

EXISTING SITE PLAN 1
SCALE: 1/8" = 1'-0"

- PROPERTY LINE
- ▨ EXISTING CONCRETE BLOCK WALL
- - - (E) WROUGHT IRON FENCE

- 1 (E) CONCRETE WALK
- 2 (E) CONCRETE BLOCK WALL
- 3 (E) WROUGHT IRON FENCE
- 4 (E) 8" DECIDUOUS TREE
- 5 (E) 12" DECIDUOUS TREE
- 6 (E) 10" DECIDUOUS TREE
- 7 (E) CONCRETE CURB AND GUTTER
- 8 (E) ASPHALT PAVEMENT
- 9 (E) POWER POLE
- 10 (E) WATER METER
- 11 (E) SIGN

SITE LEGEND

SITE PLAN KEY NOTES

LR/A
LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT. THE DESIGN, SPECIFICATIONS AND CONDITIONS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS AND SPECIFICATIONS ARE PROPRIETARY AND SHALL NOT BE COPIED, REPRODUCED OR COMMERCIALY EXPLOITED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE OWNER AGREES TO HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL DAMAGES, CLAIMS AND SUITS, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT OF RECORD.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION
○			
○			
○			

ARCH/CONSULTANT:



PROJECT
VERDUGO APARTMENTS
706 E. VERDUGO AVE.
