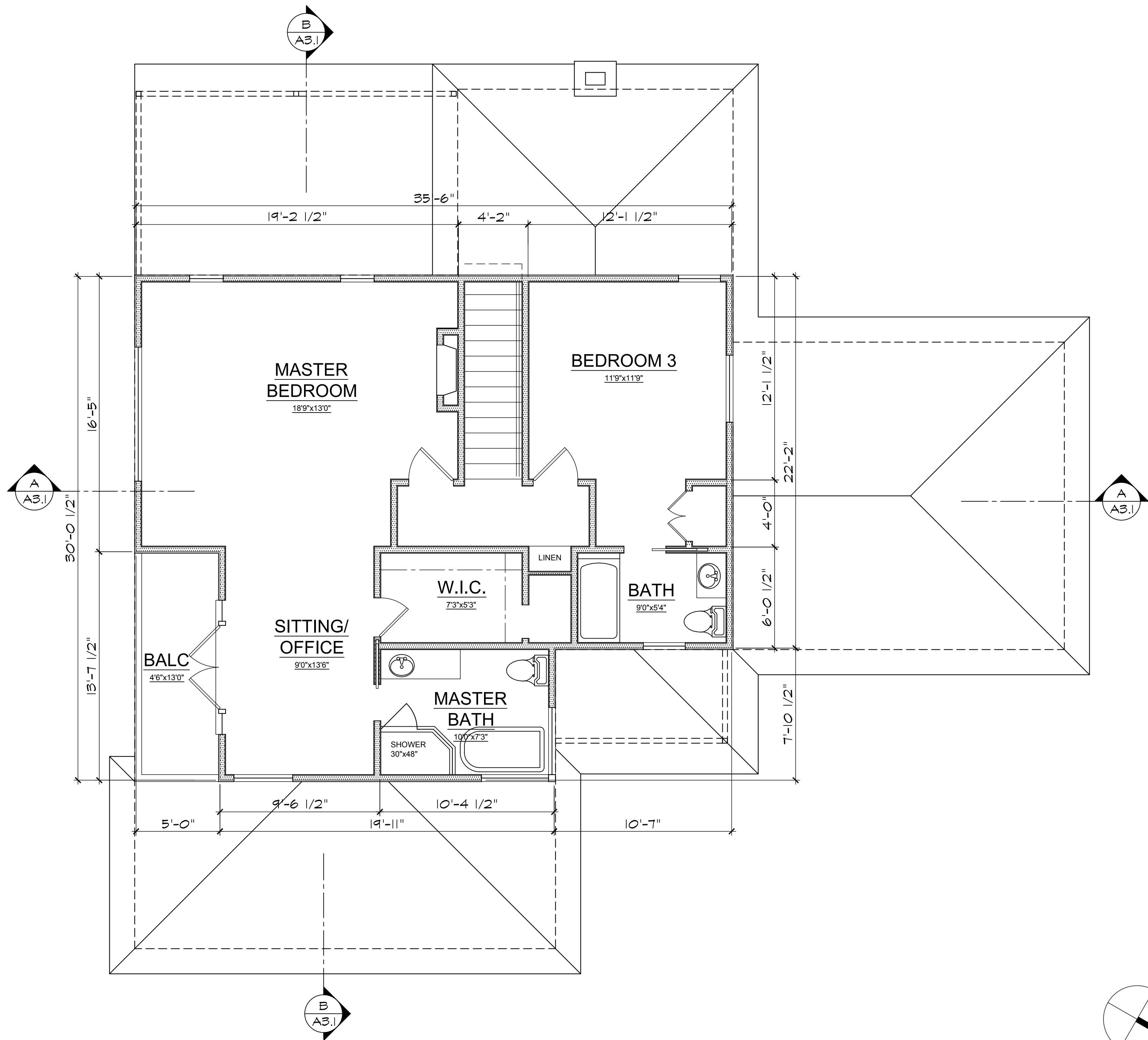
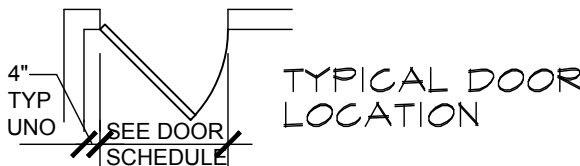
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WALL LEGEND

