



**MARIPOSA AND VALLEYHEART**  
 BURBANK, CALIFORNIA

BUILDER/DEVELOPER:  
**Butterfly Gardens LLC**  
 1812 W. BURBANK BLVD.  
 SUITE 7350  
 BURBANK, CA 91506

ARCHITECT:  
**KTGY GROUP, INC**  
 17911 VON KARMAN AVE  
 SUITE 200  
 IRVINE, CA 92614

CIVIL:  
**KHR ASSOCIATES**  
 17530 VON KARMAN AVE  
 SUITE 200  
 IRVINE, CA 92614

LANDSCAPE:  
**STUDIO PAD, INC**  
 23282 MILL CREEK DRIVE  
 SUITE 200  
 LAGUNA HILLS, CA 92653

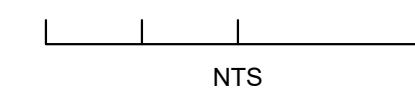


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 1812 W. Burbank Blvd, Su. 7350  
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Plot Date: 6/16/2023  
 3rd Planning Submittal: 06/16/2023



TITLE SHEET

A0.0

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HYDROLOGY AND LID REPORTS  
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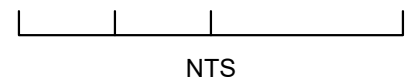
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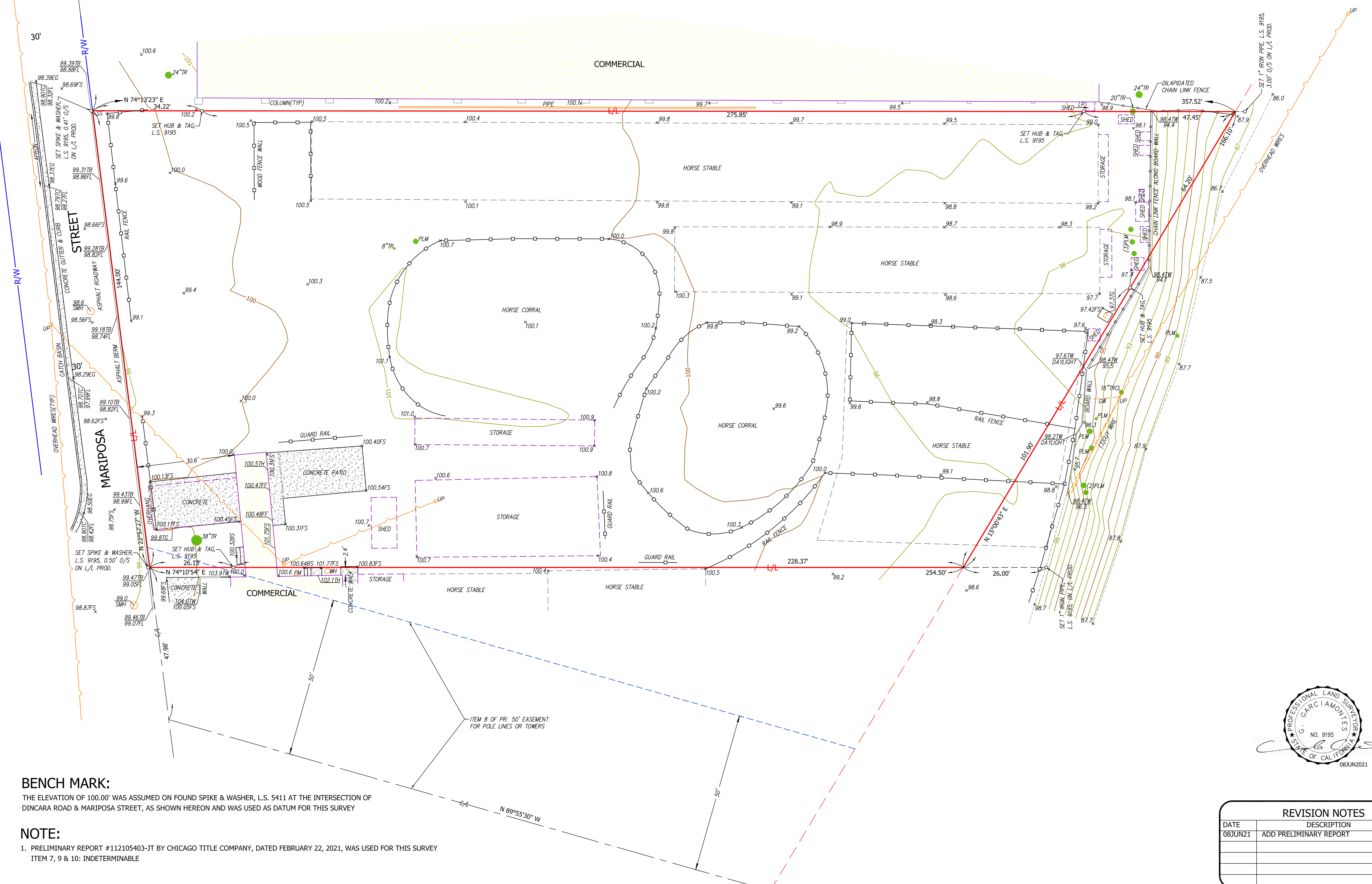
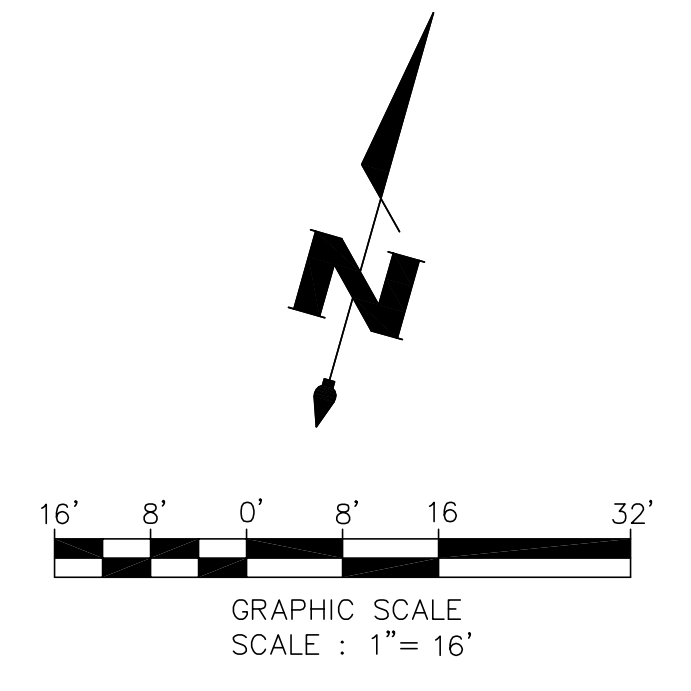
SHEET INDEX

A0.1



FOUND SPIKE & WASHER, L.S. 5411  
ASSUMED BM: 100.00'

DINCARA ROAD



**ABBREVIATIONS:**

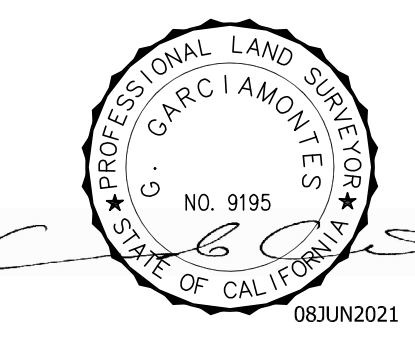
- BM BENCH MARK
- BS BOTTOM OF STEP
- C/L CENTERLINE
- EG EDGE OF GUTTER
- FF FINISHED FLOOR
- FL FLOWLINE
- FS FINISHED SURFACE
- GW GUY WIRE
- L/L LOT LINE
- LP LIGHT POLE
- O/S OFFSET
- PLM PALM TREE
- PM POWER METER
- PR PRELIMINARY REPORT
- R/W RIGHT OF WAY
- SMH SEWER MANHOLE
- SS STREET SIGN
- TB TOP OF BERM
- TC TOP OF CURB
- TG TOP OF GRATE
- TH THRESHOLD
- TR TREE
- TRCL TREE CLUSTER
- TS TOP OF STEP
- TW TOP OF WALL
- TYP TYPICAL
- UP UTILITY POLE
- WH WATER HEATER

**BENCH MARK:**

THE ELEVATION OF 100.00' WAS ASSUMED ON FOUND SPIKE & WASHER, L.S. 5411 AT THE INTERSECTION OF DINCARA ROAD & MARIPOSA STREET, AS SHOWN HEREON AND WAS USED AS DATUM FOR THIS SURVEY

**NOTE:**

1. PRELIMINARY REPORT #112105403-JT BY CHICAGO TITLE COMPANY, DATED FEBRUARY 22, 2021, WAS USED FOR THIS SURVEY
- ITEM 7, 9 & 10: INDETERMINABLE



REVISION NOTES		
DATE	DESCRIPTION	BY
08JUN21	ADD PRELIMINARY REPORT	SGM

PREPARED BY:  
**GMON Surveying, Inc.**  
Gerardo Garciamontes, PLS 9195  
200 N. San Fernando Road #318, Los Angeles CA 90031  
Office: 323.336.6725 | 818.478.2017  
gmonsurveying.com

PREPARED FOR:  
**Garen Gozumian**  
(818) 590-9559

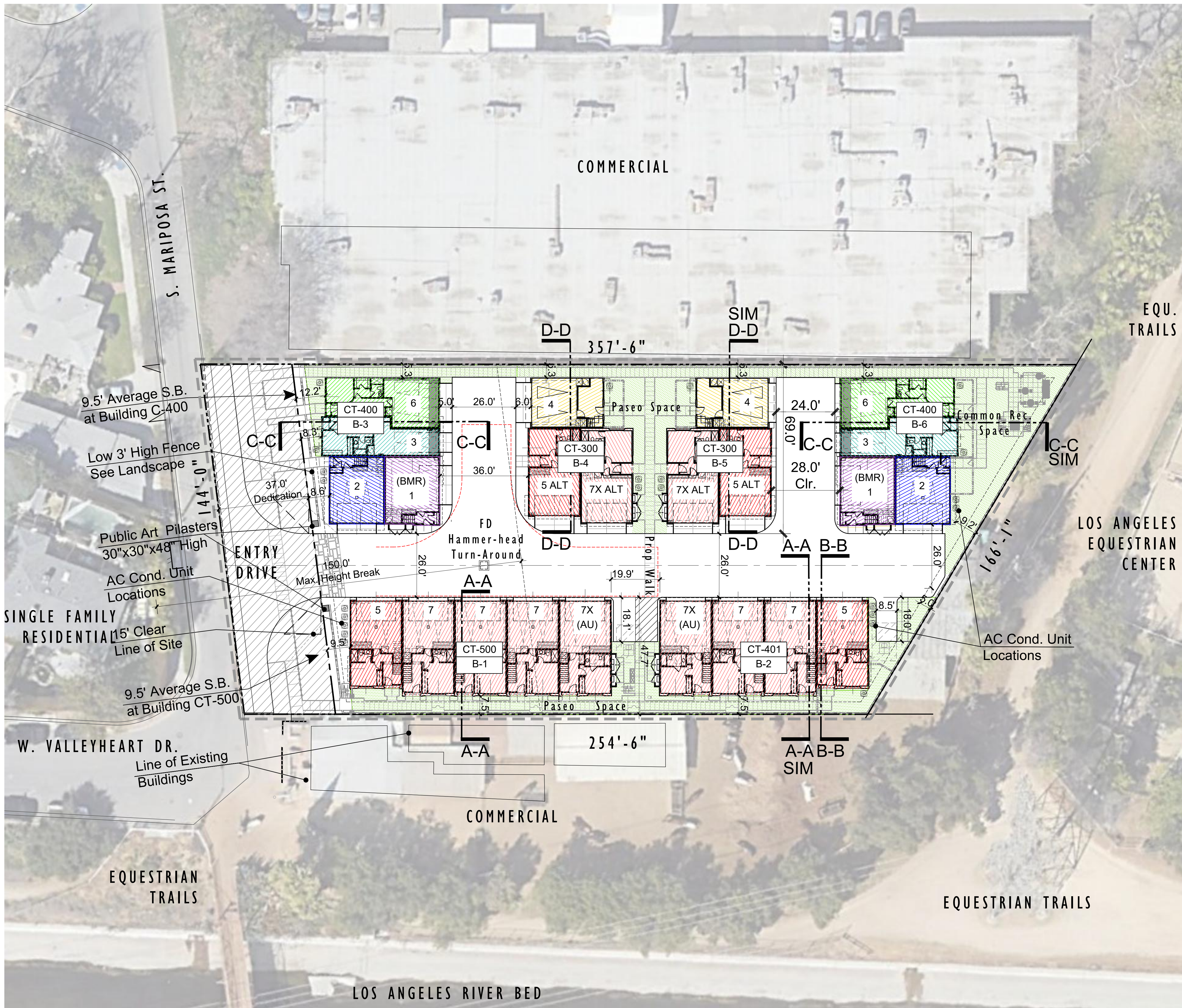
**TOPOGRAPHY & BOUNDARY SURVEY**  
Portion of Block 69, Subdivision of Rancho Providencia  
and Scott Tract, M.R. 43, Pgs. 47-59  
910 S Mariposa Street  
Burbank, CA 91506

SITE AREA:  
43,690 SQ.FT.

JOB NO. 21-1486  
SCALE: 1" = 16'  
DATE: MAY 2021  
DRAFTED: BG

SHEET NO.  
**1**  
OF 1 SHEET





**SITE INFORMATION**

Address: Mariposa and Valleyheart  
 Site Area: +1.0 ac (Gross)  
 City: Burbank  
 County: Los Angeles County  
 Existing Zone: M-1 Limited Industrial  
 Occupancy Type: R3  
 General Plan: Rancho Commercial  
 Fire Code: California Fire Code  
 Construction Type/ Fire Rating: V-B  
 Fire Sprinkler Type: NFPA 13-D

(M-1) Front Setback: 5' or 20% bldg height whichever greater

**Site Plan Summary**

Site Area: +1.0 ac (Gross)  
 Gross Density: 23 du/ac  
 Mariposa St Dedication: +0.12 ac  
 Net Area: +0.88 ac  
 Units: 23 du  
 FAR: 0.99  
 Lot Coverage: 35.09%

**Units (Gross Areas)**

P 1	(1,329sf - 3bd/2.5ba) - 61sf Deck	2 du (2,658sf)
P 2	(1,437sf - 3bd/2.5ba) - 71sf Deck	2 du (2,874sf)
P 3	(1,602sf - 3bd/3.5ba)* - 82sf Deck	2 du (3,204sf)
P 4	(1,427sf - 2bd/2.5ba) - 76sf Deck	2 du (2,854sf)
P 5	(1,805sf - 3bd/3.5ba)	2 du (3,610sf)
P 5ALT	(1,896sf - 3bd/3.5ba)*	2 du (3,792sf)
P 6	(1,984sf - 3bd/3.5ba)* - 86sf Deck	2 du (3,968sf)
P 7	(1,997sf - 4bd/3.5ba)* - 68sf Deck	5 du (9,985sf)
P 7X	(1,961sf - 4bd/3.5ba) - 68sf Deck	2 du (3,922sf)
P 7XALT	(2,030sf - 4bd/3.5ba)* - 64sf Deck	2 du (4,060sf)
<b>Total</b>		<b>23 du (40,927sf)</b> (Avg. - 1,779sf/Unit)

\* Roof Deck

(AU) - Accessible Unit at Plan 7X (2 Units, 17 Units x 10% = 2)  
 (BMR) - Below Market Rate

Required Parking: 1 Space/Unit (Per Section 65913.4.(d)(2))

Parking Provided	
Garage	44 spaces
Open Parking	2 spaces
<b>Total</b>	<b>46 spaces (2.0 spaces/du)</b>

**OPEN SPACE**

For Open Space and Landscape Areas refer to Landscape Sheet L-6

**AVERAGE SETBACK CALCULATION**

(Min. Average = 42.75' Bldg.Ht. x 20% = 8.55')

CT-400 (B-3)  
 $(P6 - 16.16'w \times 12.2') + (P3 - 16'w \times 8.3') + (P1 - 27.83'w \times 8.6') / 60' = 9.49 [9.5']$

CT-500 (B-1)  
 $(37' \times 9.5') / 37' = 9.5' [9.5']$

(For SB-35 Submittal)

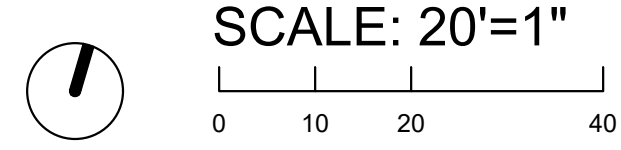


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SITE PLAN

A1.0





CT-500

CT-401

CONCEPTUAL FRONT ELEVATION

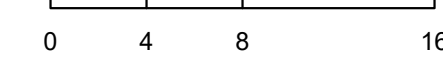


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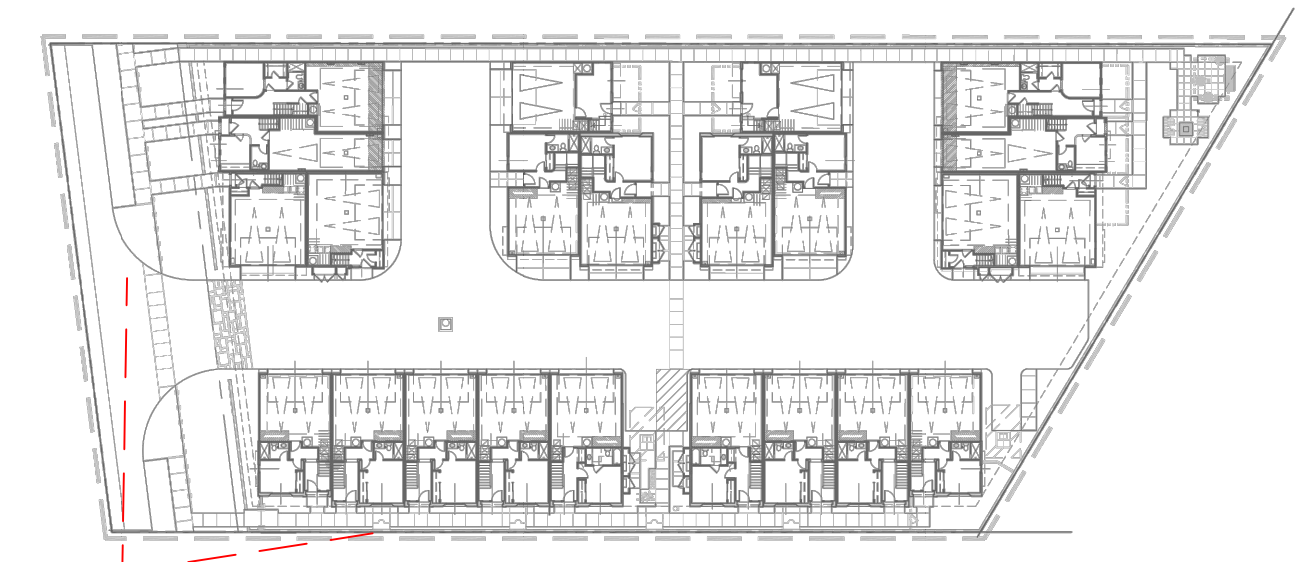
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CONCEPTUAL FRONT STREET ELEVATION

