# BOB HOPE CENTER - RESIDENTIAL

at

## 3201 W OLIVE AVE.
## BURBANK, CA 91505

# PLANNING DEVELOPMENT STANDARDS RESUBMITTAL- 06.22.23

2


WOLCOTT
ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
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CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL
3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: 05.30.2023


The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain the property of the designer and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of the designer. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings and specifications and submitted to this office for approval before proceeding with fabrication.


PROJECT NO: 21-2779-1

DRAWN BY: RM CHECKED BY: SP

PROJECT MANAGER: CC

DRAWING SCALE:

SHEET SIZE: 30X42

DRAWING TITLE:
COVER SHEET

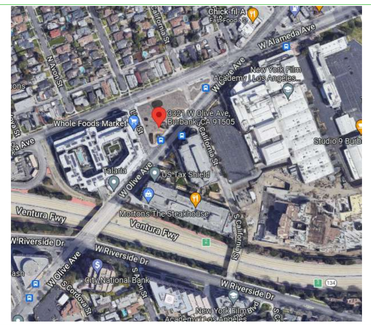
SHEET NO: A000 2

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:20 PM

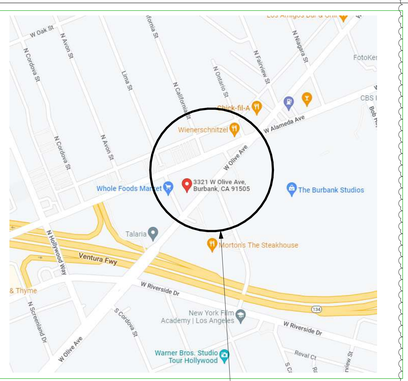
## ABBREVIATIONS

| | | | |
|---|---|---|---|
| # | POUND OR NUMBER | JAN. | JANITOR |
| ∠ | ANGLE | JT. | JOINT |
| ℄ | CENTERLINE | | |
| ø | DIAMETER | LAM. | LAMINATE |
| @ | AT | LAV. | LAVATORY |
| & | AND | LT. | LIGHT |
| ⊥ | PERPENDICULAR | | |
| | | M.C. | MINERAL CORE |
| ACOUS. | ACOUSTICAL | MAT'L | MATERIAL |
| A.D.A. | AMERICANS WITH DISABILITIES ACT | MAX. | MAXIMUM |
| ADJ. | ADJUSTABLE | MEHC. | MECHANICAL |
| A.F.F. | ABOVE FINISH FLOOR | MET. | METAL |
| AL. | ALUMINUM | MFR. | MANUFACTURER |
| APPROX. | APPROXIMATE | MIN. | MINIMUM |
| ARCH | ARCHITECTURAL | MISC. | MISCELLANEOUS |
| ARCHT. | ARCHITECT | MTD. | MOUNTED |
| ANG | AVERAGE NATURAL GRADE | MUL. | MULLION |
| BD. | BOARD | N | NEW TO MATCH EXISTING |
| BLDG. | BUILDING | N/A | NOT APPLICABLE |
| BLKG. | BLOCKING | N.I.C. | NOT IN CONTRACT |
| B.O. | BOTTOM OF | NO. | NUMBER |
| BOT. | BOTTOM | NOM. | NOMINAL |
| | | N.T.S. | NOT TO SCALE |
| CAB. | CABINET | | |
| C.B.C. | CALIFORNIA BUILDING CODE | O.A. | OVER ALL |
| CER. | CERAMIC | O.C. | ON CENTER |
| CL. OPG. | CLEAR OPENING | O.D. | OUTSIDE DIAMETER |
| CLNG. | CEILING | OFF. | OFFICE |
| CLKG. | CAULKING | OPNG. | OPENING |
| CLO. | CLOSET | OPP. | OPPOSITE |
| CLR. | CLEAR | | |
| CNTR. | CENTER | PL. | PLATE |
| COL. | COLUMN | P.LAM. | PLASTIC LAMINATE |
| CONST. | CONSTRUCTION | PLAS. | PLASTIC |
| CONT. | CONTINUOUS | PLY. | PLYWOOD |
| CONTR. | CONTRACTOR | P.O. | PRIVATE OFFICE |
| CORR. | CORRIDOR | PR. | PAIR |
| CTR. | CENTER | PT. | PAINT |
| | | P.T.M. | PAINT TO MATCH |
| D | DEMOLISH | PTD. | PAINTED |
| DBL. | DOUBLE | PRTN. | PARTITION |
| DEPT. | DEPARTMENT | | |
| DET. | DETAIL | Q.T. | QUARRY TILE |
| DIA. | DIAMETER | | |
| DIM. | DIMENSION | R | RELOCATE EXISTING OR |
| DISP. | DISPENSER | | SALVAGE FOR RELOCATION |
| DN. | DOWN | RAD. | RADIUS |
| D.O. | DOOR OPENING | REF. | REFERENCE |
| DR. | DOOR | REFL. | REFLECTED |
| DWG. | DRAWING | REFR. | REFRIGERATOR |
| DWR. | DRAWER | REQ. | REQUIRED |
| | | RESIL. | RESILIENT |
| (E) | EXISTING TO REMAIN | RM. | ROOM |
| EA. | EACH | R.O. | ROUGH OPENING |
| EL. | ELEVATION | | |
| ELEC. | ELECTRICAL | S.C. | SOLID CORE |
| ELEV. | ELEVATION | SCHED. | SCHEDULE |
| ELCL. | ENCLOSURE | SECT. | SECTION |
| EQ. | EQUAL | SHT. | SHEET |
| EQPT. | EQUIPMENT | SIM. | SIMILAR |
| EXIST. | EXISTING | S.M. | SURFACE MOUNTED |
| EXT. | EXTERIOR | SPEC. | SPECIFICATION |
| | | SQ. | SQUARE |
| F.F.E. | FINISH FLOOR ELEVATION | SS. | STAINLESS STEEL |
| F.E. | FIRE EXTINGUISHER | STA. | STATION |
| F.E.C. | FIRE EXTINGUISHER CABINET | STD. | STANDARD |
| F.H. | FIRE HOSE | STL. | STEEL |
| F.H.C. | FIRE HOSE CABINET | STOR. | STORAGE |
| FIN. | FINISH | SUSP | SUSPENDED |
| FL. | FLOOR | S.F. | SQUARE FEET |
| FLG. | FLOORING | | |
| F.O.F. | FACE OF FINISH | TANDG | TONGUE AND GROOVE |
| F.O.S. | FACE OF STUDS | T.B.D. | TO BE DETERMINED |
| FPRF. | FIRE PROOF | TEL. | TELEPHONE |
| F.R.T. | FIRE RETARDANT TREATED | TER. | TERRAZZO |
| FT | FOOT OR FEET | THK. | THICK |
| FURR. | FURRING | T.O. | TOP OF |
| FUT. | FUTURE | T.O.P. | TOP OF PARAPET |
| | | T.O.L. | TOP OF LID |
| GA. | GAUGE | T.V. | TELEVISION |
| GALV. | GALVANIZED | TYP. | TYPICAL |
| GC | GENERAL CONTRACTOR | | |
| G.D. | GARBAGE DISPOSAL | U.B.C. | UNIFORM BUILDING CODE |
| GL. | GLASS OR GLAZING | UNF. | UNFINISHED |
| GYP. | GYPSUM | U.O.N. | UNLESS OTHERWISE NOTED |
| GYP. BD. | GYPSUM BOARD | | |
| | | V. | VOLT |
| H.C. | HOLLOW CORE | VERT. | VERTICAL |
| H.D. | HEAD | VEST. | VESTIBULE |
| HDWD. | HARDWOOD | V.I.F. | VERIFY IN FIELD |
| HDWR. | HARDWARE | V.T. | VINYL TILE |
| HGT. | HEIGHT | | |
| H.M. | HOLLOW METAL | W/ | WITH |
| HORIZ. | HORIZONTAL | WD. | WOOD |
| HR. | HOUR | W.H. | WATER HEATER |
| HVAC | HEATING, VENTILATION AND AIR CONDITIONING | W.A. | WOLCOTT ARCHITECTURE |
| | | W/O | WITHOUT |
| | | WP. | WATERPROOF |
| I.D. | INSIDE DIAMETER | WSCT. | WAINSCOT |
| INFO. | INFORMATION | WS. | WORKSTATION |
| INSUL. | INSULATION | WT. | WEIGHT |
| INT. | INTERIOR | | |
| I.T. | INFORMATION TECHNOLOGY | | |

## SATELLITE MAP




## VICINITY MAP




MAP N.T.S.

3201 W OLIVE AVE
BURBANK CA 91505

N

## GRAPHIC SYMBOLS

BUILDING STRUCTURAL GRID LINES

DETAIL NUMBER
SHEET NUMBER

SECTION NUMBER
SHEET NUMBER

SINGLE ELEVATION IDENTIFICATION:
ELEVATION NUMBER
SHEET NUMBER

INTERIOR ELEVATION IDENTIFICATION:
ELEVATION NUMBER
SHEET NUMBER

BULLETIN (OR ADDENDUM):
AREA OF REVISION
REVISION NUMBER

+482.67"
F.F.E.
FINISH FLOOR ELEVATION SYMBOL

ROOM NAME
#
ROOM NAME
ROOM NUMBER

STAIR/RAMP UP
##% SLOPE
STAIR/RAMP DIRECTION: ARROW POINTS UP

ALIGN
ALIGN

N TRUE NORTH
PLAN NORTH REFERENCE

#
KEYNOTE SYMBOL

1001
DOOR NUMBER

C
WALL SYMBOL TYPE

N.I.C.
"NOT IN CONTRACT": NO WORK IN THIS AREA

E — EXISTING TO REMAIN
N — NEW
D — DEMO
R — RELOCATE EXISTING/SALVAGE FOR RELOCATION (AT DEMO PLAN)

## PROJECT TEAM

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**LANDSCAPE:**
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-
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EMAIL: EGIBSON@GLLBSTUDIO.COM
CONTACT: ERIC GIBSON

## PROJECT DESCRTPTION

**SCOPE OF WORK:**

LOCATED AT 3201 W. OLIVE AVE., ALSO KNOWN AS THE BOB HOPE SITE, THE PROJECT CONSISTS OF A NEW CONTEMPORARY STYLE MULTI-STORY RESIDENTIAL APARTMENT BUILDING OF 117 LIVING UNITS, INCLUDING POOL AND GYM AMENITIES, TO BE BUILT ON A VACANT LOT. THE LIVING UNITS WILL BE A MIX OF STUDIO, 1-BEDROOM AND 2-BEDROOM UNITS WITH BALCONIES.

## SHEET INDEX


| DRAWING NUMBER | DRAWING TITLE | PLANNING DEV. STANDARDS | SCHEMATIC DESIGN | DESIGN DEVELOPMENT | CONSTRUCTION DOCUMENTS |
|---|---|---|---|---|---|
| ARCHITECTURAL | | | | | |
| A000 | COVER SHEET | ◆ | | | |
| A001 | PROJECT DATA | ◆ | | | |
| A002 | PROJECT REVISIONS | ◆ | | | |
| ARCHITECTURAL | | | | | |
| A111 | AVERAGE SETBACK DIAGRAM - 2ND FLOOR | ◆ | | | |
| CIVIL | | | | | |
| C000 | CIVIL DRAWING PACKAGE | ◆ | | | |
| ARCHITECTURAL | | | | | |
| A110 | SITE PLAN - PROPOSED | ◆ | | | |
| A200 | FLOOR PLAN - 1ST FLOOR | ◆ | | | |
| A201 | FLOOR PLAN - 2ND-4TH FLOOR | ◆ | | | |
| A203 | ROOF PLAN | ◆ | | | |
| A204 | FLOOR PLAN - P-1 | ◆ | | | |
| A205 | FLOOR PLAN - P-2 | ◆ | | | |
| A300 | EXTERIOR ELEVATIONS | ◆ | | | |
| A301 | ENLARGED EXTERIOR ELEVATIONS | ◆ | | | |
| A302 | ENLARGED EXTERIOR ELEVATIONS | ◆ | | | |
| A303 | ENLARGED EXTERIOR ELEVATIONS | ◆ | | | |
| A400 | BUILDING SECTIONS | ◆ | | | |
| A410 | ENLARGED SECTIONS | ◆ | | | |
| A600 | ENLARGED PLANS - TYP. UNITS | ◆ | | | |
| A601 | ENLARGED PLAN 1ST FLOOR - AREA A | ◆ | | | |
| A602 | ENLARGED PLAN 1ST FLOOR - AREA B | ◆ | | | |
| A603 | ENLARGED PLAN 2ND FLOOR - AREA A | ◆ | | | |
| A604 | ENLARGED PLAN 2ND FLOOR- AREA B | ◆ | | | |
| A710 | SCHEDULE - FINISH AND FIXTURE | ◆ | | | |
| A800 | SITE CONTEXT PHOTOS | ◆ | | | |
| A901 | VIEWS AND IMAGES | ◆ | | | |
| LANDSCAPE | | | | | |
| L1.0 | OVERALL LANDSCAPE CONCEPT PLAN | ◆ | | | |
| L1.1 | HARDSCAPE CONCEPT PLAN | ◆ | | | |
| L1.2 | LANDSCAPE ELEVATIONS | ◆ | | | |
| L1.3 | CONCEPTUAL PLANTING PLAN | ◆ | | | |
| L1.4 | PLANT IMAGES | ◆ | | | |
| L1.5 | PLANT IMAGES | ◆ | | | |


## BURBANK PLANNING TABULATIONS

**DEVELOPMENT AGREEMENT**
(INCLUDES DENSITY BONUS, CONCESSIONS, INCENTIVES & WAIVERS PER SB 35)

**STATE DENSITY BONUS (SDB)**
WE ARE REQUESTING A 50% DENSITY BONUS AND WILL ALLOCATE 15% OF OUR BASE PROJECT'S UNITS TO VERY LOW INCOME TENANNTS. SATISFY'S BURBANK'S INCLUSIONARY HOUSING REQ. OF 15% OF BASE PROJECT FOR AFFORDABLE HOUSING.

**LOT AREA**

| | |
|---|---|
| GROSS LOT AREA: (FOR PURPOSE OF CALCULATING DWELLING UNIT COUNT) | 71,829 SF (1.649 ACRES) |
| NET LOT AREA: (INCLUDES CALIFORNIA ST. AND EASEMENT FOR PURPOSES OF CALCULATING FAR) | 58,395 SF (1.34 ACRES) |

| **RETAIL AREA** | **1,058 SF** |
|---|---|
| EXISTING PD 2001-2 LAND AREA | 1.65 ACRES (71,829 SF) |
| PD 2001-2 RESIDENTIAL DENSITY | 58 DU/ACRE |
| BASE DENSITY ALLOWED | 77.72 DU |
| BASE DENSITY ALLOWED, ROUNDED UP PER SDB 65915(Q) | 78 DU |
| **BASE PROJECT PROPOSED** | **78 DU** |
| % AFFORDABLE (VERY LOW) | 15% |
| AFFORDABLE UNITS | 11.7 DU |
| AFFORDABLE UNITS, ROUNDED UP PER SDB 65915(Q) | **12 DU** |
| STATE DENSITY BONUS (50% ROUNDED UP) | **39 DU** |
| **TOTAL RESIDENTIAL DENSITY** | **117 DU** |

**APPLICABLE ADDRESSES:** 3201 W. OLIVE AVE., BURBANK, CA 91505
3004 W. OLIVE AVE., BURBANK, CA 91505
3305 W. OLIVE AVE., BURBANK, CA 91505
3311 W. OLIVE AVE., BURBANK, CA 91505
3321 W. OLIVE AVE., BURBANK, CA 91505
(3 PARCELS ON PROPOSED SITE LISTED AS "NO ADD.")

**ASSESSOR'S PARCEL #(S):** 2484-024-401, 2483-023-419, 2483-023-420, 2483-023-421, 2483-023-422, 2483-023-431 2483-023-432

**TRACT:** 10135 MB 141-21-22

**MAP REFERENCE:** MR 43 - 47 - 59

**ZONE:** MEDIA DISTRICT COMMERCIAL (MDC-2)
DEVELOPMENT STANDARDS BASED ON MDC-2
ARTICLE 21 10-1-2101 (MDM-1)

| **ZONING SETBACKS** | **REQUIRED** | **PROPOSED** | |
|---|---|---|---|
| RESIDENTIAL (NOT A RESIDENTIAL ZONE - NONE REQ'D.) | | | |
| COMMERCIAL PER MEDIA DISTRICT PLAN: MIN 5' | 5' - 0" | 5' - 0" | (APPLIES TO SINGLE STORY RETAIL BUILDING) |
| PORTION OF BUILDING TALLER THAN 15' IN HT. MUST HAVE AN AVG. SETBACK OF 20% FROM STREET RIGHT-OF-WAY (PROP. LINE) | 8' - 11" (44' - 6" BLDG HT. X 0.2) | 10' - 0" 8' - 0" | AVG. BLDG. ENVELOPE AVG. OVERHANG / PROJECTION |

| **FENCE, WALL, HEDGE HEIGHTS** | **ALLOWABLE** | **PROPOSED** |
|---|---|---|
| WITHIN SETBACKS | | |
| FENCE AND WALL | 4' - 0" | 3' - 0" |
| HEDGE | 6' - 0" | 6' - 0" MAX. |
| OUTSIDE OF SETBACKS | | |
| FENCE AND WALL | 8' -0" | 8' - 0" MAX. |
| HEDGE | 12' - 0" | 6' - 0" MAX. |

| **BUILDING HEIGHT** (MEASURED FROM AVG. NATURAL GRADE TO CEILING HEIGHT OF THE HIGHEST ROOM OF OCCUPANCY) | **ALLOWABLE** | **ACTUAL** |
|---|---|---|
| DISTANCE FROM R-1, R-2 LOT LINE | | |
| 150' - 300' | 50' | 44' - 6" |
| 300' - 500' | 70' | 44' - 6" |
| # OF STORIES: | 2 | 4 |

| | **ALLOWABLE** | **PROPOSED** |
|---|---|---|
| **LOT COVERAGE:** (INCLUDES GARAGE RAMP AREA) | 35,037 SF (60%) | 29,424 SF |
| **FLOOR AREA RATIO** (USING NET LOT AREA AND LIMITED TO COMMERCIAL + ANCILLARY FOOTAGE, EXCLUDING RESIDENTIAL AREA) | 1.1 FAR (58,395 SF * 1.1 =64,234 SF) | 0.02 FAR (1,058 SF RETAIL / 58,395 SF) |

| **TOTAL BUILDING AREA** (EXCLUDES SHAFTS & STAIRS) | **PROPOSED** |
|---|---|
| RETAIL | 1,058 SF |
| RESIDENTIAL | 130,666 SF |
| TOTAL | 131,724 SF |

**UNIT COUNT:**

| | 1ST | 2ND | 3RD | 4TH | TOTAL | PERCENTAGE |
|---|---|---|---|---|---|---|
| 2BR: | 7 | 6 | 6 | 6 | 25 | 21.4% |
| 1BR: | 12 | 20 | 20 | 20 | 72 | 61.5% |
| STUDIO: | 2 | 6 | 6 | 6 | 20 | 17.1% |
| TOTAL: | 21 | 32 | 32 | 32 | **117** | |

**ALLOCATES 12 UNITS AS VERY LOW INCOME (15% PER SDB)**
MARKET RATE UNITS INCLUDE ONE ON-SITE RESIDENT MANAGERUNIT.
FIFTEEN UNITS WILL BE DEED-RESTRICTED AFFORDABLE HOUSING UNITS (VERY LOW INCOME) FOR 55 YEARS.

**VEHICLE PARKING:**
NOTE: STATE DENSITY BONUS LAW REQUIRES A MINIMUM OF 0.5 SPACES PER UNIT, NO VISITOR REQUIREMENTS. RETAIL PARKS TO CODE. GUEST PARKING IS NOT REQUIRED NOR PROVIDED.

| USE | FORMULA | UNIT COUNT/SF | REQUIRED | PROPOSED |
|---|---|---|---|---|
| RETAIL | 3.3 PER 1,000SF | 1,058 SF | 3.4 (3) STALLS | 4 STALLS |
| RESIDENTIAL | 0.5 PER UNIT | 117 UNITS | 59 STALLS | 145 STALLS (36 TANDEM) |
| TOTAL | | | 63 STALLS | 181 STALLS |

| **ACCESSIBLE PARKING RQTS (11B-208.2)** | **REQUIRED** | **PROPOSED** |
|---|---|---|
| ACCESSIBLE STANDARD STALLS | 5 STALLS | 5 STALLS |
| ACCESSIBLE VAN STALL (11B-208.2.4) | 2 STALLS | 2 STALLS |
| TOTAL | 7 STALLS | 7 STALLS |
| ACCESSIBLE VAN EV STALL | 1 STALL | 1 STALL |

| **BICYCLE PARKING** | **REQUIRED** | **PROPOSED** |
|---|---|---|
| SHORT TERM: | | |
| RESIDENTIAL (1 SPACE / 20 UNITS) | 7.2 | 7 |
| RETAIL (1 SPACE / 5000 SF) | 1 | 1 |
| TOTAL: | 8.2 (8) | 8 SPACES |
| LONG TERM: | | |
| RESIDENTIAL (1 SPACE / 4 UNITS) | 36 | 36 |
| RETAIL: (1 SPACE / 12,000 SF) | 1 | 1 |
| TOTAL: | 37 SPACES | 37 SPACES |

**OPEN SPACE REQUIREMENTS**
(NOT REQ'D IN MDC-2 & MDM-1 ZONE)

**MIN. PRIVATE OPEN SPACE PER UNIT:**
(NOT REQ'D IN MDC-2 & MDM-1 ZONE)

**LANDSCAPING (R4-ZONE) (INCLUDES SET BACKS)**
(NOT REQ'D IN MDC-2 & MDM-1 ZONE)

2


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PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:
PROJECT DATA

SHEET NO: A001 2


FILE NAME: Autodesk Docs://B22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:22 PM

## PROJECT REVISION

**REVISION #02: PLANNING AND DEVELOPMENT STANDARDS**

**A000**
- UPDATED COVER SHEET TO LATEST SUBMITTAL

**A001**
- UPDATED PROJECT DATA UNIT COUNTS
- REMOVED A202 FROM INDEX
- REVISED CLIENT ADDRESS
- REVISED PARKING COUNT REQUIREMENTS
- REVISED BASE DENSITY ALLOWED AND DENSITY BONUS
- UPDATED SETBACK REQUIREMENTS
- UPDATED NUMBER OF STORIES

**A002**
- ADDED PROJECT REVISION SHEET

**A110**
- REVISED SIDEWALK TO (E) CONDITION ALONG ALAMEDA AVE.
- ADDED DOOR TO (N) LEASING OFFICE ALONG ALAMEDA AVE.
- REVISED TO A 4-STORY APARTMENT BUILDING
- ADDED TRANSFORMER VAULT LOCATION
- RECESSED STAIRWAY EXIT DOORS TO COVER DOORWAYS
- UPDATED SITE TO SHOW LANDSCAPE PER LANDSCAPE DRAWINGS
- ADDED DESIGN ARTICULATION TO POOL WALL ALONG OLIVE AVE.