BURBANK, CA. 91501

CLIENT
SALIM BHOJANI
20810 BRYANT ST.
WINNETKA, CA. 91306

REVISIONS	ISSUE	DATE	REVISION
△			
△			
△			
△			
△			
△			

DRAWN _____ CHECKED _____
STAFF _____ WR / RM _____

CAD FILE _____

JOB NO. _____
20.570.00

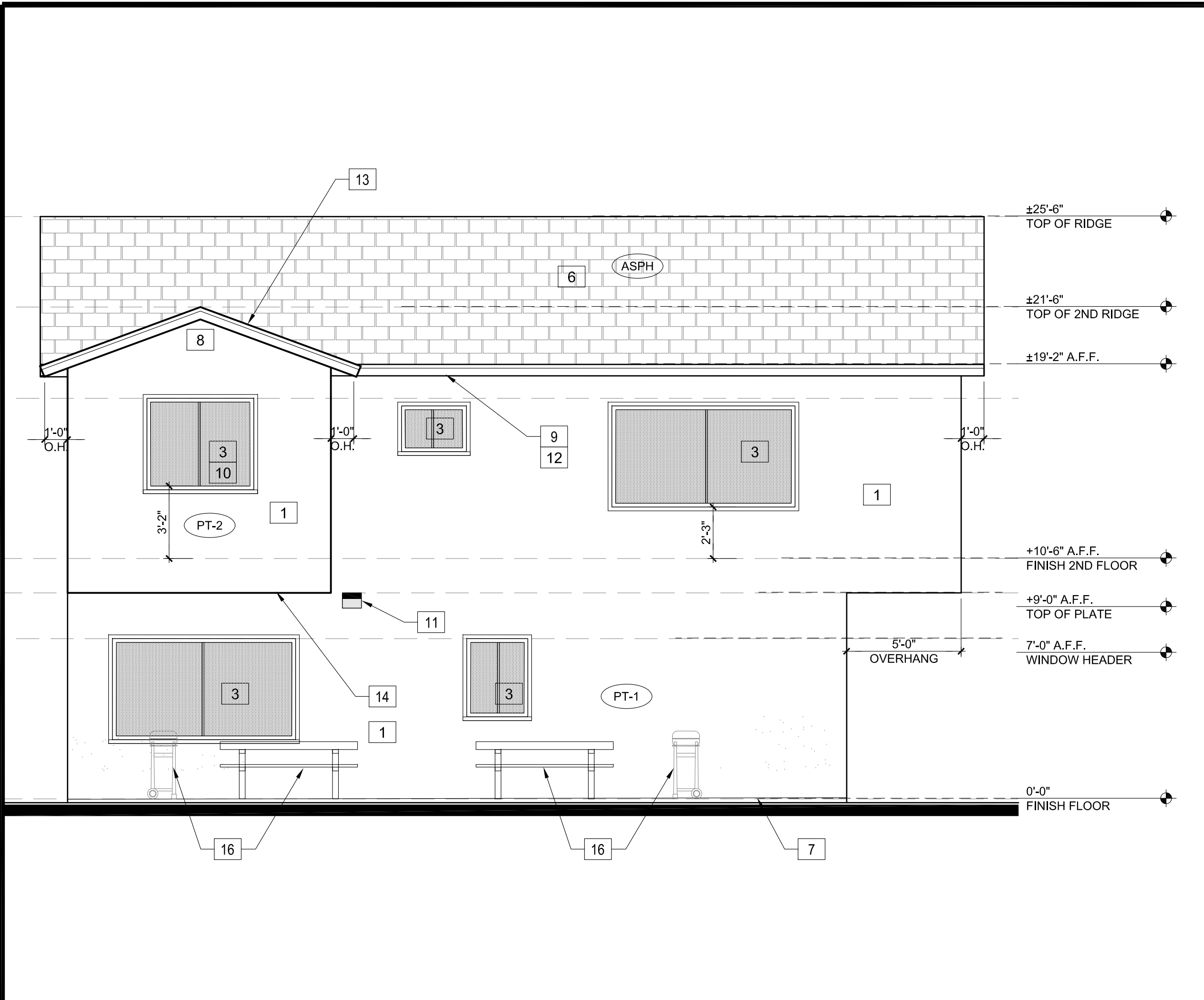
DATE _____

SCALE _____
AS SHOWN

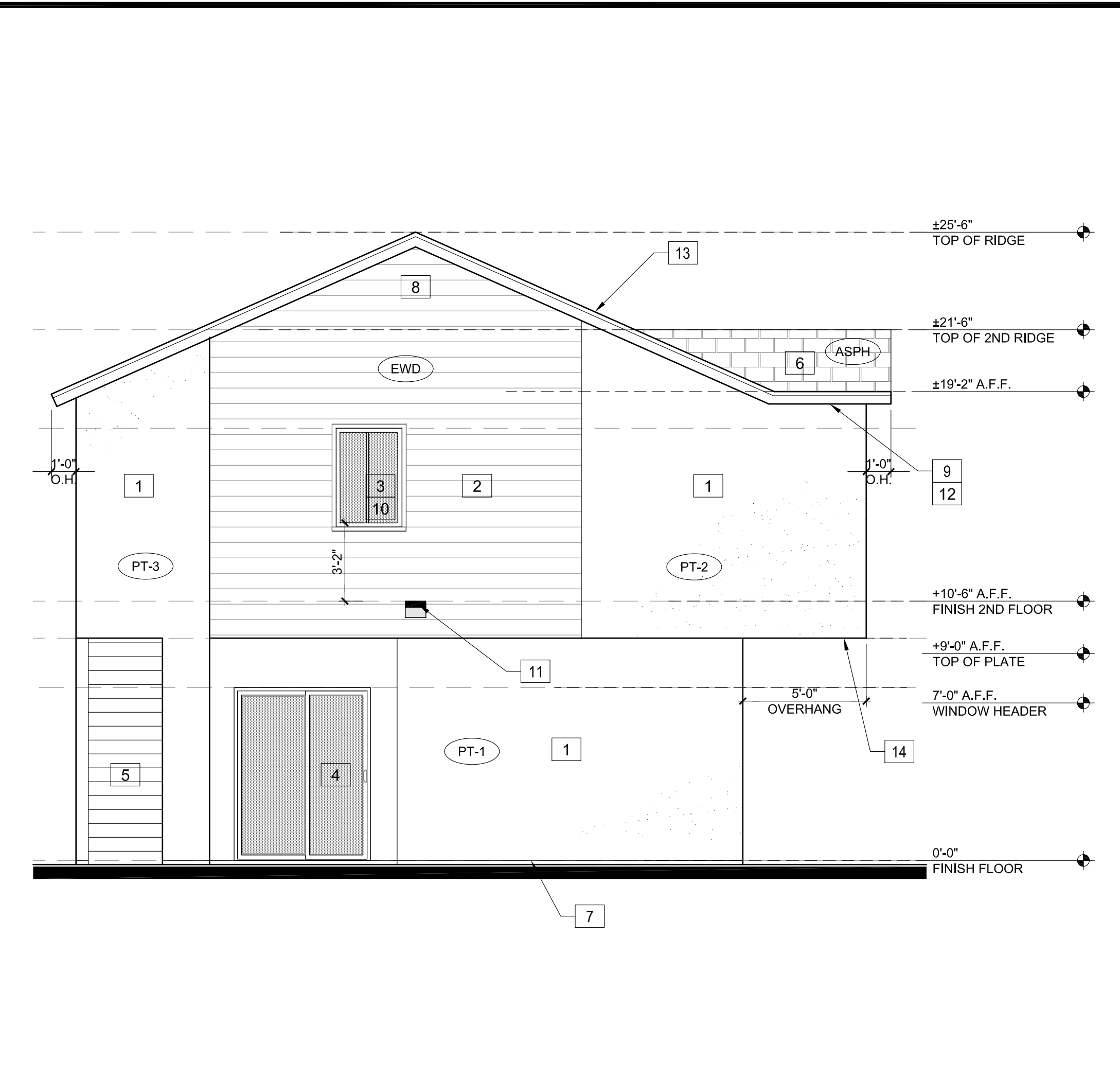
TITLE
EXISTING
SITE PLAN

SHEET

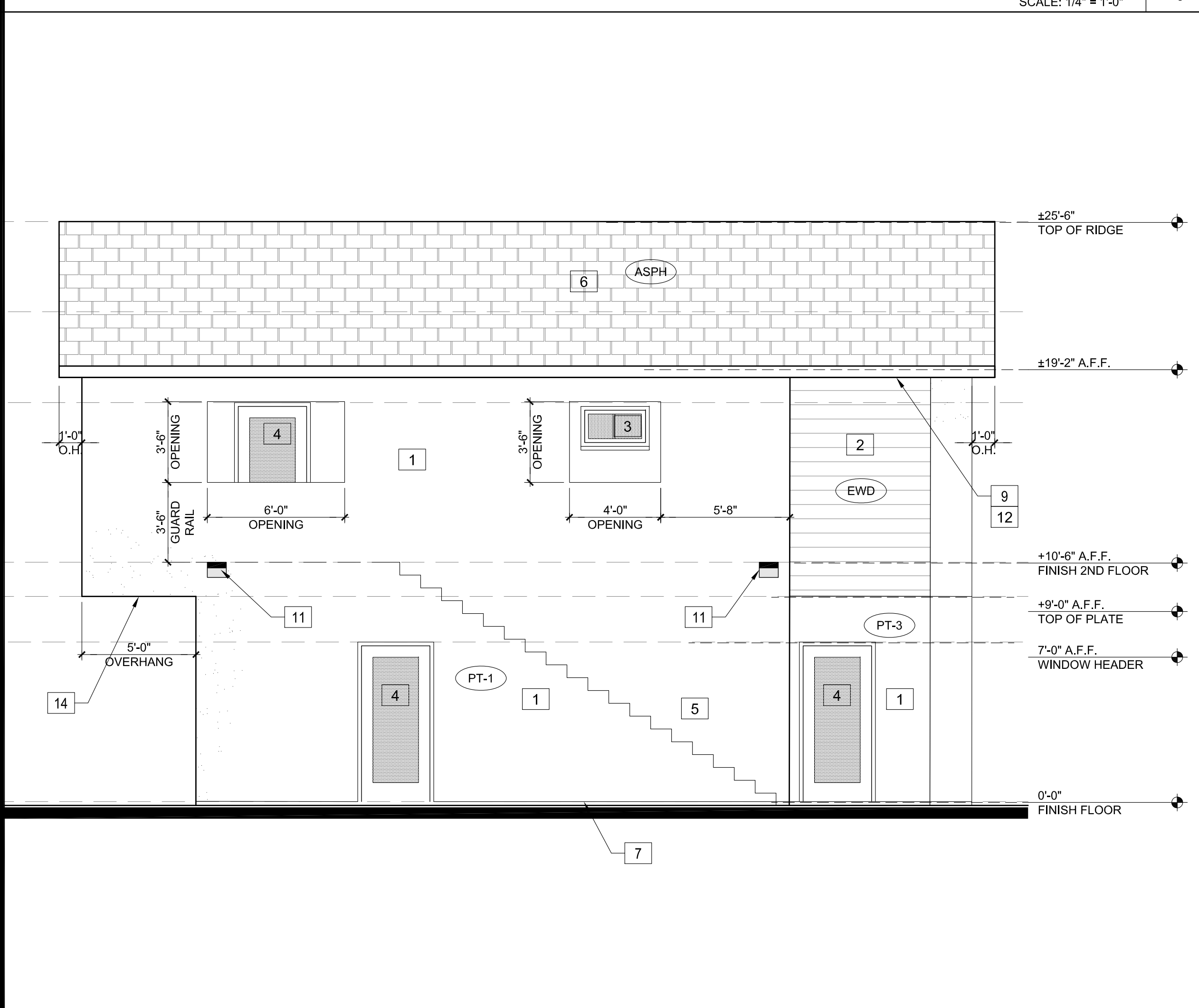
A-0.1



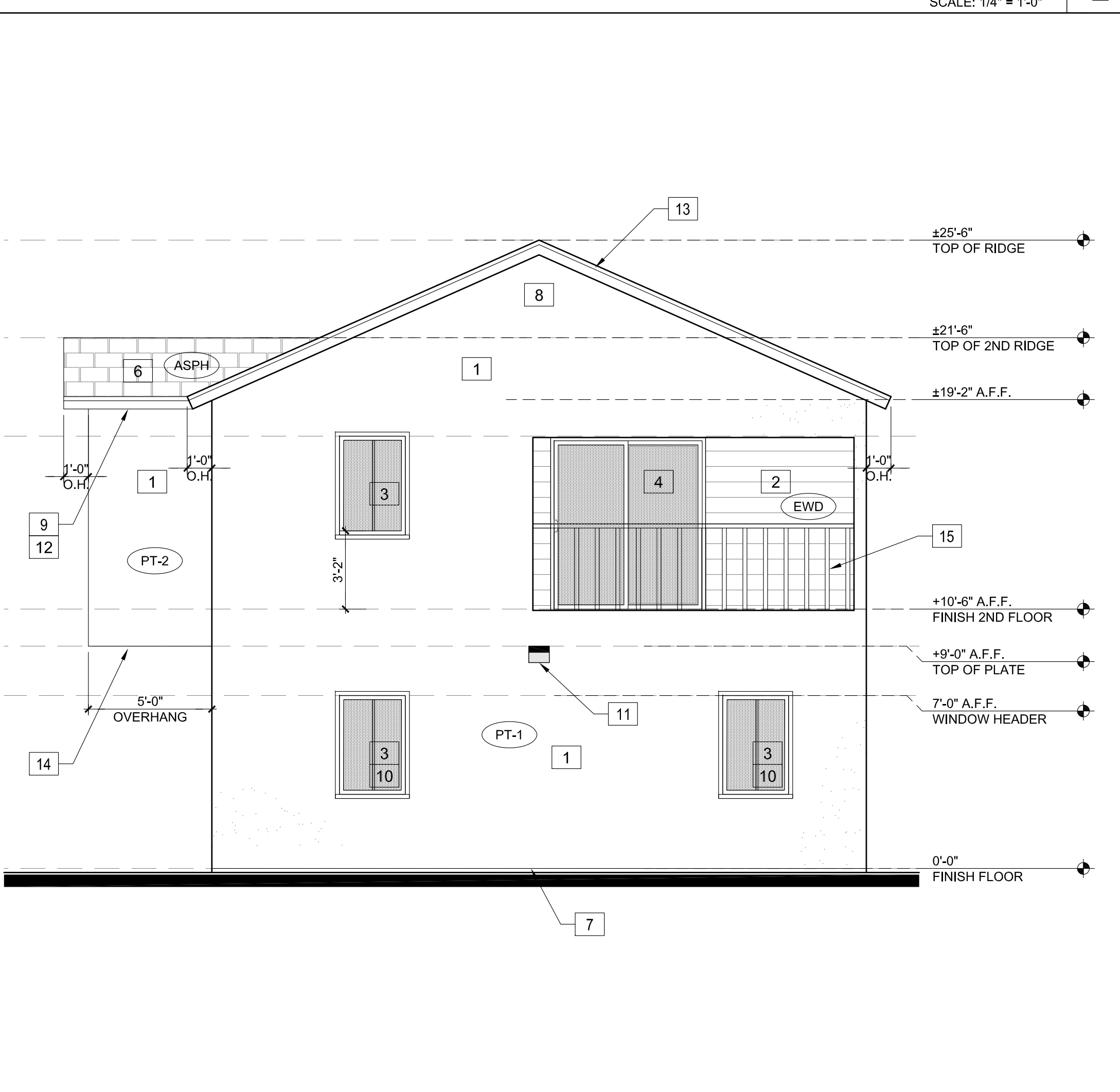
WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 4



NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 2



EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 3



SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 1

- 1 7/8" THCK SMOOTH STUCCO, PAINTED.
- 2 WOOD SIDING, INSTALLED PER MANUFACTURED SPECS.
- 3 WINDOW - REFER TO WINDOW SCHEDULE ON SHEET A-7.0
- 4 DOOR - REFER TO DOOR SCHEDULE ON SHEET A-7.0
- 5 ENTRANCE STAIR CASE FOR 2ND FLOOR
- 6 ASPHALT SHINGLE (CLASS 'A') ROOF, PER ESR-1475.
- 7 WEEP SCREED
- 8 GABLE VENT
- 9 EAVE VENTS
- 10 OPERABLE ESCAPE WINDOW.
- 11 WALL PACK LIGHT FIXTURE
- 12 FASCIA BOARD W/ ROOF GUTTER
- 13 RAKE BOARD
- 14 7/8" THCK STUCCO UNDERSIDE OF EAVE.
- 15 42" GUARD RAIL
- 16 OUTDOOR AMENITIES

SYMBOL	FINISH	COLOR SPECIFICATION
PT-1	PAINT	YREKAI DET594 - DUNN EDWARDS
PT-2	PAINT	BROODING STORM DET604 - DUNN EDWARDS
PT-3	PAINT	CLEMATIS BLUE DET587 - DUNN EDWARDS
EWD	MANUFACTURE	NEW TECHWOOD - WESTMINSTER GRAY
ASPH	MANUFACTURE	NIGHT SKY - OWENS CORNING ASPHALT SHINGLE

ELEVATION KEYNOTES

ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.

NOTE: IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
 1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
 2. A MINIMUM CLEAR HEIGHT OF 24-IN.
 3. A MINIMUM CLEAR WIDTH OF 20 IN.
 4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN. MEASURED FROM THE FLOOR.

NOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT. THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS ARE PROPRIETARY AND CANNOT BE COPIED, REPRODUCED OR SPECIFICATIONS SHALL NOT BE USED BY THE OWNER OR OTHER PROJECT OR CONTRACTORS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS AND SPECIFICATIONS.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:	-	-
BLD'G. DEPT.:	-	-
BID SET:	-	-

RELEASES:	DATE	DESCRIPTION
•	-	-
•	-	-
•	-	-

ARCH/CONSULTANT:

PROJECT

VERDUGO DUPLEX
706 E. VERDUGO AVE.
BURBANK, CA. 91501

CLIENT

SALIM BHOJANI
20810 BRYANT ST.
WINNETKA, CA. 91306

REVISIONS	ISSUE	DATE	REVISION
△	:	-	-
△	:	-	-
△	:	-	-
△	:	-	-
△	:	-	-
△	:	-	-

DRAWN	CHECKED
STAFF	WR/ RM

CAD FILE

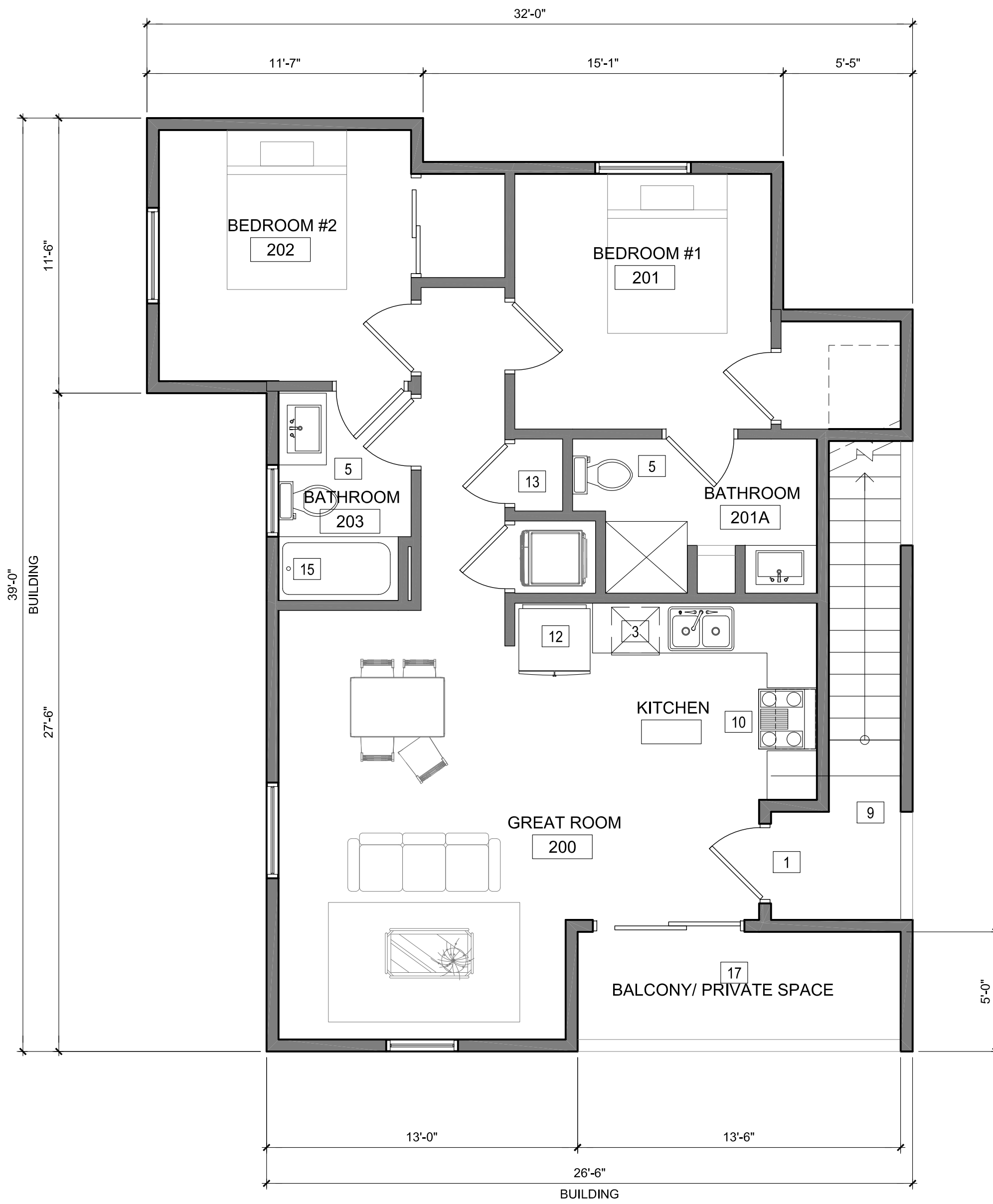
JOB NO.
20.570.00

DATE
-

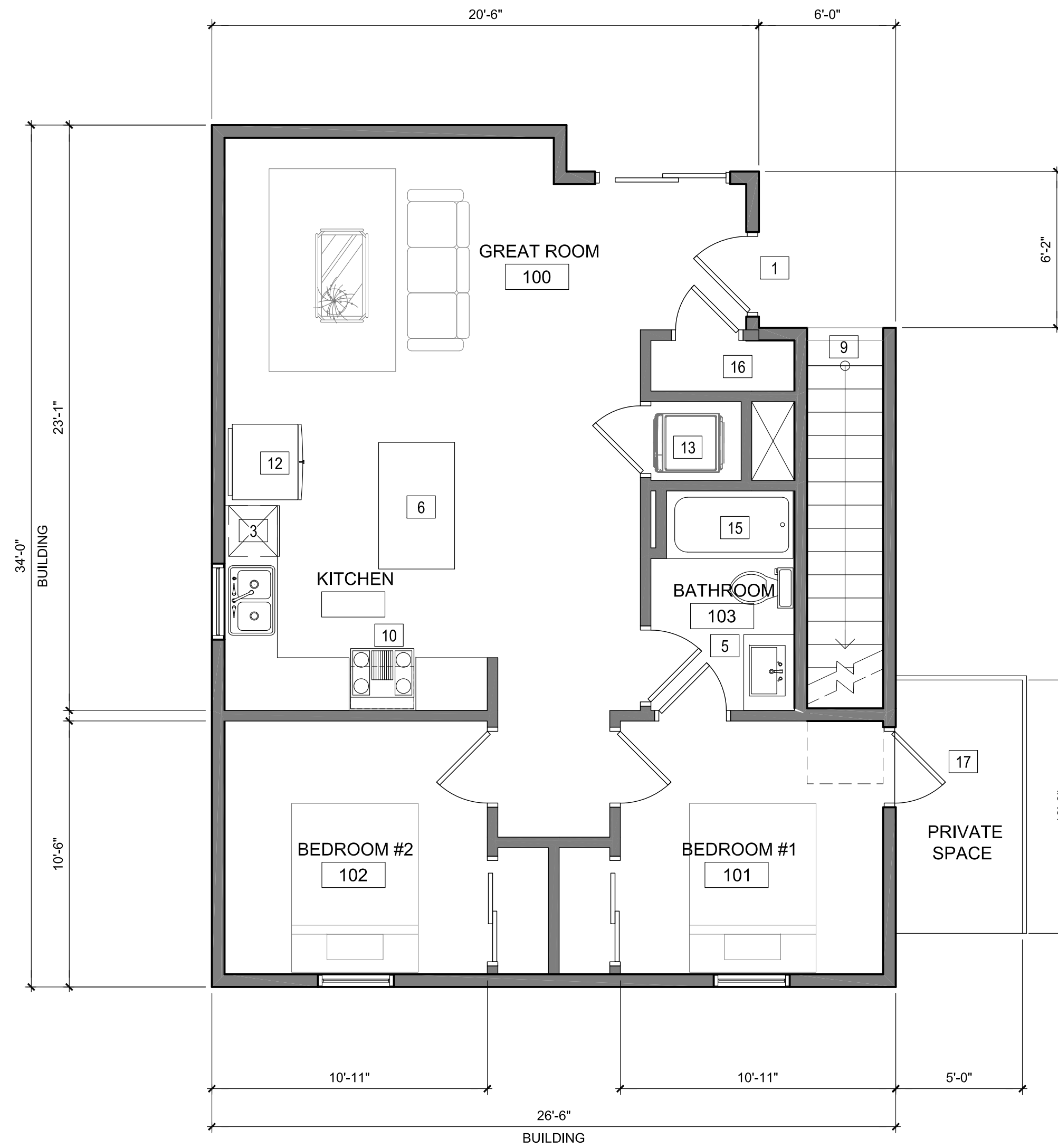
SCALE
AS SHOWN

TITLE
EXTERIOR ELEVATIONS
VERSION 1

SHEET
A-4.0



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 2



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1

- 1 UNIT ENTRY 1/2" TRANSITION AT DOOR REQUIRED, TYP.
- 2 TANKLESS WATER HEATER. SEE SPEC ON A-0.0
- 3 UNDER COUNTER DISHWASHER
- 4 MILLWORK BY OWNER
- 5 PLUMBING FIXTURE BY OWNER
- 6 ISLAND
- 7 FLOOR TRANSITIONS SEE DETAIL 10/A-7.01
- 8 METAL PAN @ FRONT LOADED WASHER DRIVER AND TANK-LESS WATER HEATER AREAS.
- 9 NEW STAIRCASE
- 10 RANGE WITH HOOD
- 11 PANTRY
- 12 REFRIGERATOR BY OWNER
- 13 WASHER/DRYER LOCATION
- 14 GARAGE DOOR (OVERHEAD)
- 15 12"x12" MIN. PLUMBING ACCESS.
- 16 COAT CLOSET
- 17 50 SF OF PRIVATE SPACE