2x4 WALL  
2x6 WALL

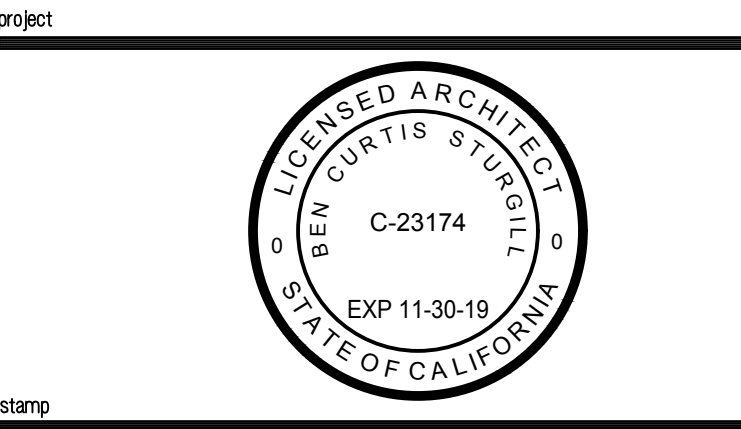


2nd FLOOR PLAN

1/4"=1'-0"

rev.	date	description
XX-XX-XX		

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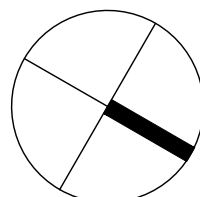
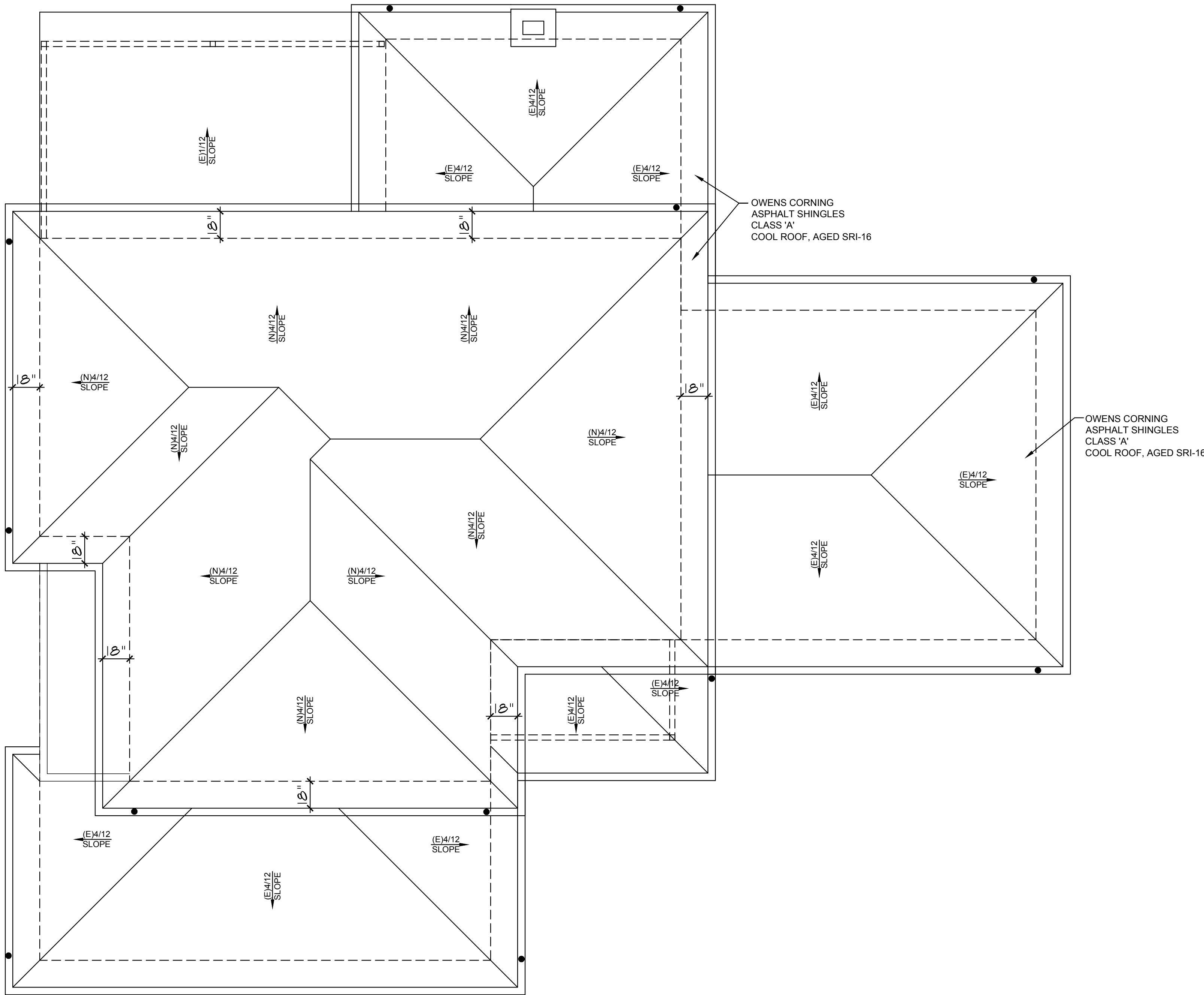
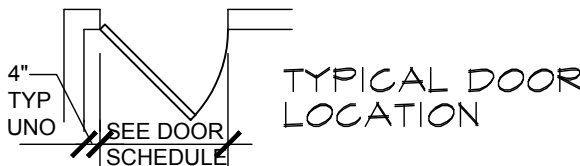
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WALL LEGEND