A111
- REVISED AVERAGE SETBACK CALCULATIONS BASED ON NEW HEIGHTS

**A200**
- ADDED LEASING OFFICE AND MAILROOM(RM 128)
- CHANGED MAINTENANCE ROOM TO ELECTRICAL ROOM(RM 161) AND DATA ROOM(RM133)
- REVISED "STAIR-A" FOOTPRINT
- REVISED TRASH ENCLOSURE, CHUTES, AND ADDED TRASH ENCLOSURE VESTIBULE
- ADDED TRANSFORMER VAULT LOCATION
- REMOVED (5) STUDIO UNITS AND (1) 1-BEDROOM AND ADDED (2) 2-BEDROOM UNITS

**A201**
- REMOVED (2) 1-BEDROOM UNITS AND ADDED (1) 2-BEDROOM UNIT
- ADDED TRASH ENCLOSURE ROOM
- ADDED BALCONIES TO UNITS 221, 227, AND 204
- ADDED ROOF DRAIN TO RETAIL
- REVISED LAYOUT ON UNITS:
  1. UNIT 203, 212, 215, 217, 219, AND 224

**A202**
- REMOVED SHEET, NO LONGER USED

**A203**
- CHANGED ROOF DRAIN TYPE TO HAVE BOTH PRIMARY AND OVERFLOW DRAINS AS ONE TYPE.
- ADDED 5'-6" RETURN TO CANOPY

**A204 & A205**
- RELOCATED STAIR NO. 01 TO ALIGN W/ STAIRCASE ON LEVELS 2-4

**A300**
- REMOVED 5TH FLOOR
- REVISED LEVEL HEIGHTS TO HAVE 10'-06" FLOOR TO FLOOR HEIGHT ON LEVELS 2-4
- ADDED ELEVATION LOCATION MARKERS
- ADDED TRANSFORMER VAULT LOCATION (1/A300)
- ADDED BALCONIES TO UNITS, SEE A201 FOR LOCATIONS ON PLAN

**A301-A303**
- UPDATED GLAZING PANEL LOCATIONS AND DIMENSIONS
- REVISED LEVEL HEIGHTS TO HAVE 10'-06" FLOOR TO FLOOR HEIGHT ON LEVELS 2-4
- REMOVED 5TH FLOOR

**A400-A410**
- REVISED LEVEL HEIGHTS TO HAVE 10'-06" FLOOR TO FLOOR HEIGHT ON LEVELS 2-4
- REMOVED 5TH FLOOR

**A601-A604**
- UPDATED ENLARGED PLANS WITH REVISED LAYOUT PER A200 AND A201

**A901**
- UPDATED RENDERS PER REMOVAL OF 5TH FLOOR


WOLCOTT
ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM


CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: 06/08/23


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PROJECT NO: 21-2779-1

DRAWN BY: RM CHECKED BY: SP

PROJECT MANAGER: JH

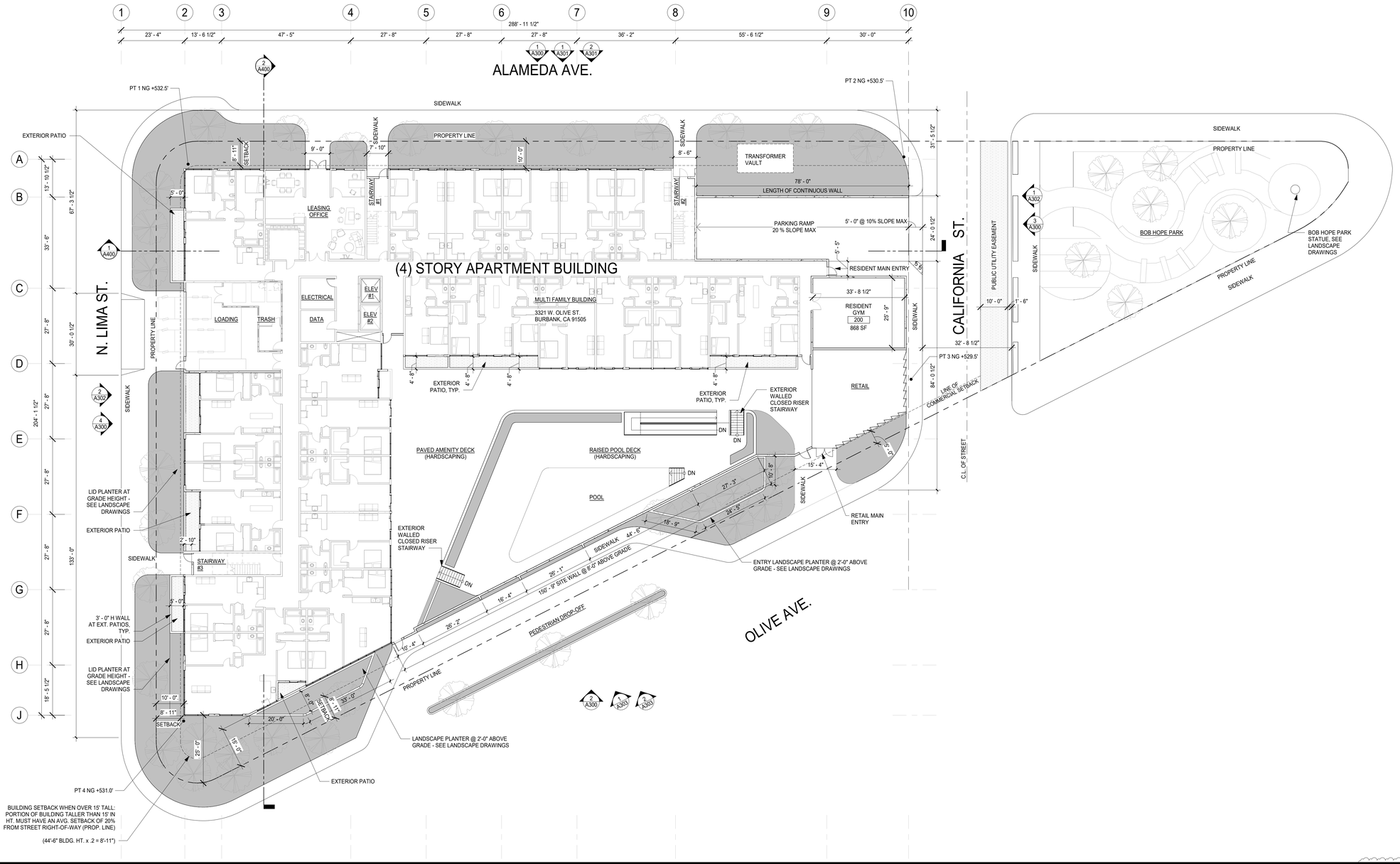
DRAWING SCALE:

SHEET SIZE: 30X42

DRAWING TITLE:
PROJECT REVISIONS

SHEET NO:
A002


FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:22 PM




SITE PLAN - PROPOSED
1/16" = 1'-0"
1

## AVERAGE NATURAL GRADE TAB

PT 1 EL. +532.5'
PT 2 EL +530.5'
PT 3 EL +529.5'
PT 4 EL +531.0'

TOTAL 2123.5

**ANG = 2123.5 / 4 = 530.875'**

## KEYNOTES

## GENERAL NOTES

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2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
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5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL NEW LANDSCAPE AND PLANTER BOXES TO RECEIVE DRIP IRRIGATION SYSTEM. SEE CIVIL AND IRRIGATION DRAWINGS FOR ADDITIONAL INFORMATION.
8. PROVIDE (1) EV OUTLET AT (2) PARKING STALLS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
9. ALL EXTERIOR EXPOSED STAIR TREADS AND STEPS TO SLOPE 2% MAXIMUM TOWARD NOSE OF TREAD, TYP.
10. ALL STAIR TREADS TO RECEIVE CAST-IN CONTRASTING WARNING STRIP, TYP.
11. IN CASE OF CONFLICT OF INDICATED PAVING OR SLAB SLOPES WITH CIVIL DRAWINGS, THE CIVIL DRAWINGS SHALL GOVERN.
12. ALL EXPOSED FLASHING AND BRAKE METAL TO BE PRIMED AND FIELD PAINTED TO MATCH ADJACENT WALL COLOR. VERIFY COLOR WITH ARCHITECT PRIOR TO PAINTING.
13. WHENEVER UTILITY POLE IS SITUATED ON AL LOT, REQUIRED YARD ACCESS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED ACCESS TO THE POLE. PER BMC 10-1-1206.
14. UTILITY POLES SERVICING THE PROPERTY MAY EXTEND INTO THE SIDE YARD TWO (2) FEET FROM THE LOT LINE. PER BMC 10-1-1211 (F).
15. NEW DEVELOPMENT SHALL NOT BLOCK RELAY OR COMMUNICATION PATHS OF MEDIA RELATED USES IN EXISTENCE AT THE TIME OF OVERLAY ZONE ADOPTION OR SHALL INCORPORATE IN THE DEVELOPMENT, AT NO EXPENSE TO THE TRANSMITTER, WHATEVER RELAY FACILITIES ARE NECESSARY TO ENSURE THE CONTINUATION OF EXISTING RELAY OR COMMUNICATION PATHS. THIS REQUIREMENT IS APPLICABLE DURING CONSTRUCTION AS WELL AS DURING OPERATION OF ANY FUTURE PROJECT.
16. ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND SHALL REQUIRE REGULAR PRUNING, FERTILIZING, MOWING AND TRIMMING. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL IRRIGATION SYSTEMS SHALL BE KEPT OPERABLE, INCLUDING ADJUSTMENTS, REPLACEMENTS, REPAIRS AND CLEANING AS PART OF REGULAR MAINTENANCE. DAMAGED PLANTING AND IRRIGATION EQUIPMENT WILL BE REPAIRED OR REPLACED WITHIN 30 DAYS.
17. ALL TREES SHALL BE STAKED WITH A DOUBLE STEEL PIPE AND SEARED WITH RUBBER OR PLASTIC STRIP OR OTHER COMMERCIAL TIE MATERIAL. WIRE SHALL NOT BE USED TO TIE THE TREE TO THE STAKES.
18. GRADED MOUNDS SHALL NOT EXCEED A 3:1 SLOPE. MOUNDS OVER 30 INCHES HIGH SHALL NOT BE PLACED WITHIN TEN (10) FEET OF ANY STREET AND/OR ALLEY INTERSECTION.
19. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM APPROVED BY THE PARK, RECREATION AND COMMUNITY SERVICES DIRECTOR CONSISTING OF WATERLINES AND SPRINKLERS DESIGNED TO PROVIDE HEAD TO HEAD COVERAGE AND TO MINIMIZE OVERSPRAY ONTO STRUCTURES, WALKS AND WINDOWS.
20. ENERGY CONSERVATION SHALL BE AN IMPORTANT CONSIDERATION IN NIGHTTIME LIGHTING PLANS. PLANS FOR THE DESIGN AND OPERATION OF LIGHTING AND ILLUMINATION SHALL BE DEVELOPED CONSISTENT WITH THE LATEST TECHNICAL AND OPERATIONAL ENERGY CONSERVATION CONCEPTS.
21. ALL COMMERCIAL AND INDUSTRIAL REFUSE BINS SHALL BE EQUIPPED WITH NONMETALLIC LIDS, WHICH SHALL REMAIN CLOSED AT ALL TIMES EXCEPT WHEN REFUSE IS BEING DEPOSITED OR EMPTIED.

## LEGEND

- N.I.C. — NOT IN CONTRACT
- PROPERTY LINE
- CONCRETE PAVING
- PERVIOUS PAVING
- LANDSCAPE AREAS


WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
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CONSULTANT:

CERTIFICATION:

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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | ~~10.01.22~~ | ~~BURBANK PLANNING COMMENTS~~ |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: 05.30.2023


The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain the property of the designer and no part thereof shall be copied, disclosed to others or used in connection with any other project than that for which they have been prepared and developed without the written consent of the designer. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance of these restrictions.


Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and shall report immediately of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

PROJECT NO: 21-2779-1

DRAWN BY: RM CHECKED BY: SP

PROJECT MANAGER: JH

DRAWING SCALE: As indicated

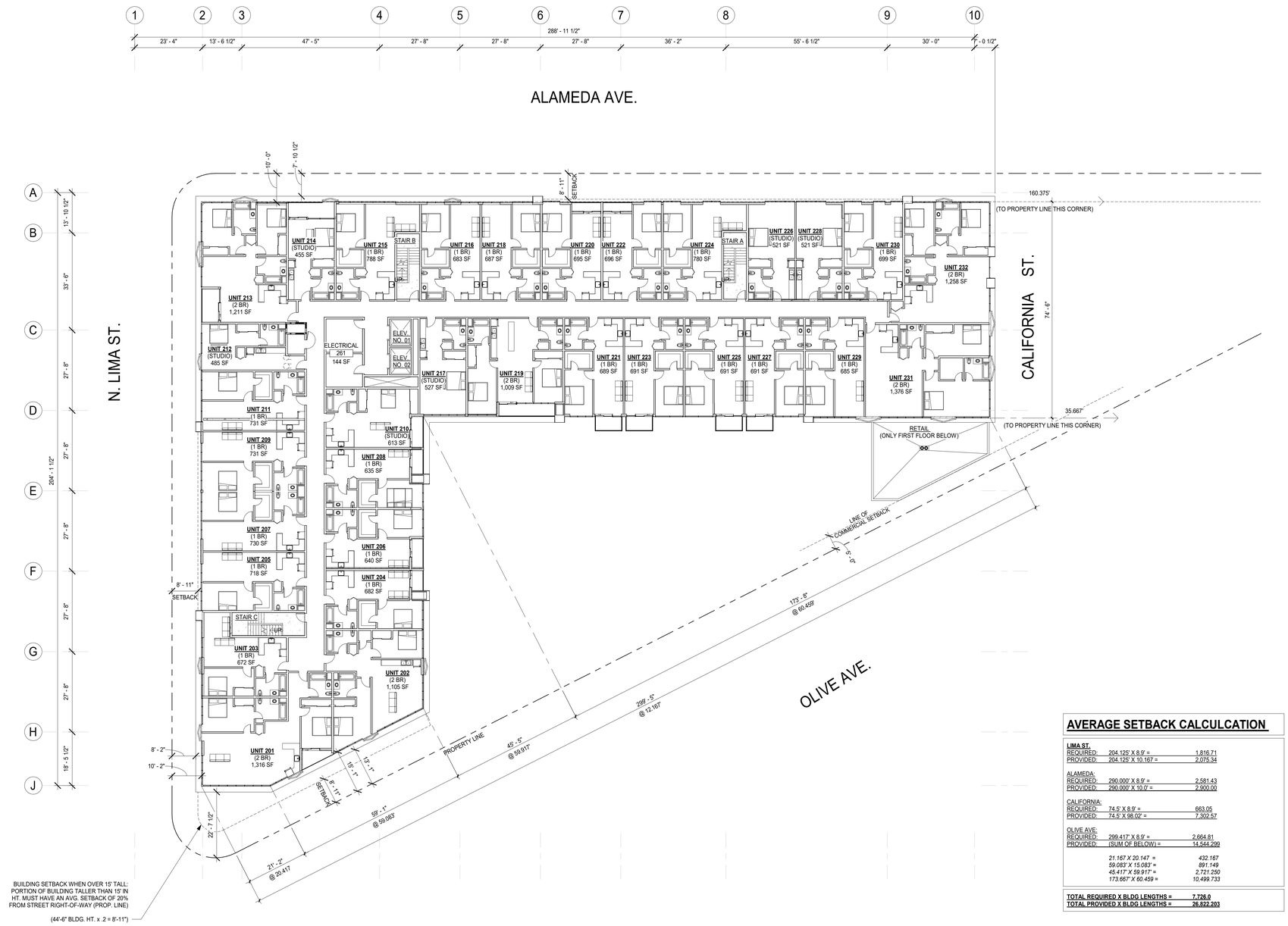
SHEET SIZE: 30X42

DRAWING TITLE:

SITE PLAN - PROPOSED

SHEET NO: A110 2

FILE NAME: Autodesk Docs://B22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:24 PM




## AVERAGE SETBACK CALCULCATION

| | | |
|---|---|---|
| **LIMA ST.** | | |
| REQUIRED: | 204.125' X 8.9' = | 1,816.71 |
| PROVIDED: | 204.125' X 10.167' = | 2,075.34 |
| ALAMEDA: | | |
| REQUIRED: | 290.000' X 8.9' = | 2,581.43 |
| PROVIDED: | 290.000' X 10.0' = | 2,900.00 |
| CALIFORNIA: | | |
| REQUIRED: | 74.5' X 8.9' = | 663.05 |
| PROVIDED: | 74.5' X 98.02' = | 7,302.57 |
| OLIVE AVE: | | |
| REQUIRED: | 299.417' X 8.9' = | 2,664.81 |
| PROVIDED: | (SUM OF BELOW) = | 14,544.299 |
| | *21.167' X 20.147' =* | *432.167* |
| | *59.083' X 15.083' =* | *891.149* |
| | *45.417' X 59.917' =* | *2,721.250* |
| | *173.667' X 60.459' =* | *10,499.733* |

| | |
|---|---|
| **TOTAL REQUIRED X BLDG LENGTHS =** | **7,726.0** |
| **TOTAL PROVIDED X BLDG LENGTHS =** | **26,822.203** |

2 FLOOR PLAN - 2ND FLOOR - DIAGRAM SETBACK CALC 1

1/16" = 1'-0"

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:26 PM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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
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| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: 06.09.2023


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PROJECT NO: 21-2779-1

DRAWN BY: RM CHECKED BY: SP

PROJECT MANAGER: CC

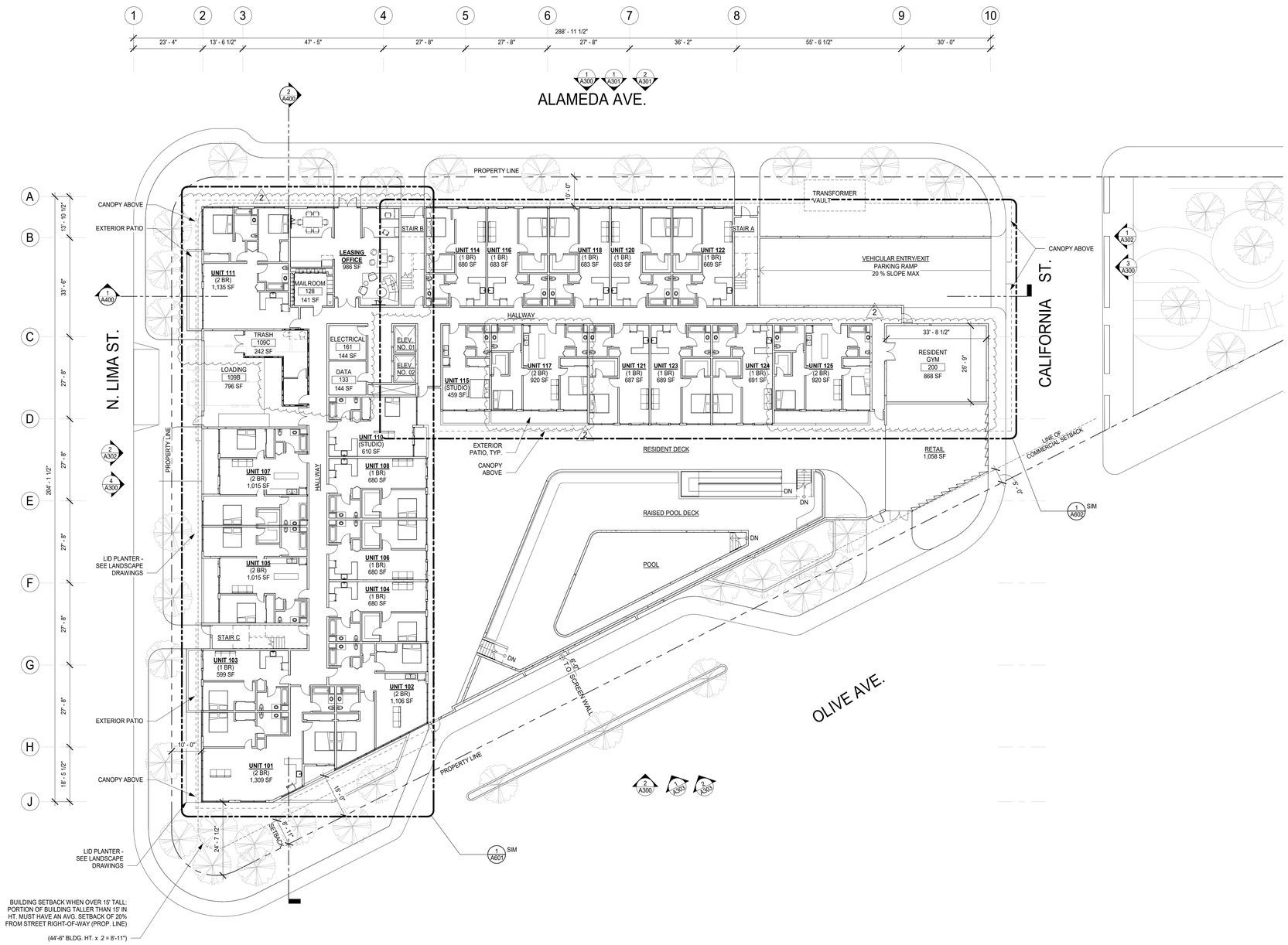
DRAWING SCALE: 1/16" = 1'-0"

SHEET SIZE: 30X42

DRAWING TITLE:

AVERAGE SETBACK DIAGRAM - 2ND FLOOR

SHEET NO: A111 2




FLOOR PLAN - 1ST FLOOR

1/16" = 1'-0"

1

## KEYNOTES

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
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7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
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11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.
16. ALL LIGHTING TO BE SHIELDED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES PER BMC 10-1-2017 (H) (1) CARPORTS, GARAGES, PARKING AREAS, AND DRIVEWAYS SHALL CONTAIN SECURITY LIGHTING. PRIMARY PEDESTRIAN SAFETY PER BMC 10-1-2017 (G)(2)
17. (NOT USED)
18. LIGHTS CONFORMING TO STANDARDS PRESCRIBED BY THE PUBLIC WORKS DIRECTOR SHALL BE INSTALLED IN ALL NIGHTIME PARKING LOTS USED FOR PUBLIC PARKING OR FOR COMMERCIAL PURPOSES. PER BMC 10-1-1420.
19. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
20. THIS PROJECT WILL BE CONSTRUCTED INCORPORATING BUILDING DESIGN FEATURES THAT MINIMIZE THE CONSUPTION OF ENERGY, WATER, AND OTHER NATURAL RESOURCES CONSISTENT WITH THE CITY'S BUILDING AND ENERGY CODES.

## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| | EXISTING MILLWORK |
| | NEW MILLWORK |
| | EXISTING PARTITION |
| | EXISTING DOOR |
| C# | WALL TAG. REFER TO A800 |
| | NEW PARTITION PER PLAN |
| 4" TYP. 7" MAX. | NEW DOOR |
| 1001 | DOOR NUMBER. REFER TO A700 |
| ## | WINDOW TAG. REFER TO A700 |
| | NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. |
| A | NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710 |
| ALIGN | ALIGN ELEMENTS |
| RM NAME # | ROOM NAME AND NUMBER |
| F.E.C. | FIRE EXTINGUISHER CABINET |
| | NEW PLUMBING FIXTURES |


WOLCOTT ARCHITECTURE
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CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: 06.02.2023


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PROJECT NO: 21-2779-1

DRAWN BY: RM CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

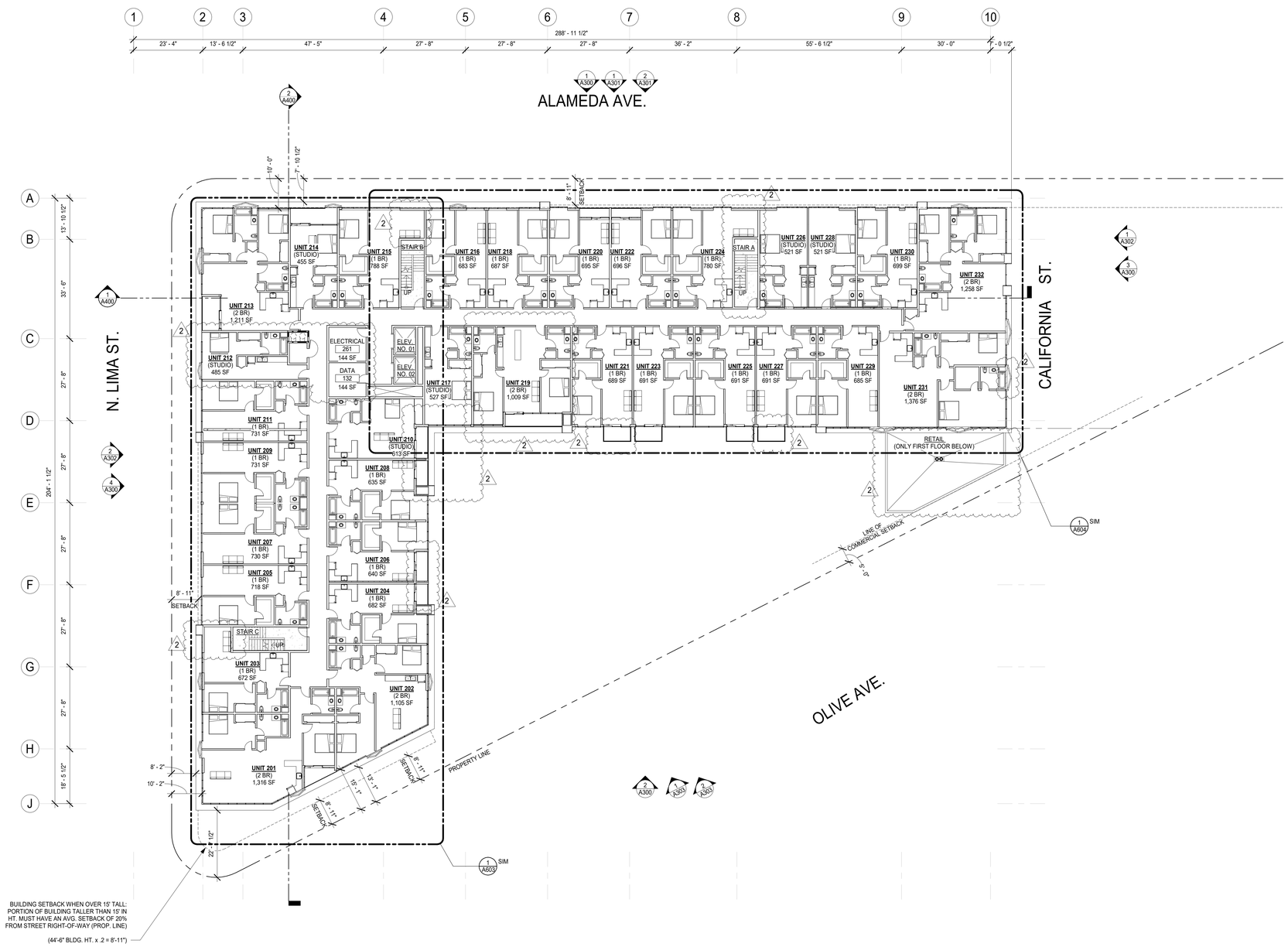
SHEET SIZE: 30X42

DRAWING TITLE:

FLOOR PLAN - 1ST FLOOR

SHEET NO: A200 2

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:28 PM




FLOOR PLAN - 2ND FLOOR
1/16" = 1'-0"
1

## KEYNOTES

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19. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
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## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| | EXISTING MILLWORK |
| | NEW MILLWORK |
| | EXISTING PARTITION |
| | EXISTING DOOR |
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| | NEW PARTITION PER PLAN |
| 4" TYP. / 7" MAX. | NEW DOOR |
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| RM NAME # | ROOM NAME AND NUMBER |
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CONSULTANT:

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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

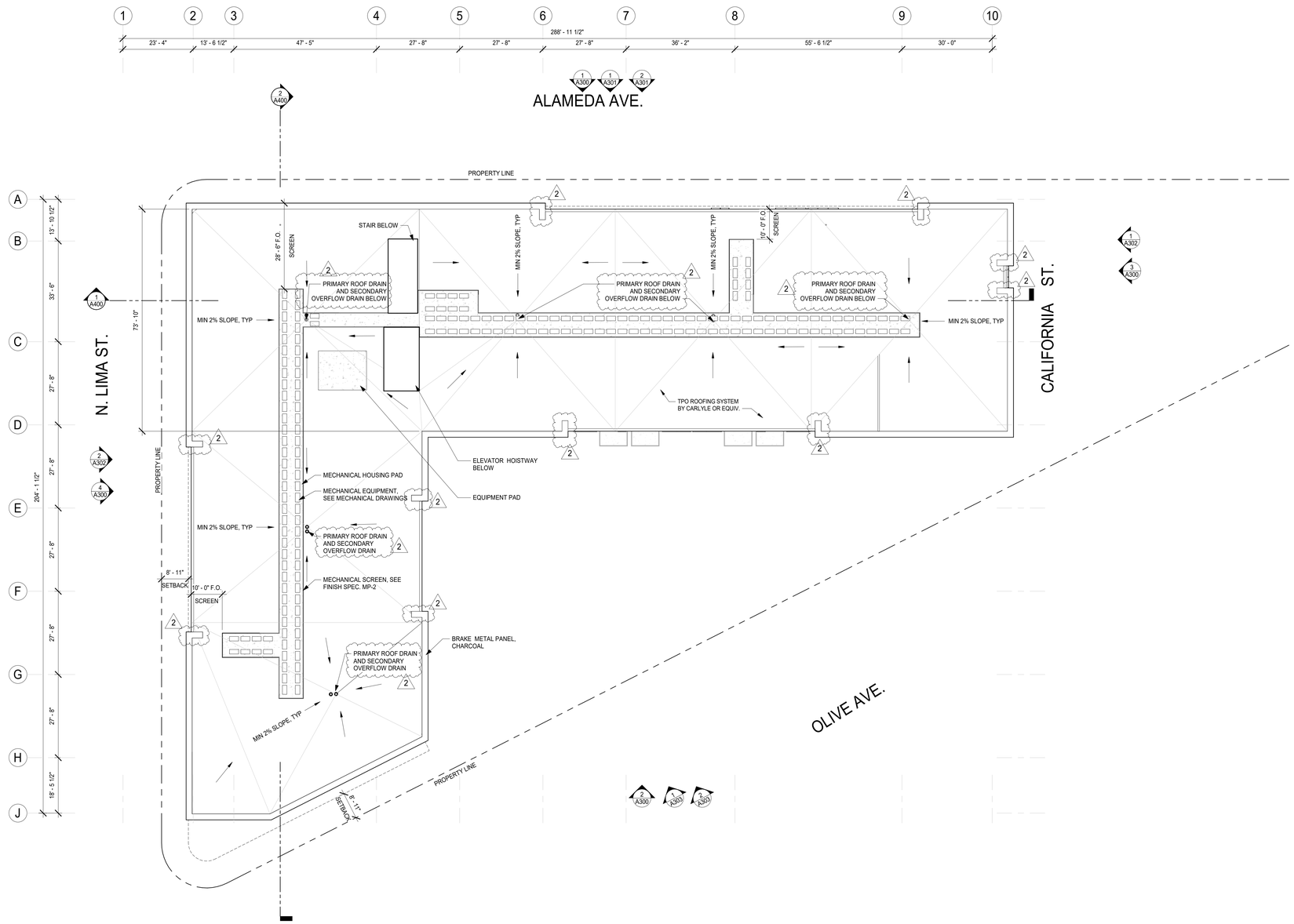
SHEET SIZE: 30X42

DRAWING TITLE:

FLOOR PLAN - 2ND-4TH FLOOR

SHEET NO: A201

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:31 PM




ROOF PLAN
1/16" = 1'-0"
1

## KEYNOTES

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. PROVIDE NEW UL CLASS 'A' ROOF THROUGHOUT ENTIRE ROOF AREA, UP AND AROUND ALL WALL, PARAPETS, CRICKETS, MECHANICAL PLATFORMS AND VENTS.
3. ROOFING SPECIFICATIONS: ROOFING MEMBRANE AND INSULATION BY GAF, PROVIDE GAF MECHANICALLY ATTACHED SINGLE-PLY EVERGUARD TPO 80 MIL ROOFING MEMBRANE.SYSTEM (UL1306) WITH 2 LAYERS OF 2.7" POLYISO INSULATION (DO NOT EXCEED 3" THICK INSULATION) FOR A MINIMUM R-30 R VALUE.
4. PROVIDE GAF ROOFING ACCESSORIES INCLUDING; VENTS BOOTS, SQUARE TUBE WRAP, 36" CORNER CURB WRAP, INSIDE CORNER, DETAILING MEMBRANE, FLASHING STRIP, SEALER POCKET AND TPO COATED METAL DRAINS .
5. INSTALL ALL ROOFING ACCESSORIES AND ROOFING SYSTEM PER MANUFACTURER'S REQUIREMENTS. PROVIDE NEW ROOF WITH MINIMUM 2% SLOPE TO DRAINS.
6. SEE SHEET AXXX FOR ROOF PENETRATION DETAILS
7. ALL LIGHTING TO BE SHIELDED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES PER BMC 10-1-2017 (H) (1)
8. CARPORTS, GARAGES, PARKING AREAS, AND DRIVEWAYS SHALL CONTAIN SECURITY LIGHTING. PRIMARY PEDESTRIAN SAFETY PER BMC 10-1-2017 (G)(2)
9. LIGHTS CONFORMING TO STANDARDS PRESCRIBED BY THE PUBLIC WORKS DIRECTOR SHALL BE INSTALLED IN ALL NIGHTIME PARKING LOTS USED FOR PUBLIC PARKING OR FOR COMMERCIAL PURPOSES. PER BMC 10-1-1420.
10. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
11. THIS PROJECT WILL BE CONSTRUCTED INCORPORATING BUILDING DESIGN FEATURES THAT MINIMIZE THE CONSUPTION OF ENERGY, WATER, AND OTHER NATURAL RESOURCES CONSISTENT WITH THE CITY'S BUILDING AND ENERGY CODES.

## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| | ROOF DRAIN |
| | ROOF CRICKET |
| SLOPE 1:12 | ROOF SLOPE |
| | ROOF HATCH |
| | WALK PAD |
| ALIGN | ALIGN ELEMENTS |
| | PARAPET. WALL TYPE TO MATCH BELOW |


WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM


CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: 06.01.2023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PROJECT NO: 21-2779-1

DRAWN BY: CS CHECKED BY: SP

PROJECT MANAGER: JH

DRAWING SCALE: As indicated

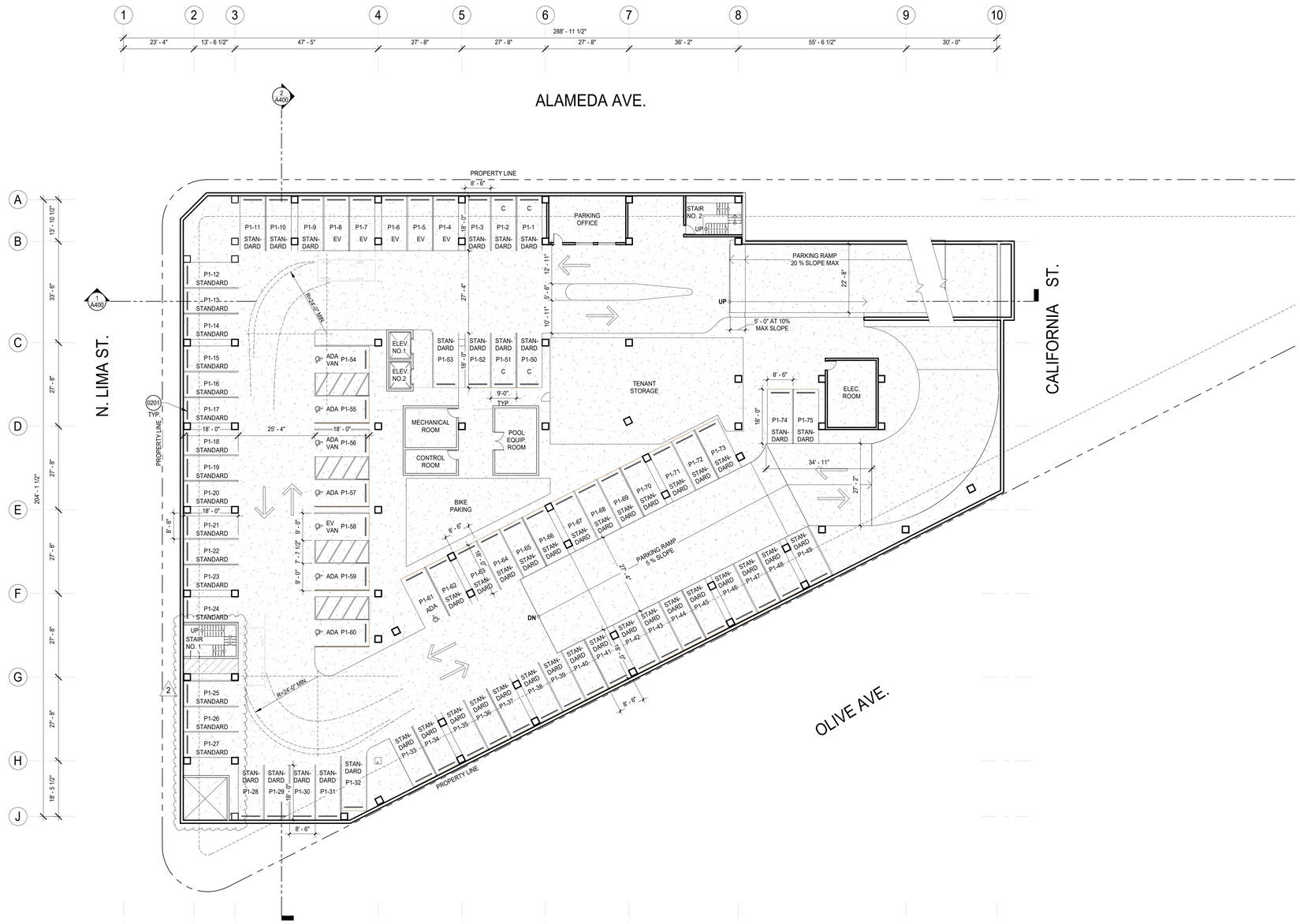
SHEET SIZE: 30X42

DRAWING TITLE:

ROOF PLAN

SHEET NO: A203


FILE NAME: Autodesk Docs://B22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:32 PM




FLOOR PLAN - P-1
1/16" = 1'-0"

1

## KEYNOTES

0201 | WHEELSTOP, TYP. AT ALL STALLS.

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
3. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME BY JURISDICTION HAVING AUTHORITY.
4. IN NO CASE SHALL DIMENSIONS OR OBJECTS OF ANY KIND BE SCALED FROM ANY DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES OR CLARIFICATIONS TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH ANY RELATED WORK.
5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.
16. ALL LIGHTING TO BE SHIELDED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES PER BMC 10-1-2017 (H) (1) CARPORTS, GARAGES, PARKING AREAS, AND DRIVEWAYS SHALL CONTAIN SECURITY LIGHTING. PRIMARY PEDESTRIAN SAFETY PER BMC 10-1-2017 (G)(2)
17. (NOT USED)
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19. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
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## LEGEND

| | | | |
|---|---|---|---|
| N.I.C. | NOT IN CONTRACT | ALIGN | ALIGN ELEMENTS |
| | EXISTING MILLWORK | RM NAME # | ROOM NAME AND NUMBER |
| | NEW MILLWORK | F.E.C. | FIRE EXTINGUISHER CABINET |
| | EXISTING PARTITION | | NEW PLUMBING FIXTURES |
| | EXISTING DOOR | | |
| C# | WALL TAG. REFER TO A800 | | |
| | NEW PARTITION PER PLAN | | |
| 7" MAX. 4" TYP. | NEW DOOR | | |
| 1001 | DOOR NUMBER. REFER TO A700 | | |
| ## | WINDOW TAG. REFER TO A700 | | |
| | NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. | | |
| A | NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710 | | |


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CONSULTANT:

CERTIFICATION:

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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
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2

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SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

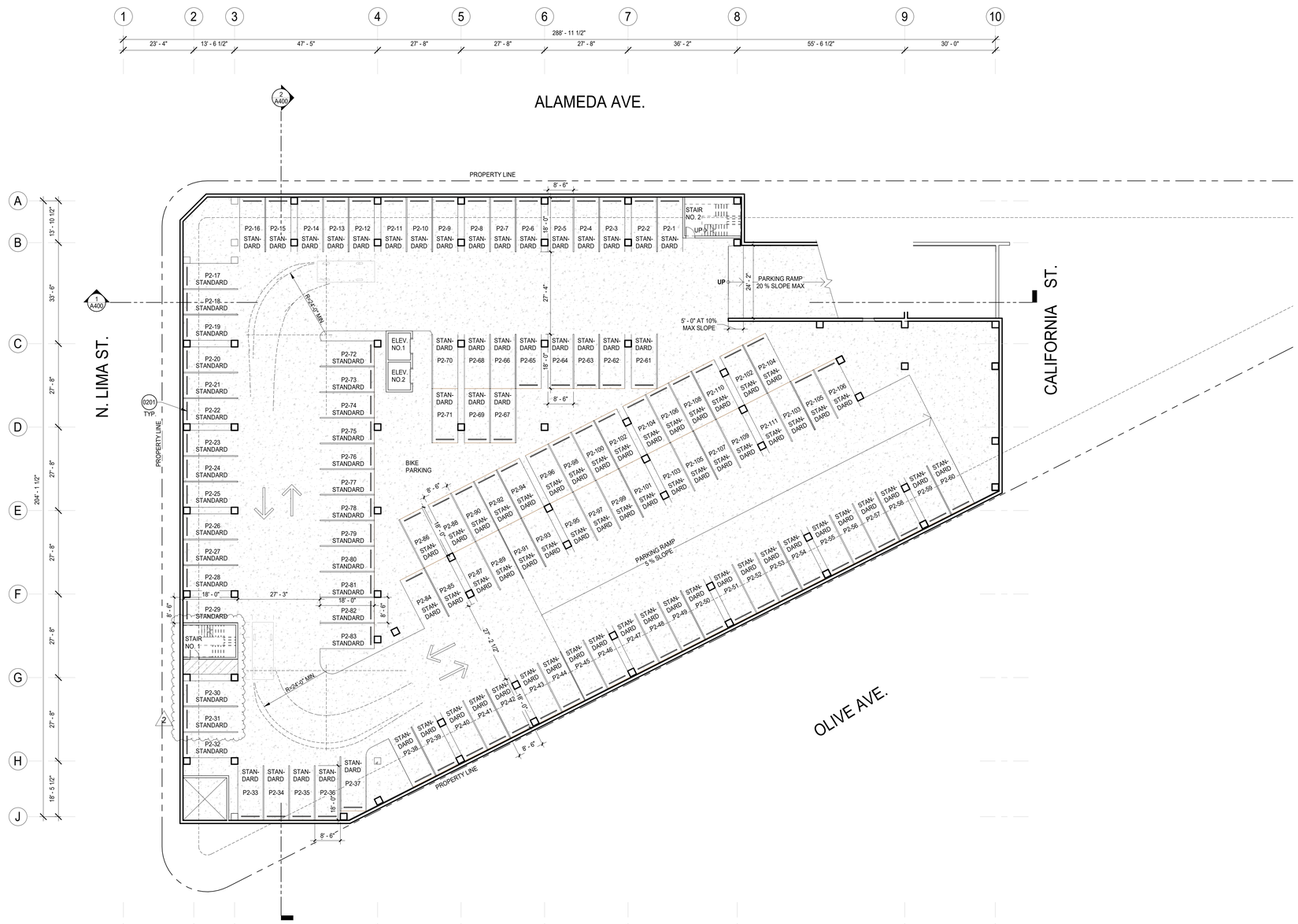
SHEET SIZE: 30X42

DRAWING TITLE:

FLOOR PLAN - P-1

SHEET NO: A204 2

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:34 PM




## KEYNOTES

0201 | WHEELSTOP, TYP. AT ALL STALLS.