KEYNOTES

1. VERIFY-IN-FIELD ACCURACY OF GRIDLINES. REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITION.
2. SEE SHEET A-0.0 FOR SYMBOLS & ABBREVIATIONS.
3. WHEN PROVIDED, SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
4. ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, INCLUDING FURRED SPACES, AT 10' INTERVALS BOTH VERTICALLY AND HORIZONTALLY.
6. WHEN PROVIDED, SEE STRUCTURAL DRAWINGS FOR BUILDING SECTION
- A. SIZE AND LOCATION OF FRAMING AND PLYWOOD SHEATHING
- B. SPECIAL NAILING AND BLOCKING REQUIREMENTS
9. PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
10. FOR DOOR & WINDOW SCHEDULE - SEE SHEET A-7.0 AND A-7.01
11. GREEN NOTES:
NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED
12. THE HEATING AND AIR-CONDITIONING SYSTEM SHALL BE SIZED AND DESIGNED USING ANSIIACCA MANUAL J-2011, ANSIIACCA 29-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSIIACCA 3 MANUAL S-2014, (4.507.2)
13. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
14. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

PLAN NOTES

- COMPACT FLOURESCENT RECESSED DOWNLIGHT - VERIFY LOCATION IN FIELD
- ⊕ PENDANT LIGHT
- ⊙ ENERGY STAR W/ HUMIDISTAT EXHAUST FAN 50 CFM TO OUTSIDE
- ⊕ ELECTRICAL DUPLEX OUTLET
- ⊕ GFI ELECTRICAL DUPLEX OUTLET
- ⊕ SWITCH LOCATION
- ⊕ JUNCTION BOX
- ⊕ EXTERIOR WALL LIGHTS
- ⊕ HOSE BIB
- ⊕ SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP, TYP.
- ⊕ CARBON MONOXIDE ALARM
- ⊕ DOOR TAG
- ⊕ WINDOW TAG
- ▬ (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD.
- ▬ EXISTING WALL

LEGEND

LR/A
LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

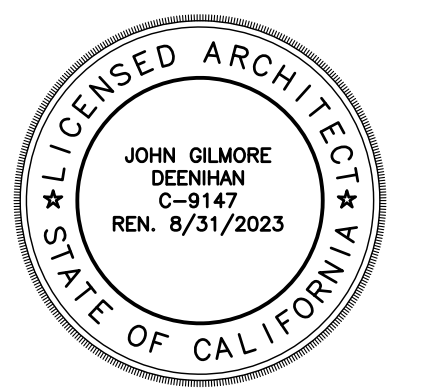
N O T E

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT. THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY THE OWNER OR OTHER PERSONS FOR ANY PURPOSES TO THE EXTENT OF THE COMPLETION OF THIS PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION
○			
○			
○			

ARCH/CONSULTANT:



PROJECT

VERDUGO DUPLEX
706 E. VERDUGO AVE.
BURBANK, CA. 91501

CLIENT

SALIM BHOJANI
20810 BRYANT ST.
WINNETKA, CA. 91306

REVISIONS

ISSUE	DATE	REVISION
△		
△		
△		
△		
△		
△		

DRAWN CHECKED

STAFF WR/ RM

CAD FILE

JOB NO.