2x4 WALL  
2x6 WALL

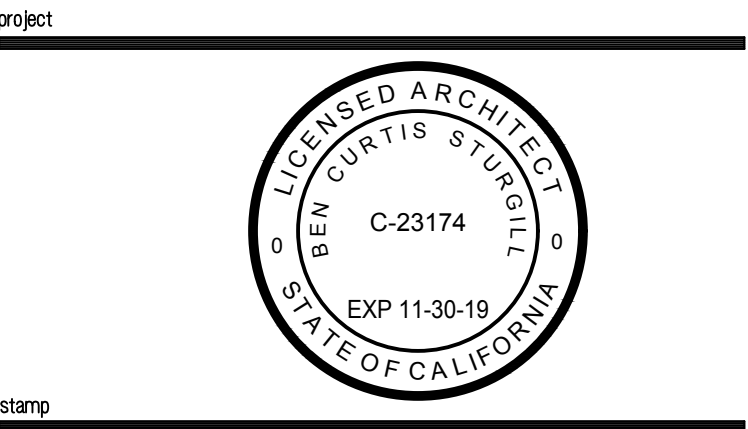


ROOF PLAN

1/2"=1'-0"

rev.	date	description
XX-XX-XX		

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FRONT YARD BUILDING MODULATION ALTERNATIVE "A"

OWENS CORNING ASPHALT SHINGLES COOL ROOF, AGED SRI-16

OWENS CORNING ASPHALT SHINGLES COOL ROOF, AGED SRI-16

OWENS CORNING ASPHALT SHINGLES COOL ROOF, AGED SRI-16

7/8" STUCCO O/PAPER BACKED MTL LATH

OWENS CORNING ASPHALT SHINGLES COOL ROOF, AGED SRI-16

(E) STUCCO

(E) BRICK

(E) STUCCO

(E) BRICK

(E) GRADE

PROPOSED GRADE

MATERIAL COLORS:  
NEW STUCCO: MATCH EXIST'G  
ROOFING: DARK BROWN

12'-0"

8'-3"

8'-10"

8'-10"