A1.1





VIEW 01

VICINITY MAP

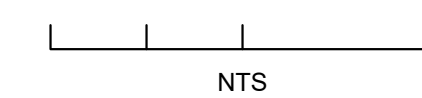


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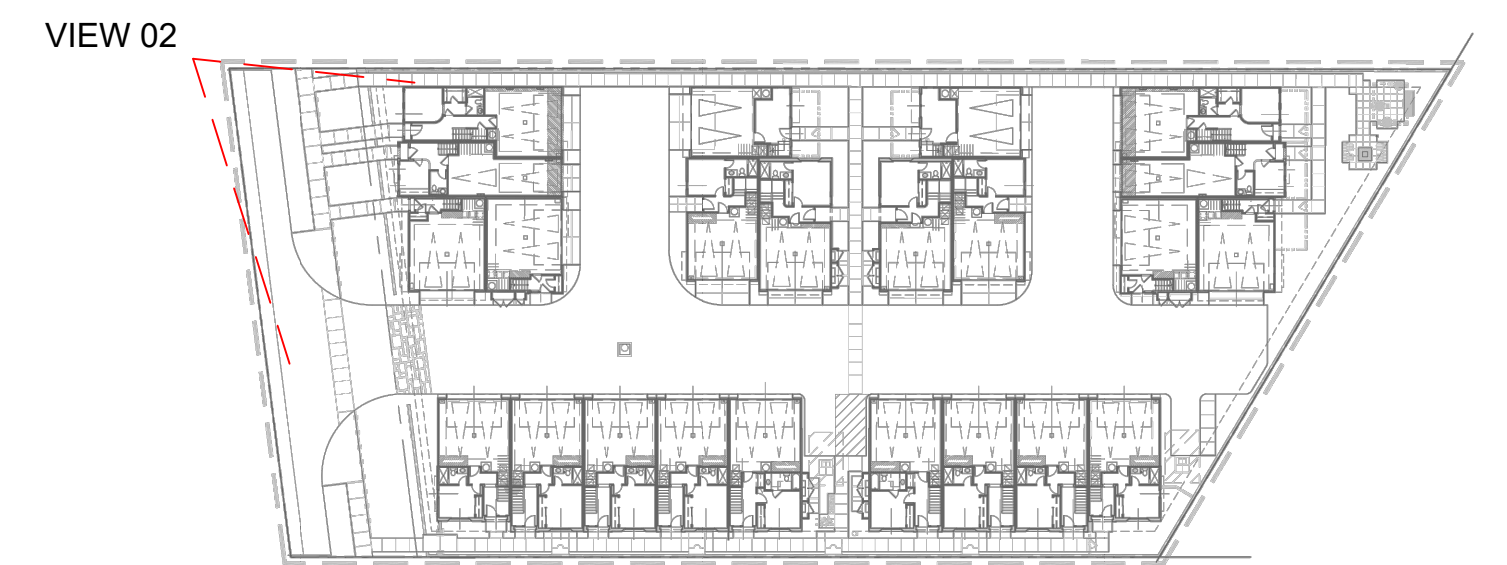
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CONCEPTUAL RENDERING  
 VIEW 1

A1.2





VICINITY MAP

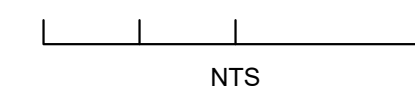


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CONCEPTUAL RENDERING  
 VIEW 2

A1.3



- LEGEND**
- 1 Stucco, 16/20 Sand Finish
  - 2 Concrete 'S' Tiles
  - 3 Gable End Faux Decorative Vent (Recesses)
  - 4 Recessed 1" Stucco /Simulated Wood Header Trim
  - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
  - 6 Stucco Recess/Reveal
  - 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
  - 8 Decorative Stucco Eave
  - 9 Recess Faux Wood Panel Insert
  - 10 Decorative Scalloped Stucco Sill Trim
  - 11 Decorative Simulated Wood Corbel
  - 12 Decorative Canvas/Metal Spear Awning
  - 13 Fiberglass Decorative Front Door
  - 14 Vinyl Windows
  - 15 Fiber Cement Trim at Bay Window
  - 16 Fiber Cement Bd. Panel
  - 17 Stucco Arch
  - 18 Low Stucco Barranca w/ Concrete Tile Cap
  - 19 Decorative Shutters
  - 20 Decorative Stucco Chimney/Stucco Finial
  - 21 Decorative Tube and Wood Plank Pot Holder
  - 22 Decorative Stucco Corbel
  - 23 Accent Battered Ceramic Tile Surround
  - 24 Metal Decorative Sectional Garage Door
  - 25 Decorative Exterior Lights & Address
  - 26 Metal Utility Door
  - 27 Metal Juliet Railing/Guard Rail
  - 28 Decorative HD Stucco/Foam Surround



P4 RIGHT

23



P4 PSALT REAR

24

25



PSALT P7XALT LEFT

21

22

12



P7XALT P4 FRONT

26

15

11

16

13

28

27

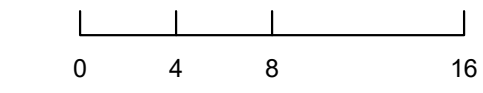


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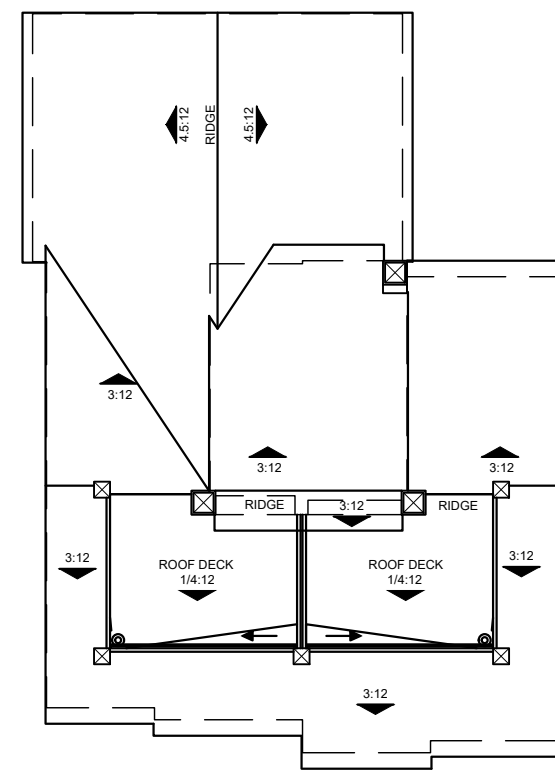
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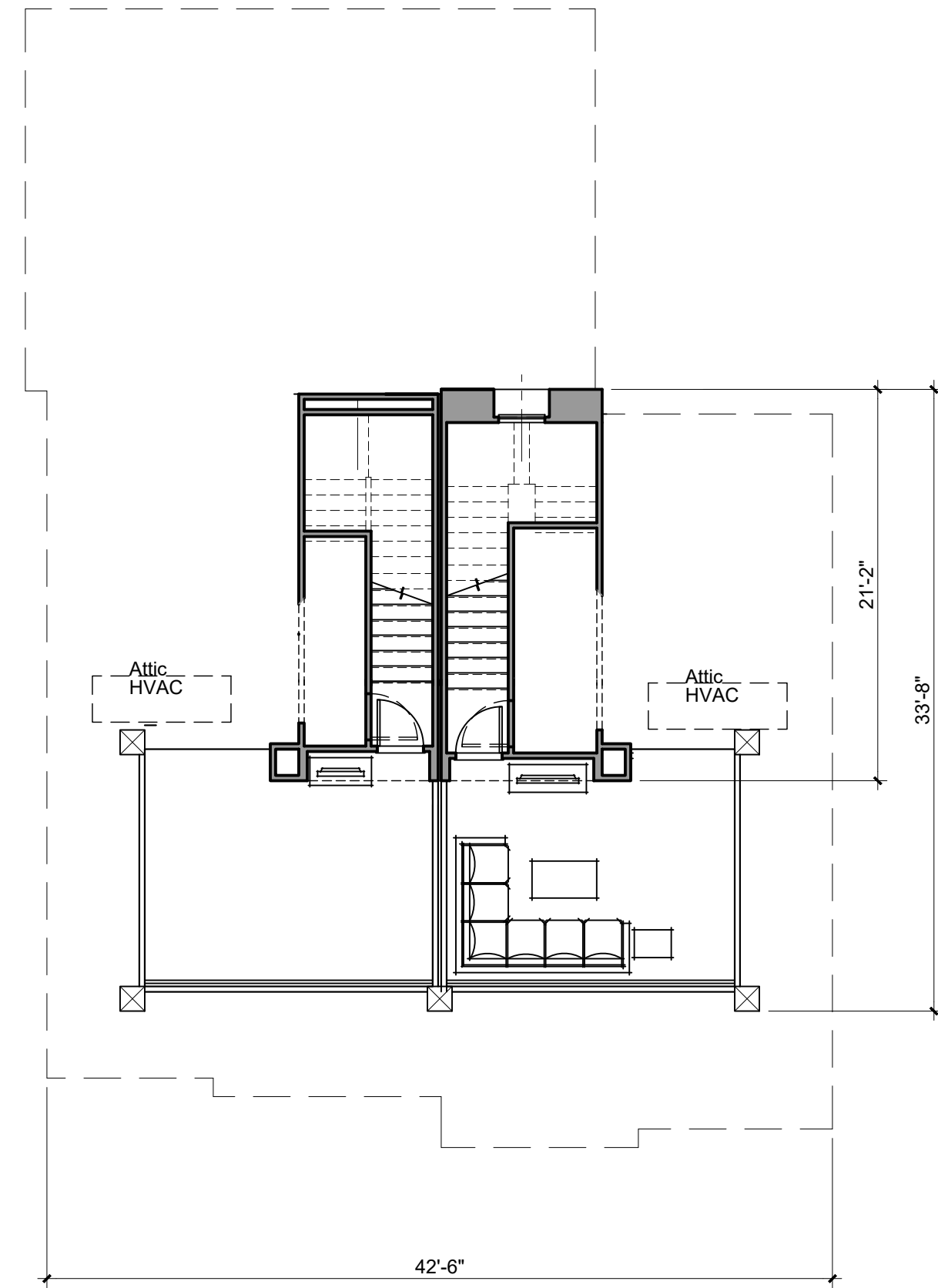
CT-300 (3-PLEX)  
ELEVATIONS

A2.0

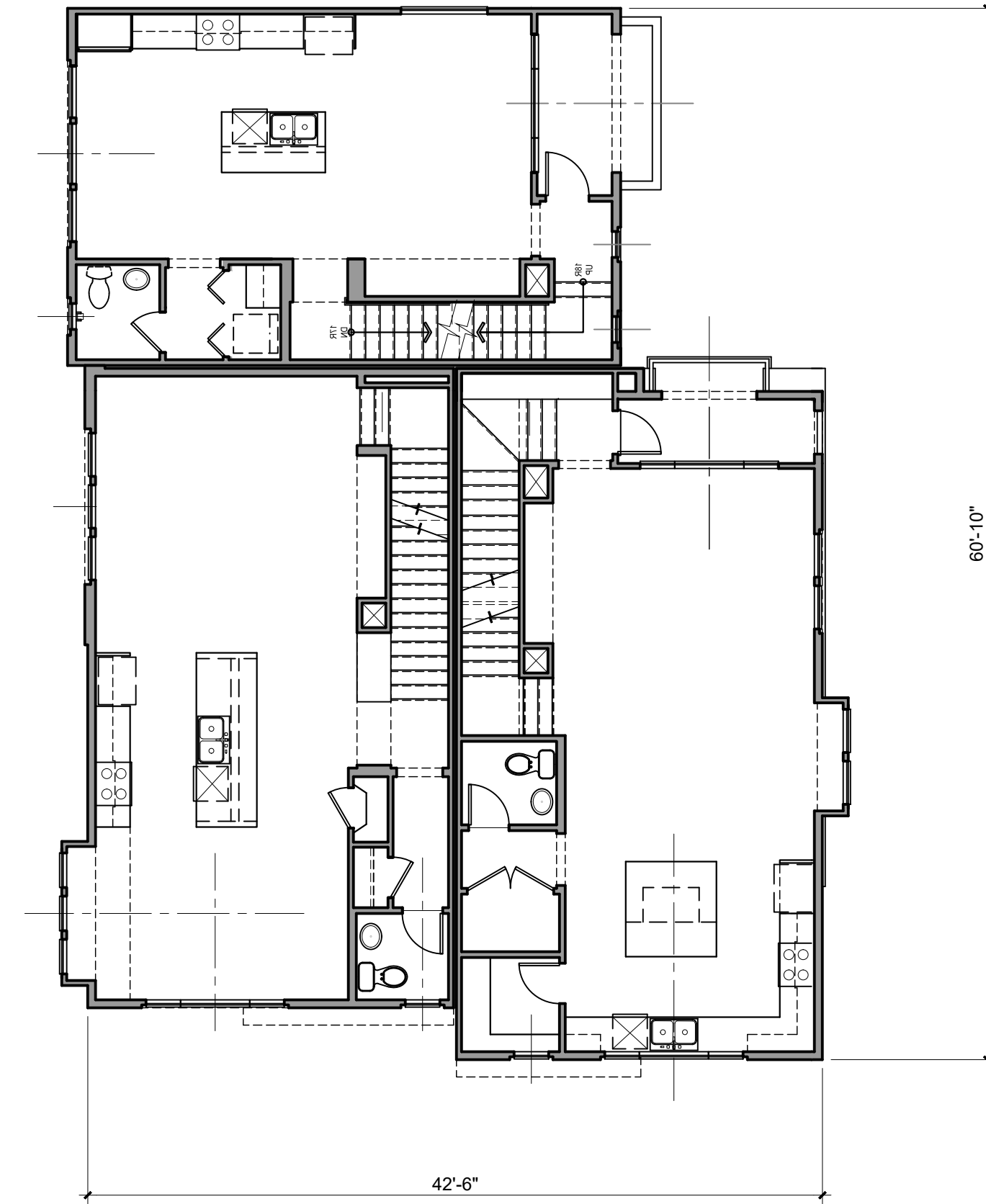




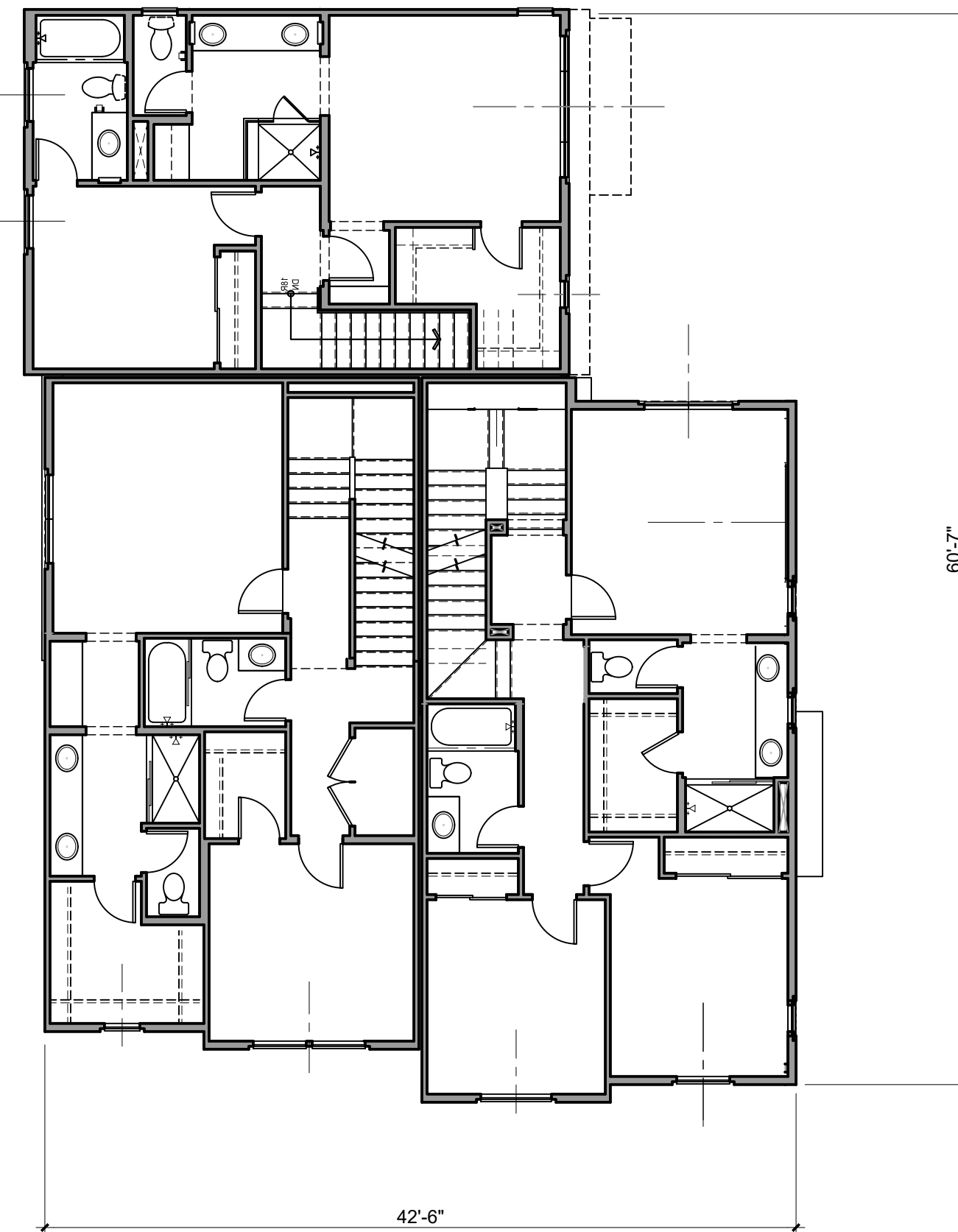
ROOF (1/16" = 1'-0")



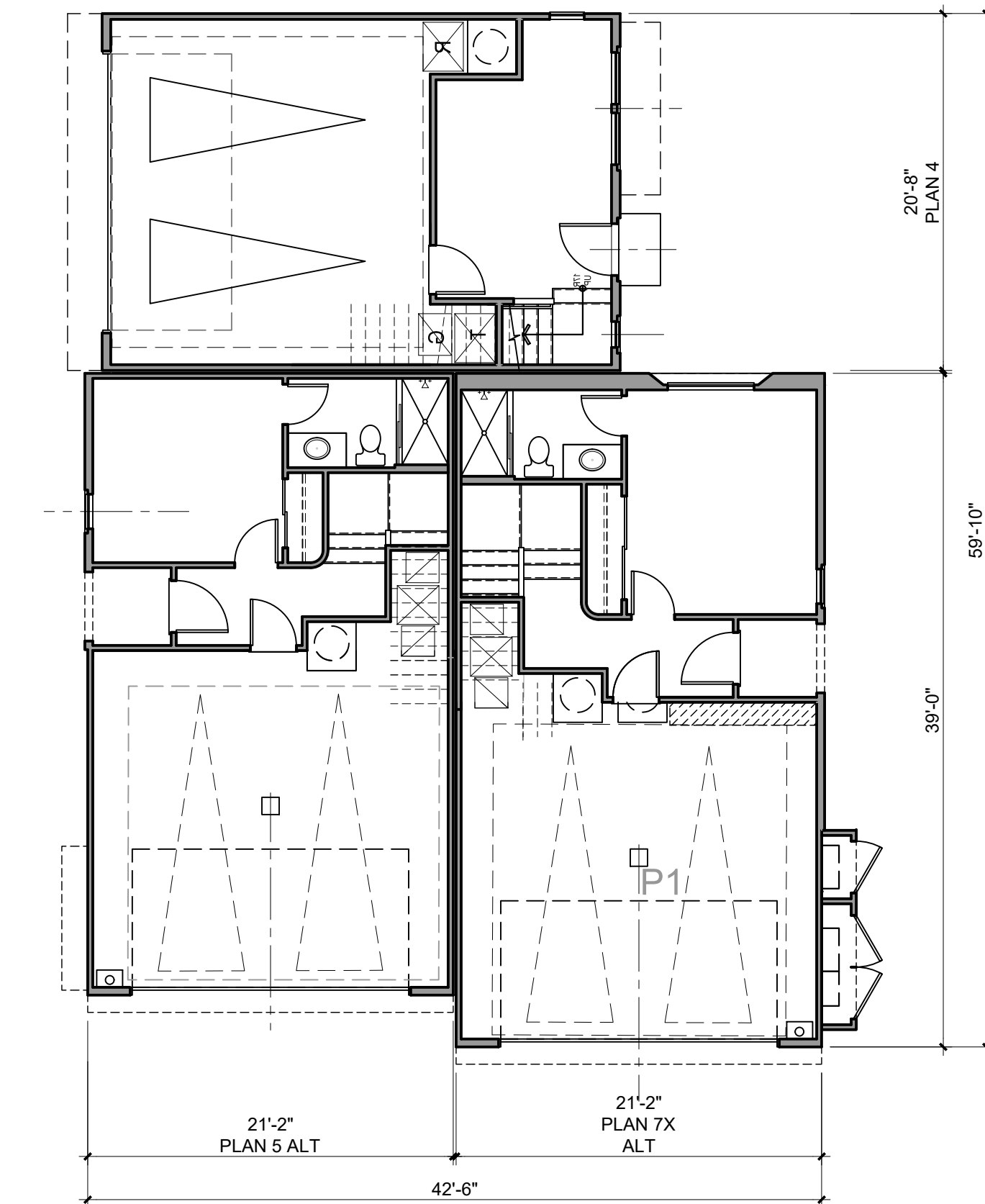
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