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## LEGEND

| | | | |
|---|---|---|---|
| N.I.C. | NOT IN CONTRACT | ALIGN | ALIGN ELEMENTS |
| | EXISTING MILLWORK | RM NAME # | ROOM NAME AND NUMBER |
| | NEW MILLWORK | F.E.C. | FIRE EXTINGUISHER CABINET |
| | EXISTING PARTITION | | NEW PLUMBING FIXTURES |
| | EXISTING DOOR | | |
| C# | WALL TAG. REFER TO A800 | | |
| | NEW PARTITION PER PLAN | | |
| 7" MAX. 4" TYP. | NEW DOOR | | |
| 1001 | DOOR NUMBER. REFER TO A700 | | |
| ## | WINDOW TAG. REFER TO A700 | | |
| | NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. | | |
| A | NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710 | | |

FLOOR PLAN - P-2
1/16" = 1'-0"
1

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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

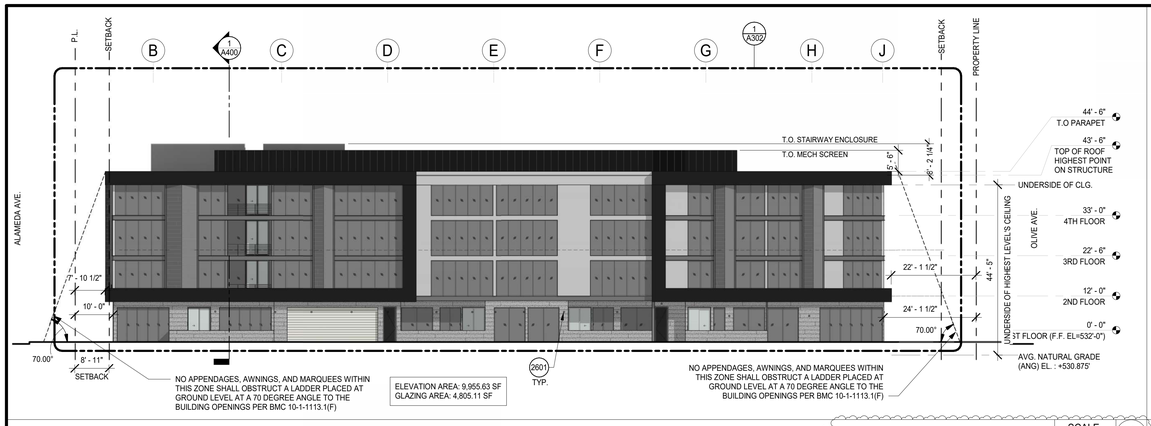
SHEET SIZE: 30X42

DRAWING TITLE:

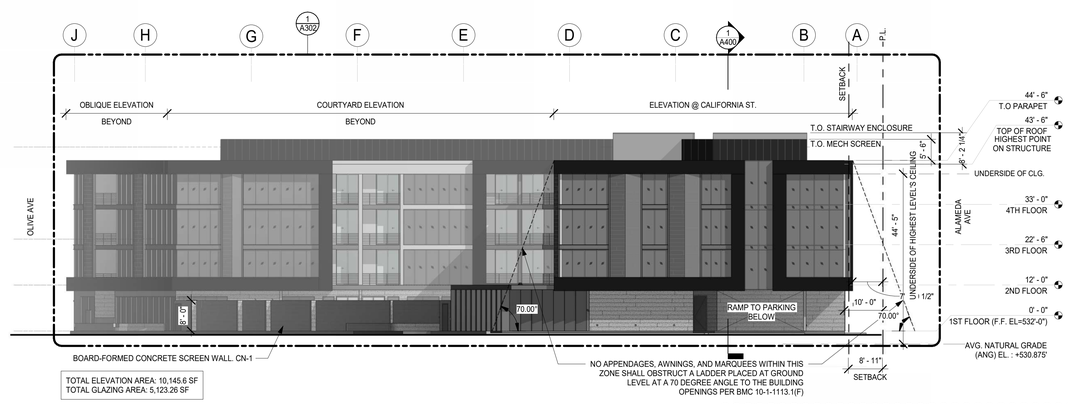
FLOOR PLAN - P-2

SHEET NO: A205 2

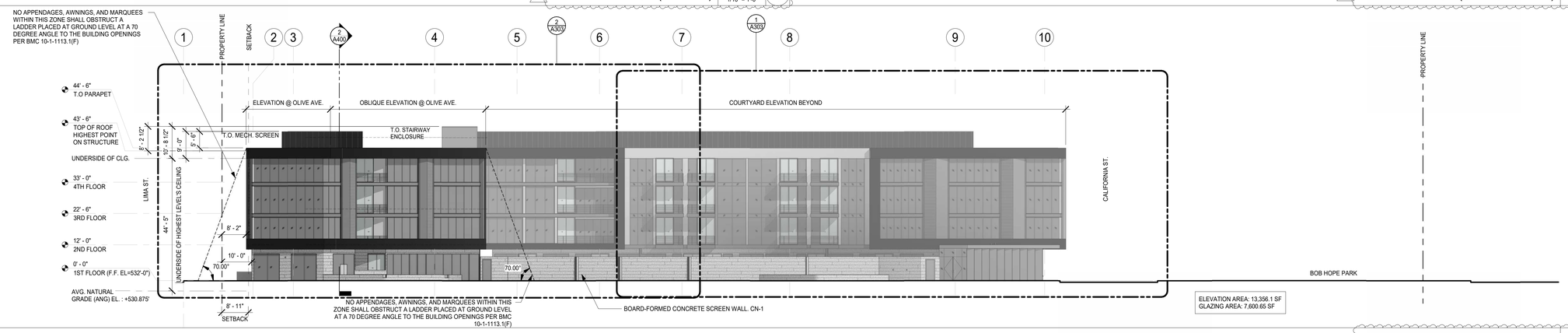
FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:32:38 PM



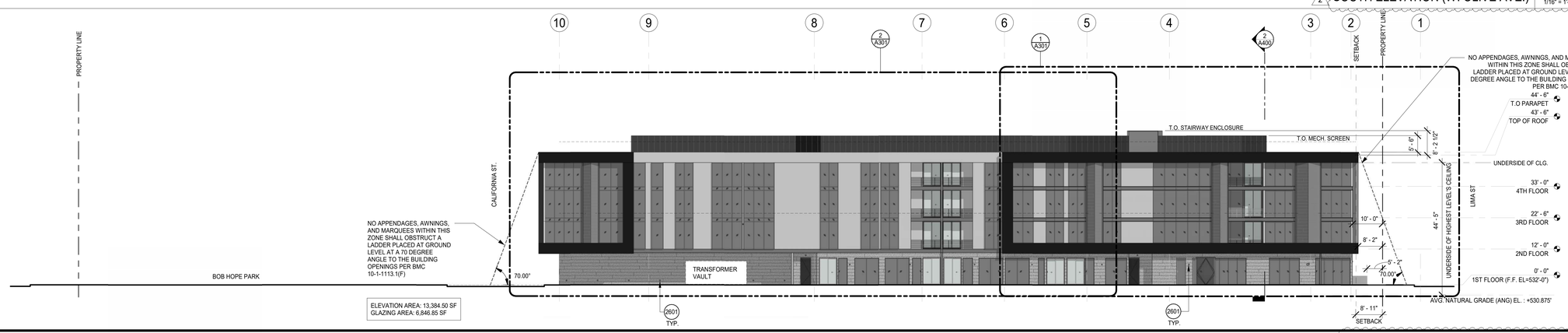

2 WEST ELEVATION (LIMA ST.) SCALE 1/16" = 1'-0" 4




2 EAST ELEVATION (CALIFORNIA ST.) SCALE 1/16" = 1'-0" 3




2 SOUTH ELEVATION (W. OLIVE AVE.) SCALE 1/16" = 1'-0" 2




2 NORTH ELEVATION (W. ALAMEDA AVE.) 1/16" = 1'-0" 1

## MATERIAL FINISHES

| FINISH NO. | DESCRIPTION | MANUFACTURER | SPECIFICATION | LOCATION | NOTES |
|---|---|---|---|---|---|
| CN-1 | CONCRETE | - | BOARD-FORMED CONCRETE | SEE FINISH ELEVATION | DAVIS COLORS, DARK GREY (CARBON) 8084 |
| MP-1 | METAL PANEL | ALUMABOARD | ALUMABOARD FW-10: CHARCOAL | SEE FINISH ELEVATION | - |
| MP-2 | METAL PANEL | METAL SALES | TLC-1, 22 GA. FLAT SEAM METAL PANEL | SEE FINISH ELEVATION | COLOR TO MATCH PT-1 |
| ST-1 | STEEL | - | STEEL BARSTOCK HANDRAIL | SEE FINISH ELEVATION | COLOR TO MATCH PT-2 |
| WD-1 | WOOD COMPOSITE PANEL | TRESPA | METEON-LOFT BROWN | SEE FINISH ELEVATION | - |
| WF-1 | WALL FINISH | EIFS | EIFS, PAINTED | SEE FINISH ELEVATION | PAINTED PT-1 |

## KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

## GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES
5. NO MECHANICAL VENTING SHALL FACE A RESIDENTIAL ZONE, UNLESS SUCH MECHANICAL VENTING IS MORE THAN 300 FEET FROM THE NEAREST RESIDENTIALLY ZONE PROPERTY. FURTHERMORE, NO MECHANICAL VENTING SHALL BE LOCATED ANYWHERE ON THE BUILDING WITHIN 50 FEET FROM THE NEAREST RESIDENTIALLY ZONED PROPERTY.
6. ALL PROJECT LIGHTING SHOULD BE DESIGNED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES. THE DESIGN OF LIGHT STANDARDS SHALL BE COMPATIBLE WITH THE BUILDING ARCHITECTURE AND ADJACENT LIGHT STANDARDS IN THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROJECTS.
7. ENERGY CONSERVATION SHALL BE AN IMPORTANT CONSIDERATION IN NIGHTTIME LIGHTING PLANS. PLANS FOR THE DESIGN AND OPERATION OF LIGHTING AND ILLUMINATION SHALL BE DEVELOPED CONSISTENT WITH THE LATEST TECHNICAL AND OPERATIONAL ENERGY CONSERVATION CONCEPTS.
8. BUILDING ELEVATIONS FACING A RESIDENTIAL ZONE WITH 50 PERCENT OR MORE OF THE BUILDING SURFACE IN GLASS SHALL BE LIMITED TO A MAXIMUM OF 15 PERCENT REFLECTIVITY FOR THOSE MATERIALS. BUILDING ELEVATIONS FACING A RESIDENTIAL ZONE WITH LESS THAN 50 PERCENT OF SURFACE IN GLASS SHALL BE LIMITED TO A MAXIMUM OF 20 PERCENT REFLECTIVITY FOR THOSE MATERIALS.

**GLAZING PRODUCTS:**
ARCADIA ACOUSTIC GLAZING PRODUCTS: T237 STC 43 DOUBLE GLAZED WITH OUTBOARD GLASS 1/2" THK, AIR SPACE OF 1/2", 1/4" INBOARD GLAZING.

## LEGEND

N.I.C. — NOT IN CONTRACT

ALIGN — ALIGN ELEMENTS

FINISH SYMBOL

GLAZING

| ABBREVIATION | FINISH TYPE |
|---|---|
| B | BASE FINISH |
| C | CARPET |
| GL | GLASS |
| P | PAINT |
| PL | PLASTIC LAMINATE |
| SC | SEALED CONCRETE |
| SDT | STATIC DISSIPATIVE TILE |
| SS | SOLID SURFACING |
| SST | STAINLESS STEEL |
| ST | STONE |
| SV | SHEET VINYL |
| T | TILE |
| VT | VINYL TILE |
| VCT | VINYL COMPOSITION TILE |
| W | WALL COVERING |
| WD | WOOD |
| WS | WAINSCOT |
| WT | WINDOW TREATMENT |

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

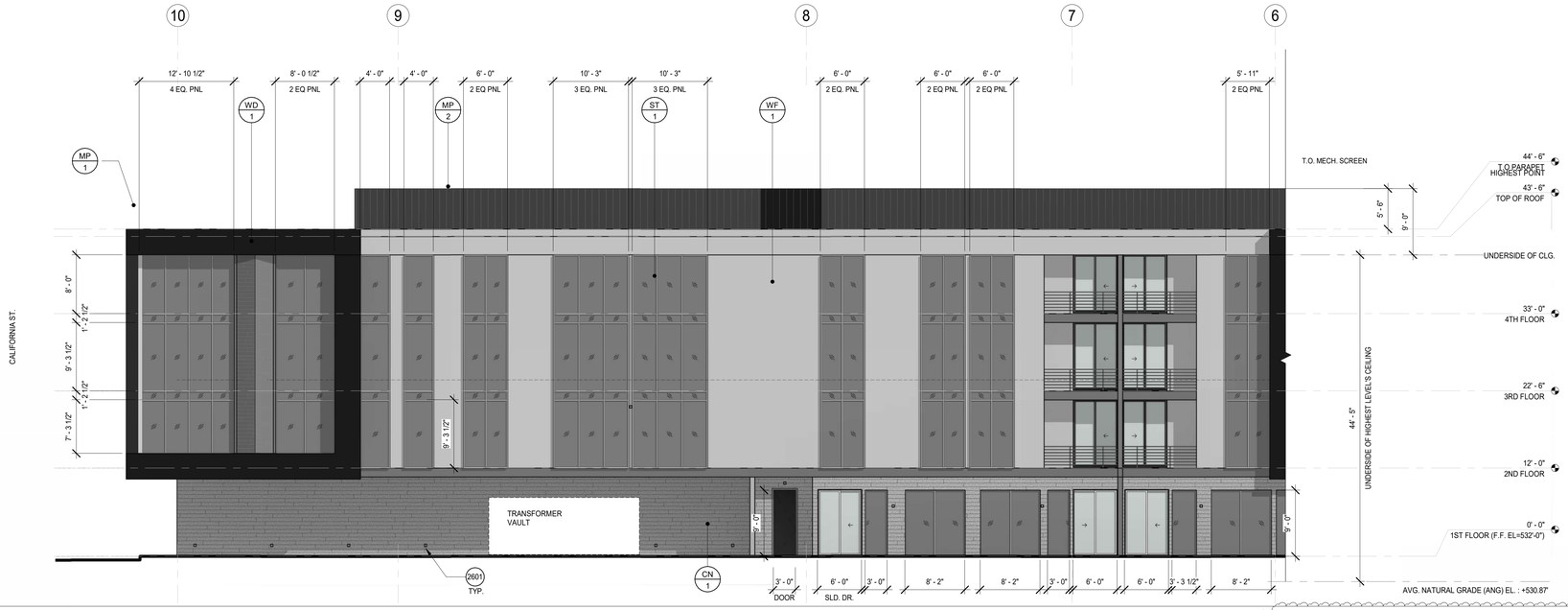
DRAWING SCALE: As indicated

SHEET SIZE: 30X42

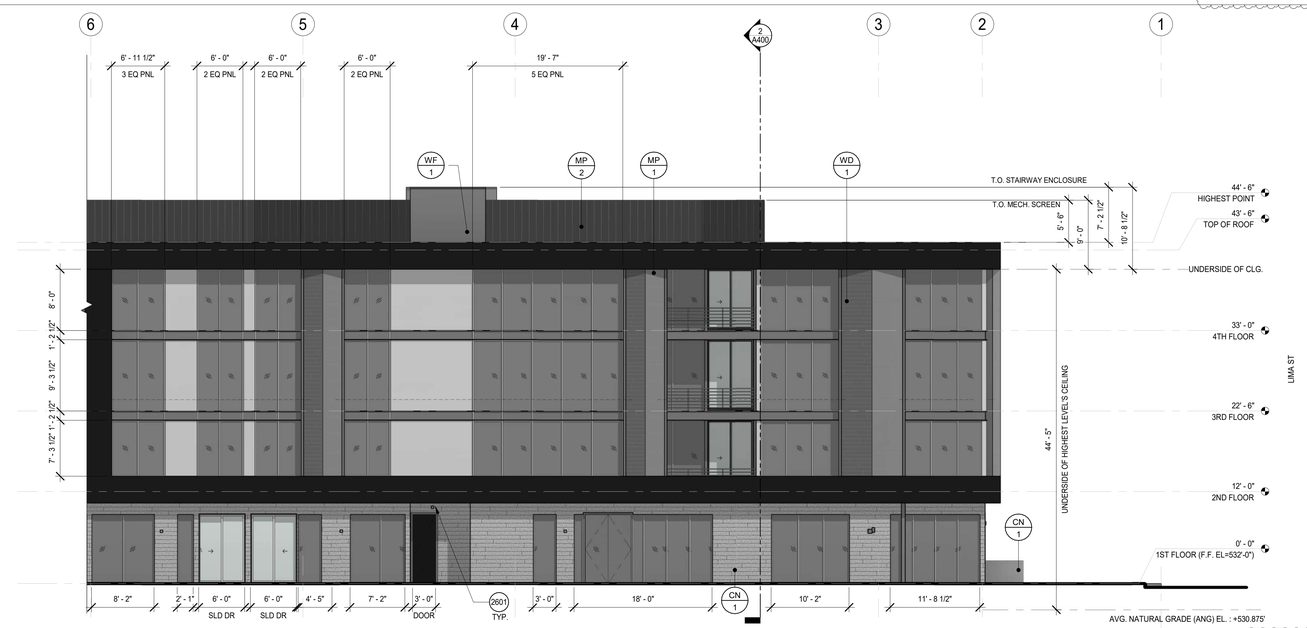
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO: A300 2

FILE NAME: Autodesk Docs://B22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:33:20 PM




2 ENLARGED NORTH ELEVATION (W. ALAMEDA AVE.) SCALE 1/8" = 1'-0" 2




2 ENLARGED NORTH ELEVATION (W. ALAMEDA AVE.) 1/8" = 1'-0" 1

## MATERIAL FINISHES

| FINISH NO. | DESCRIPTION | MANUFACTURER | SPECIFICATION | LOCATION | NOTES |
|---|---|---|---|---|---|
| CN-1 | CONCRETE | - | BOARD-FORMED CONCRETE | SEE FINISH ELEVATION | DAVIS COLORS, DARK GREY (CARBON) 8084 |
| MP-1 | METAL PANEL | ALUMABOARD | ALUMABOARD FW-10: CHARCOAL | SEE FINISH ELEVATION | - |
| MP-2 | METAL PANEL | METAL SALES | TLC-1, 22 GA. FLAT SEAM METAL PANEL | SEE FINISH ELEVATION | COLOR TO MATCH PT-1 |
| ST-1 | STEEL | - | STEEL BARSTOCK HANDRAIL | SEE FINISH ELEVATION | COLOR TO MATCH PT-2 |
| WD-1 | WOOD COMPOSITE PANEL | TRESPA | METEON-LOFT BROWN | SEE FINISH ELEVATION | - |
| WF-1 | WALL FINISH | EIFS | EIFS, PAINTED | SEE FINISH ELEVATION | PAINTED PT-1 |

## KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

## GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES
5. NO MECHANICAL VENTING SHALL FACE A RESIDENTIAL ZONE, UNLESS SUCH MECHANICAL VENTING IS MORE THAN 300 FEET FROM THE NEAREST RESIDENTIALLY ZONE PROPERTY. FURTHERMORE, NO MECHANICAL VENTING SHALL BE LOCATED ANYWHERE ON THE BUILDING WITHIN 50 FEET FROM THE NEAREST RESIDENTIALLY ZONED PROPERTY.
6. ALL PROJECT LIGHTING SHOULD BE DESIGNED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES. THE DESIGN OF LIGHT STANDARDS SHALL BE COMPATIBLE WITH THE BUILDING ARCHITECTURE AND ADJACENT LIGHT STANDARDS IN THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROJECTS.
7. ENERGY CONSERVATION SHALL BE AN IMPORTANT CONSIDERATION IN NIGHTTIME LIGHTING PLANS. PLANS FOR THE DESIGN AND OPERATION OF LIGHTING AND ILLUMINATION SHALL BE DEVELOPED CONSISTENT WITH THE LATEST TECHNICAL AND OPERATIONAL ENERGY CONSERVATION CONCEPTS.
8. BUILDING ELEVATIONS FACING A RESIDENTIAL ZONE WITH 50 PERCENT OR MORE OF THE BUILDING SURFACE IN GLASS SHALL BE LIMITED TO A MAXIMUM OF 15 PERCENT REFLECTIVITY FOR THOSE MATERIALS. BUILDING ELEVATIONS FACING A RESIDENTIAL ZONE WITH LESS THAN 50 PERCENT OF SURFACE IN GLASS SHALL BE LIMITED TO A MAXIMUM OF 20 PERCENT REFLECTIVITY FOR THOSE MATERIALS.

**GLAZING PRODUCTS:**
ARCADIA ACOUSTIC GLAZING PRODUCTS: T237 STC 43 DOUBLE GLAZED WITH OUTBOARD GLASS 1/2" THK, AIR SPACE OF 1/2", 1/4" INBOARD GLAZING.

## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| ALIGN | ALIGN ELEMENTS |
| | FINISH SYMBOL |
| | GLAZING |

| ABBREVIATION | FINISH TYPE |
|---|---|
| B | BASE FINISH |
| C | CARPET |
| GL | GLASS |
| P | PAINT |
| PL | PLASTIC LAMINATE |
| SC | SEALED CONCRETE |
| SDT | STATIC DISSIPATIVE TILE |
| SS | SOLID SURFACING |
| SST | STAINLESS STEEL |
| ST | STONE |
| SV | SHEET VINYL |
| T | TILE |
| VT | VINYL TILE |
| VCT | VINYL COMPOSITION TILE |
| W | WALL COVERING |
| WD | WOOD |
| WS | WAINSCOT |
| WT | WINDOW TREATMENT |

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.


WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM


CONSULTANT:

CERTIFICATION:

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PROJECT:

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SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: 1/8" = 1'-0"

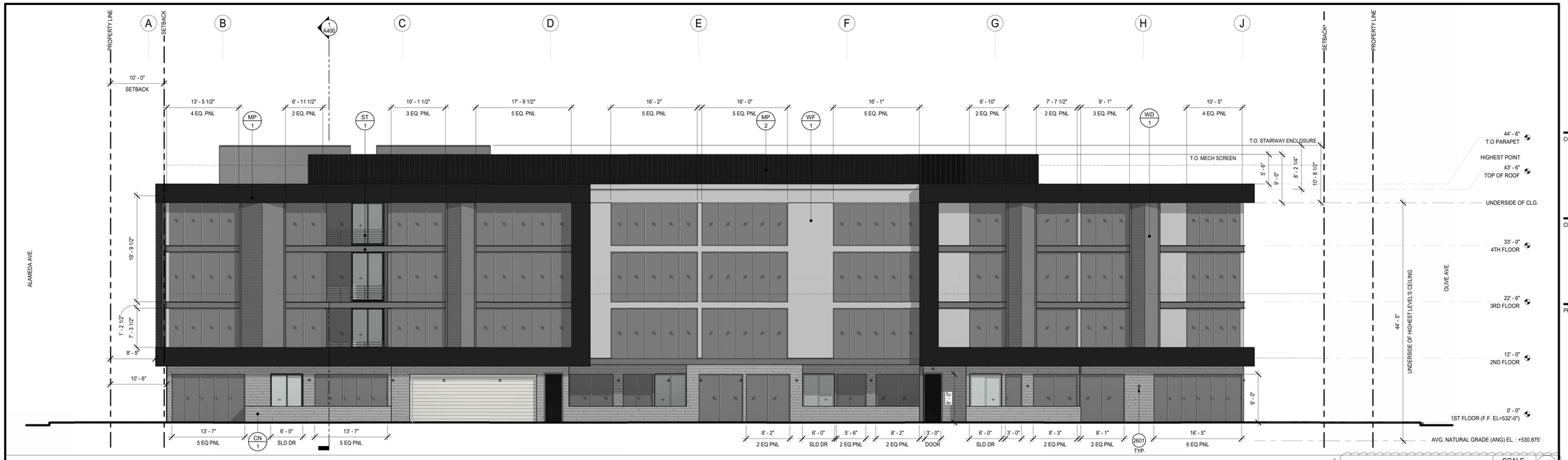
SHEET SIZE: 30X42

DRAWING TITLE:

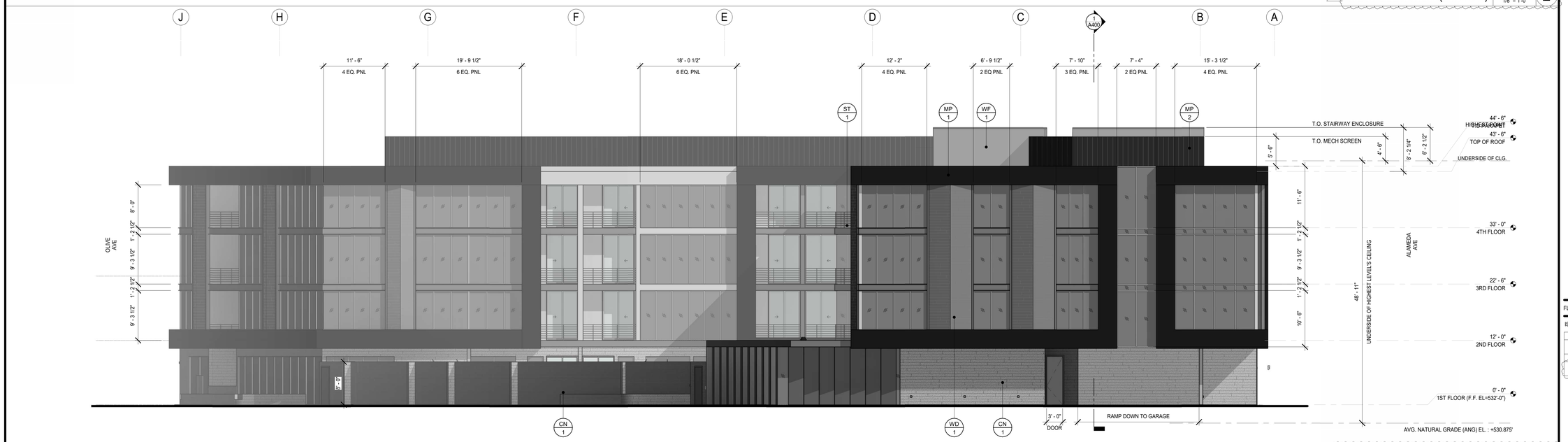
ENLARGED EXTERIOR ELEVATIONS

SHEET NO: A301 2

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:33:41 PM




2 WEST ELEVATION (LIMA ST.) SCALE 1/8" = 1'-0" 2




2 EAST ELEVATION (CALIFORNIA ST.) 1/8" = 1'-0" 1

## MATERIAL FINISHES

| FINISH NO. | DESCRIPTION | MANUFACTURER | SPECIFICATION | LOCATION | NOTES |
|---|---|---|---|---|---|
| CN-1 | CONCRETE | - | BOARD-FORMED CONCRETE | SEE FINISH ELEVATION | DAVIS COLORS, DARK GREY (CARBON) 8084 |
| MP-1 | METAL PANEL | ALUMABOARD | ALUMABOARD FW-10: CHARCOAL | SEE FINISH ELEVATION | - |
| MP-2 | METAL PANEL | METAL SALES | TLC-1, 22 GA. FLAT SEAM METAL PANEL | SEE FINISH ELEVATION | COLOR TO MATCH PT-1 |
| ST-1 | STEEL | - | STEEL BARSTOCK HANDRAIL | SEE FINISH ELEVATION | COLOR TO MATCH PT-2 |
| WD-1 | WOOD COMPOSITE PANEL | TRESPA | METEON-LOFT BROWN | SEE FINISH ELEVATION | - |
| WF-1 | WALL FINISH | EIFS | EIFS, PAINTED | SEE FINISH ELEVATION | PAINTED PT-1 |

## KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

## GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES
5. NO MECHANICAL VENTING SHALL FACE A RESIDENTIAL ZONE, UNLESS SUCH MECHANICAL VENTING IS MORE THAN 300 FEET FROM THE NEAREST RESIDENTIALLY ZONE PROPERTY. FURTHERMORE, NO MECHANICAL VENTING SHALL BE LOCATED ANYWHERE ON THE BUILDING WITHIN 50 FEET FROM THE NEAREST RESIDENTIALLY ZONED PROPERTY.
6. ALL PROJECT LIGHTING SHOULD BE DESIGNED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES. THE DESIGN OF LIGHT STANDARDS SHALL BE COMPATIBLE WITH THE BUILDING ARCHITECTURE AND ADJACENT LIGHT STANDARDS IN THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROJECTS.
7. ENERGY CONSERVATION SHALL BE AN IMPORTANT CONSIDERATION IN NIGHTTIME LIGHTING PLANS. PLANS FOR THE DESIGN AND OPERATION OF LIGHTING AND ILLUMINATION SHALL BE DEVELOPED CONSISTENT WITH THE LATEST TECHNICAL AND OPERATIONAL ENERGY CONSERVATION CONCEPTS.
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**GLAZING PRODUCTS:**
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## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| ALIGN | ALIGN ELEMENTS |
| | FINISH SYMBOL |
| | GLAZING |

| ABBREVIATION | FINISH TYPE |
|---|---|
| B | BASE FINISH |
| C | CARPET |
| GL | GLASS |
| P | PAINT |
| PL | PLASTIC LAMINATE |
| SC | SEALED CONCRETE |
| SDT | STATIC DISSIPATIVE TILE |
| SS | SOLID SURFACING |
| SST | STAINLESS STEEL |
| ST | STONE |
| SV | SHEET VINYL |
| T | TILE |
| VT | VINYL TILE |
| VCT | VINYL COMPOSITION TILE |
| W | WALL COVERING |
| WD | WOOD |
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| WT | WINDOW TREATMENT |

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.


WOLCOTT
ARCHITECTURE
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DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: 1/8" = 1'-0"

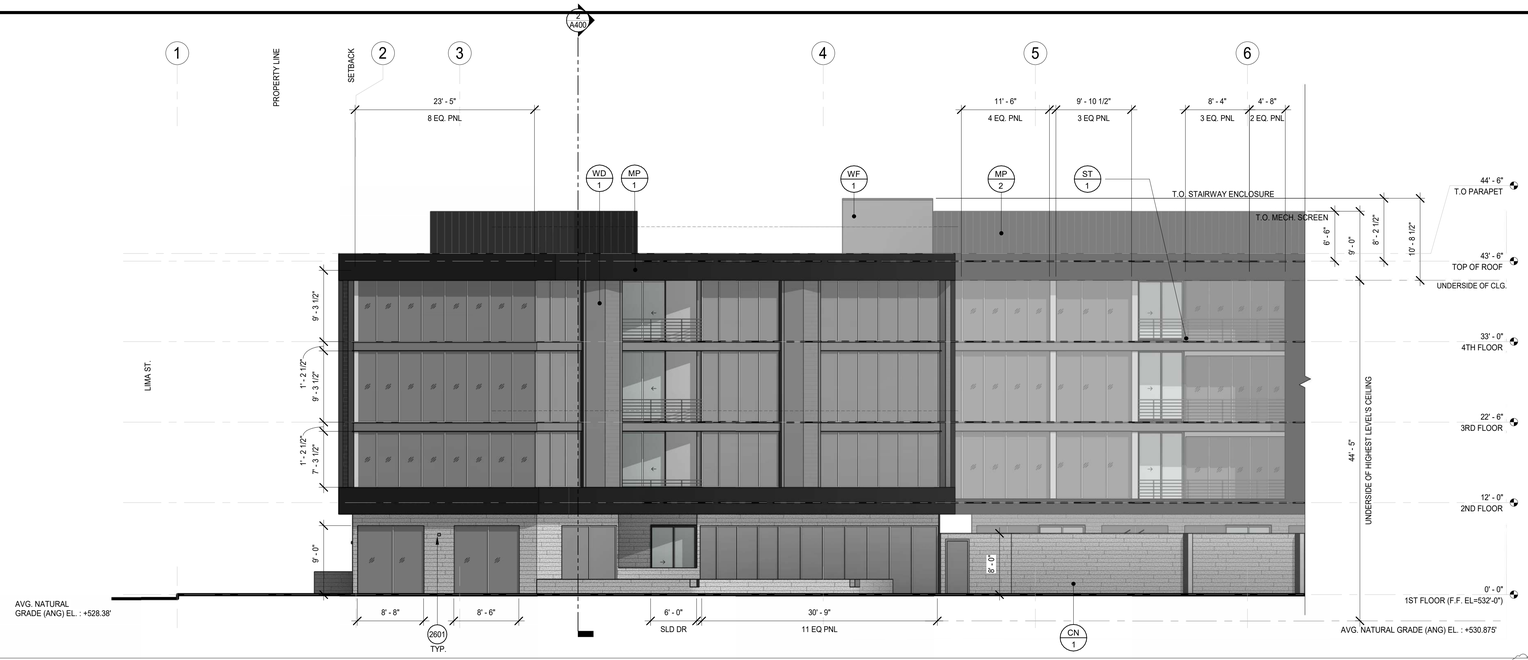
SHEET SIZE: 30X42

DRAWING TITLE:

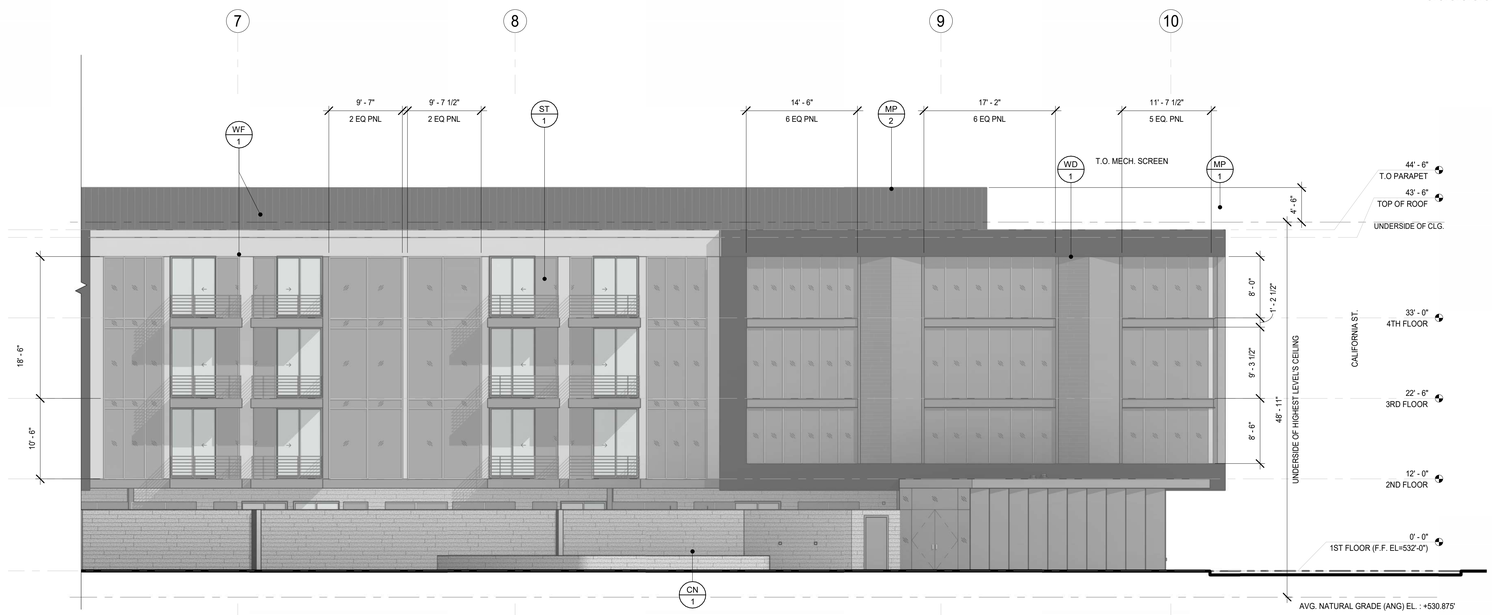
ENLARGED EXTERIOR ELEVATIONS

SHEET NO: A302 2

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:34:37 PM




2 SOUTH ELEVATION (W. OLIVE AVE.) SCALE 1/8" = 1'-0" 2




2 SOUTH ELEVATION (W. OLIVE AVE.) 1/8" = 1'-0" 1

## MATERIAL FINISHES

| FINISH NO. | DESCRIPTION | MANUFACTURER | SPECIFICATION | LOCATION | NOTES |
|---|---|---|---|---|---|
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| MP-1 | METAL PANEL | ALUMABOARD | ALUMABOARD FW-10: CHARCOAL | SEE FINISH ELEVATION | - |
| MP-2 | METAL PANEL | METAL SALES | TLC-1, 22 GA. FLAT SEAM METAL PANEL | SEE FINISH ELEVATION | COLOR TO MATCH PT-1 |
| ST-1 | STEEL | - | STEEL BARSTOCK HANDRAIL | SEE FINISH ELEVATION | COLOR TO MATCH PT-2 |
| WD-1 | WOOD COMPOSITE PANEL | TRESPA | METEON-LOFT BROWN | SEE FINISH ELEVATION | - |
| WF-1 | WALL FINISH | EIFS | EIFS, PAINTED | SEE FINISH ELEVATION | PAINTED PT-1 |

## KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

## GENERAL NOTES

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3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
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## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| ALIGN | ALIGN ELEMENTS |
| | FINISH SYMBOL |
| | GLAZING |

| ABBREVIATION | FINISH TYPE |
|---|---|
| B | BASE FINISH |
| C | CARPET |
| GL | GLASS |
| P | PAINT |
| PL | PLASTIC LAMINATE |
| SC | SEALED CONCRETE |
| SDT | STATIC DISSIPATIVE TILE |
| SS | SOLID SURFACING |
| SST | STAINLESS STEEL |
| ST | STONE |
| SV | SHEET VINYL |
| T | TILE |
| VT | VINYL TILE |
| VCT | VINYL COMPOSITION TILE |
| W | WALL COVERING |
| WD | WOOD |
| WS | WAINSCOT |
| WT | WINDOW TREATMENT |

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
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WOLCOTT ARCHITECTURE
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PROJECT MANAGER: CC

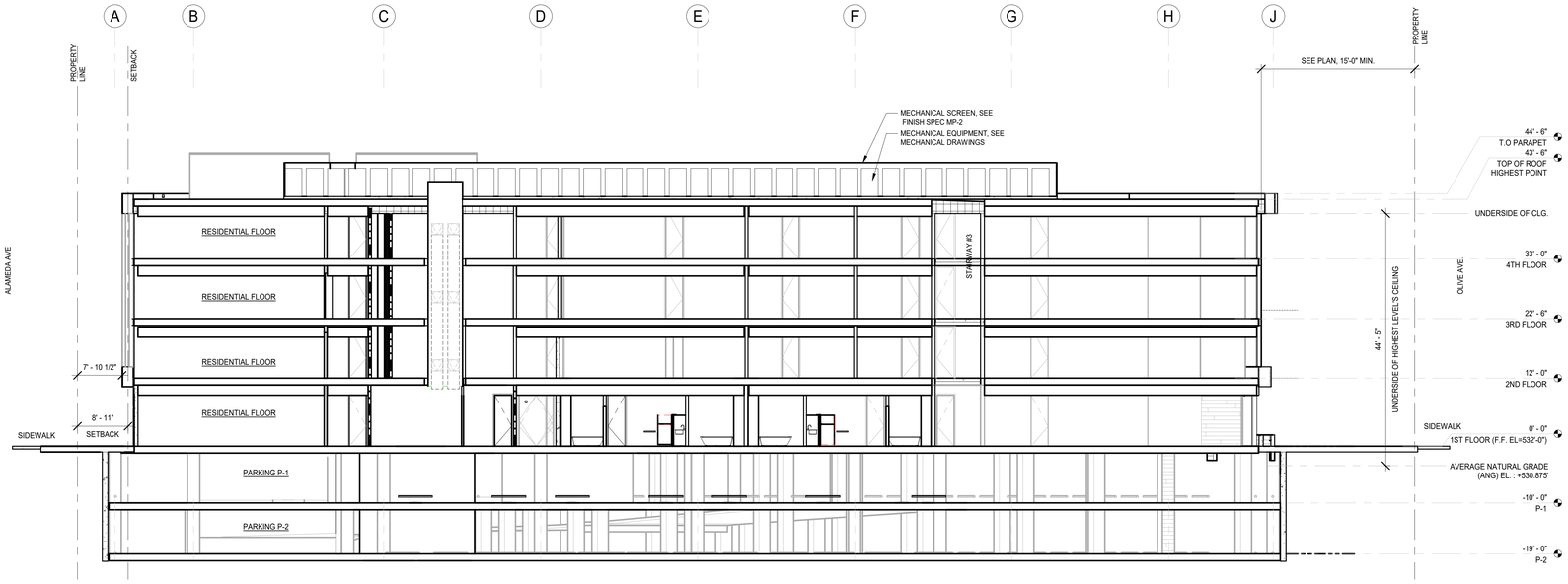
DRAWING SCALE: 1/8" = 1'-0"

SHEET SIZE: 30X42

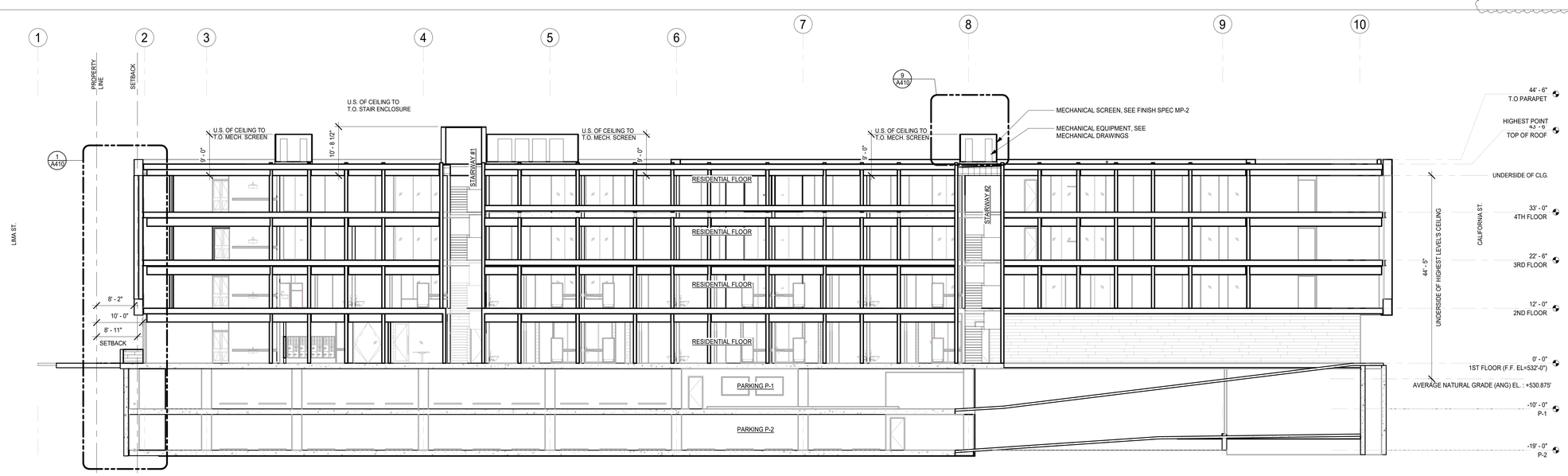
DRAWING TITLE:

ENLARGED EXTERIOR ELEVATIONS

SHEET NO: A303 2




2 NORTH-SOUTH SECTION 2
3/32" = 1'-0"




2 EAST-WEST SECTION 1
3/32" = 1'-0"

## KEYNOTES

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| ALIGN | ALIGN ELEMENTS |
| | MATERIAL |
| | MATERIAL |
| | MATERIAL |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DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

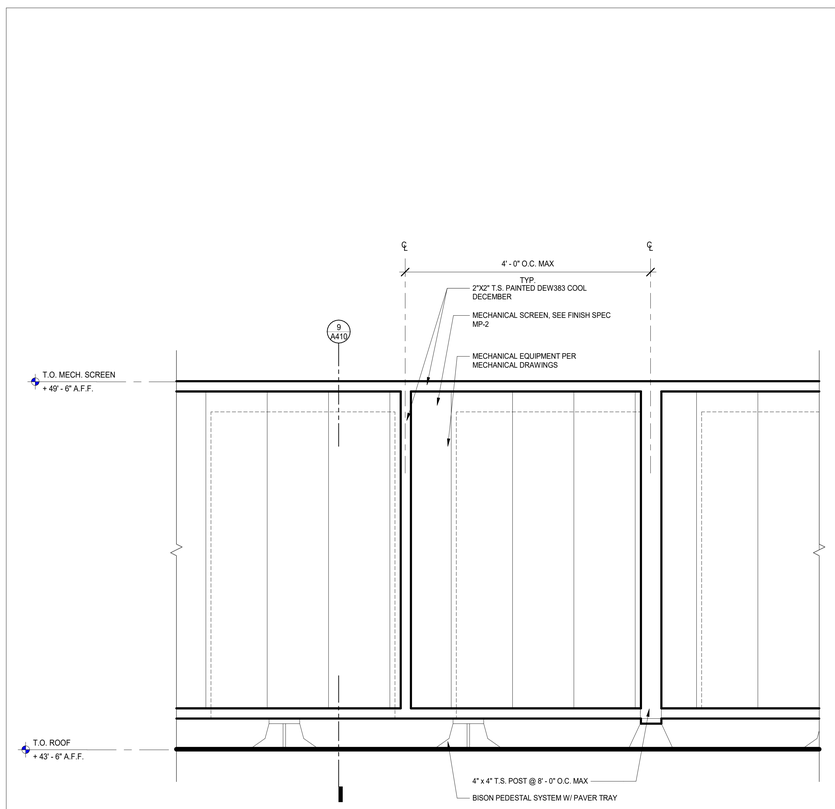
SHEET SIZE: 30X42

DRAWING TITLE:

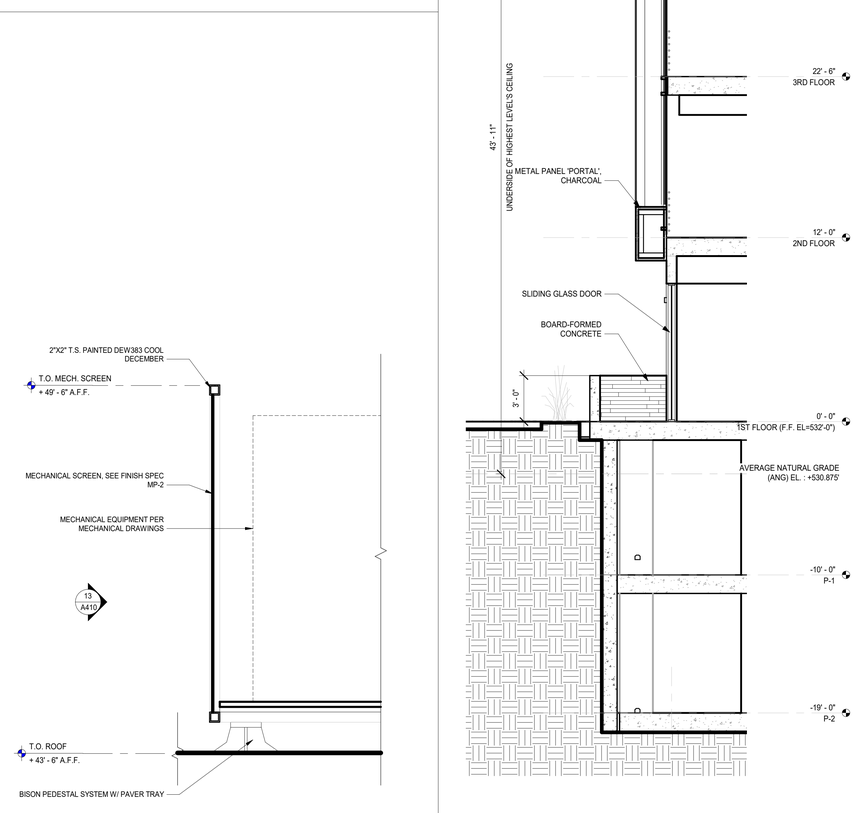
BUILDING SECTIONS

SHEET NO: A400 2

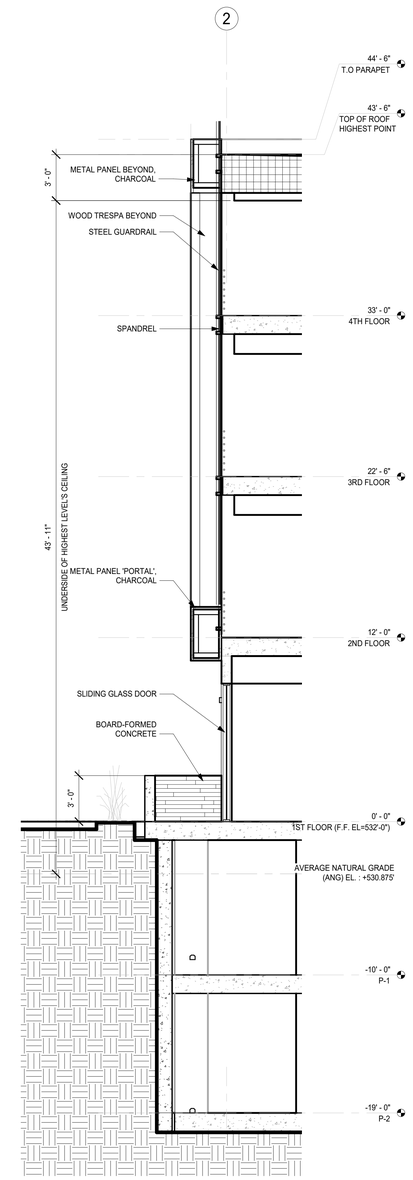
FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:34:57 PM




SECTION DETAIL @ MECHANICAL SCREEN | SCALE 1" = 1'-0" | 13




SECTION DETAIL @ MECH. SCREEN | SCALE 1" = 1'-0" | 9




2 WALL SECTION @ GRID-LINE 2 | SCALE 1/4" = 1'-0" | 1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ARCHITECTURE
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310.204.2290 | WWW.WOLCOTTAI.COM


CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

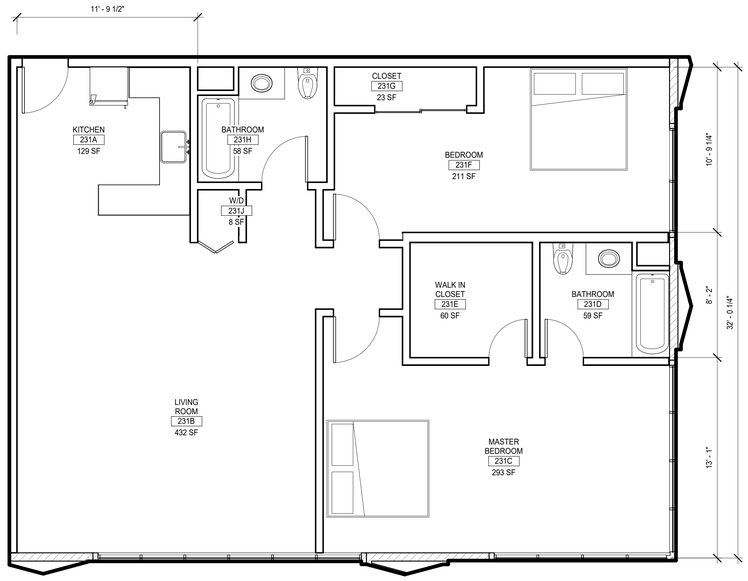
SHEET SIZE: 30X42

DRAWING TITLE:

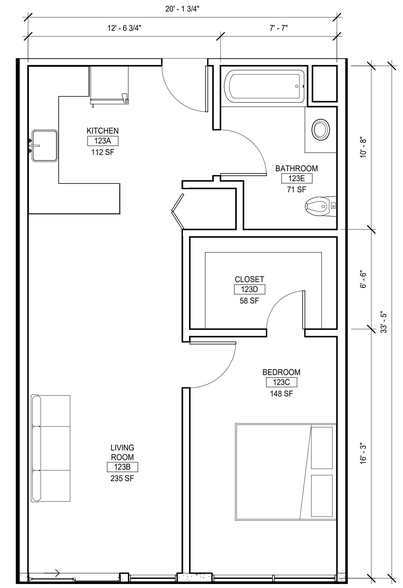
ENLARGED SECTIONS

SHEET NO: A410 2

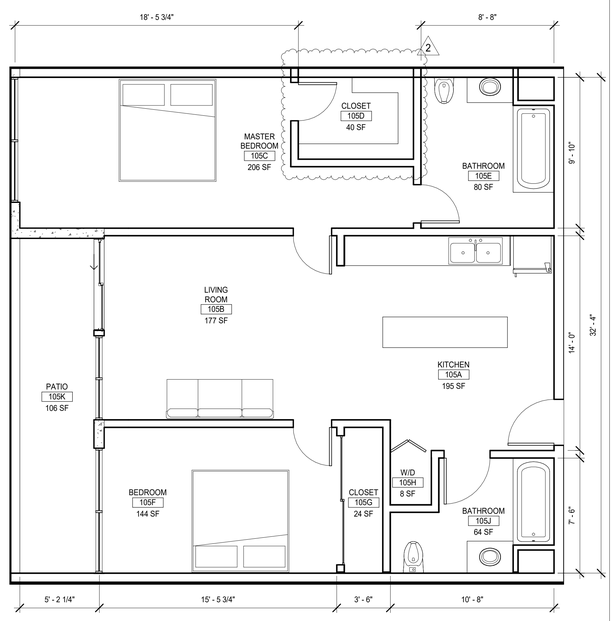
FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:34:58 PM



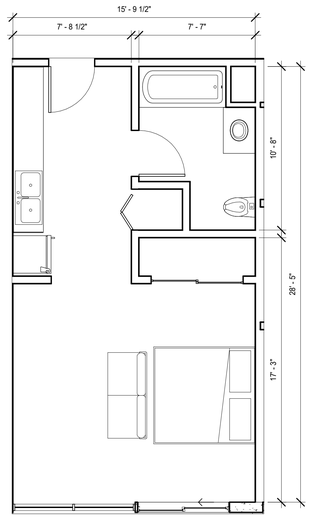

2 ENLARGED PLAN - TYP. 2-BED CORNER UNIT SCALE 1/4" = 1'-0" 7




ENLARGED PLAN - TYP. 1-BED FLOOR PLAN SCALE 1/4" = 1'-0" 3




ENLARGED PLAN - TYP. 2-BED FLOOR PLAN SCALE 1/4" = 1'-0" 5




ENLARGED PLAN - TYP. STUDIO FLOOR PLAN SCALE 1/4" = 1'-0" 1

## KEYNOTES

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

## LEGEND

| | | | |
|---|---|---|---|
| N.I.C. | NOT IN CONTRACT | ALIGN | ALIGN ELEMENTS |
| | EXISTING MILLWORK | RM NAME # | ROOM NAME AND NUMBER |
| | NEW MILLWORK | F.E.C. | FIRE EXTINGUISHER CABINET |
| | EXISTING PARTITION | | NEW PLUMBING FIXTURES |
| | EXISTING DOOR | A | NEW PLUMBING FIXTURE. APPLIANCE, OR EQUIPMENT. REFER TO A720 |
| | NEW PARTITION PER PLAN | A-# | FINISH SYMBOL |
| C# | WALL TAG. REFER TO A700 | | |
| 7" MAX. 4" TYP. | NEW DOOR | | |
| 1001 | DOOR NUMBER. REFER TO A710 | | |
| | NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. | | |
| ## | WINDOW TAG. REFER TO A710 | | |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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
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| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

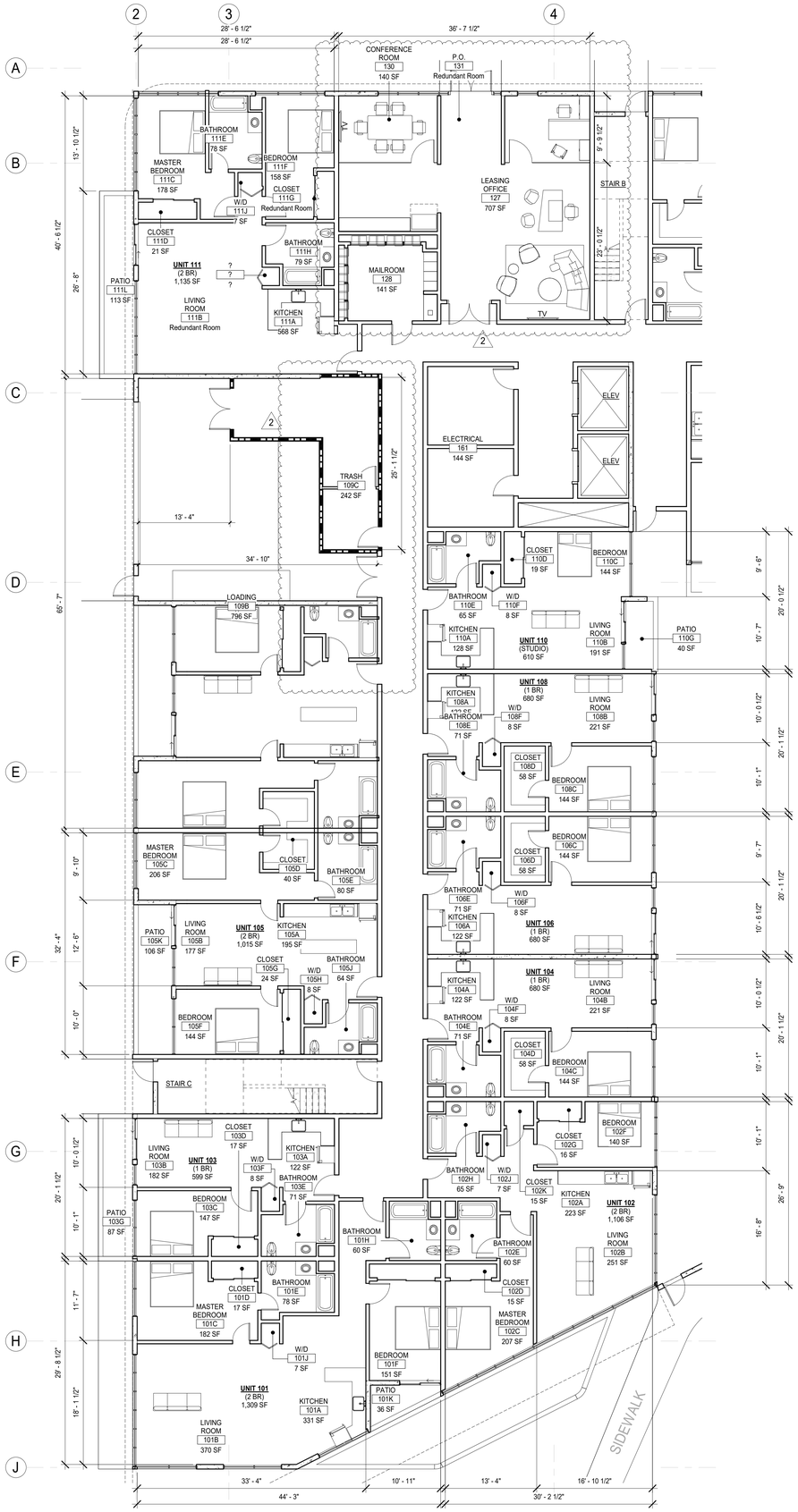
SHEET SIZE: 30X42

DRAWING TITLE:

ENLARGED PLANS - TYP. UNITS

SHEET NO: A600 2


FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:34:59 PM



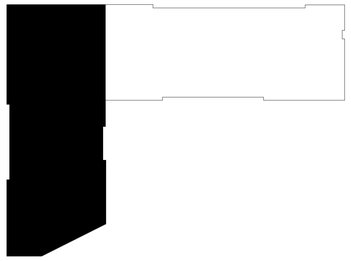

ENLARGED FLOOR PLAN 1ST FLOOR - AREA A

1/8" = 1'-0"

1

## KEYNOTES

## KEYPLAN AREA A



## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
3. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME BY JURISDICTION HAVING AUTHORITY.
4. IN NO CASE SHALL DIMENSIONS OR OBJECTS OF ANY KIND BE SCALED FROM ANY DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES OR CLARIFICATIONS TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH ANY RELATED WORK.
5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.
16. ALL LIGHTING TO BE SHIELDED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES PER BMC 10-1-2017 (H) (1) CARPORTS, GARAGES, PARKING AREAS, AND DRIVEWAYS SHALL CONTAIN SECURITY LIGHTING. PRIMARY PEDESTRIAN SAFETY PER BMC 10-1-2017 (G)(2)
17. (NOT USED)
18. LIGHTS CONFORMING TO STANDARDS PRESCRIBED BY THE PUBLIC WORKS DIRECTOR SHALL BE INSTALLED IN ALL NIGHTIME PARKING LOTS USED FOR PUBLIC PARKING OR FOR COMMERCIAL PURPOSES. PER BMC 10-1-1420.
19. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
20. THIS PROJECT WILL BE CONSTRUCTED INCORPORATING BUILDING DESIGN FEATURES THAT MINIMIZE THE CONSUPTION OF ENERGY, WATER, AND OTHER NATURAL RESOURCES CONSISTENT WITH THE CITY'S BUILDING AND ENERGY CODES.

## LEGEND

| | |
|---|---|
| N.I.C. | NOT IN CONTRACT |
| | EXISTING MILLWORK |
| | NEW MILLWORK |
| | EXISTING PARTITION |
| | EXISTING DOOR |
| C# | WALL TAG. REFER TO A800 |
| | NEW PARTITION PER PLAN |
| 4" TYP. 7" MAX. | NEW DOOR |
| 1001 | DOOR NUMBER. REFER TO A700 |
| ## | WINDOW TAG. REFER TO A700 NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. |
| A | NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710 |
| ALIGN | ALIGN ELEMENTS |
| RM NAME # | ROOM NAME AND NUMBER |
| F.E.C. | FIRE EXTINGUISHER CABINET |
| | NEW PLUMBING FIXTURES |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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
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| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

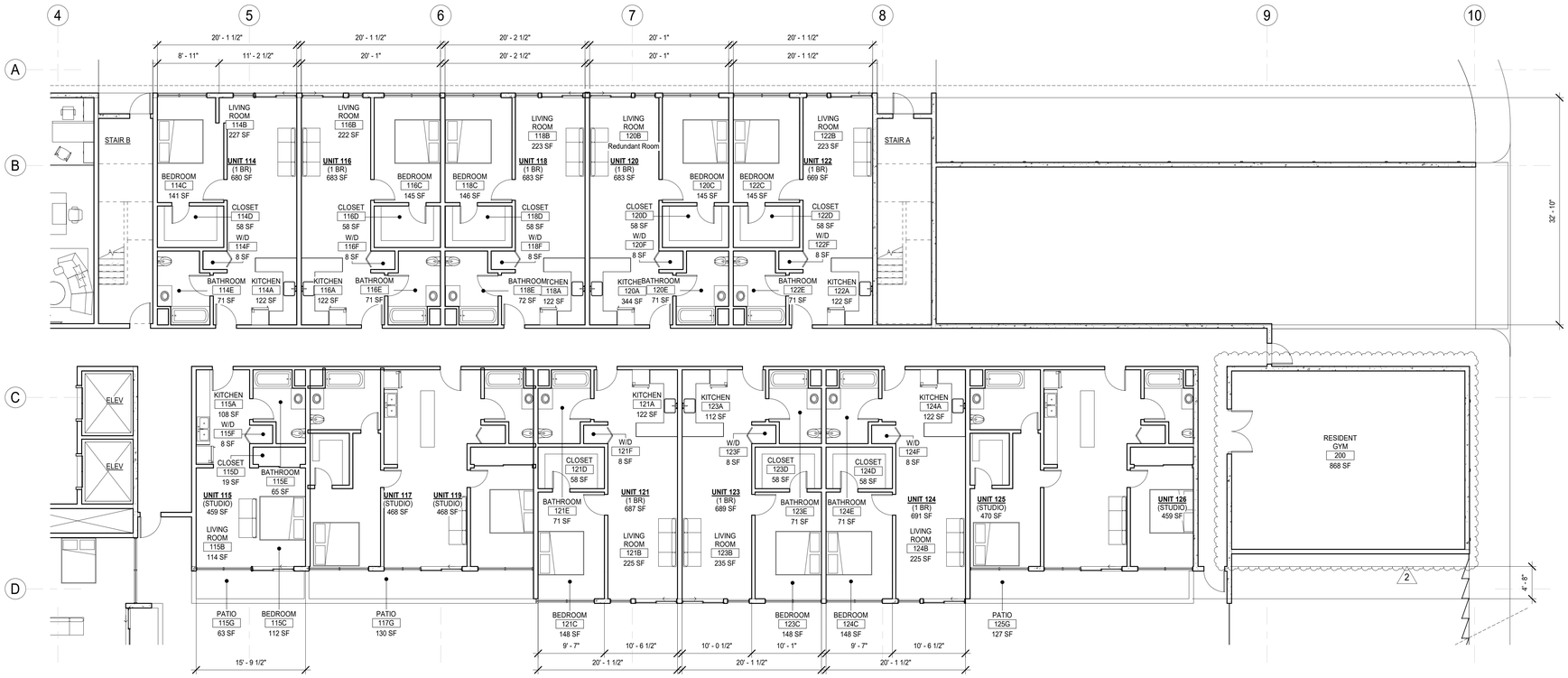
SHEET SIZE: 30X42

DRAWING TITLE:

ENLARGED PLAN 1ST FLOOR - AREA A

SHEET NO: A601 2

FILE NAME: Autodesk Docs://B22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:35:02 PM




ENLARGED FLOOR PLAN 1ST FLOOR - AREA B

1/8" = 1'-0"

1

## KEYNOTES

## KEYPLAN AREA B

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
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6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
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8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
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12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.
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17. (NOT USED)
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19. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
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## LEGEND

| | | | |
|---|---|---|---|
| N.I.C. | NOT IN CONTRACT | ALIGN | ALIGN ELEMENTS |
| | EXISTING MILLWORK | RM NAME # | ROOM NAME AND NUMBER |
| | NEW MILLWORK | F.E.C. | FIRE EXTINGUISHER CABINET |
| | EXISTING PARTITION | | NEW PLUMBING FIXTURES |
| | EXISTING DOOR | | |
| C# | WALL TAG. REFER TO A800 | | |
| | NEW PARTITION PER PLAN | | |
| 7" MAX. 4" TYP. | NEW DOOR | | |
| 1001 | DOOR NUMBER. REFER TO A700 | | |
| ## | WINDOW TAG. REFER TO A700 | | |
| | NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. | | |
| A | NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710 | | |


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

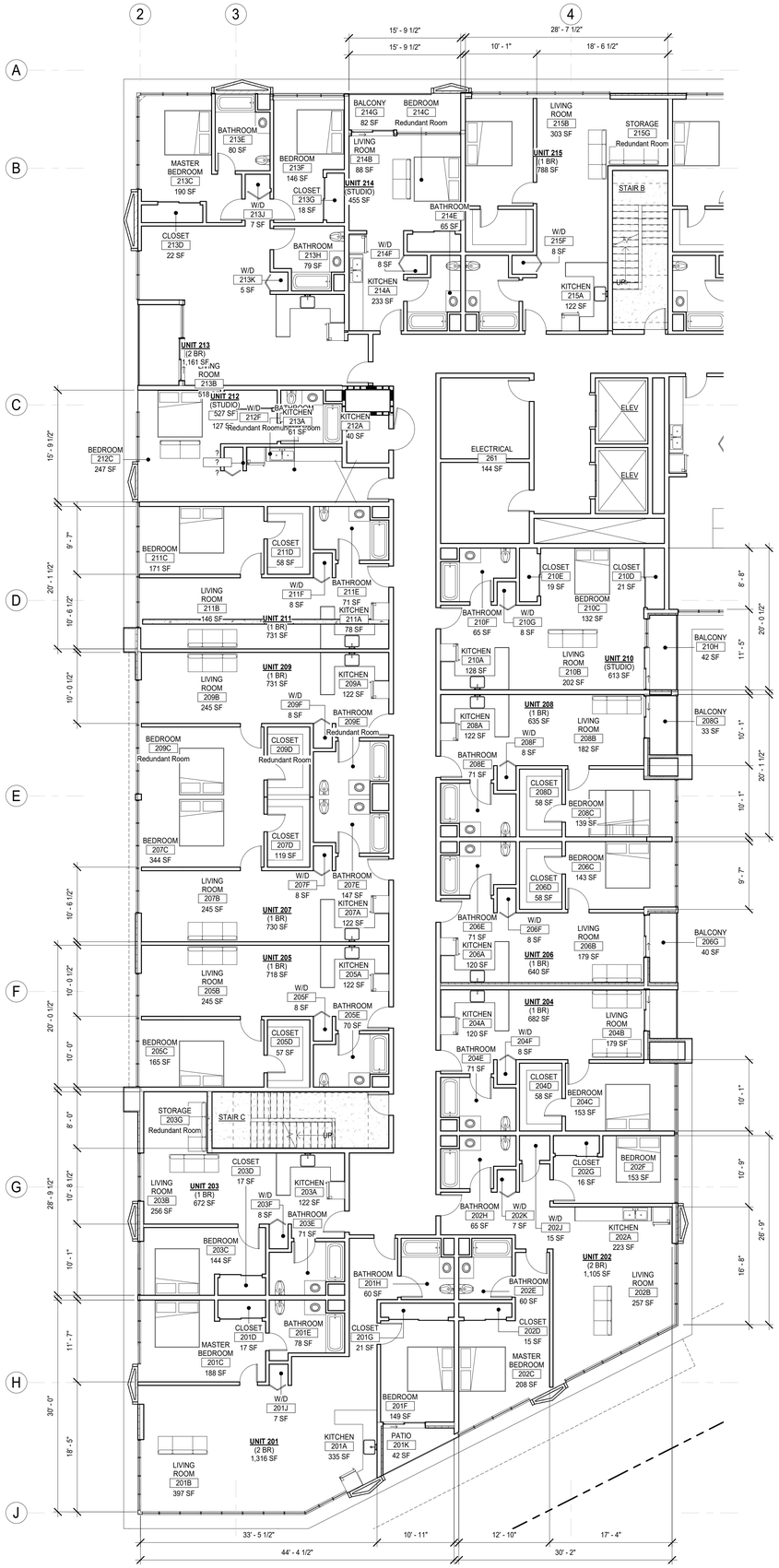
SHEET SIZE: 30X42

DRAWING TITLE:

ENLARGED PLAN 1ST FLOOR - AREA B

SHEET NO: A602 2

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:35:03 PM



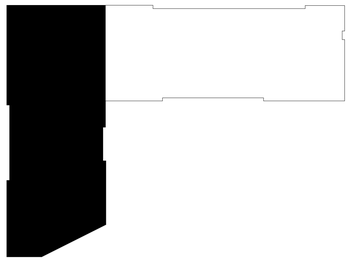

ENLARGED FLOOR PLAN 2ND FLOOR - AREA A

1/8" = 1'-0"

1

## KEYNOTES

## KEYPLAN AREA A



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13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
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17. (NOT USED)
18. LIGHTS CONFORMING TO STANDARDS PRESCRIBED BY THE PUBLIC WORKS DIRECTOR SHALL BE INSTALLED IN ALL NIGHTTIME PARKING LOTS USED FOR PUBLIC PARKING OR FOR COMMERCIAL PURPOSES. PER BMC 10-1-1420.
19. PER TABLE N-5 OF THE BURBANK 2035 GENERAL PLAN THIS PROJECT WILL BE CONSTRUCTED IN A WAY TO ACHIEVE INTERIOR NOISE LEVELS US 45DBA MAX. PER TABLE N-3 MAXIMUM ALLOWABLE NOISE EXPOSURE - TRANSPORTATION SOURCES OF THE GENERAL PLAN.
20. THIS PROJECT WILL BE CONSTRUCTED INCORPORATING BUILDING DESIGN FEATURES THAT MINIMIZE THE CONSUPTION OF ENERGY, WATER, AND OTHER NATURAL RESOURCES CONSISTENT WITH THE CITY'S BUILDING AND ENERGY CODES.