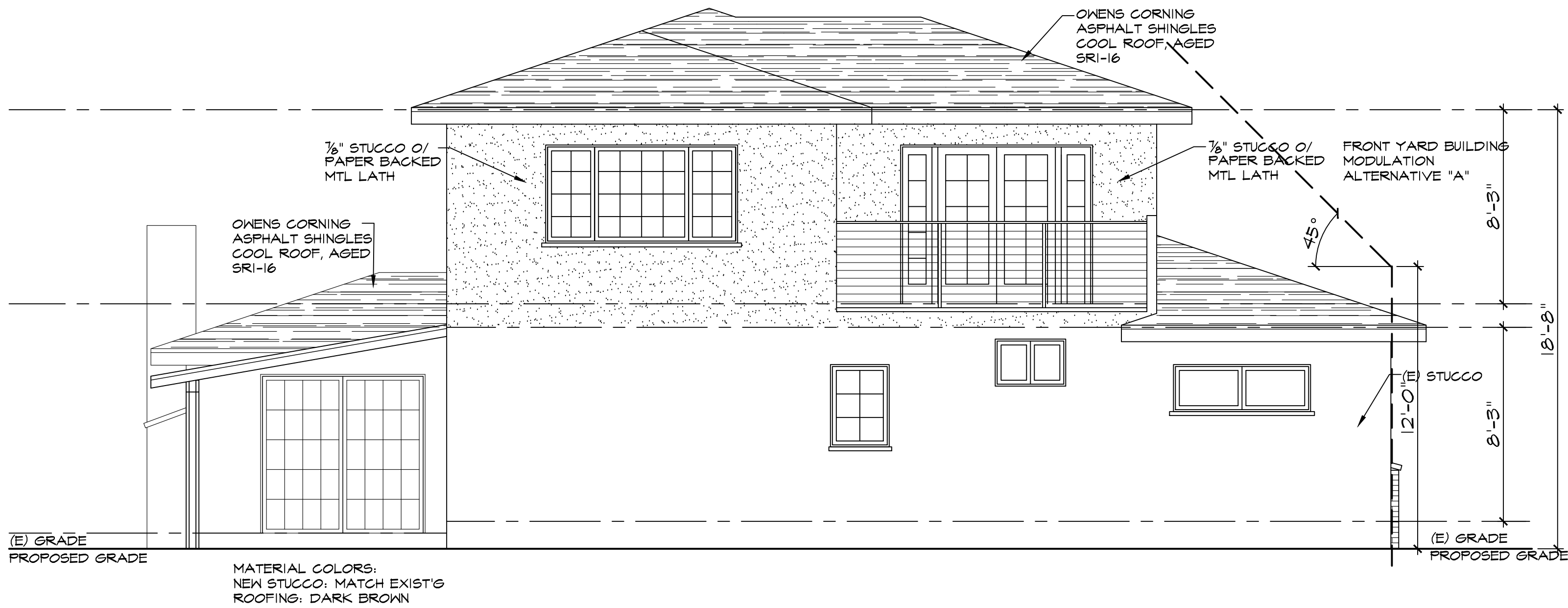
45°

45°

45°

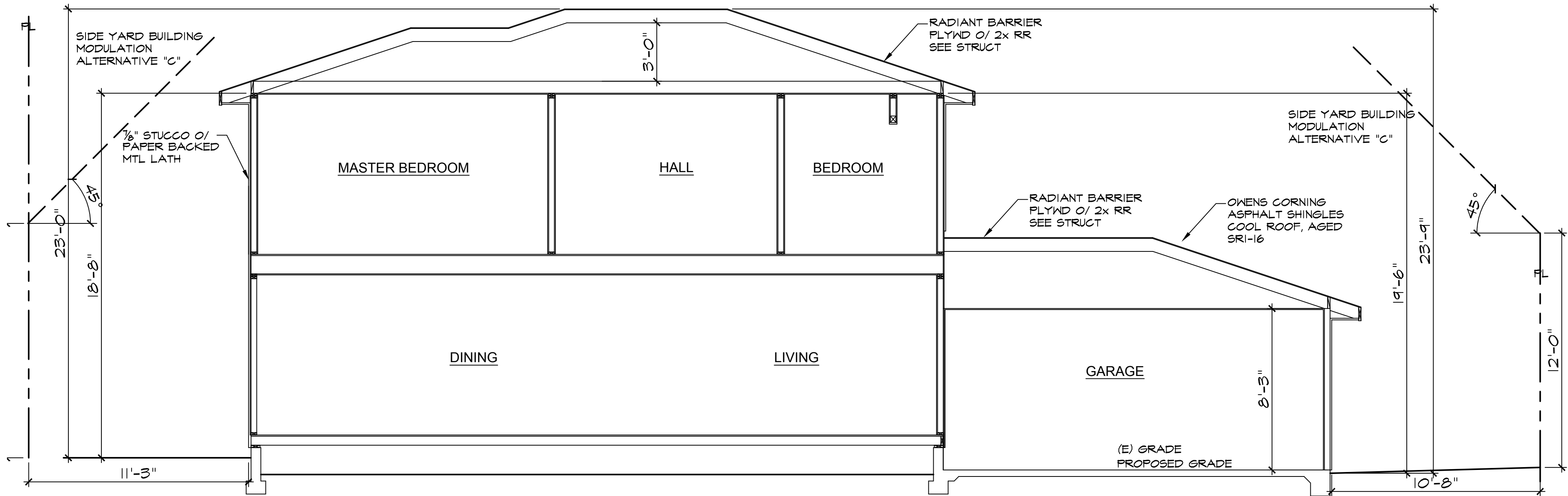
## NORTH ELEVATION

201911.00 sheet



SOUTH ELEVATION

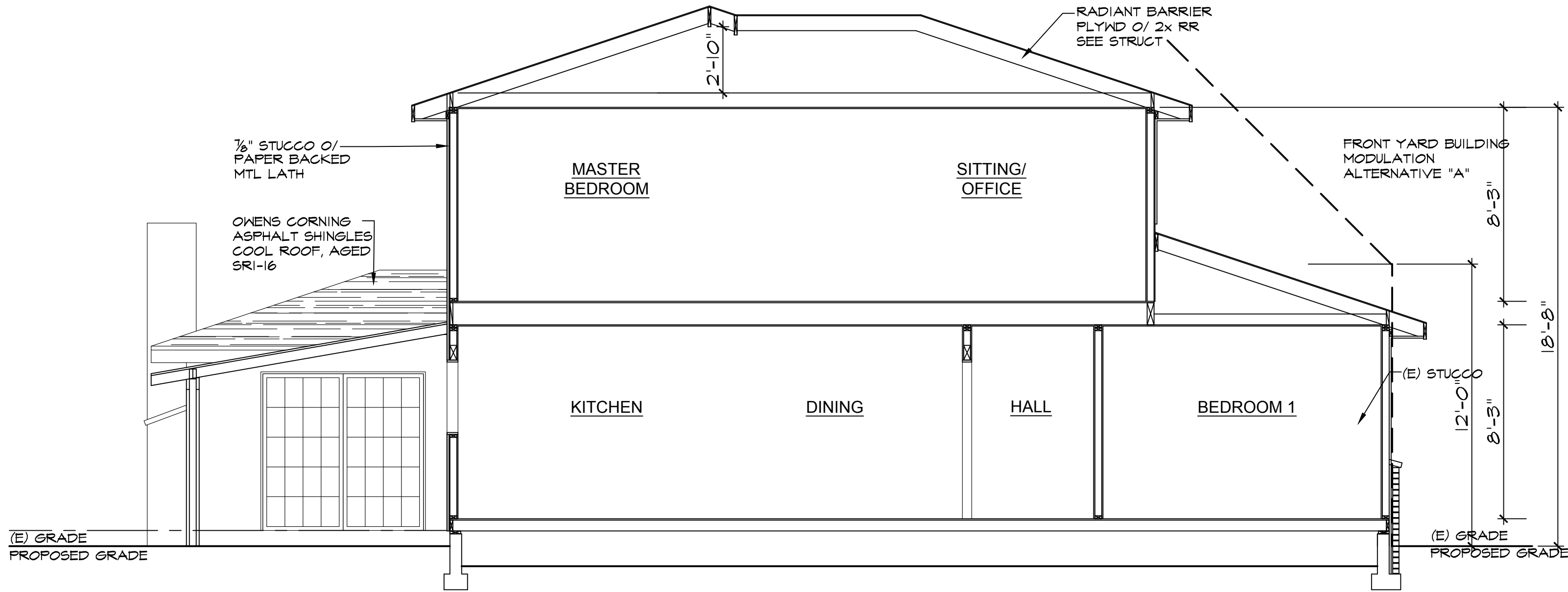
1/4"=1'-0"



SECTION

1/4"=1'-0"

A



SECTION

1/4"=1'-0"

B

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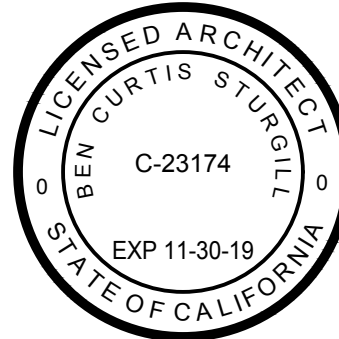
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XX-XX-XX  
rev. date description