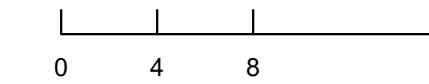


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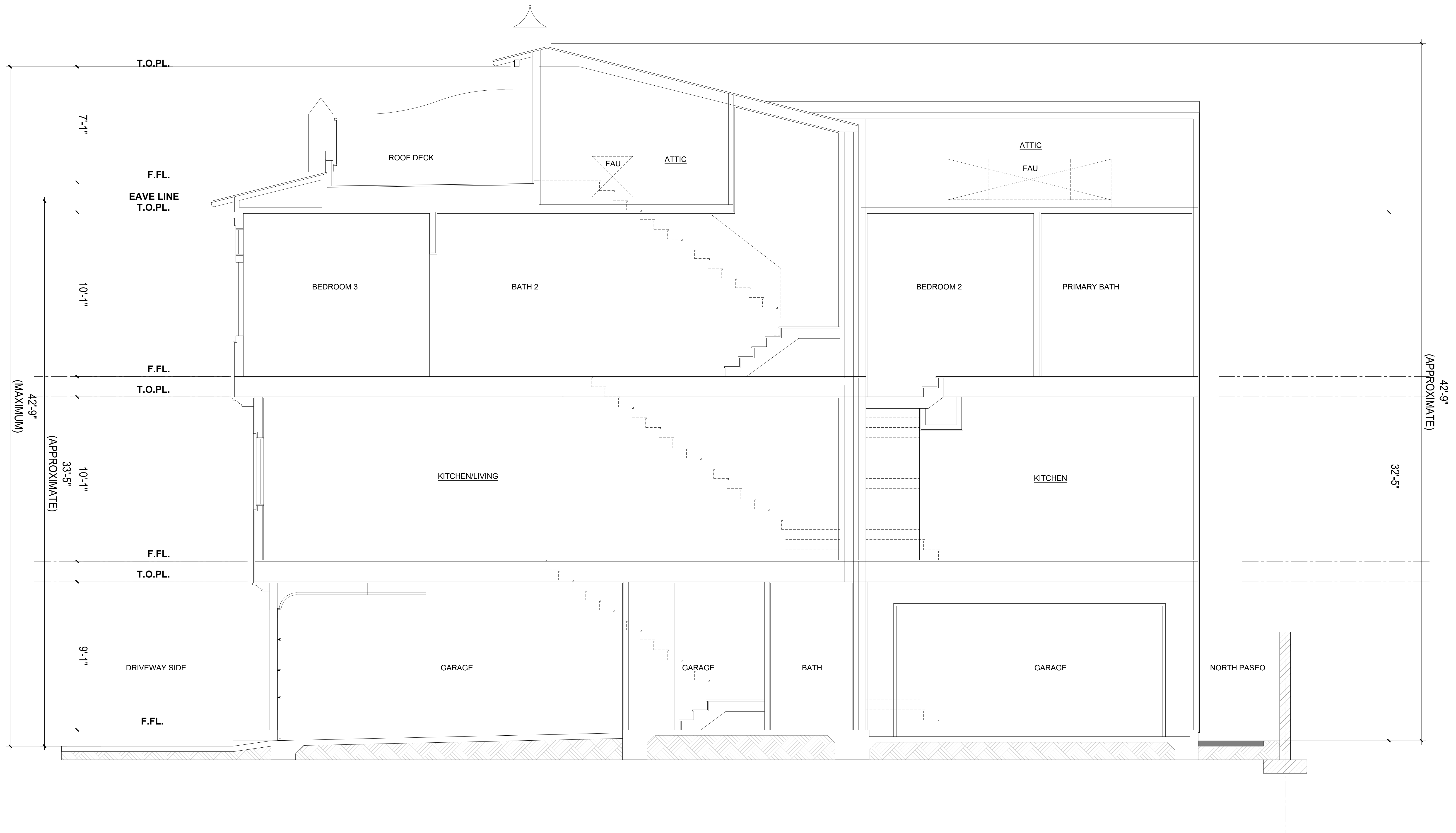
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CT-300 (3-PLEX)  
BUILDING PLAN

A2.1



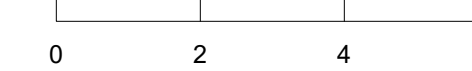


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CONCEPTUAL SECTION (CT-300)  
 SECTION D-D

A2.2



- LEGEND**
- 1 Stucco, 16/20 Sand Finish
  - 2 Concrete 'S' Tiles
  - 3 Gable End Faux Decorative Vent (Recesses)
  - 4 Recessed 1" Stucco /Simulated Wood Header Trim
  - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
  - 6 Stucco Recess/Reveal
  - 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
  - 8 Decorative Stucco Eave
  - 9 Recess Faux Wood Panel Insert
  - 10 Decorative Scalloped Stucco Sill Trim
  - 11 Decorative Simulated Wood Corbel
  - 12 Decorative Canvas/Metal Spear Awning
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  - 25 Decorative Exterior Lights & Address
  - 26 Metal Utility Door
  - 27 Metal Juliet Railing/Guard Rail
  - 28 Decorative HD Stucco/Foam Surround

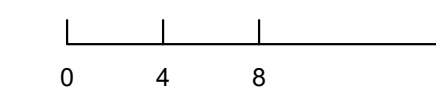


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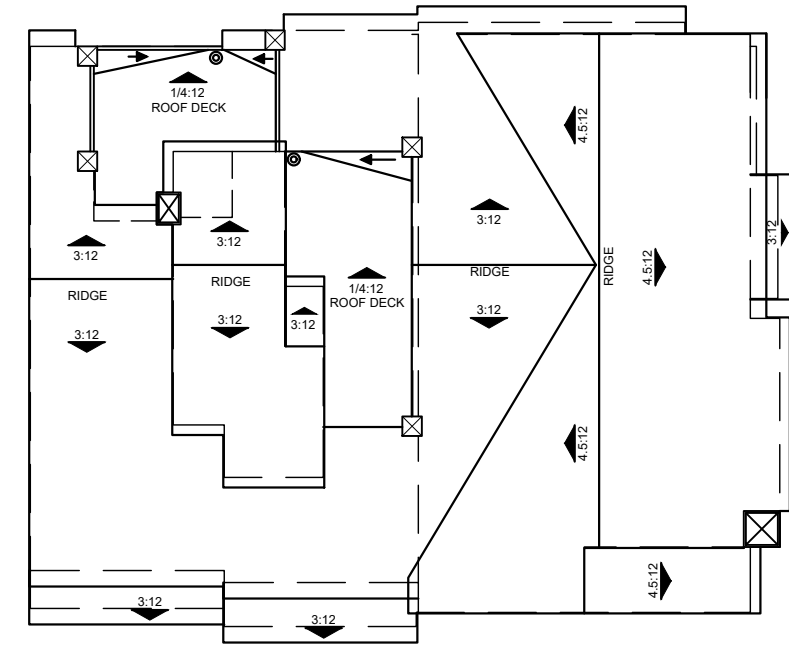
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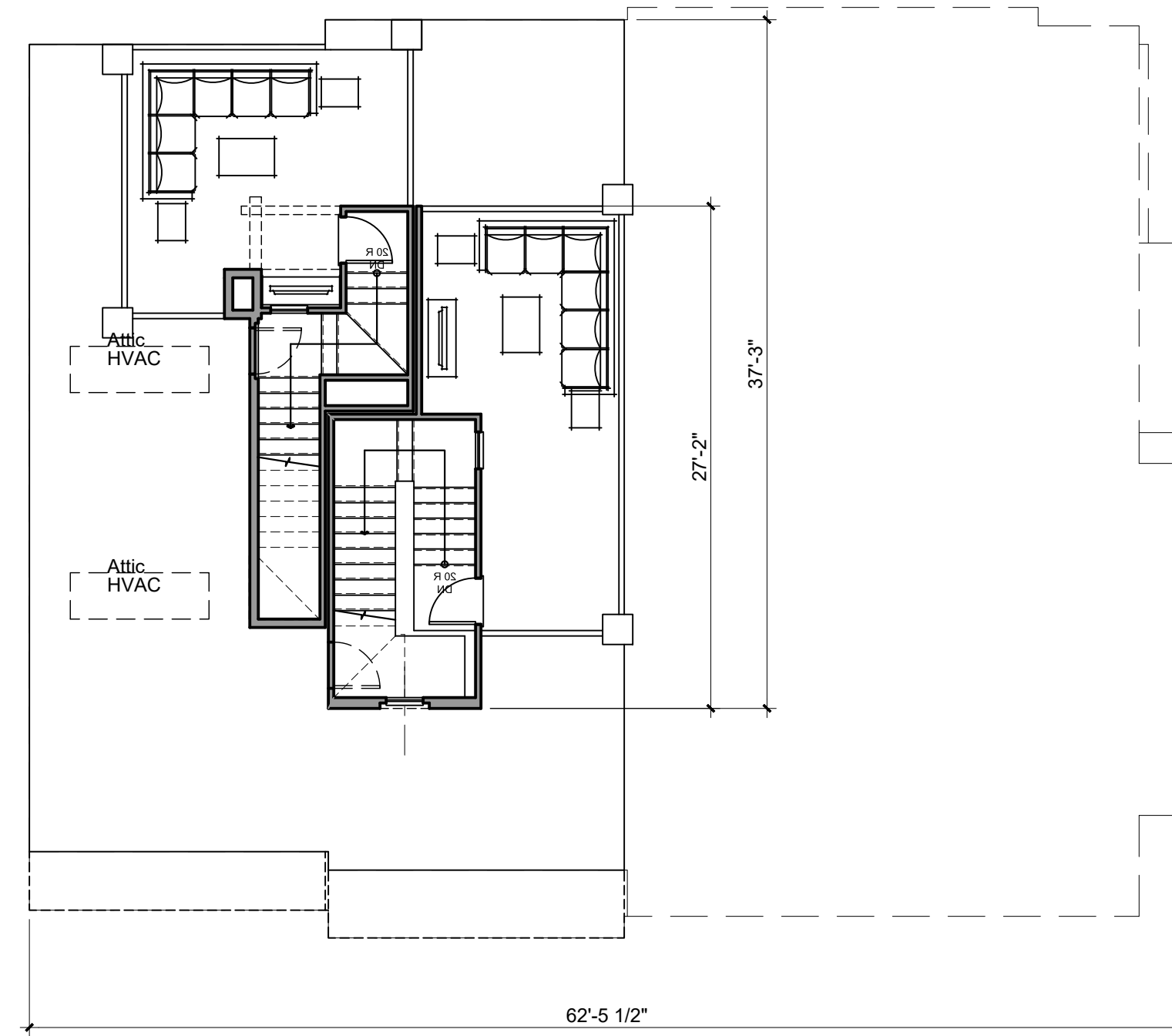
**CT-400 (4-PLEX)**  
 ELEVATIONS

**A3.0**

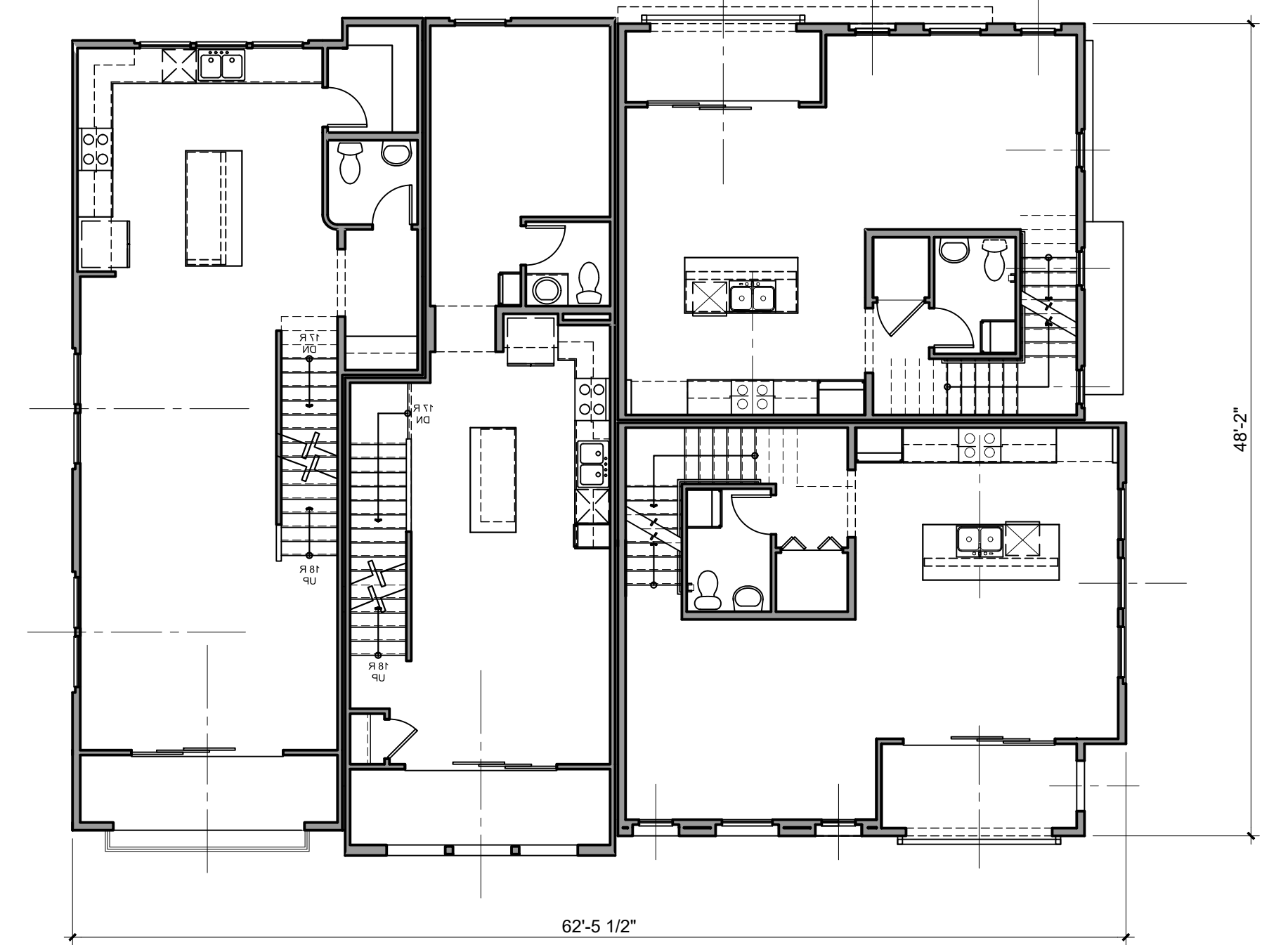




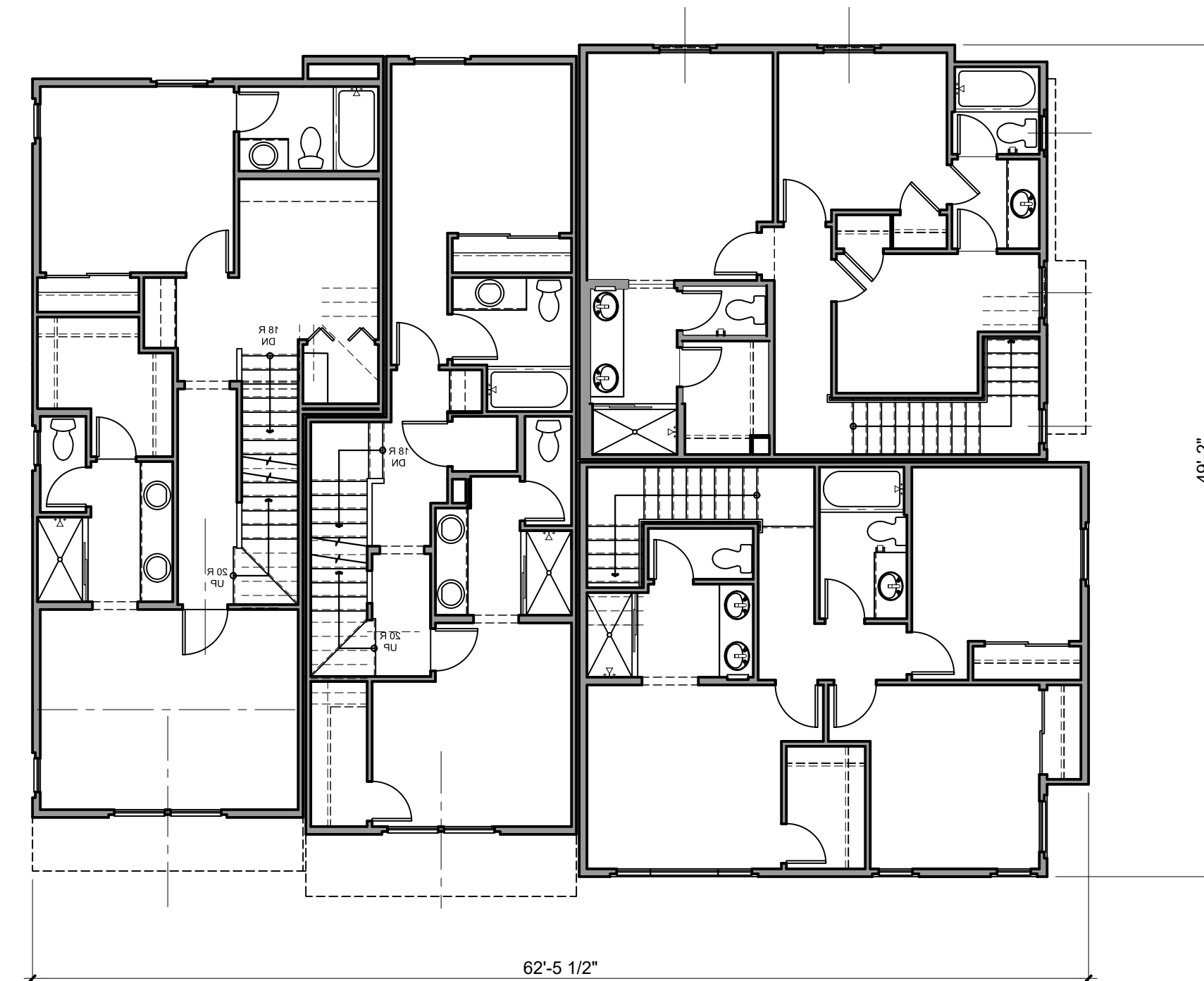
ROOF (1/16" = 1'-0")