20.570.00

DATE

4/28/2021

SCALE

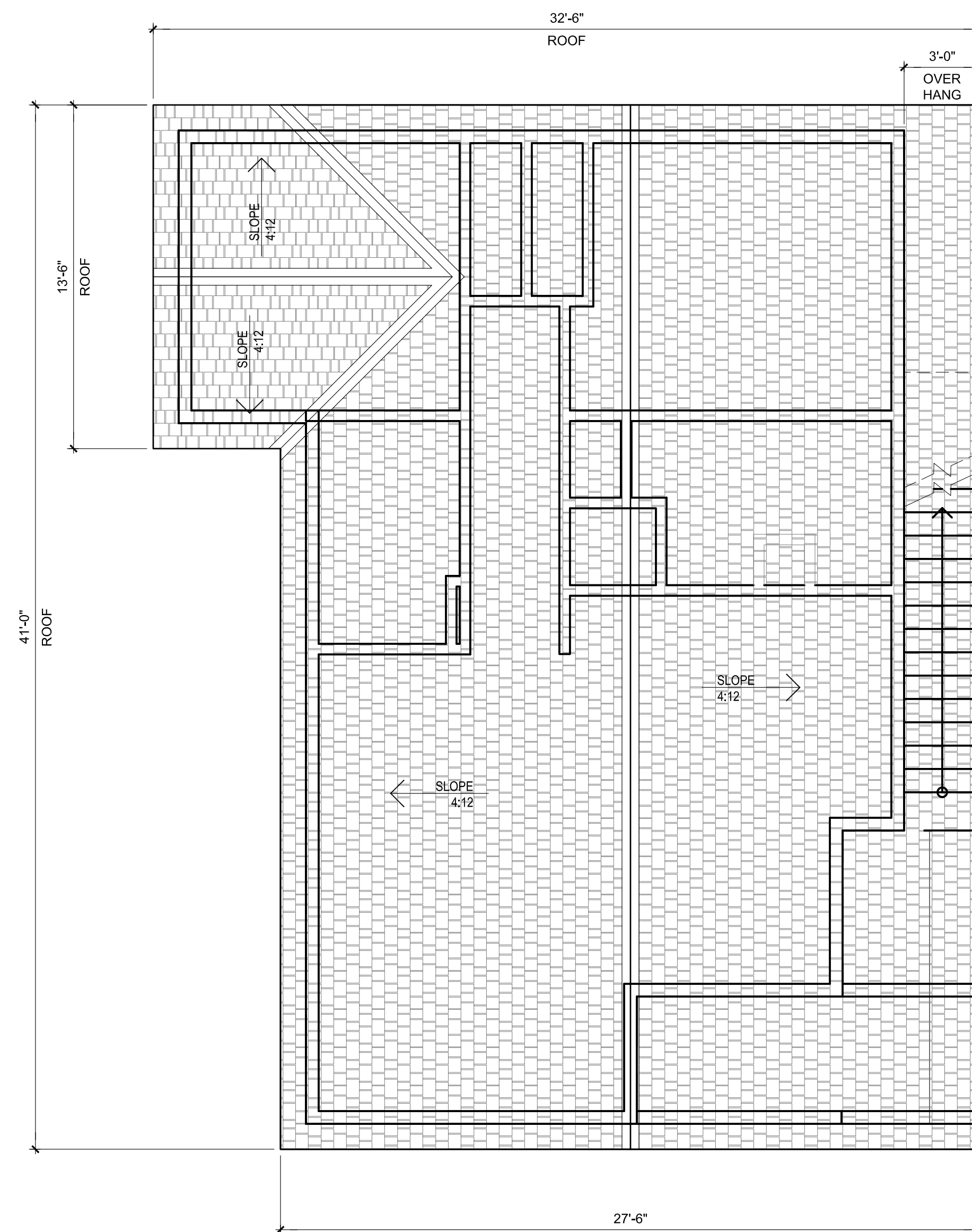
AS SHOWN

TITLE

FIRST AND
SECOND FLOOR
PLAN

SHEET

A-2.0



- 1 NEW ASPHALT SHINGLES TO MATCH EXISTING. G.C. TO FOLLOW CALIFORNIA ROOF FRAMING (CLASS "A" ASPHALT SHINGLES. ESR-3287)
- 2 (E) ROOF AND ROOFING TO REMAIN
- 3 NEW ROOF VALLEY
- 4 WALL BELOW
- 5 RAIN GUTTER
- 6 DOWNSPOUT
- 7 NOT USED
- 8 ROOF ADDITION
- 9 CALIFORNIA FRAMING

NOTE:
FOR ROOF COVERING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

KEYNOTES

- EXHAUST FAN
- ROOF DRAIN
- SLOPE DIRECTION

ROOF PLAN LEGEND

1. THE FOLLOWING ITEMS SHALL COMPLY WITH SPECIFIC I.C.C. HOLDOWNS, STRAPS, FRAMING CLIPS, RETROFIT ANCHOR BOLTS, SHEAR PLATES, JOIST HANGERS.
2. ICBO EVALUATION REPORTS OR LARR'S ARE ACCEPTABLE FOR THE FOLLOWING NON-STRUCTURAL ITEMS; PROVIDE REPORT NUMBER. ROOFING TILE.
3. DRAFT STOPS SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION. (1000 S.F. AND 60' MAX BETWEEN DRAFT STOPS)
4. DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS, AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION. (3000 S.F. AND 60' MAX.)
5. NOTCHING OF EXTERIOR AND BEARING/IN BEARING WALLS SHALL NOT EXCEED 25% / 40% OF ITS WIDTH, RESPECTIVELY. BORED HOLES IN BEARING/IN BEARING WALLS SHALL NOT EXCEED 40% / 60% OF ITS WIDTH RESPECTIVELY.
6. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL, AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
7. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 IN. (NO. 26 GALVANIZED SHEET)
8. ROOF DIAPHRAMG NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS.

ROOF PLAN
SCALE: 1/4" = 1'-0"

1

GENERAL NOTES

THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMENEYS, EQUIPMENT, PARAPETS, AND STAIRWELLS

GREEN NOTES

LR/A
LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

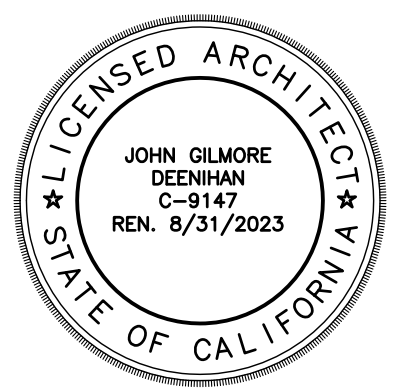
N O T E

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT. THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS AND SPECIFICATIONS SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING OUT OF THE USE OF THESE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			

ARCH/CONSULTANT:



PROJECT

VERDUGO DUPLEX
706 E. VERDUGO AVE.
BURBANK, CA. 91501

CLIENT

SALIM BHOJANI
20810 BRYANT ST.
WINNETKA, CA. 91306

REVISIONS	ISSUE	DATE	REVISION
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>			

DRAWN _____ CHECKED _____
STAFF _____ WR/ RM _____

CAD FILE

JOB NO.
20.570.00

DATE

SCALE

AS SHOWN

TITLE

ROOF PLAN

SHEET

A-3.0

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

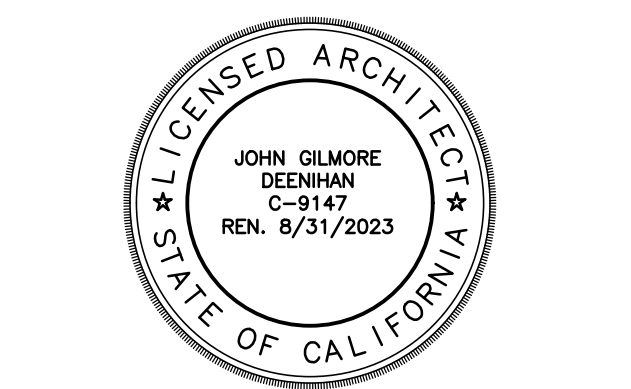
N O T E

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT. THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND SPECIFICATIONS PROVIDED. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE OWNER AGREES TO HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT OR THE RECORD.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION
	○		
	○		
	○		