## LEGEND

- N.I.C. — NOT IN CONTRACT
- EXISTING MILLWORK
- NEW MILLWORK
- EXISTING PARTITION
- EXISTING DOOR
- C# — WALL TAG. REFER TO A800
- NEW PARTITION PER PLAN
- 7" MAX. / 4" TYP. — NEW DOOR
- 1001 — DOOR NUMBER. REFER TO A700
- ## — WINDOW TAG. REFER TO A700
- NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
- A — NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710
- ALIGN — ALIGN ELEMENTS
- RM NAME # — ROOM NAME AND NUMBER
- F.E.C. — FIRE EXTINGUISHER CABINET
- NEW PLUMBING FIXTURES


WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM


CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

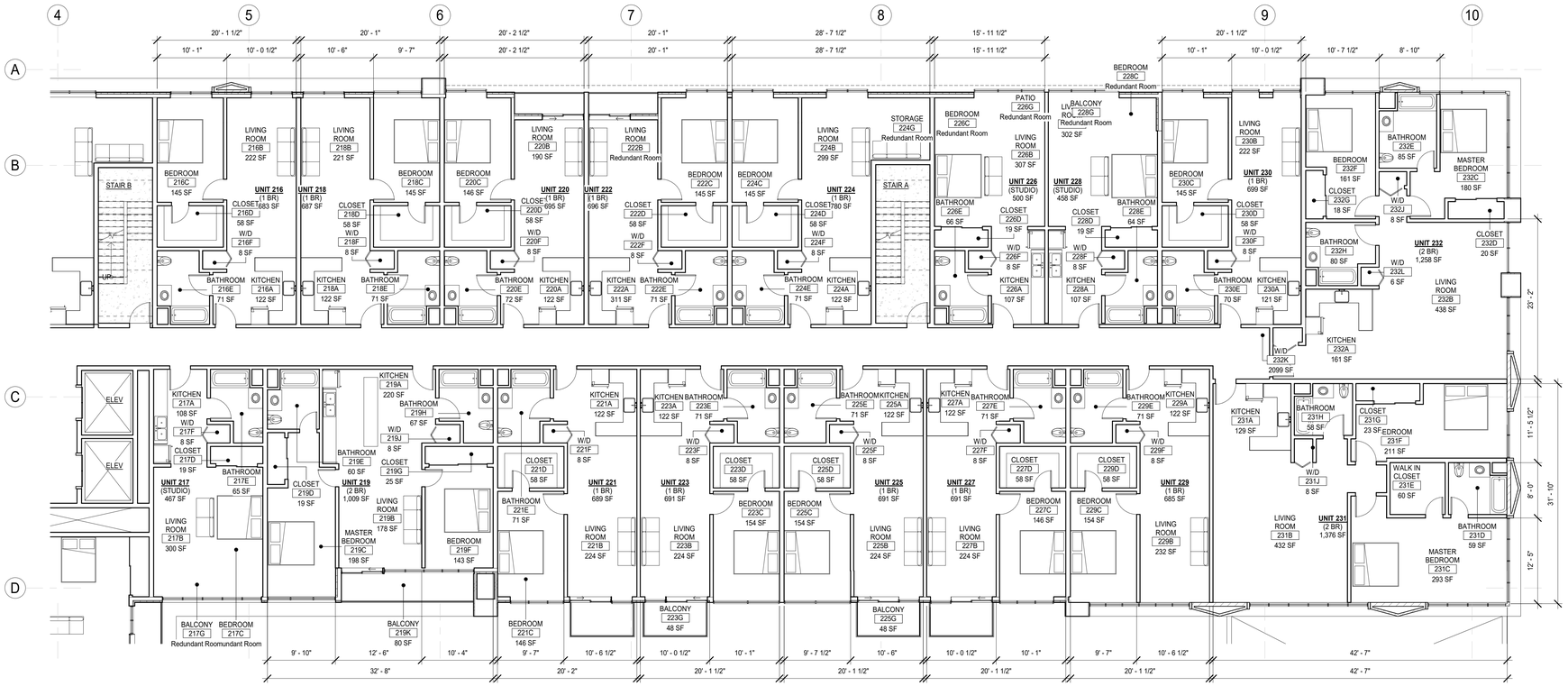
DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE: ENLARGED PLAN 2ND FLOOR - AREA A

SHEET NO: A603


FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:35:06 PM




## KEYNOTES

## KEYPLAN AREA B

## GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
3. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME BY JURISDICTION HAVING AUTHORITY.
4. IN NO CASE SHALL DIMENSIONS OR OBJECTS OF ANY KIND BE SCALED FROM ANY DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES OR CLARIFICATIONS TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH ANY RELATED WORK.
5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.
16. ALL LIGHTING TO BE SHIELDED TO ELIMINATE GLARE ONTO ADJACENT PROPERTIES PER BMC 10-1-2017 (H) (1) CARPORTS, GARAGES, PARKING AREAS, AND DRIVEWAYS SHALL CONTAIN SECURITY LIGHTING. PRIMARY PEDESTRIAN SAFETY PER BMC 10-1-2017 (G)(2)
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## LEGEND

| | | | |
|---|---|---|---|
| N.I.C. | NOT IN CONTRACT | ALIGN | ALIGN ELEMENTS |
| | EXISTING MILLWORK | RM NAME # | ROOM NAME AND NUMBER |
| | NEW MILLWORK | F.E.C. | FIRE EXTINGUISHER CABINET |
| | EXISTING PARTITION | | NEW PLUMBING FIXTURES |
| | EXISTING DOOR | | |
| C# | WALL TAG. REFER TO A800 | | |
| | NEW PARTITION PER PLAN | | |
| 7" MAX. 4" TYP. | NEW DOOR | | |
| 1001 | DOOR NUMBER. REFER TO A700 | | |
| ## | WINDOW TAG. REFER TO A700 | | |
| | NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE. | | |
| A | NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710 | | |

ENLARGED FLOOR PLAN 2ND FLOOR - AREA B

1/8" = 1'-0"

1


WOLCOTT ARCHITECTURE
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CONSULTANT:

CERTIFICATION:

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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

| NO. | DATE | DESCRIPTION |
|---|---|---|
| | 06.22.22 | PLANNING DEVELOPMENT STANDARDS SUBMITTAL |
| 1 | 10.01.22 | BURBANK PLANNING COMMENTS |
| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

CLIENT SIGNATURE:

SIGNATURE: DATE: -


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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:

ENLARGED PLAN 2ND FLOOR- AREA B

SHEET NO:

A604


FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
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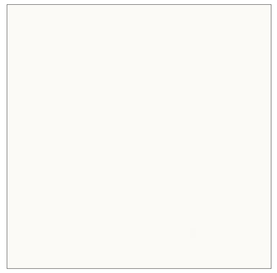
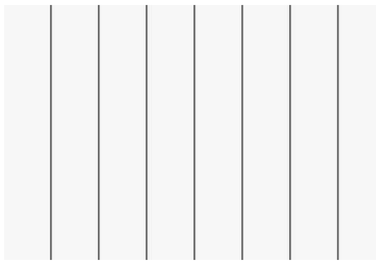


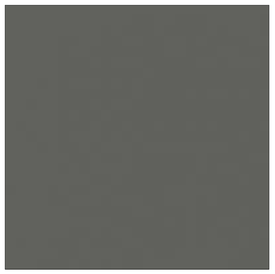
PT-1 (PAINT, EIFS) SCALE N.T.S. 4



MP-2 (FLAT-SEAM METAL PANEL TLC-1) SCALE N.T.S. 3

WD-1 (WOOD PANEL-TRESPA) SCALE N.T.S. 6

MP-1 (METAL PANEL) SCALE N.T.S. 2



PT-2 (PAINT, STEEL) SCALE N.T.S. 5

CN-1 (BOARD-FORMED CONCRETE) SCALE N.T.S. 1

## FINISH SCHEDULE

| FINISH NO. | DESCRIPTION | MANUFACTURER | SPECIFICATION | LOCATION | NOTES |
|---|---|---|---|---|---|
| CN-1 | CONCRETE | - | BOARD-FORMED CONCRETE | SEE FINISH ELEVATION | DAVIS COLORS, DARK GREY (CARBON) 8084 |
| MP-1 | METAL PANEL | ALUMABOARD | ALUMABOARD FW-10: CHARCOAL | SEE FINISH ELEVATION | - |
| MP-2 | METAL PANEL | METAL SALES | TLC-1, 22 GA. FLAT SEAM METAL PANEL | SEE FINISH ELEVATION | COLOR TO MATCH PT-1 |
| ST-1 | STEEL | - | STEEL BARSTOCK HANDRAIL | SEE FINISH ELEVATION | COLOR TO MATCH PT-2 |
| WD-1 | WOOD COMPOSITE PANEL | TRESPA | METEON-LOFT BROWN | SEE FINISH ELEVATION | - |
| WF-1 | WALL FINISH | EIFS | EIFS, PAINTED | SEE FINISH ELEVATION | PAINTED PT-1 |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PROJECT:

# BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

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| 2 | 06.22.2023 | PLANNING DEVELOPMENT STANDARDS RESUBMITTAL |

2

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: 1 1/2" = 1'-0"

SHEET SIZE: 30X42

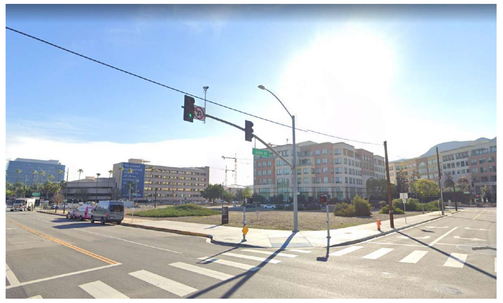
DRAWING TITLE:

SCHEDULE - FINISH AND FIXTURE

SHEET NO:

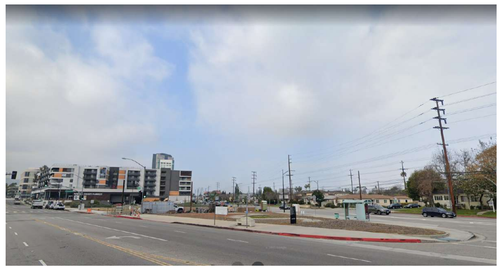
A710


FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:35:09 PM



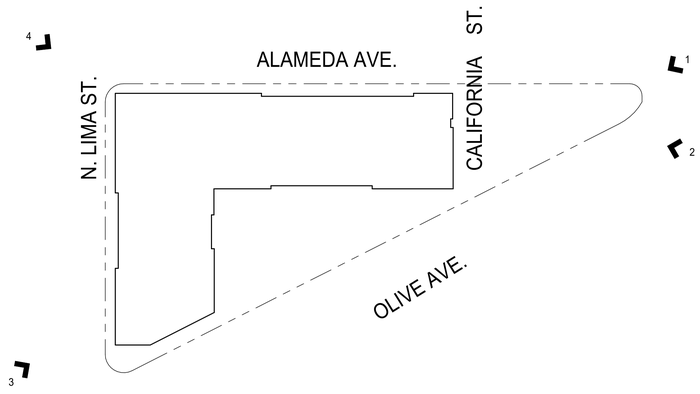
ALAMEDA & LIMA | SCALE 12" = 1'-0" | 4

OLIVE AND LIMA | SCALE 12" = 1'-0" | 3



OLIVE & ALAMEDA | SCALE 12" = 1'-0" | 2

ALAMEDA & OLIVE | SCALE 12" = 1'-0" | 1




KEYPLAN - VIEWS - PHOTOS | SCALE 1" = 50'-0" | 9

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:35:09 PM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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

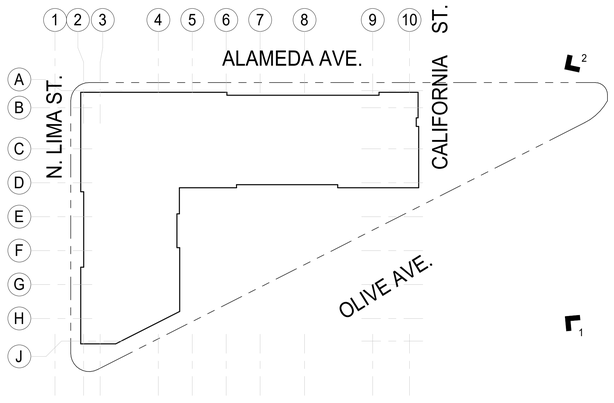
DRAWING TITLE:

SITE CONTEXT PHOTOS

SHEET NO: A900

2 BOB HOPE PARK SCALE N.T.S. 3

2 AERIAL RENDER SCALE N.T.S. 1




KEYPLAN - VIEWS SCALE N.T.S. 9

FILE NAME: Autodesk Docs://R22_BHC-Residential/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2023 2:35:10 PM

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DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:
VIEWS AND IMAGES

SHEET NO: A901 2

13 NORTHSIDE GARDEN

14 COMMUNAL SEATING AREA

15 CIRCULAR PLAZAS

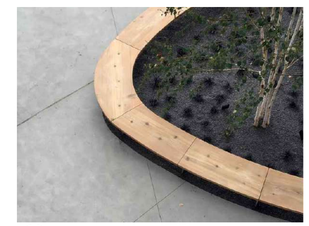
16 SEATING WITH FLAGSTONE STONE

17 SCULPTURE AREA

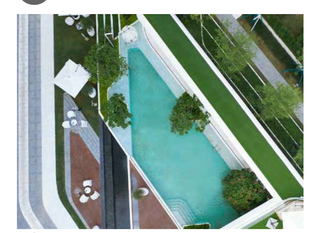
18 PARK ENTRY GARDEN

1 RESIDENTAIL ENTRANCE

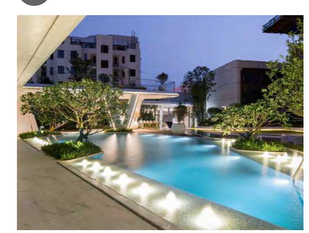
2 RAISED PLANTING AREA



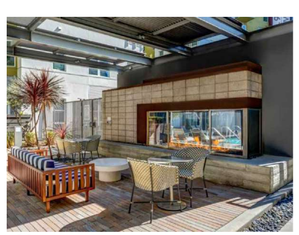
3 BANQUETTE SEATING



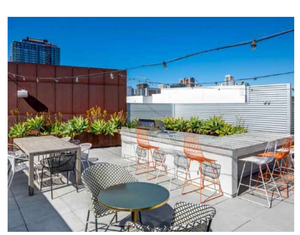
4 POOL



5 POOL WITH BAJA SHELF



12 FIREPLACE WITH SEATING AND DECK AREA



11 BUILT-IN BBQ AREA

10 POOL WOOD DECK WITH LOUNGE SEATING

9 LID PLANTER

8 ENTRY PLANTERS

7 POOL DECK LINEAR PAVERS

6 POOL ACCENT PLANTERS

1 OVERALL LANDSCAPE CONCEPT PLAN

SCALE: 1" = 20'-0"

Original sheet size: 24"x36"

glb landscape studio

Los Angeles, California

Project Name:

# The Bob Hope Center Residential Project

BURBANK CA

Revisions:

| No. | Description | Date |
|---|---|---|
| | PLANNING DEVELOPMENT STANDARDS SUBMITTAL | 06-22-2022 |

Sheet Title:

OVERALL LANDSCAPE CONCEPT PLAN

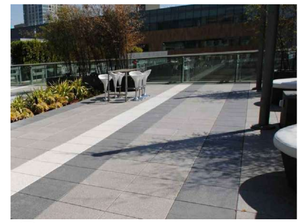
Date: 06-22-2022

Scale: AS NOTED

Sheet Number:

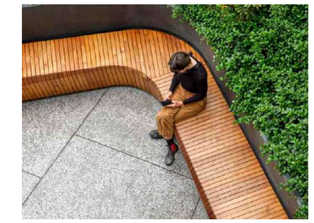
L1.0

1 CAST-IN-PLACE CONCRETE W/ LITHOCRETE FINISH

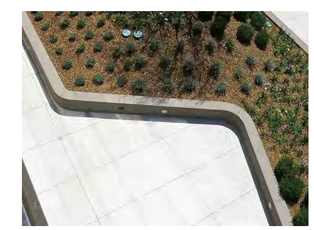


2 PORCELAIN PAVERS W/ HEX TRAY AND ADJUSTABLE PEDESTAL SYSTEM

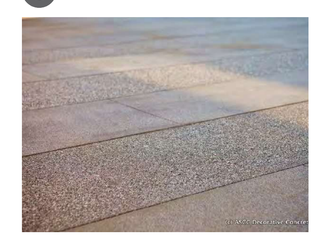
3 COMPOSITE OR HARDWOOD DECKING

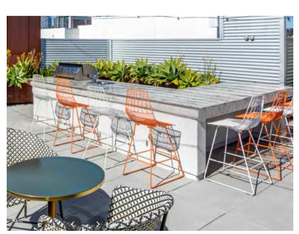


4 COMPOSITE OR HARDWOOD DECKING BENCH



5 CAST-IN-PLACE CONCRETE WALLS W/ LITHOCRETE FINISH

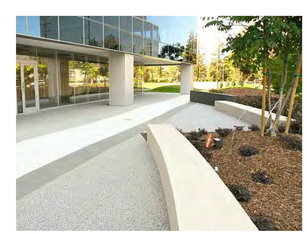




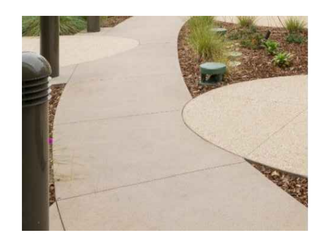
10 BUILT-IN BBQ COUNTER

9 BUILT-IN FIREPLACE

8 FLAGSTONE PAVING



7 CAST-IN-PLACE CONCRETE SEATWALLS W/ LITHOCRETE FINISH



6 CAST-IN-PLACE CONCRETE SIDEWALK W/ TOPCAST FINISH

1 HARDSCAPE CONCEPT PLAN

SCALE: 1" = 20'-0"

Original sheet size: 24"x36"

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Sheet Number:

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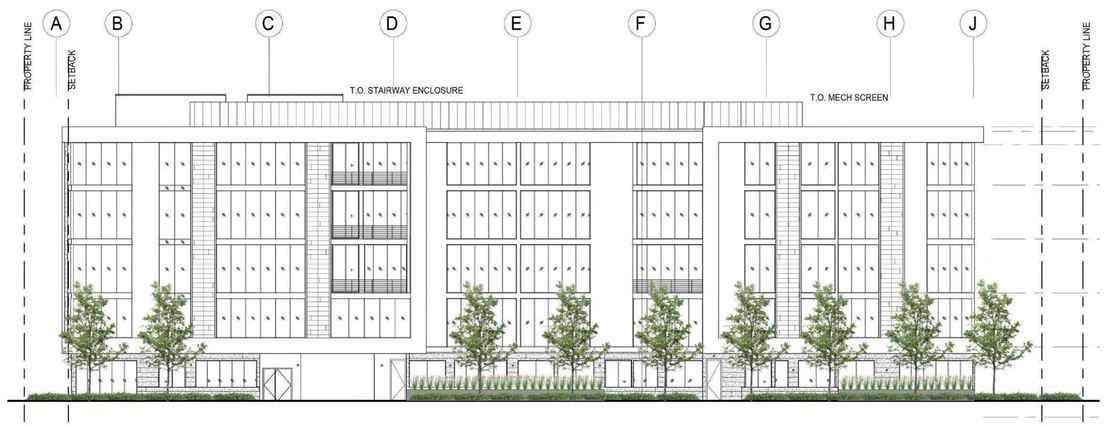
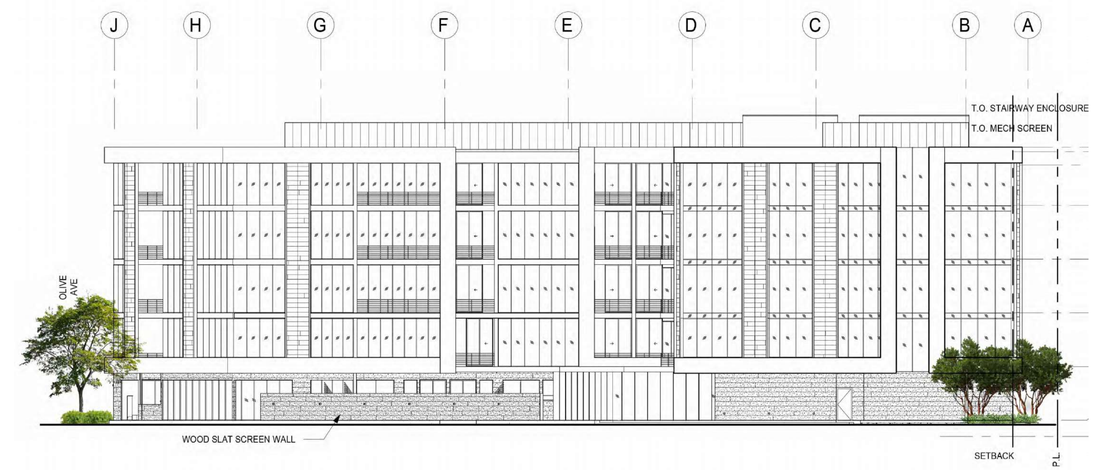