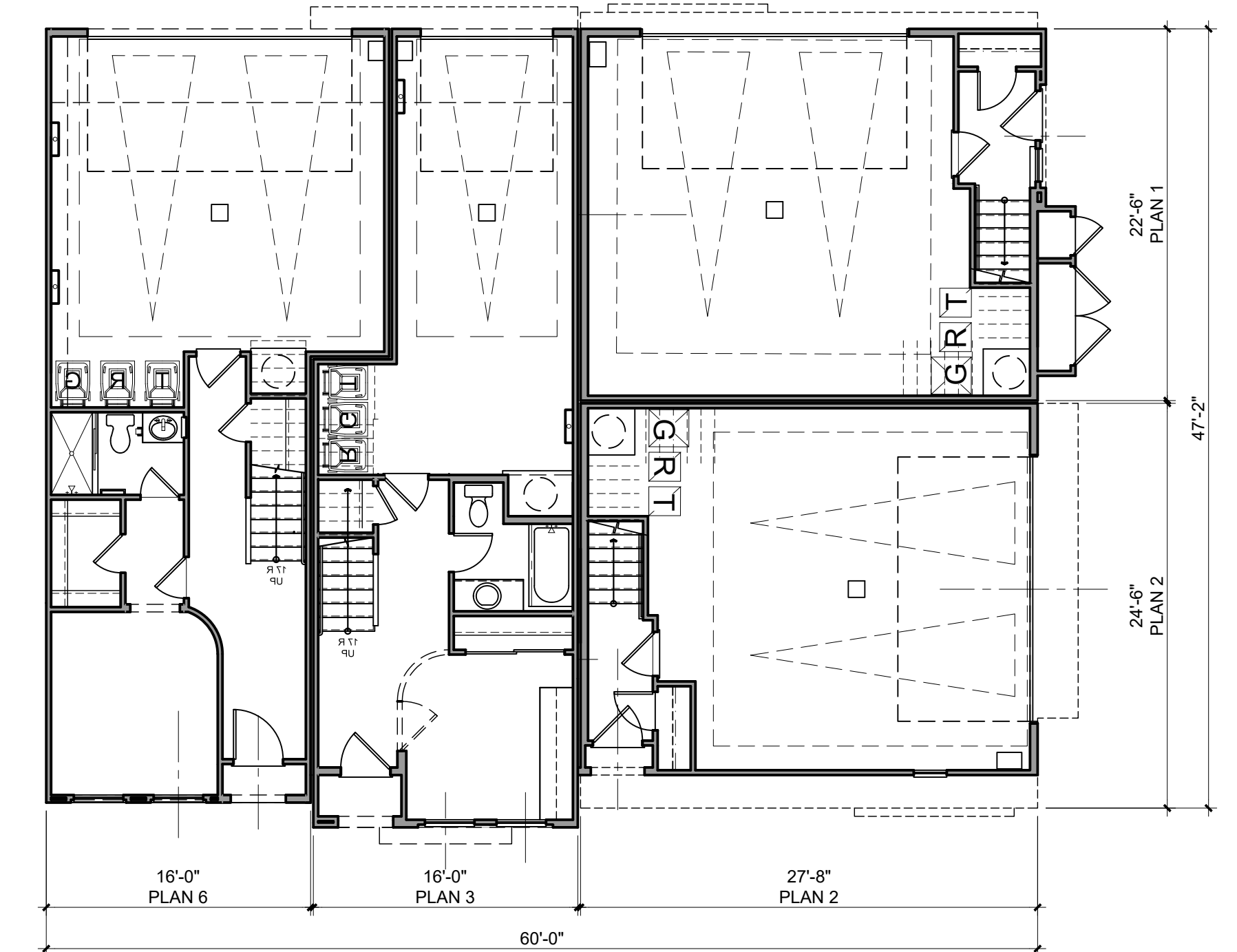
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



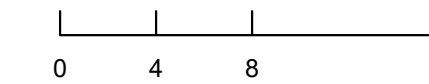
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CT-400 (4-PLEX)  
COMPOSITE PLAN

A3.1





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CONCEPTUAL SECTION (CT-400)  
 SECTION C-C

A3.2



- LEGEND**
- |   |   |  |
|---|---|--|
| 1 Stucco, 16/20 Sand Finish   | 9 Recess Faux Wood Panel Insert             | 19 Decorative Shutters                       |
| 2 Concrete 'S' Tiles  | 10 Decorative Scalloped Stucco Sill Trim    | 20 Decorative Stucco Chimney/Stucco Finial   |
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|   | 18 Low Stucco Barranca w/ Concrete Tile Cap | 28 Decorative HD Stucco/Foam Surround        |



P5 RIGHT



P5 P7 P7 P7X REAR



P7X LEFT



P7X P7 P7 P5 FRONT

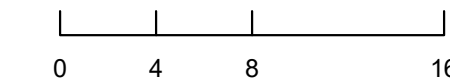


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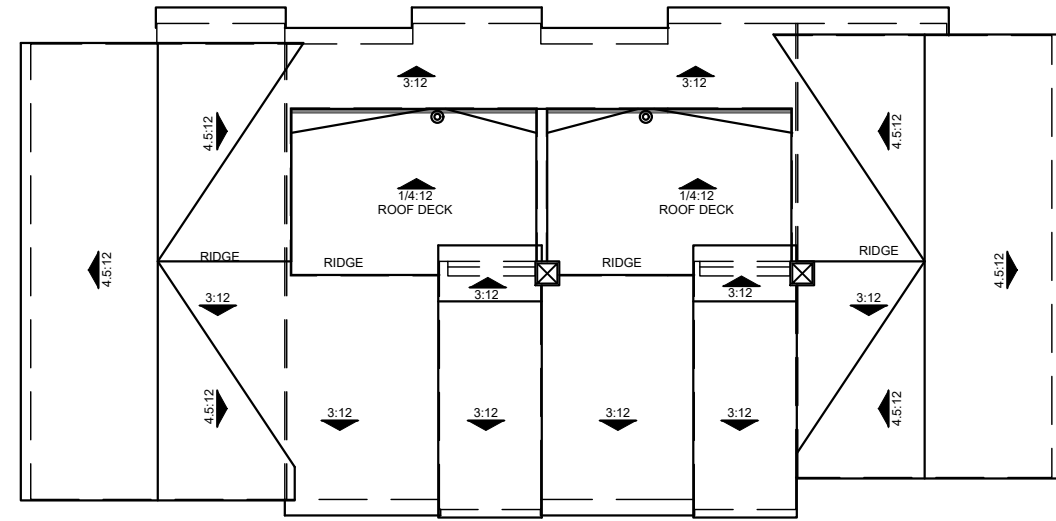
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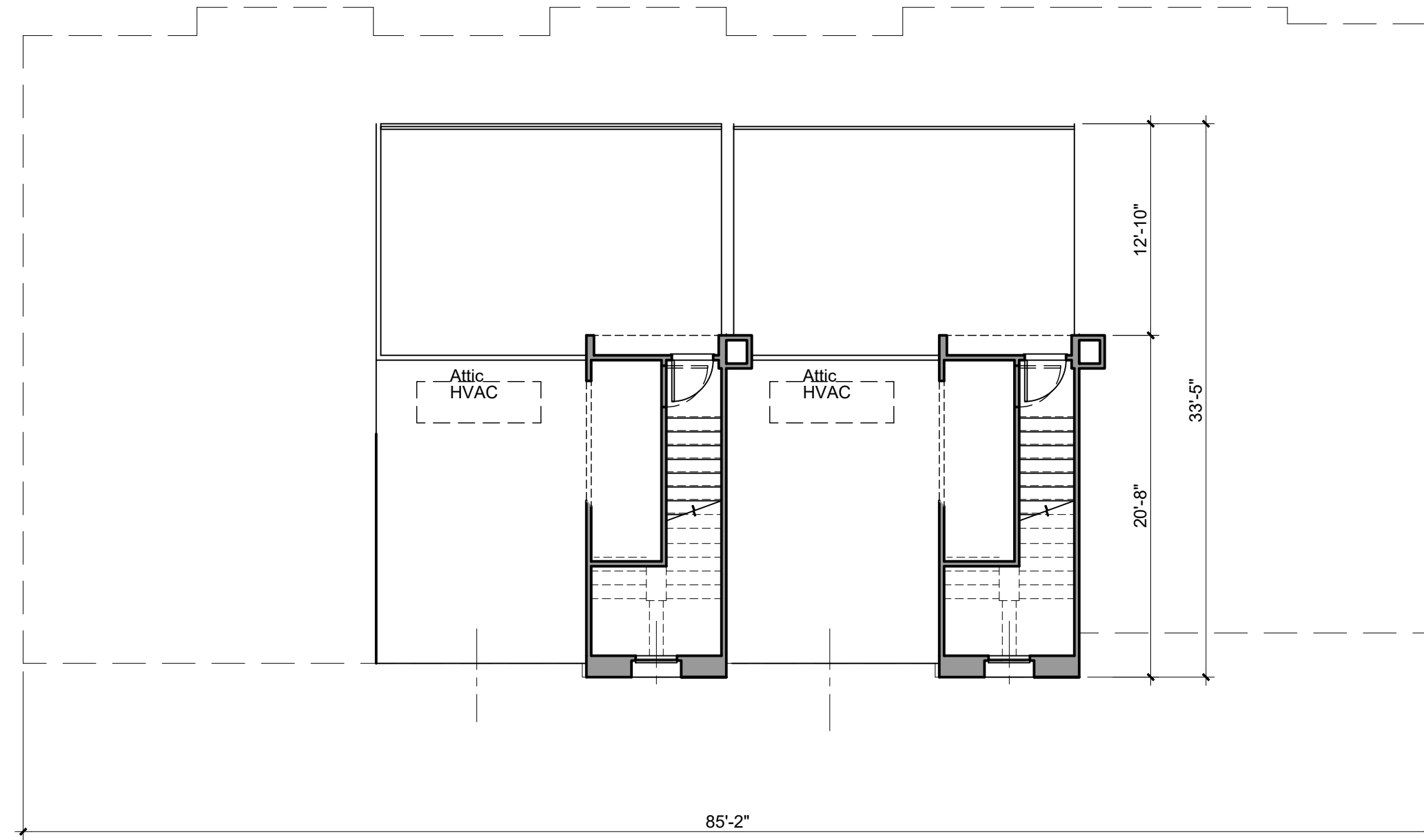
CT-401 (4-PLEX)  
ELEVATIONS

A4.0

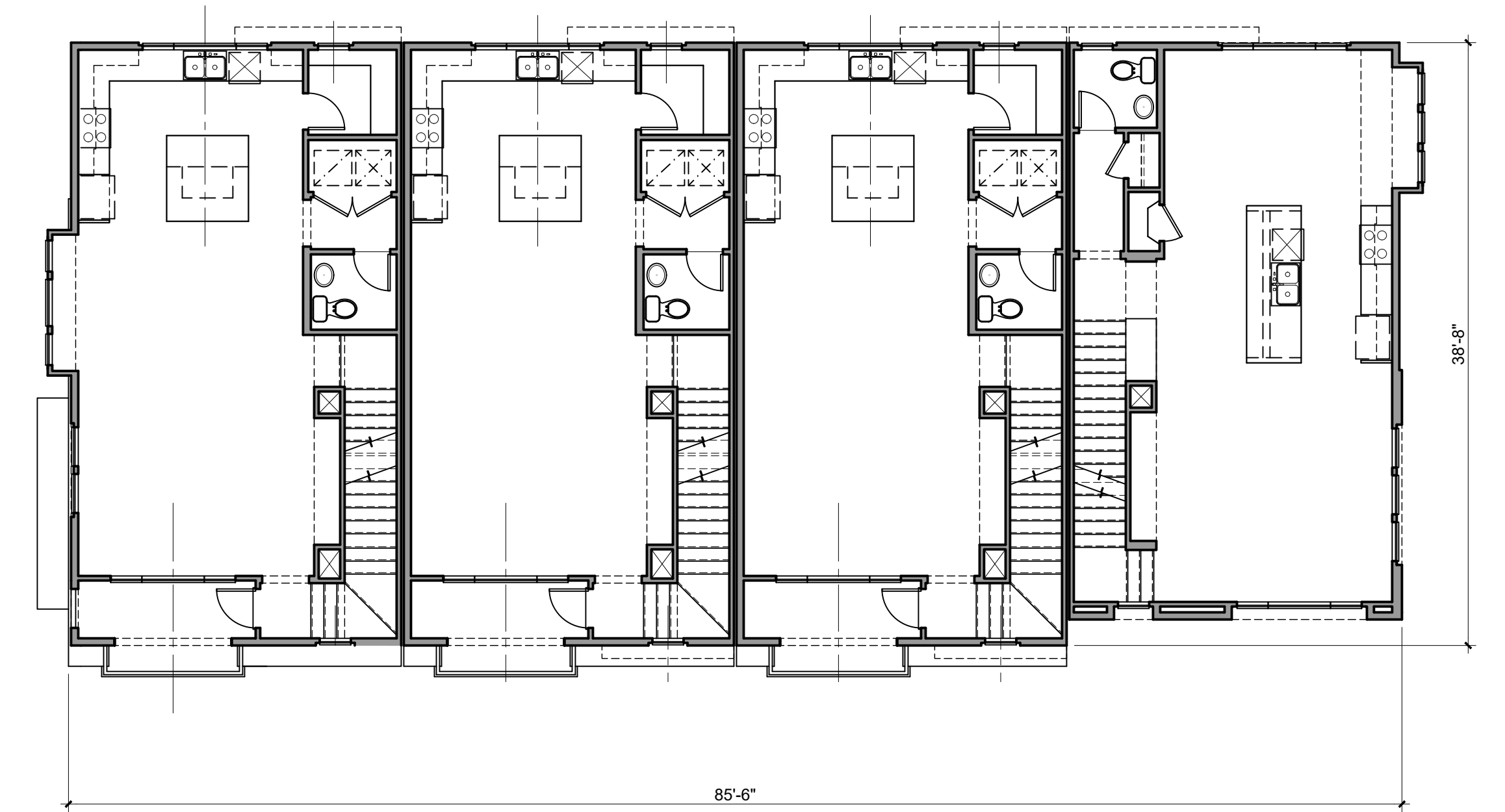




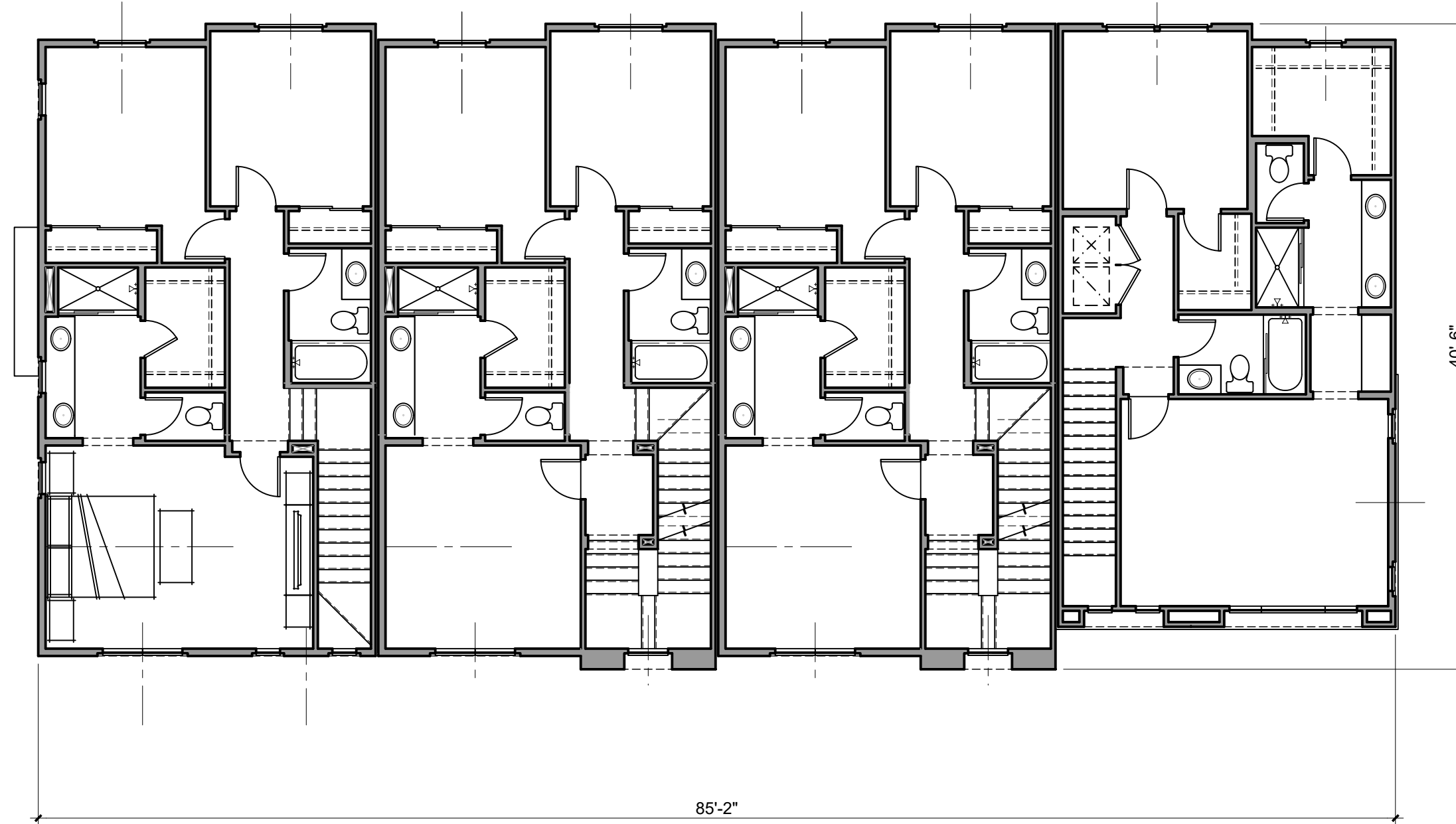
ROOF (1/16" = 1'-0")



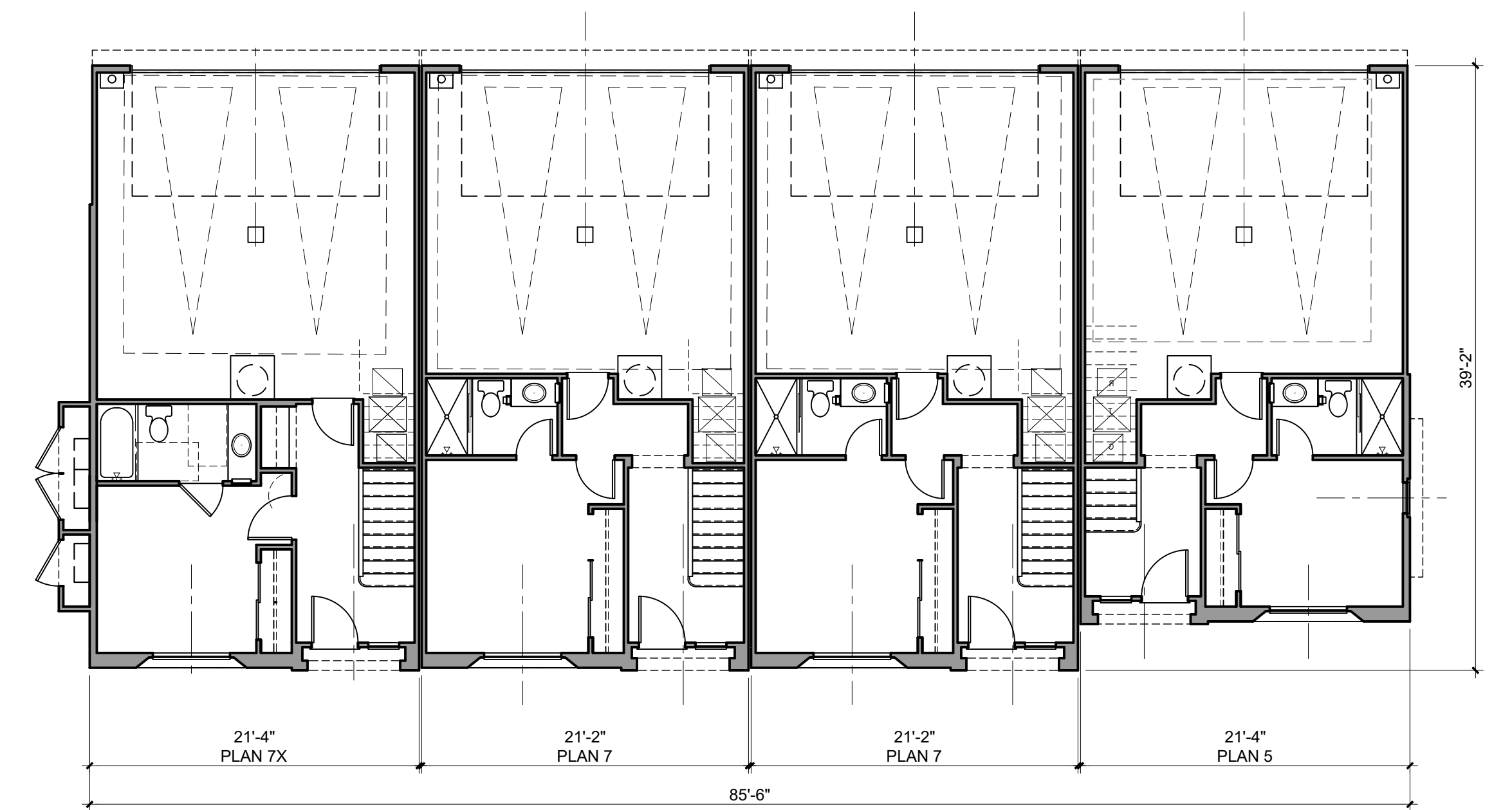
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