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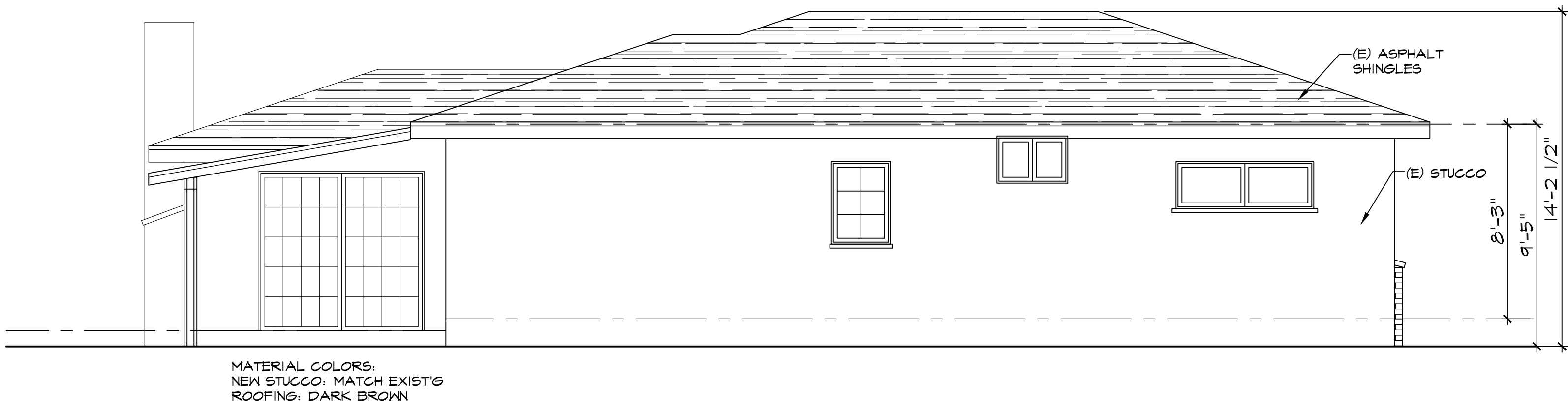
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drawn 04-10-19 date

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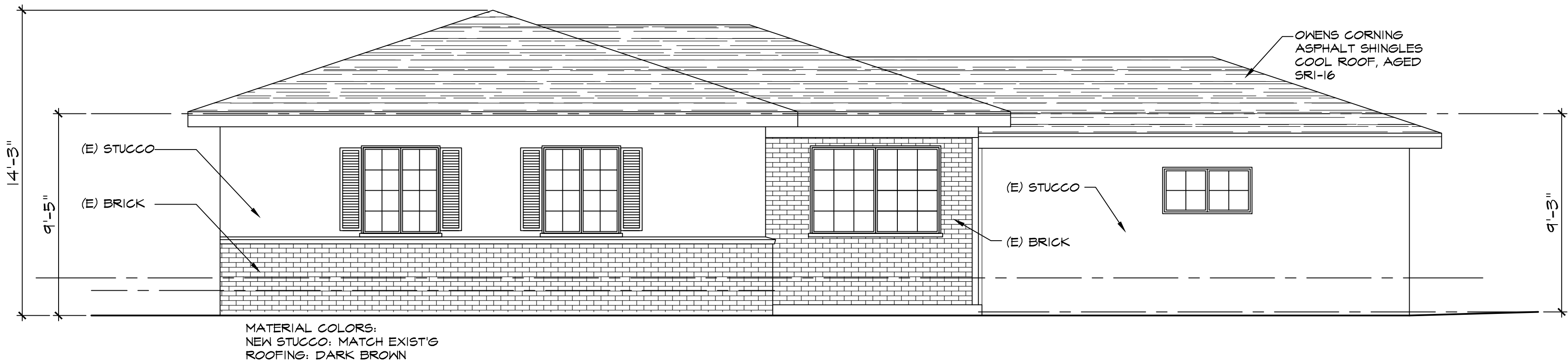
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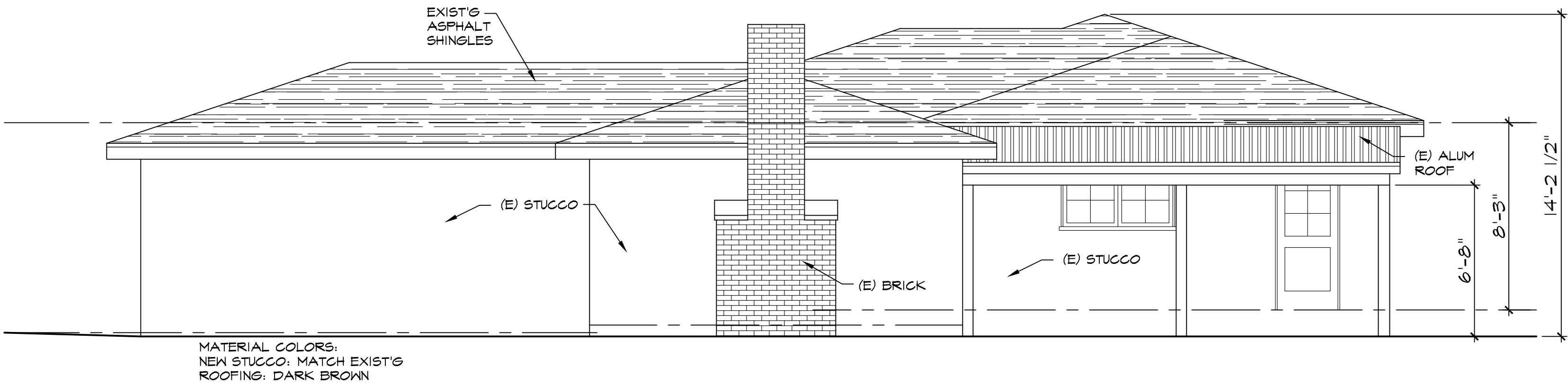