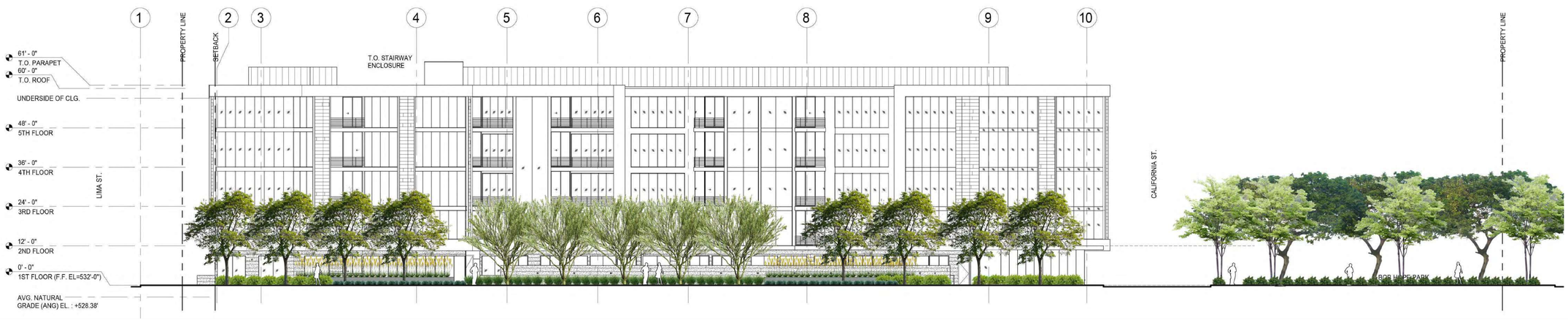

4 WEST ELEVATION - LIMA STREET

SCALE: 1/16" = 1'-0"



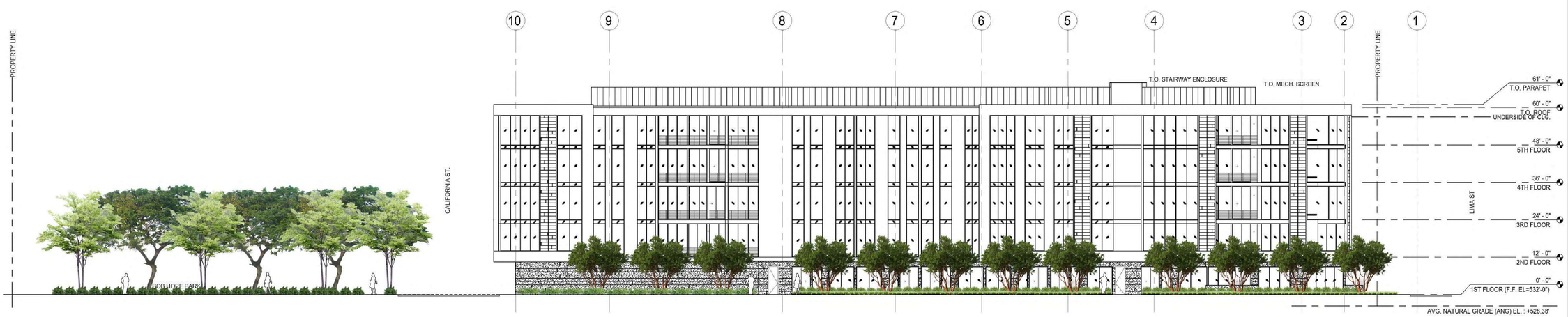

3 EAST ELEVATION - CALIFORNIA STREET

SCALE: 1/16" = 1'-0"




2 SOUTH ELEVATION - W. OLIVE AVENUE

SCALE: 1/16" = 1'-0"




1 NORTH ELEVATION - W. ALAMEDA AVENUE

SCALE: 1/16" = 1'-0"

Original sheet size: 24"x36"

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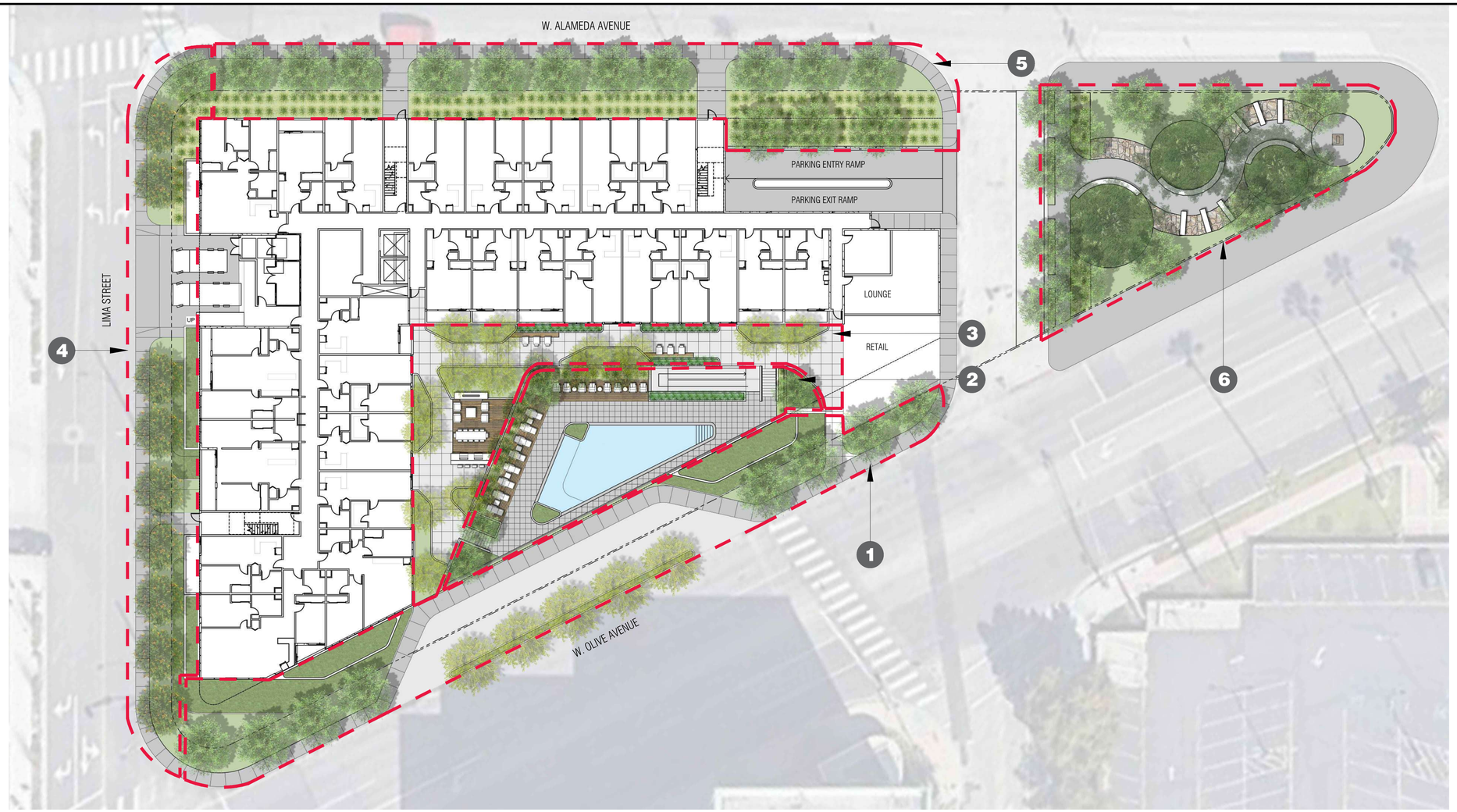
LANDSCAPE ELEVATIONS

Date: 06-22-2022

Scale: AS NOTED

Sheet Number:

L1.2




## 1 OLIVE AVENUE FRONTAGE

### TREE SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| OLEA EUROPAEA 'MUSONI' | FRUITLESS EUROPEAN OLIVE | 8 |
| CERCIDIUM 'DESERT MUSEUM' | DESERT MUSEUM PALO VERDE | 5 |
| PROSOPIS CHILENSIS | CHILEAN MESQUITE | |

### SHRUB SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| ACACIA COGNATA 'COUSIN ITT' | COUSIN ITT ACACIA | 47 |
| AEONIUM 'SUNBURST' | SUNBURST AOENIUM | 96 |
| ANIGOZANTHOS 'HARMONY' | RED-YELLOW KANGAROO PAW | 96 |
| BULBINE FRUTESCENS | STALKED BULBINE | 63 |
| CALANDRINIA SPECTABILIS | ROCK PURSLANE | 246 |
| COPROSMA KIRKII | KIRK'S COPROSMA | 37 |
| DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 246 |
| FESTUCA GLAUCA 'ELIJAH BLUE' | BLUE FESCUE GRASS | 878 |
| FURCRAEA FEOTIDA 'MEDIOPICTA' | NCN | 12 |
| HESPERALOE PARVIFLORA 'YELLOW' | YELLOW YUCCA | 68 |
| OLEA EUROPAEA 'MONTRA' | LITTLE OLLIE | 60 |
| PORTULICARIA AFRA 'VARIEGATA' | ELEPHANT BUSH | 24 |
| ROSMARINUS OFFICINIALIS 'PROSTRATATUS' | CREEPING ROSEMARY | |
| VERBENA LILACINA 'DE LA MINA' | PURPLE CEDROS ISLAND VERBENA | 63 |

## 2 POOL DECK

### TREE SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| BAUHINIA X BLAKEANA | HONG KONG ORCHID TREE | 3 |
| CASSIA LEPTOPHYLLA | GOLD MEDALLION TREE | 6 |

### SHRUB SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| ALOE 'HERCULES' | HERCULES ALOE | 2 |
| ALPINIA ZERUMBET 'VARIEGATA' | VARIEGATED SHELL GINGER | 22 |
| ASPARAGUS DENSIFLORUS 'MYERSII' | FOXTAIL FERN | 14 |
| LOMANDRA CONFERTIFOLIA 'SHORTY' | DWARF MAT RUSH | 136 |
| LOTUS BERTHELOTII | PARROT'S BEAK | 18 |
| TRADESCANTIA SPATHACEA | MOSES IN THE CRADLE | 37 |
| ZAMIA FURFURACEA | SAGO CYCAS | 92 |

## 3 RESIDENTIAL DECK

### TREE SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| KOELREUTERIA BIPINNATA | CHINESE FLAME TREE | 14 |

### SHRUB SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| ABELIA GRANDIFLORA 'RADIANCE' | RADIANCE ABELIA | 86 |
| BOUGAINVILLEA 'LA JOLLA' | NCN | 21 |
| LANTANA CAMARA 'SPREADING SUNSET' | SPREADING SUNSET LANTANA | |
| LOTUS BERTHELOTII | PARROT'S BEAK | 85 |
| NANDINA DOMESTICA 'LEMON LIME' | HEAVENLY BAMBOO | 53 |
| PITTOSPORUM CRASSIFOLIUM 'NANA' | DWARF KARO | 36 |
| POLYGALA FRUTICOSA 'PETITE BUTTERFLIES' | SWEET PEA SHRUB | |

## 4 LIMA STREET FRONTAGE AND LID PLANTER

### TREE SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| MAYTENUS BOARIA | MAYTEN TREE | 9 |
| PYRUS CALLERYANA 'BRADFORD' | BRADFORD PEAR | |

### SHRUB SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| ACHILLEA 'MOON SHINE' | YARROW | 181 |
| ALOGYNE HUEGLII | BLUE HIBISCUS | 12 |
| BACCHARIS PILULARIS 'PIGEON POINT' | DWARF COYOTE BRUSH | 18 |
| CHONDROPETALUM TECTORUM | SMALL CAPE RUSH | 45 |
| LEYMUS CONDENSATUS 'CANYON PRINCE' | CANYON PRINCE WILD RYE | 45 |
| LOMANDRA HYSTRIX 'TROPIC BELLE' | TROPIC BELLE MAT RUSH | 79 |
| ZEPHRANTHUS CANDIDA | RAIN LILY | 181 |

## 5 ALAMEDA AVENUE NORTH SIDE PLANTING

### TREE SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| ARBUTUS 'MARINA' | STRAWBERRY TREE | 6 |
| RHUS LANCEA | AFRICAN SUMAC | 11 |

### SHRUB SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| CAREX DIVULSA | EUROPEAN GREY SEDGE | 1,230 |
| CARISSA MACROCARPA 'GREEN CARPET' | NATAL PLUM | 75 |
| DIETES VEGETA 'VARIEGATA' | VARIEGATED FORTNIGHT LILY | 310 |
| MUHLENBERGIA LINDHEIMERI | LINDHEIMER'S MUHLY | 128 |
| PENNISETUM SPATHIOLATUM | SLENDER VELDT GRASS | 1,230 |
| WESTRINGIA FRUTICOSA 'MORNING LIGHT' | COAST ROSEMARY | 128 |

## 6 BOB HOPE PARK

### TREE SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| CINNAMOMUM CAMPHORA | CAMPHOR TREE | 2 |
| TIPUANA TIPU | TIPU TREE | |
| SPATHODEA CAMPANULATA | AFRICAN TULIP TREE | 6 |

### SHRUB SCHEDULE

| DESCRIPTION/BOTANICAL NAME | COMMON NAME | QTY |
|---|---|---|
| COREOPSIS LANCEOLATA 'EARLY SUNRISE' | DOUBLE FLOWERED YELLOW TICKSEED | 180 |
| DIETES BICOLOR | FORTNIGHT LILY | 72 |
| LOMANDRA 'PLATINUM BEAUTY' | PLATINUM BEAUTY MAT RUSH | |
| HEBE 'GIBBY' | GIBBY HEBE | 45 |
| OLEA EUROPAEA 'MONTRA' | LITTLE OLLIE | |
| FESTUCA RUBRA 'MOLATE' | CREEPING RED FESCUE GRASS | 1,816 S.F. FLATS |

1 CONCEPTUAL PLANTING PLAN

SCALE: 1" = 20'-0"

Original sheet size: 24"x36"

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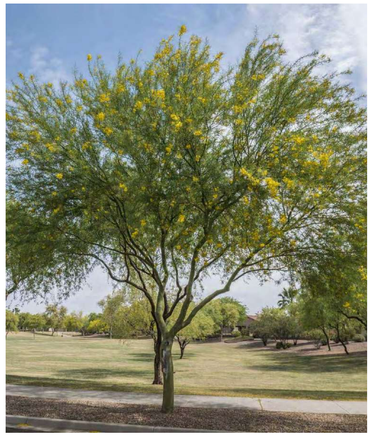
## 1 OLIVE AVENUE FRONTAGE


CERCIDIUM 'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE

OLEA EUROPAEA 'WILSONII'
FRUITLESS EUROPEAN OLIVE

PROSOPIS CHILENSIS
THORNLESS CHILEAN MESQUITE

ACACIA COGNATA 'COUSIN ITT'
COUSIN ITT ACACIA

AEONIUM 'SUNBURST'
SUNBURST AOENIUM

ANIGOZANTHOS 'HARMONY'
RED-YELLOW KANGAROO PAW

BULBINE FRUTESCENS
STALKED BULBINE

CALANDRINIA SPECTABILIS
ROCK PURSLANE

COPROSMA KIRKII
KIRK'S COPROSMA

DIANELLA REVOLUTA 'LITTLE REV'
LITTLE REV FLAX LILY

FESTUCA GLAUCA 'ELIJAH BLUE'
BLUE FESCUE GRASS

## 1 OLIVE AVE CONTINUED

FURCRAEA FOETIDA 'MEDIOPICTA'
NCN

HESPERALOE PARVIFLORA 'YELLOW'
YELLOW YUCCA

OLEA EUROPAEA 'MONTRA'
LITTLE OLLIE

PORTULICARIA AFRA 'VARIEGATA'
ELEPHANT BUSH

ROSMARINUS OFFICINALIS 'PROSTRATUS'
CREEPING ROSEMARY

VERBENA LILACINA 'DE LA MINA'
PURPLE CEDROS ISLAND VERBENA

## 2 POOL DECK

BAUHINIA X BLAKEANA
HONG KONG ORCHID TREE

CASSIA LEPTOPHYLLA
GOLD MEDALLION TREE

ALOE 'HERCULES'
HERCULES ALOE

ALPINIA ZERUMBET 'VARIEGATA'
VARIEGATED SHELL GINGER

ASPARAGUS DENSIFLORUS 'MYERSII'
FOXTAIL FERN

LOMANDRA CONFERTIFOLIA 'SHORTY'
DWARF MAT RUSH

LOTUS BERTHELOTII
PARROT'S BEAK

TRADESCANTIA SPATHACEA
MOSES IN THE CRADLE

ZAMIA FURFURACEA
SAGO CYCAS

## 3 RESIDENTIAL DECK

KOELREUTERIA BIPINNATA
CHINESE FLAME TREE

ABELIA GRANDIFLORA 'RADIANCE'
RADIANCE ABELIA

BOUGAINVILLEA 'LA JOLLA'
NCN

LANTANA CAMARA 'SPREADING SUNSET
SPREADING SUNSET LANTANA

LOTUS BERTHELOTII
PARROT'S BEAK

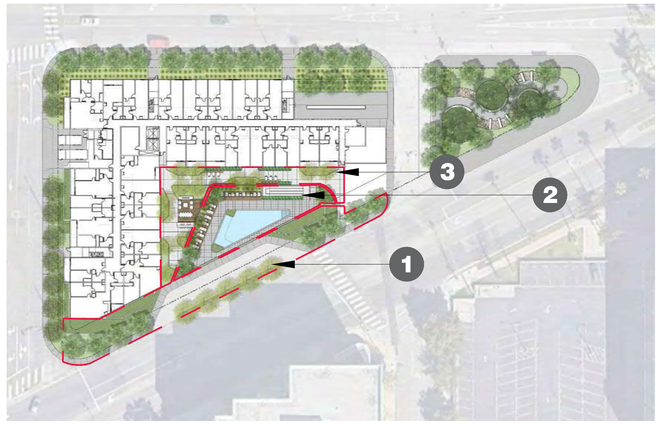
NANDINA DOMESTICA 'LEMON LIME'
HEAVENLY BAMBOO

PITTOSPORUM CRASSIFOLIUM 'NANA'
DWARF KARO

POLYGALA FRUTICOSA 'PETITE BUTTERFLIES'
SWEET PEA SHRUB

RHAPHIOLEPIS UMBELLATA 'MINOR'
DWARF YEDDO HAWTHORN

## KEY MAP




1 PLANT IMAGES

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## 4 LIMA STREET FRONTAGE AND LID PLANTERS

MAYTENUS BOARIA
MAYTEN TREE

PYRUS CALLERYANA 'BRADFORD'
BRADFORD PEAR

ACHILLEA 'MOON SHINE'
YARROW

ALOGYNE HUEGLII
BLUE HIBISCUS

BACCHARIS PILULARIS 'PIGEON POINT'
DWARF COYOTE BRUSH

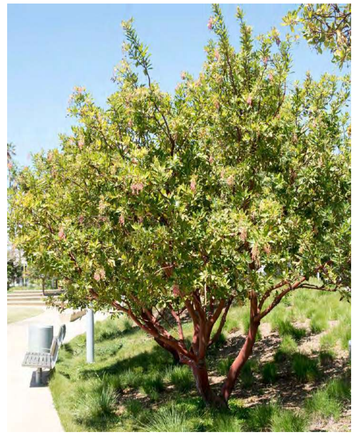
CHONDROPETALUM TECTORUM
SMALL CAPE RUSH

LEYMUS CONDENSATUS 'CANYON PRINCE'
CANYON PRINCE WILD RYE

LOMANDRA HYSTRIX 'TROPIC BELLE'
TOPIC BELLE MAT RUSH

ZEPHRANTHUS CANDIDA
RAIN LILY

## 5 ALAMEDA AVE NORTH SIDE


ARBUTUS 'MARINA'
STRAWBERRY TREE

RHUS LANCEA
AFRICAN SUMAC

## 5 ALAMEDA AVENUE CONTINUED

CAREX DIVULSA
EUROPEAN GREY SEDGE

CARISSA MACROCARPA 'GREEN CARPET'
NATAL PLUM

DIETES VEGETA 'VARIEGATA'
VARIEGATED FORTNIGHT LILY

MUHLENBERGIA LINDHEIMERI
LINDHEIMER'S MUHLY

PENNISETUM SPATHIOLATUM
SLENDER VELDT GRASS

WESTRINGIA FRUTICOSA 'MORNING LIGHT'
COAST ROSEMARY

## 6 BOB HOPE PARK

CINNAMOMUM CAMPHORA
CAMPHOR TREE

SPATHODEA CAMPANULATA
AFRICAN TULIP TREE

TIPUANA TIPU
TIPU TREE

## 6 BOB HOPE PARK, CONTINUED

COREOPSIS LANCEOLATA 'EARLY SUNRISE'
DOUBLE FLOWERED YELLOW TICKSEED

DIETES BICOLOR
FORTNIGHT LILY

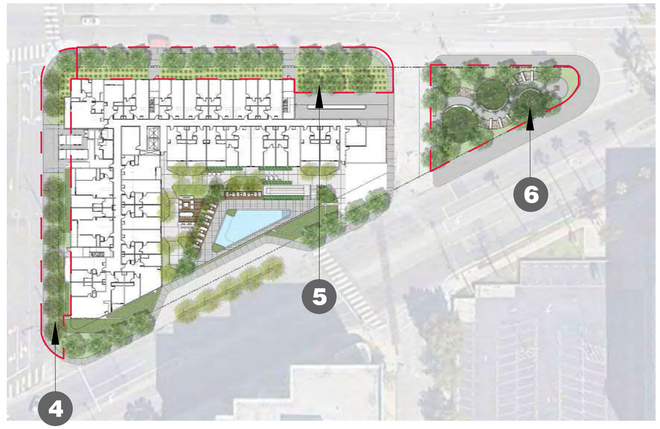
FESTUCA RUBRA 'MOLATE'
CREEPING RED FESCUE GRASS

HEBE 'GIBBY'
GIBBY HEBE

OLEA EUROPAEA 'MONTRA'
LITTLE OLLIE

LOMANDRA 'PLATINUM BEAUTY'
PLATINUM BEAUTY MAT RUSH

## KEY MAP

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