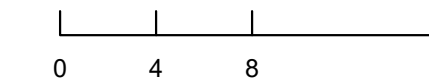


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CT-401 (4-PLEX)  
COMPOSITE PLAN

A4.1





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CONCEPTUAL SECTION (CT-401)  
 SECTION B-B

A4.2



- LEGEND**
- 1 Stucco, 16/20 Sand Finish
  - 2 Concrete 'S' Tiles
  - 3 Gable End Faux Decorative Vent (Recesses)
  - 4 Recessed 1" Stucco /Simulated Wood Header Trim
  - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
  - 6 Stucco Recess/Reveal
  - 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
  - 8 Decorative Stucco Eave
  - 9 Recess Faux Wood Panel Insert
  - 10 Decorative Scalloped Stucco Sill Trim
  - 11 Decorative Simulated Wood Corbel
  - 12 Decorative Canvas/Metal Spear Awning
  - 13 Fiberglass Decorative Front Door
  - 14 Vinyl Windows
  - 15 Fiber Cement Trim at Bay Window
  - 16 Fiber Cement Bd. Panel
  - 17 Stucco Arch
  - 18 Low Stucco Barranca w/ Concrete Tile Cap
  - 19 Decorative Shutters
  - 20 Decorative Stucco Chimney/Stucco Finial
  - 21 Decorative Tube and Wood Plank Pot Holder
  - 22 Decorative Stucco Corbel
  - 23 Accent Battered Ceramic Tile Surround
  - 24 Metal Decorative Sectional Garage Door
  - 25 Decorative Exterior Lights & Address
  - 26 Metal Utility Door
  - 27 Metal Juliet Railing/Guard Rail
  - 28 Decorative HD Stucco/Foam Surround



P7X RIGHT



P7X P7 P7 P7 P5 REAR



P5 LEFT



P5 P7 P7 P7 P7X FRONT

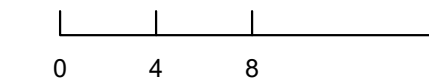


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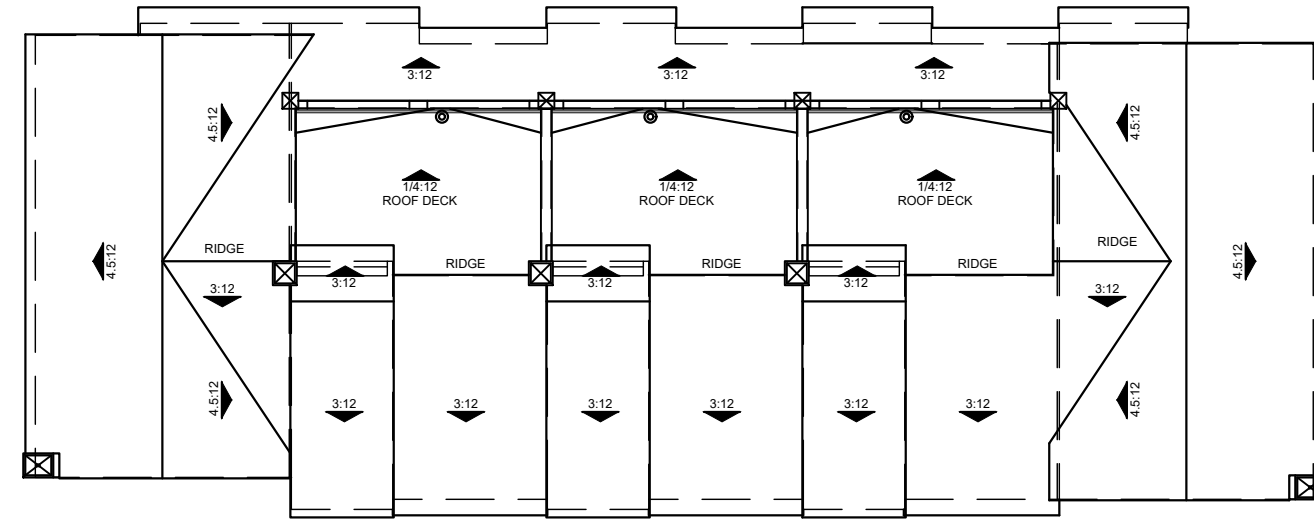
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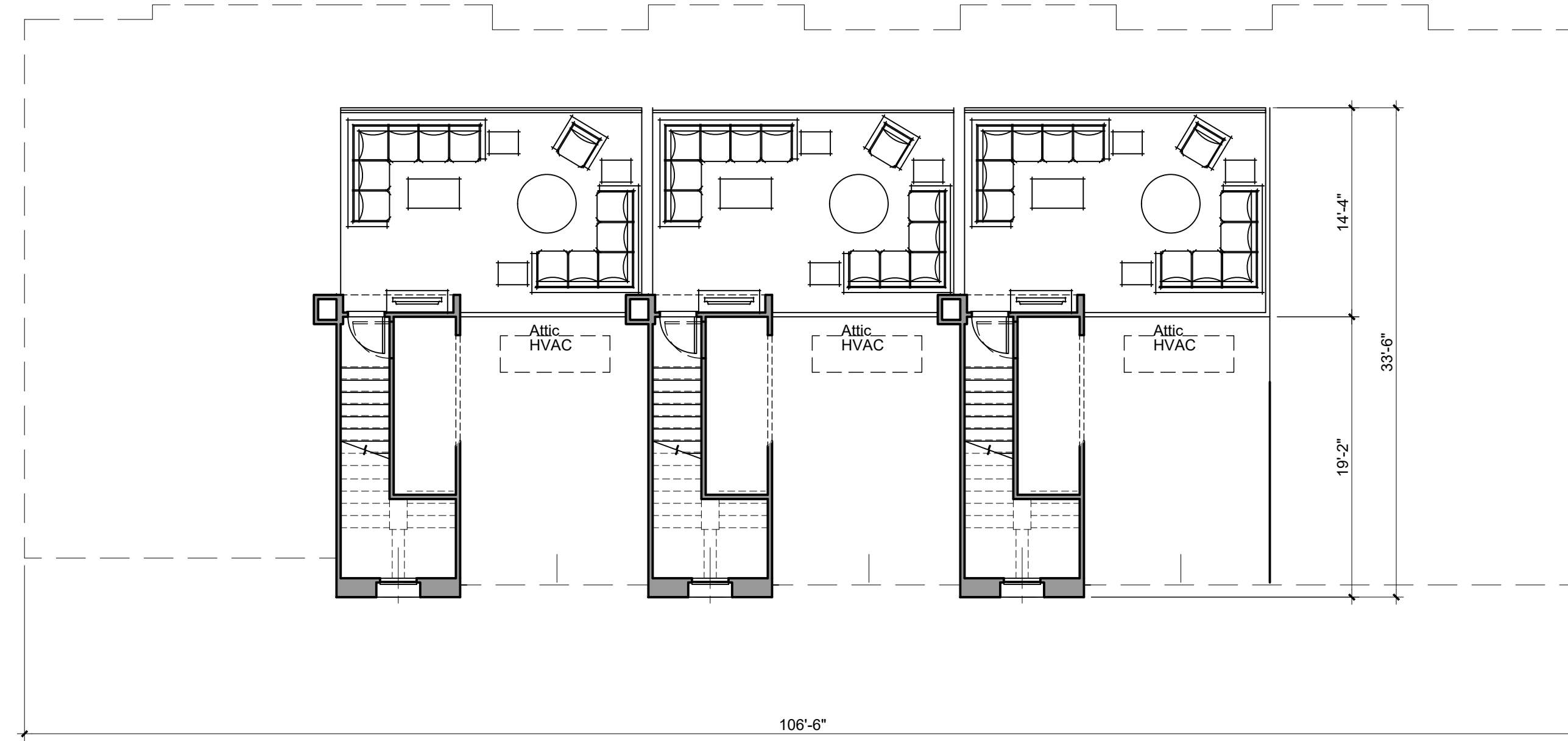
CT-500 (5-PLEX)  
 ELEVATIONS

A5.0

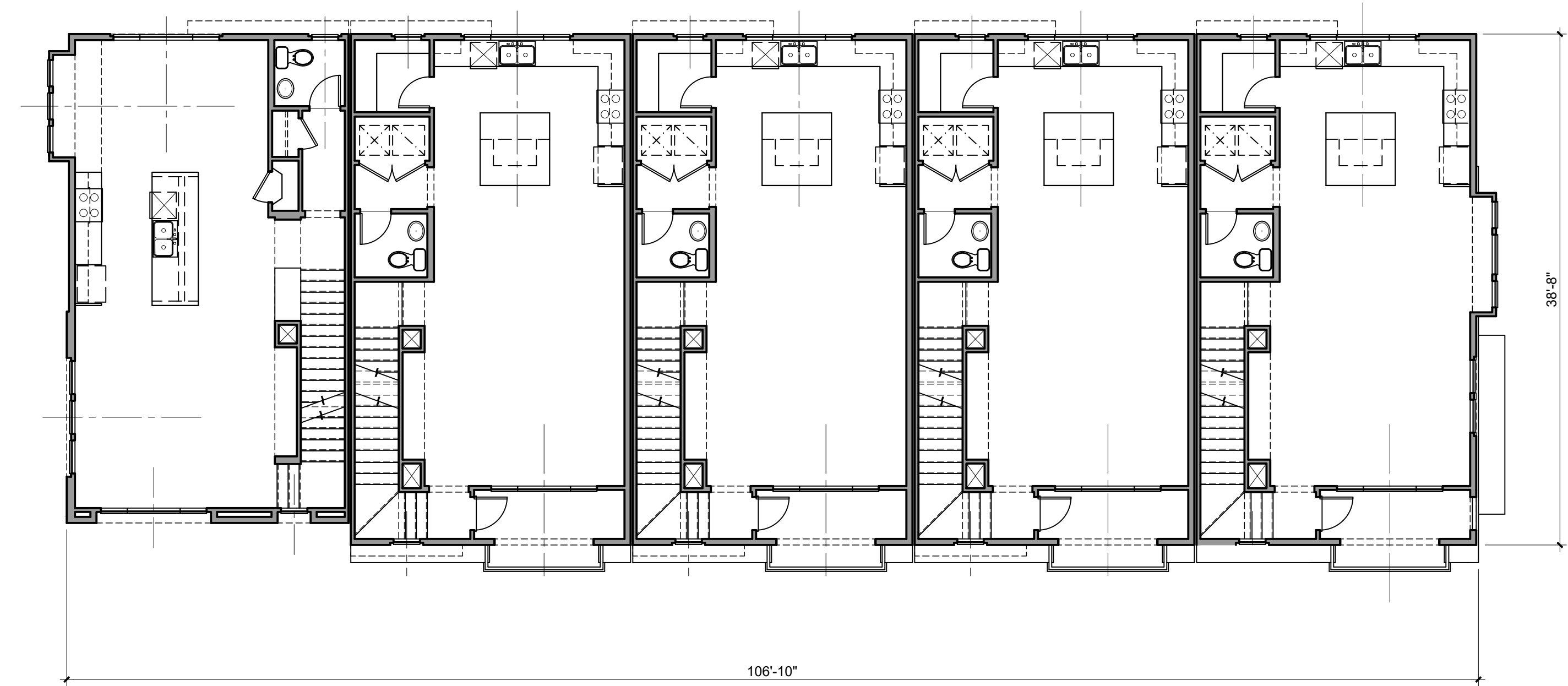




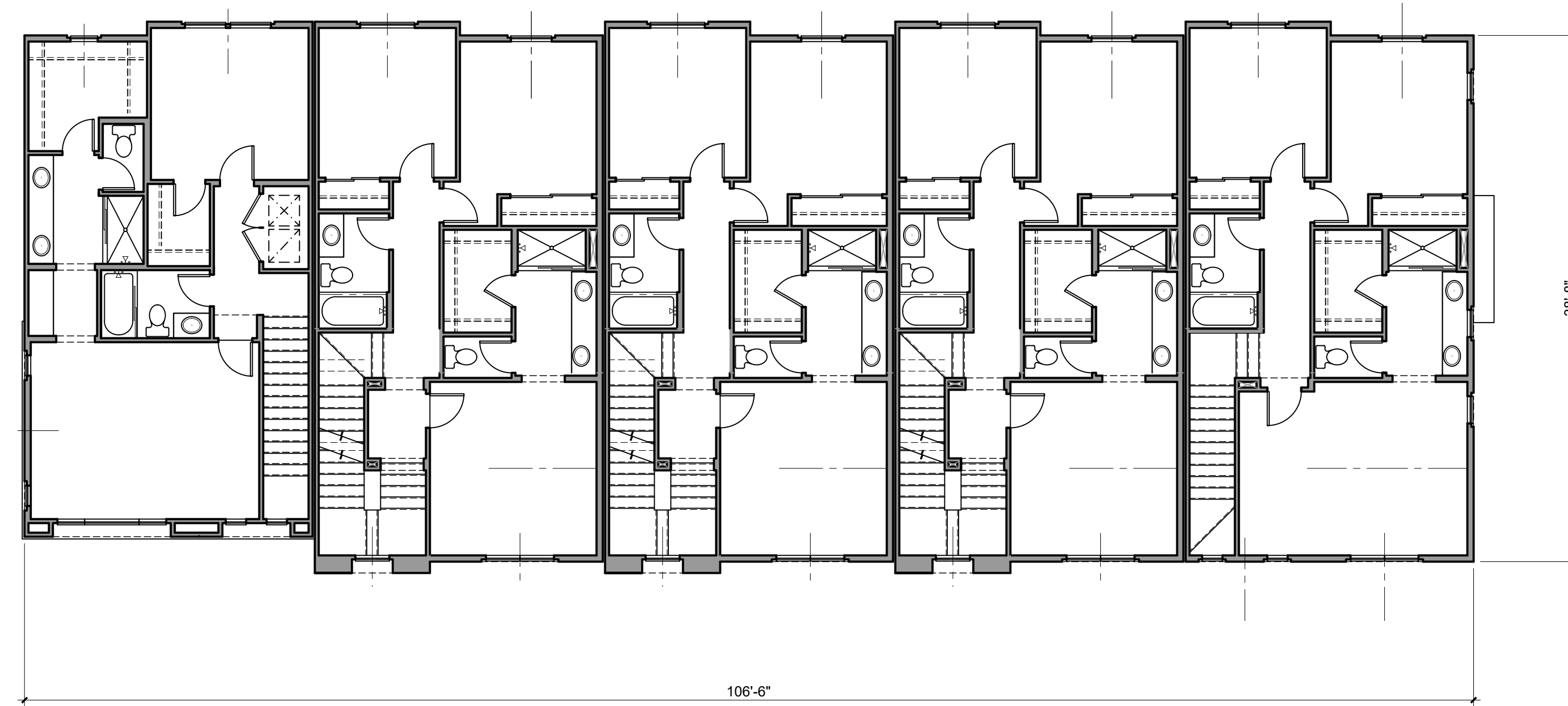
ROOF (1/16" = 1'-0")



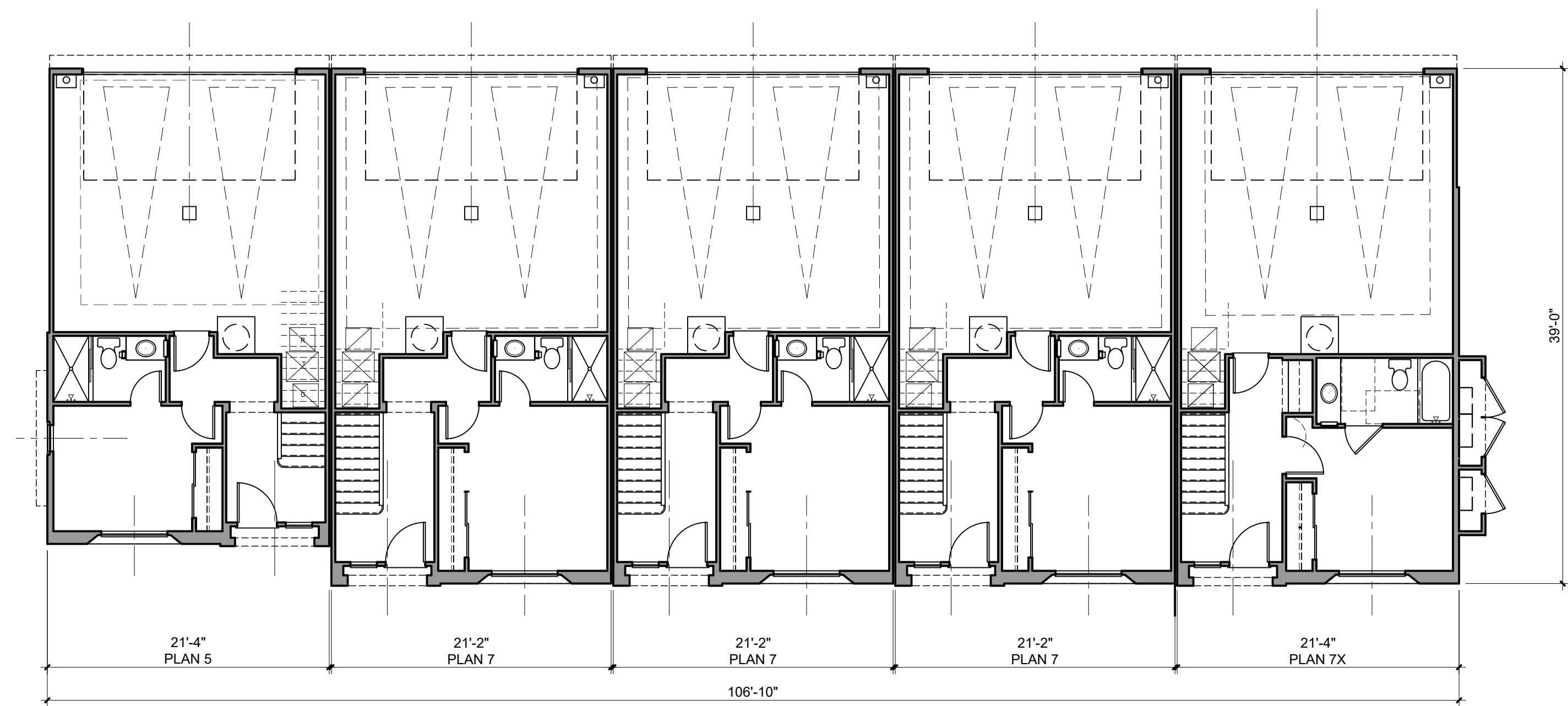
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

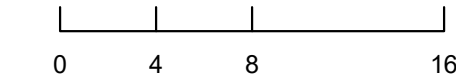


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CT-500 (5-PLEX)  
COMPOSITE PLAN

A5.1





(NOTE: SECTION SIM ON BUILDING CT-401)