ARCH/CONSULTANT:



PROJECT
VERDUGO DUPLEX
706 E. VERDUGO AVE.
BURBANK, CA. 91501

CLIENT
SALIM BHOJANI
20810 BRYANT ST.
WINNETKA, CA. 91306

REVISIONS	ISSUE	DATE	REVISION
	△		
	△		
	△		
	△		
	△		
	△		

DRAWN _____ CHECKED _____
STAFF _____ WR/ RM _____

CAD FILE _____

JOB NO.
20.570.00

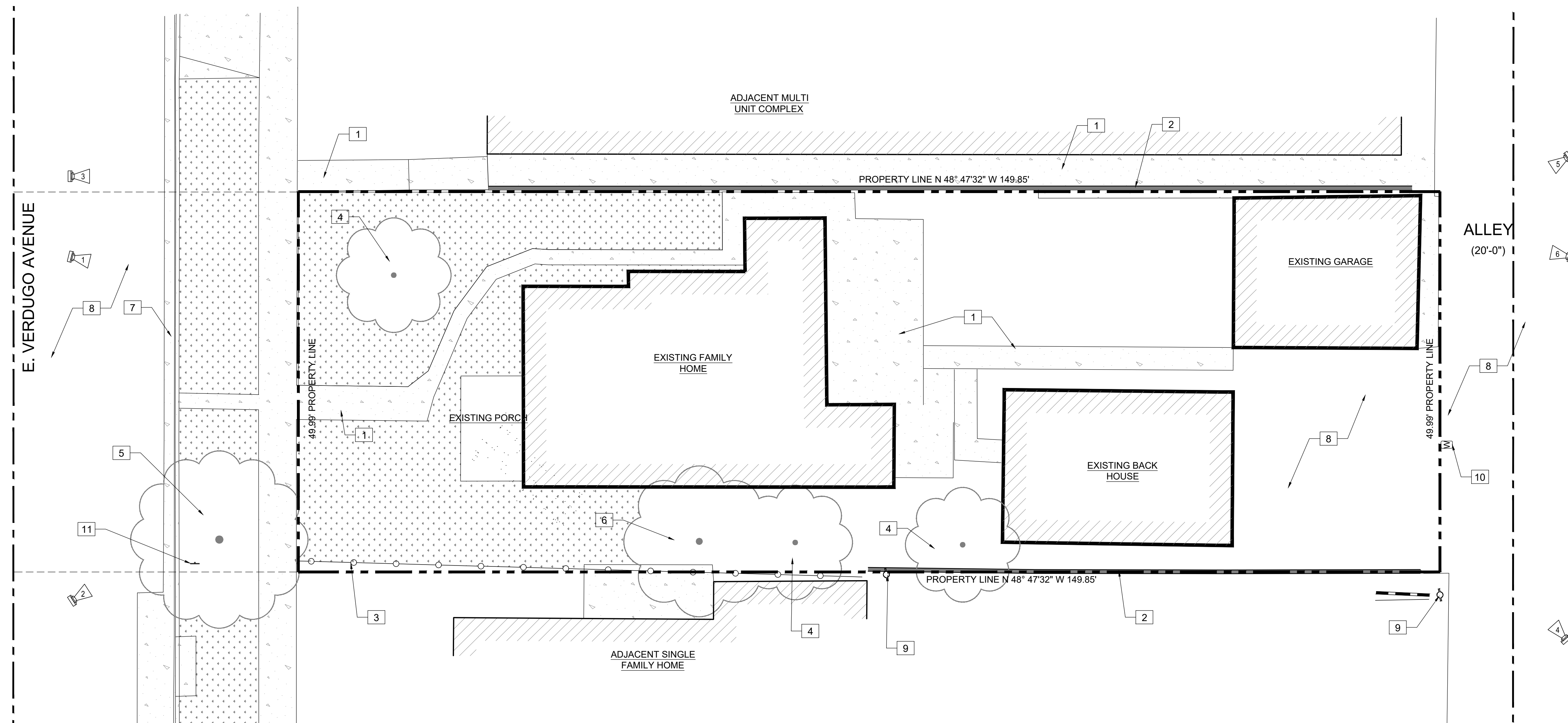
DATE _____

SCALE
AS SHOWN

TITLE
PHOTO KEY PLAN

SHEET

A-PIC



EXISTING SITE PLAN 1

SCALE: 1/8" = 1'-0"



VERDUGO AVE

1

2

3

ALLEY

4

5

6

- PROPERTY LINE
- ▨ EXISTING CONCRETE BLOCK WALL
- - - (E) WROUGHT IRON FENCE

- 1 (E) CONCRETE WALK
- 2 (E) CONCRETE BLOCK WALL
- 3 (E) WROUGHT IRON FENCE
- 4 (E) 8" DECIDUOUS TREE
- 5 (E) 12" DECIDUOUS TREE
- 6 (E) 10" DECIDUOUS TREE
- 7 (E) CONCRETE CURB AND GUTTER
- 8 (E) ASPHALT PAVEMENT
- 9 (E) POWER POLE
- 10 (E) WATER METER
- 11 (E) SIGN

SITE PHOTOS

SITE LEGEND

SITE PLAN KEY NOTES