EXISTING SOUTH ELEVATION

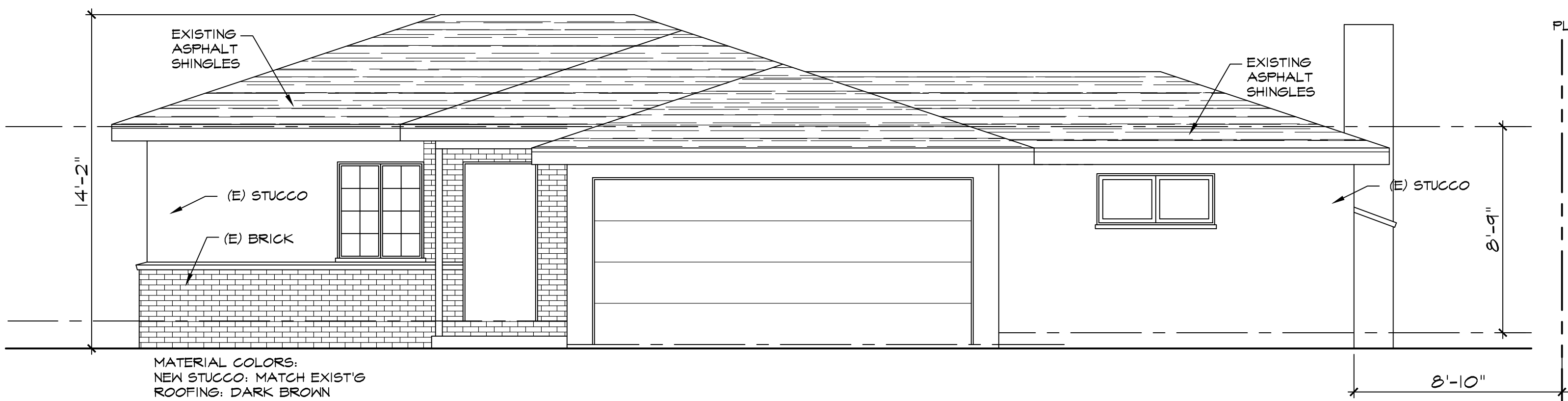
¼"=1'-0"



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION

¼"=1'-0"

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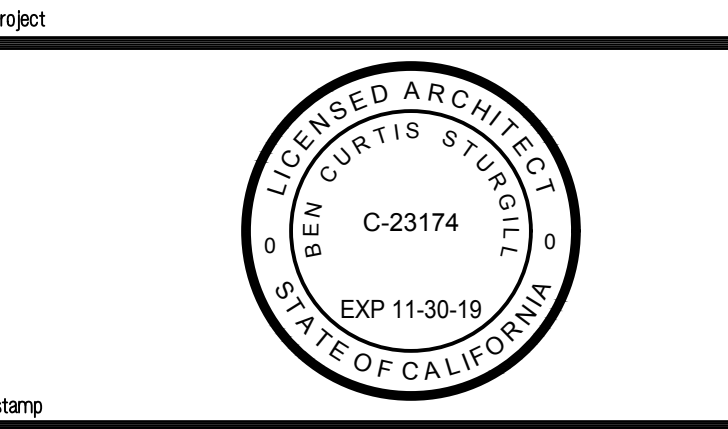
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