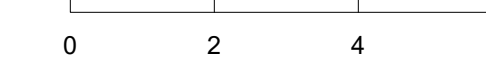


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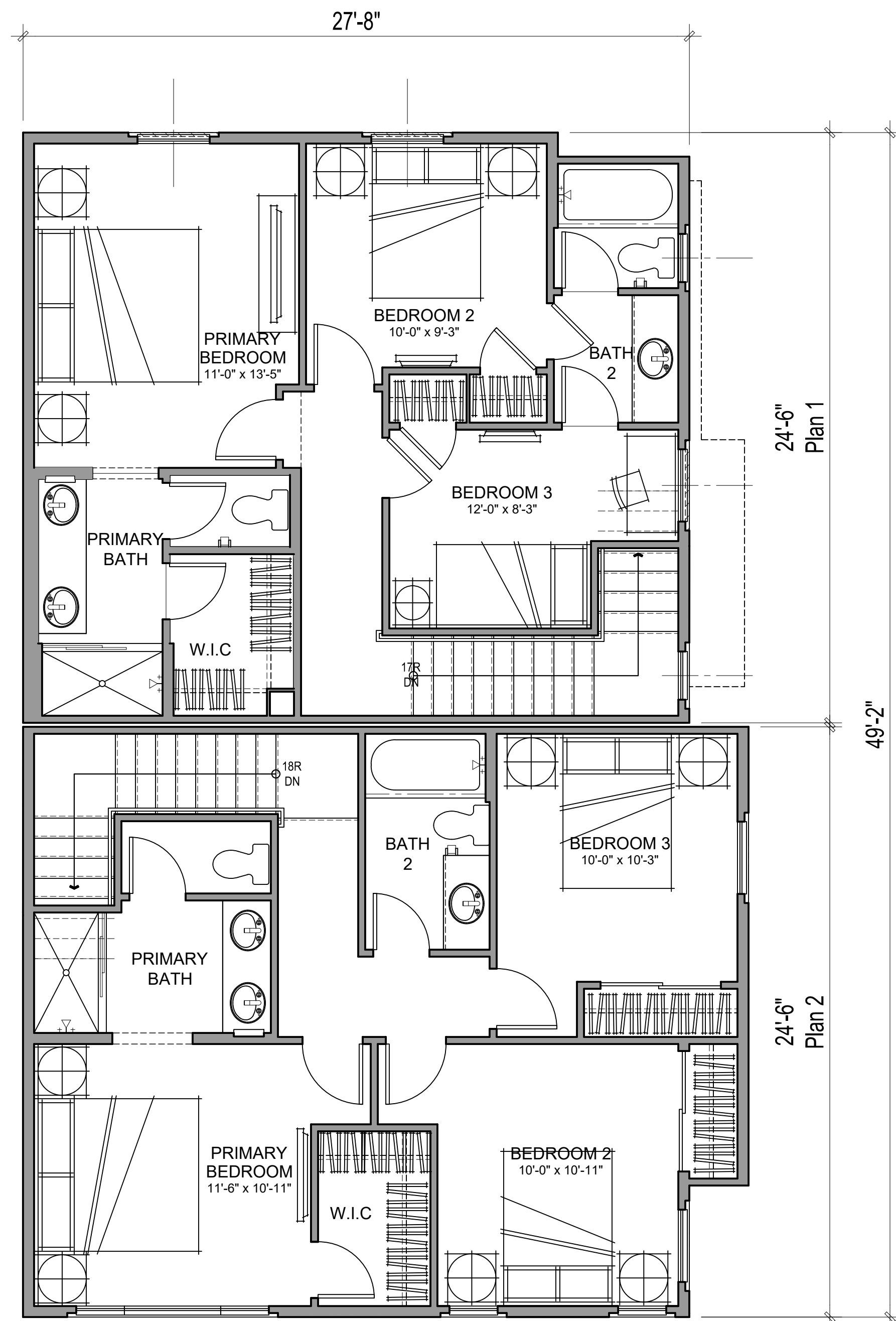
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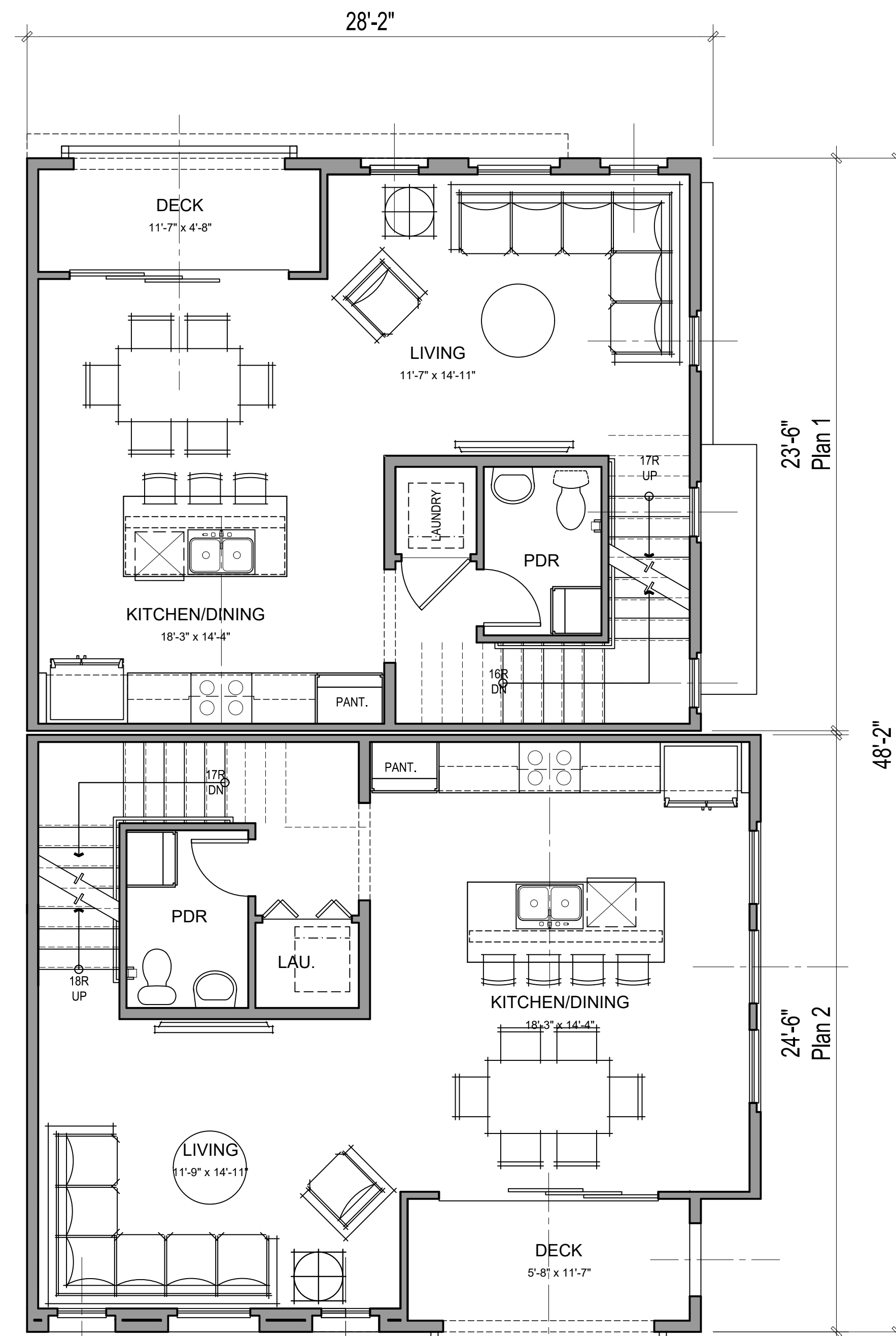
CONCEPTUAL SECTION (CT-500)  
 SECTION A-A

A5.2

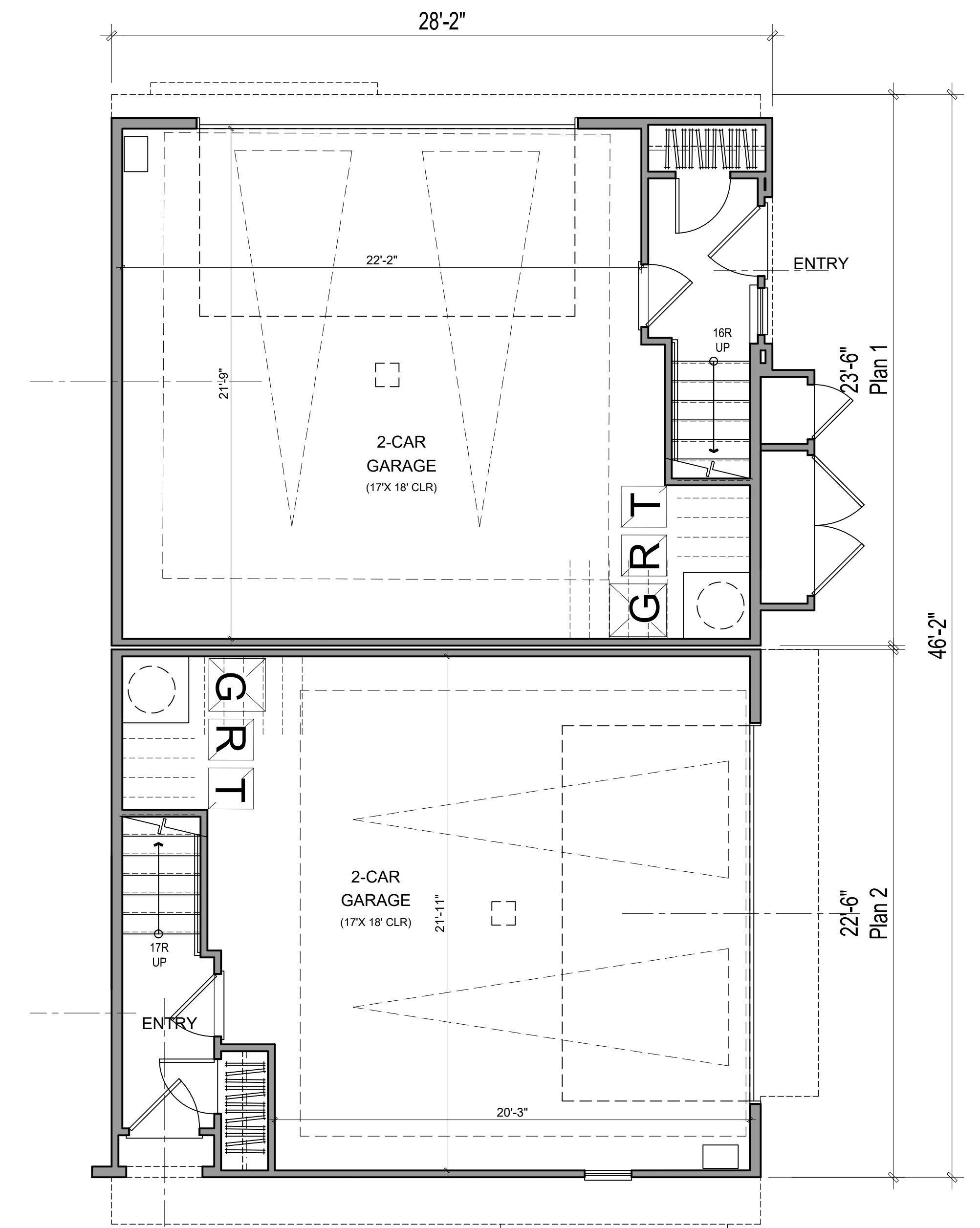




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P2 - GROSS AREA		P2 - NET AREA	
1ST FLOOR	117 SQ. FT.	1ST FLOOR	97 SQ. FT.
2ND FLOOR	648 SQ. FT.	2ND FLOOR	610 SQ. FT.
3RD FLOOR	672 SQ. FT.	3RD FLOOR	634 SQ. FT.
TOTAL LIVING	1437 SQ. FT.	TOTAL LIVING	1341 SQ. FT.
PORCH	8 SQ. FT.	PORCH	5 SQ. FT.
DECK	71 SQ. FT.	DECK	64 SQ. FT.
GARAGE	540 SQ. FT.	GARAGE	513 SQ. FT.

P1 - GROSS AREA		P1 - NET AREA	
1ST FLOOR	118 SQ. FT.	1ST FLOOR	99 SQ. FT.
2ND FLOOR	594 SQ. FT.	2ND FLOOR	552 SQ. FT.
3RD FLOOR	617 SQ. FT.	3RD FLOOR	582 SQ. FT.
TOTAL LIVING	1329 SQ. FT.	TOTAL LIVING	1233 SQ. FT.
PORCH	N/A	PORCH	N/A
DECK	61 SQ. FT.	DECK	53 SQ. FT.
GARAGE	549 SQ. FT.	GARAGE	517 SQ. FT.



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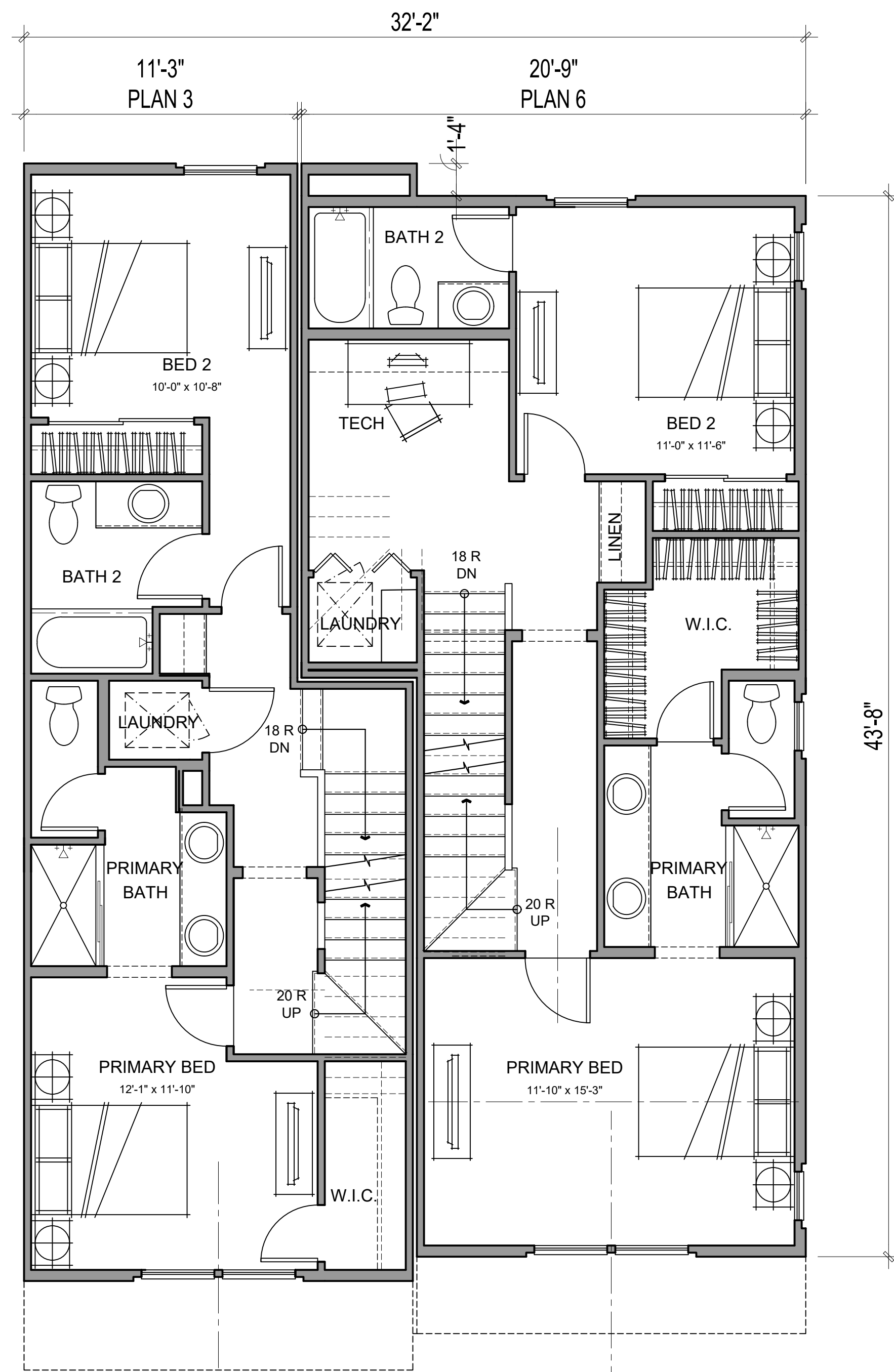
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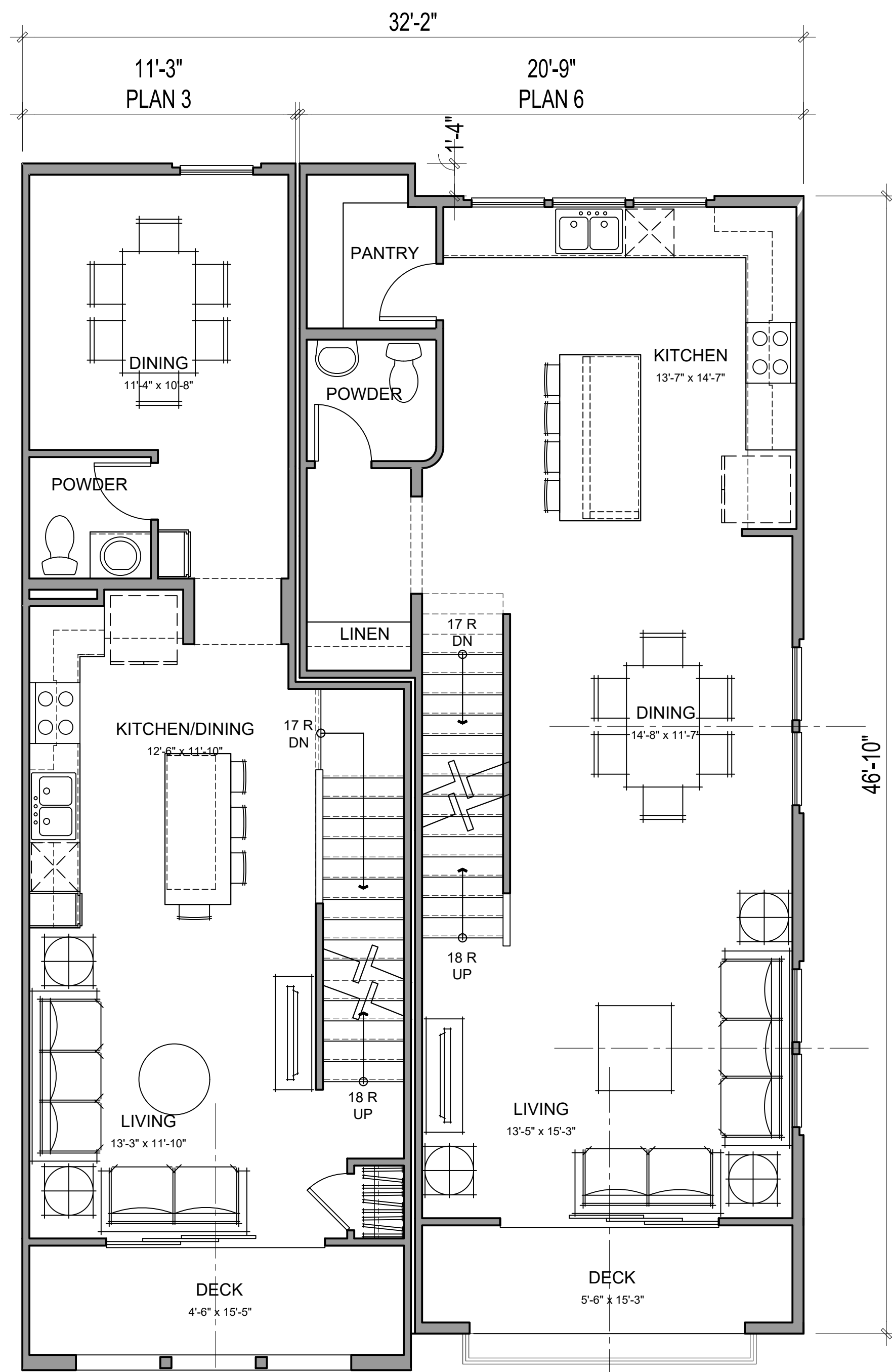
PLAN 1 & 2 UNIT PLANS

A6.0

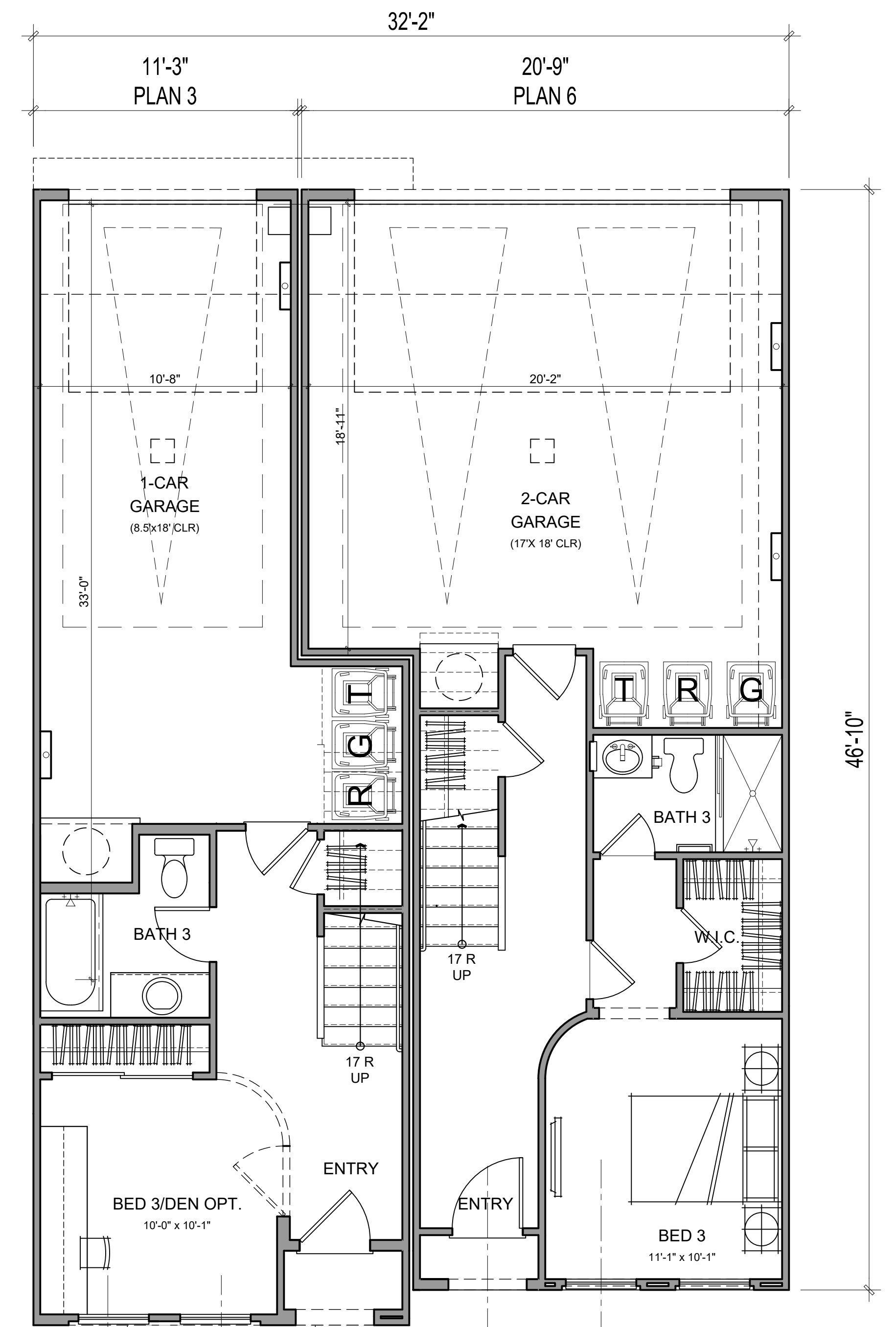




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P3 - GROSS AREA		P3 - NET AREA	
1ST FLOOR	337 SQ. FT.	1ST FLOOR	312 SQ. FT.
2ND FLOOR	612 SQ. FT.	2ND FLOOR	575 SQ. FT.
3RD FLOOR	635 SQ. FT.	3RD FLOOR	594 SQ. FT.
STAIR TOWER	18 SQ. FT.	STAIR TOWER	12 SQ. FT.
TOTAL LIVING	1602 SQ. FT.	TOTAL LIVING	1493 SQ. FT.
PORCH	17 SQ. FT.	PORCH	13 SQ. FT.
DECK	82 SQ. FT.	DECK	69 SQ. FT.
GARAGE	348 SQ. FT.	GARAGE	324 SQ. FT.
ROOF DECK	225 SQ. FT.	ROOF DECK	207 SQ. FT.

P6 - GROSS AREA		P6 - NET AREA	
1ST FLOOR	398 SQ. FT.	1ST FLOOR	372 SQ. FT.
2ND FLOOR	779 SQ. FT.	2ND FLOOR	734 SQ. FT.
3RD FLOOR	793 SQ. FT.	3RD FLOOR	746 SQ. FT.
STAIR TOWER	14 SQ. FT.	STAIR TOWER	11 SQ. FT.
TOTAL LIVING	1984 SQ. FT.	TOTAL LIVING	1863 SQ. FT.
PORCH	12 SQ. FT.	PORCH	9 SQ. FT.
DECK	86 SQ. FT.	DECK	78 SQ. FT.
GARAGE	444 SQ. FT.	GARAGE	420 SQ. FT.
ROOF DECK	205 SQ. FT.	ROOF DECK	189 SQ. FT.

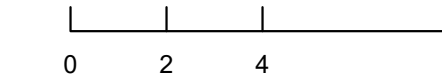


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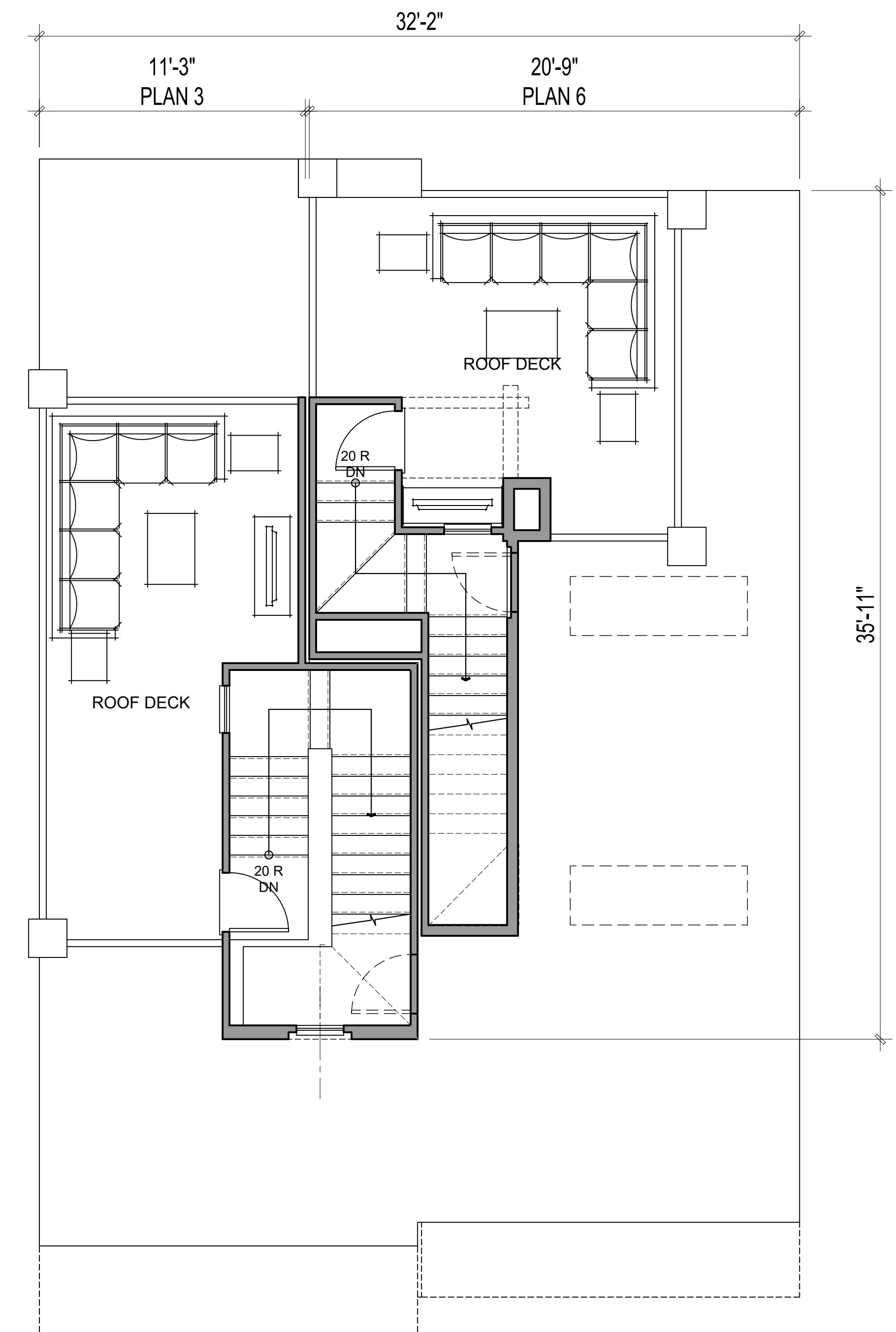
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PLAN 3 & 6 UNIT PLANS

A6.1





ROOF DECK

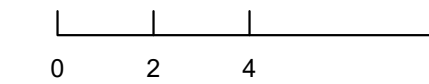


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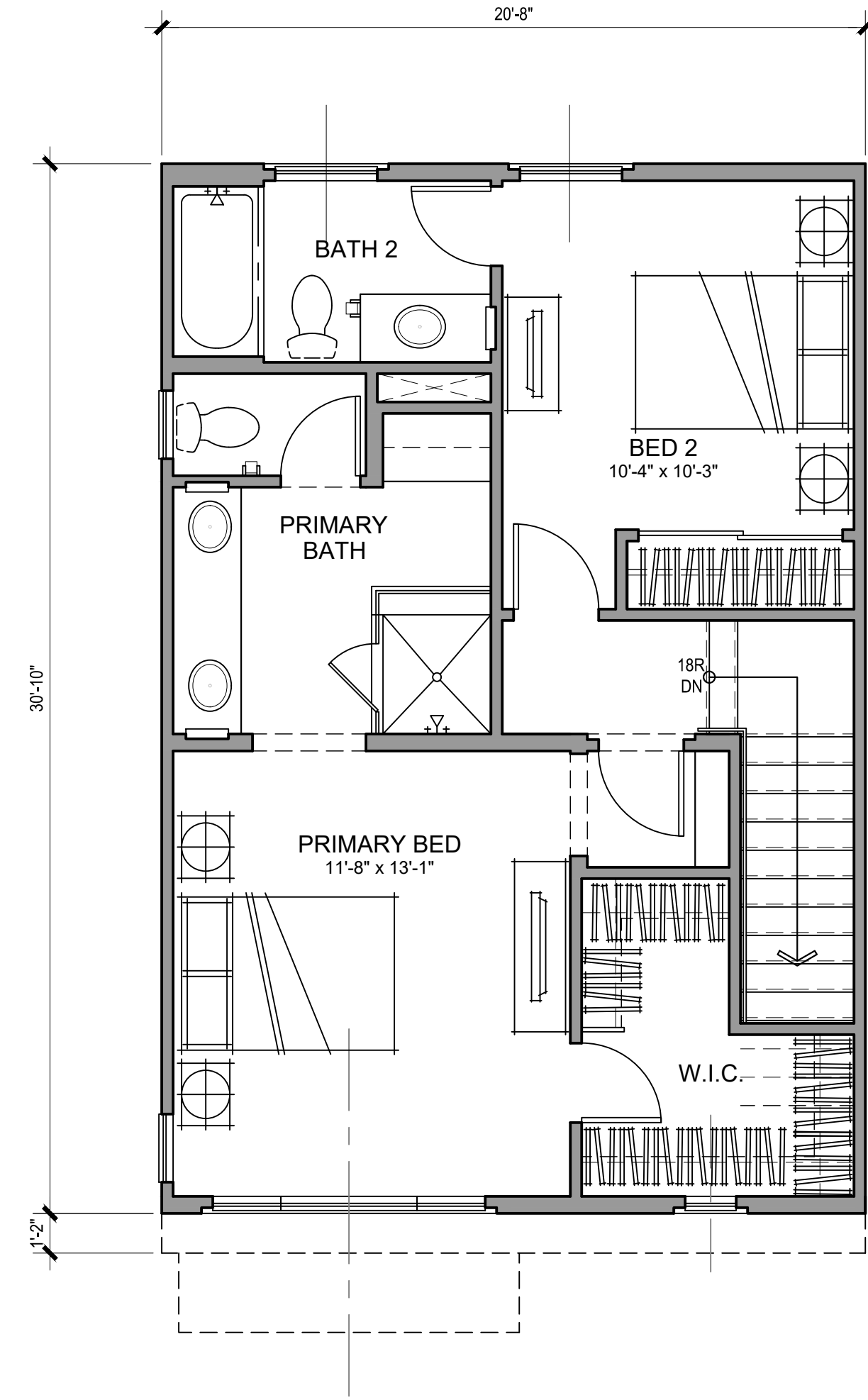
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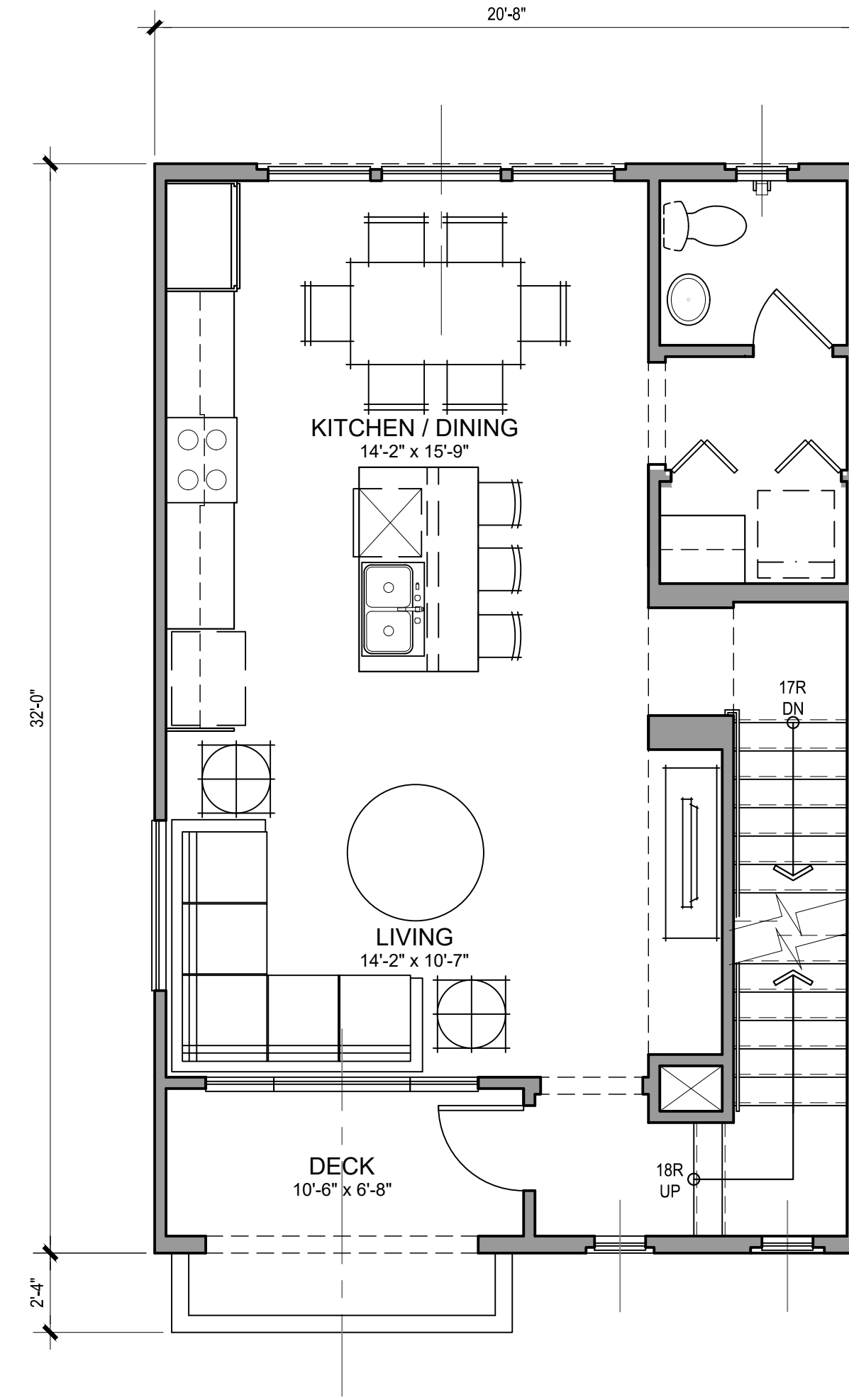
PLAN 3 & 6 UNIT PLANS

A6.2

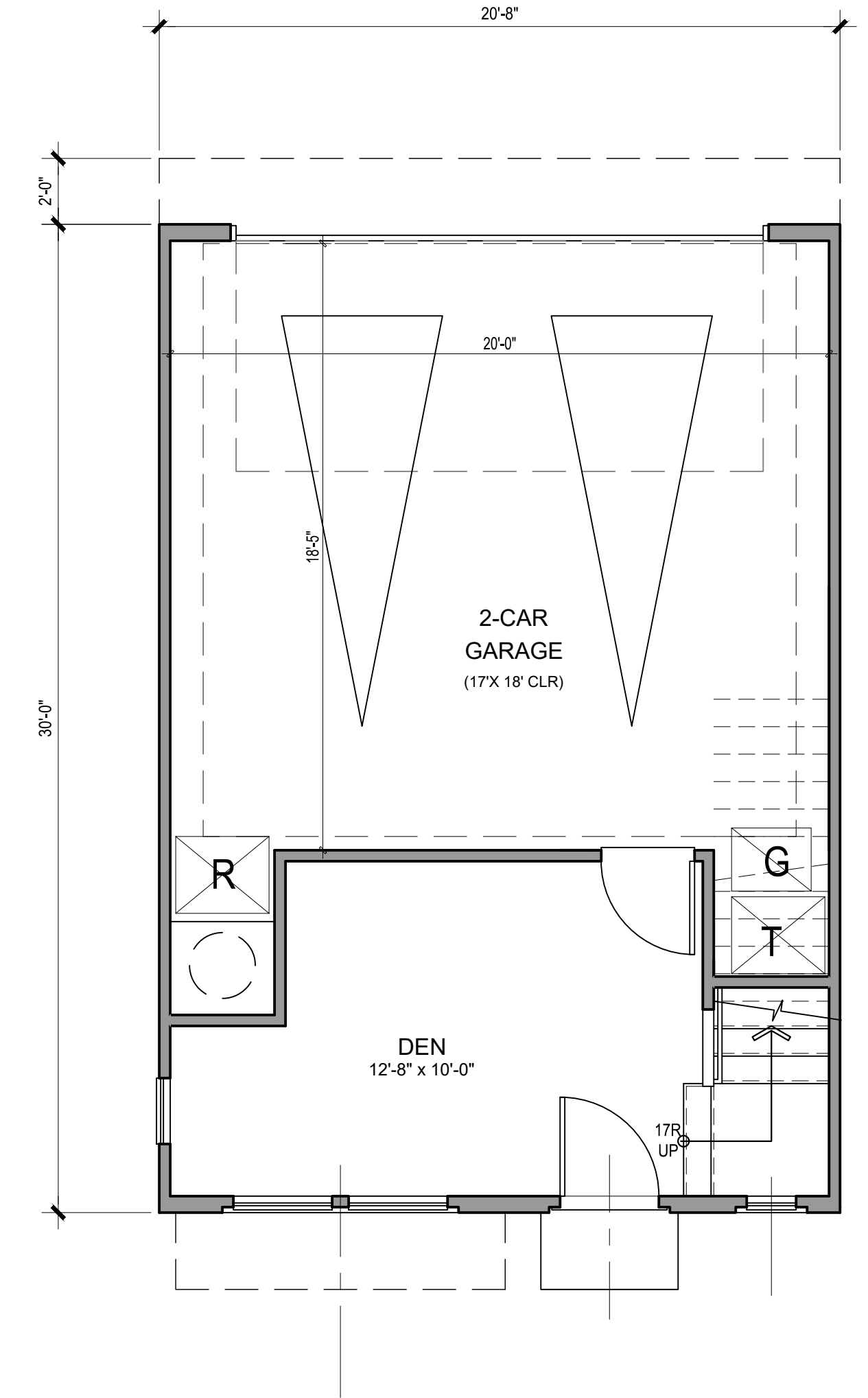




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P4 - GROSS SF		P4 - NET SF	
1ST FLOOR	227 SQ. FT.	1ST FLOOR	203 SQ. FT.
2ND FLOOR	609 SQ. FT.	2ND FLOOR	569 SQ. FT.
3RD FLOOR	591 SQ. FT.	3RD FLOOR	554 SQ. FT.
TOTAL LIVING	1427 SQ. FT.	TOTAL LIVING	1326 SQ. FT.
GARAGE	425 SQ. FT.	GARAGE	399 SQ. FT.
DECK	76 SQ. FT.	DECK	66 SQ. FT.

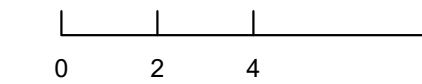


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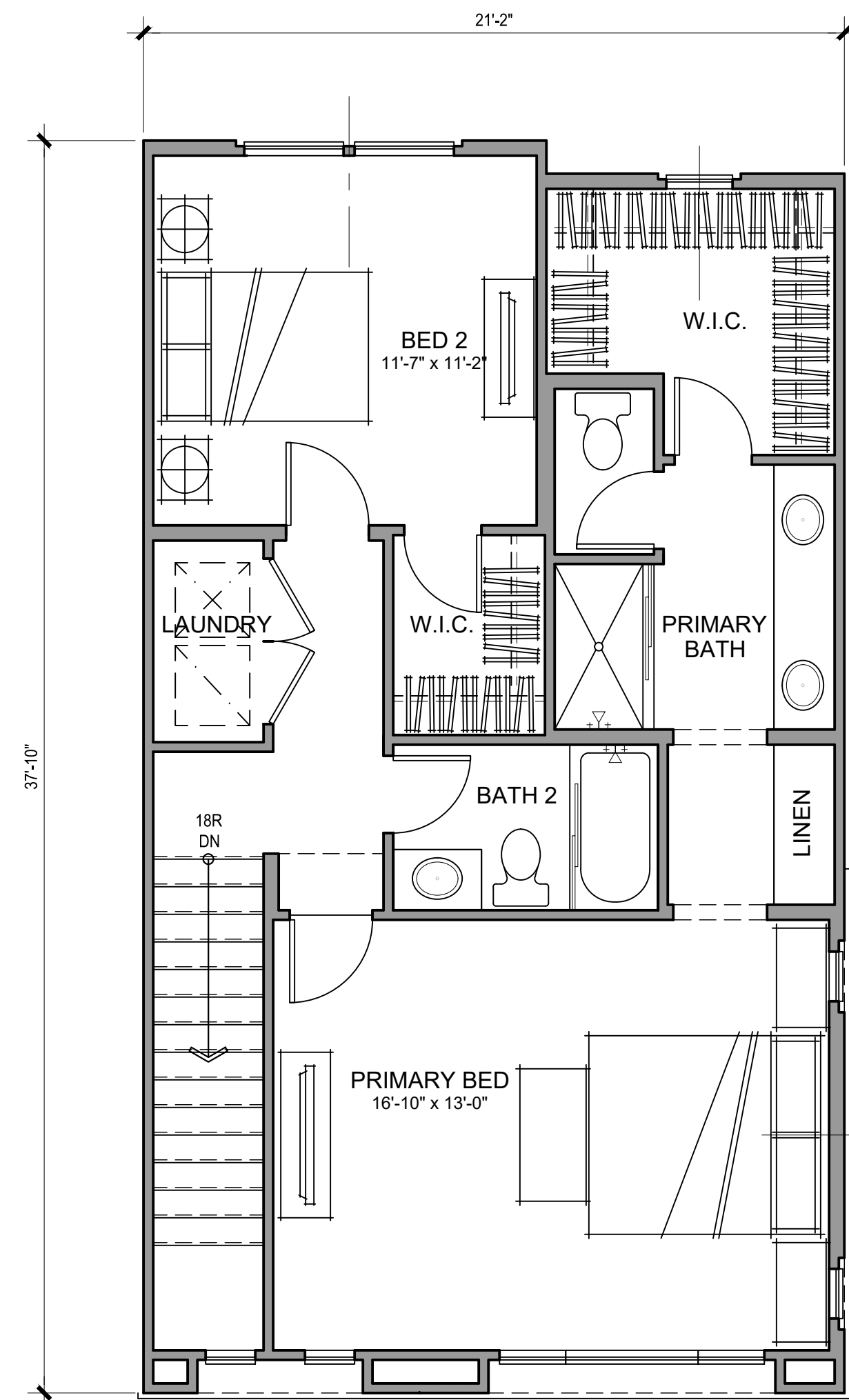
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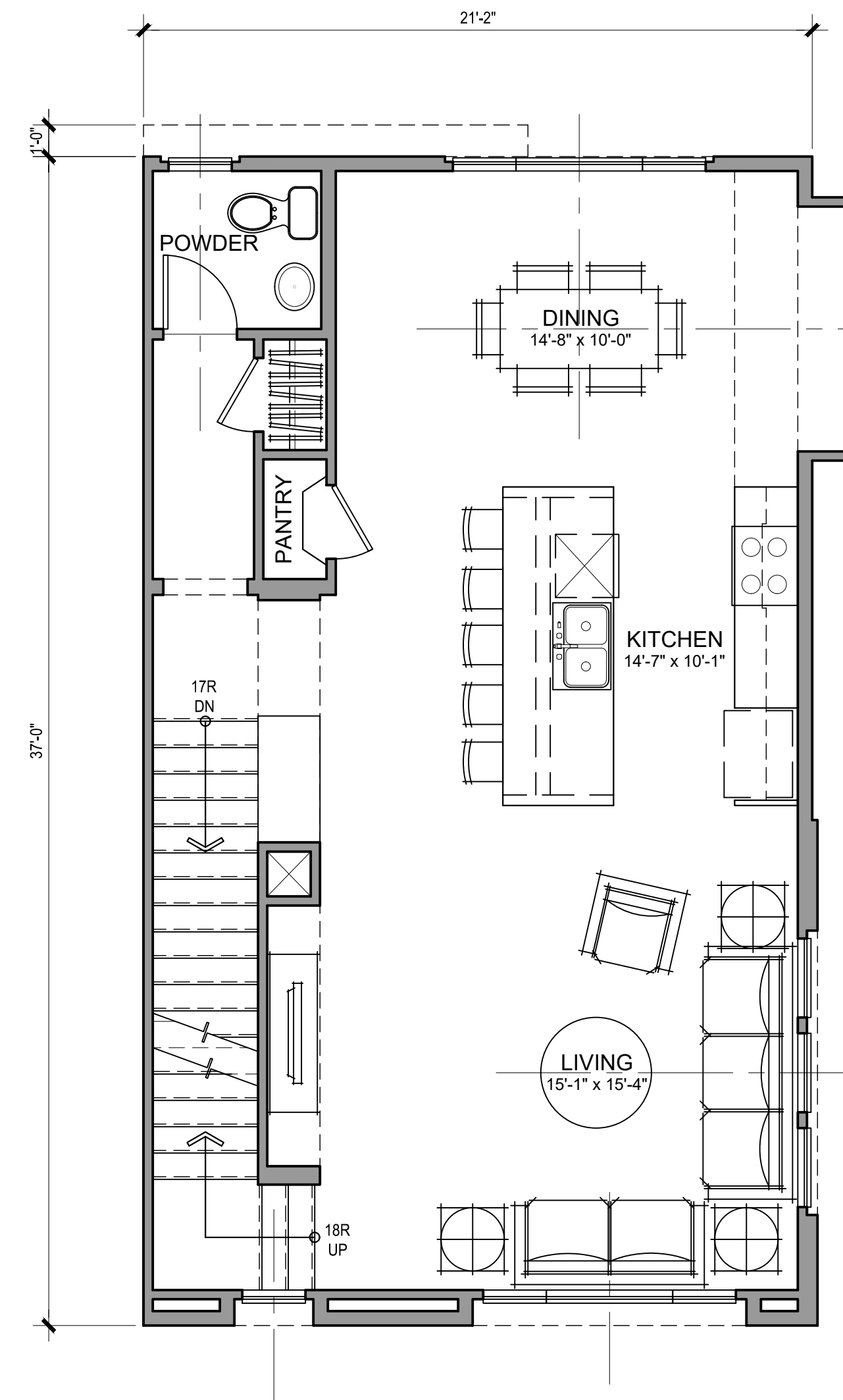
PLAN 4 UNIT PLANS

A6.3

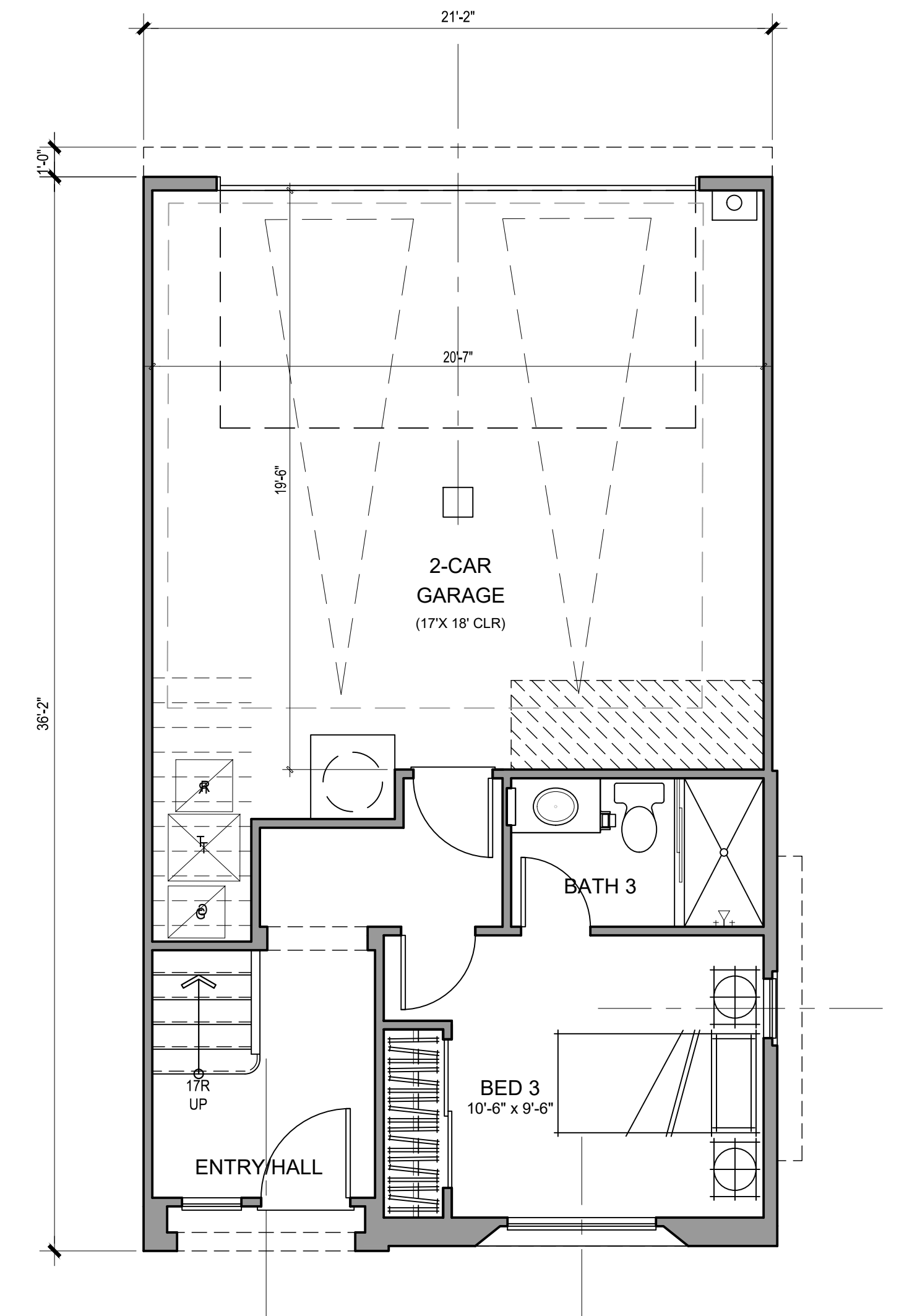




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P5 - GROSS SF		P5 - NET SF	
1ST FLOOR	323 SQ. FT.	1ST FLOOR	302 SQ. FT.
2ND FLOOR	766 SQ. FT.	2ND FLOOR	723 SQ. FT.
3RD FLOOR	716 SQ. FT.	3RD FLOOR	682 SQ. FT.
TOTAL LIVING	1805 SQ. FT.	TOTAL LIVING	1707 SQ. FT.
GARAGE	452 SQ. FT.	GARAGE	429 SQ. FT.

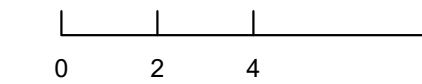


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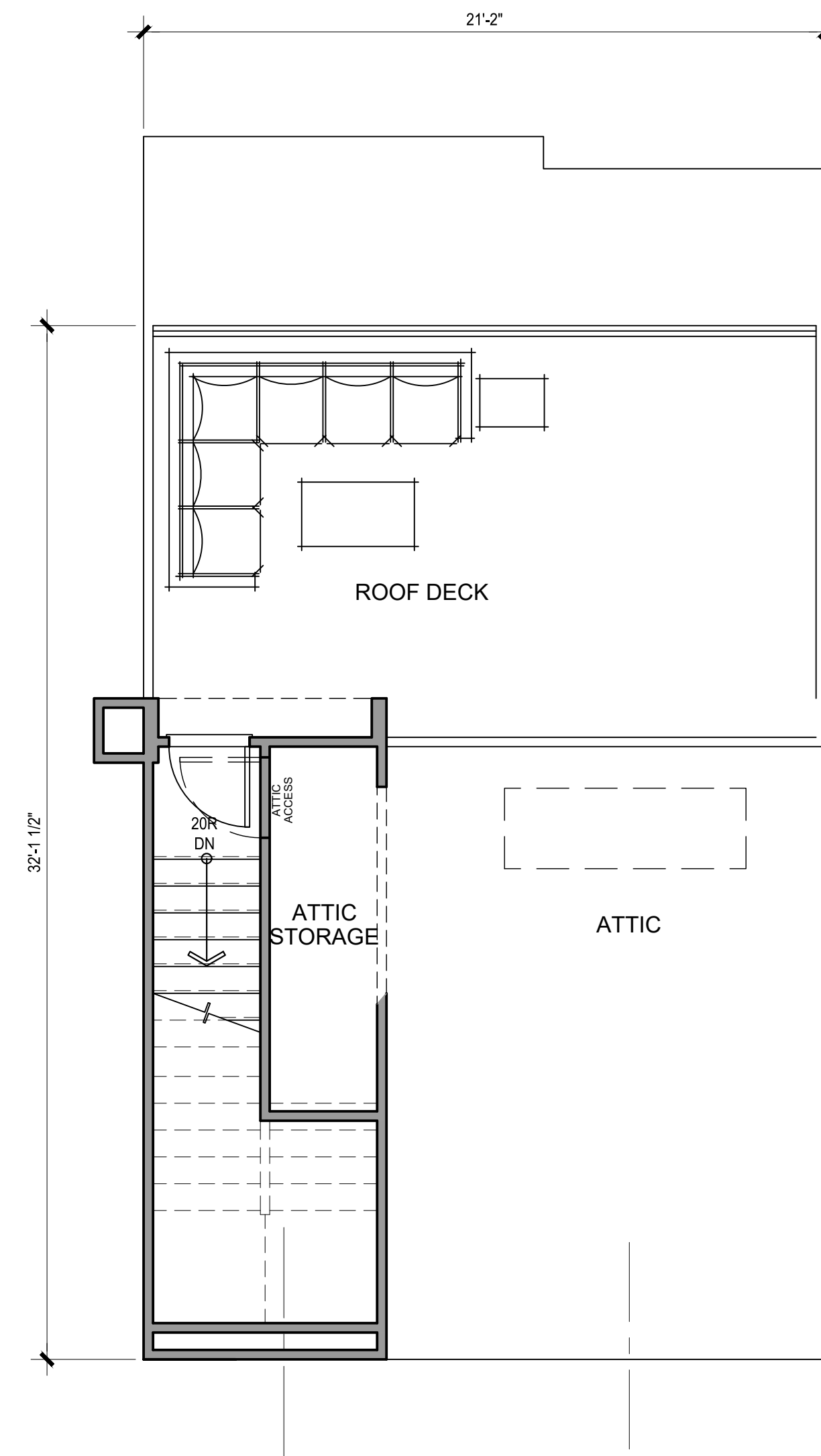
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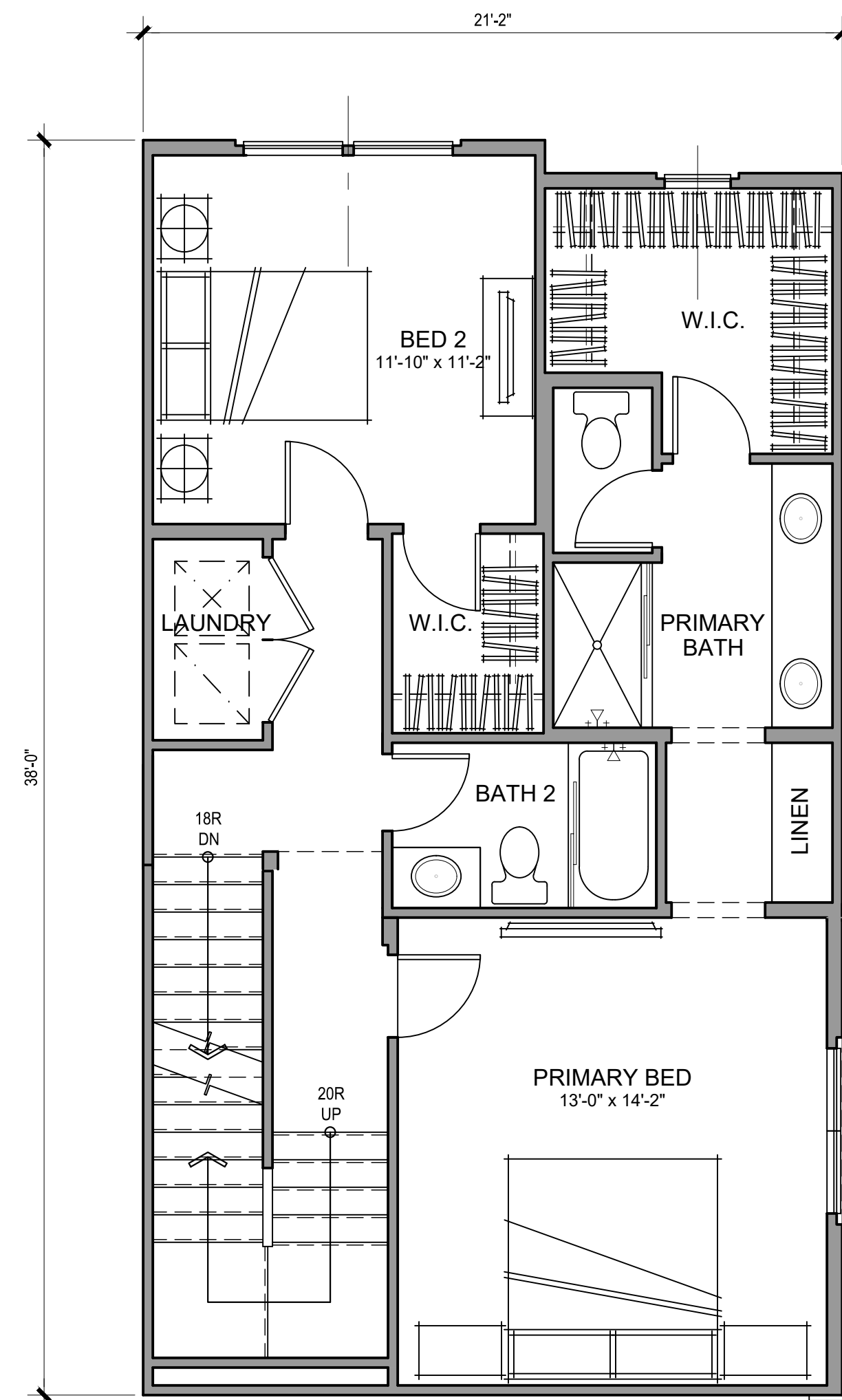
PLAN 5 UNIT PLANS

A6.4

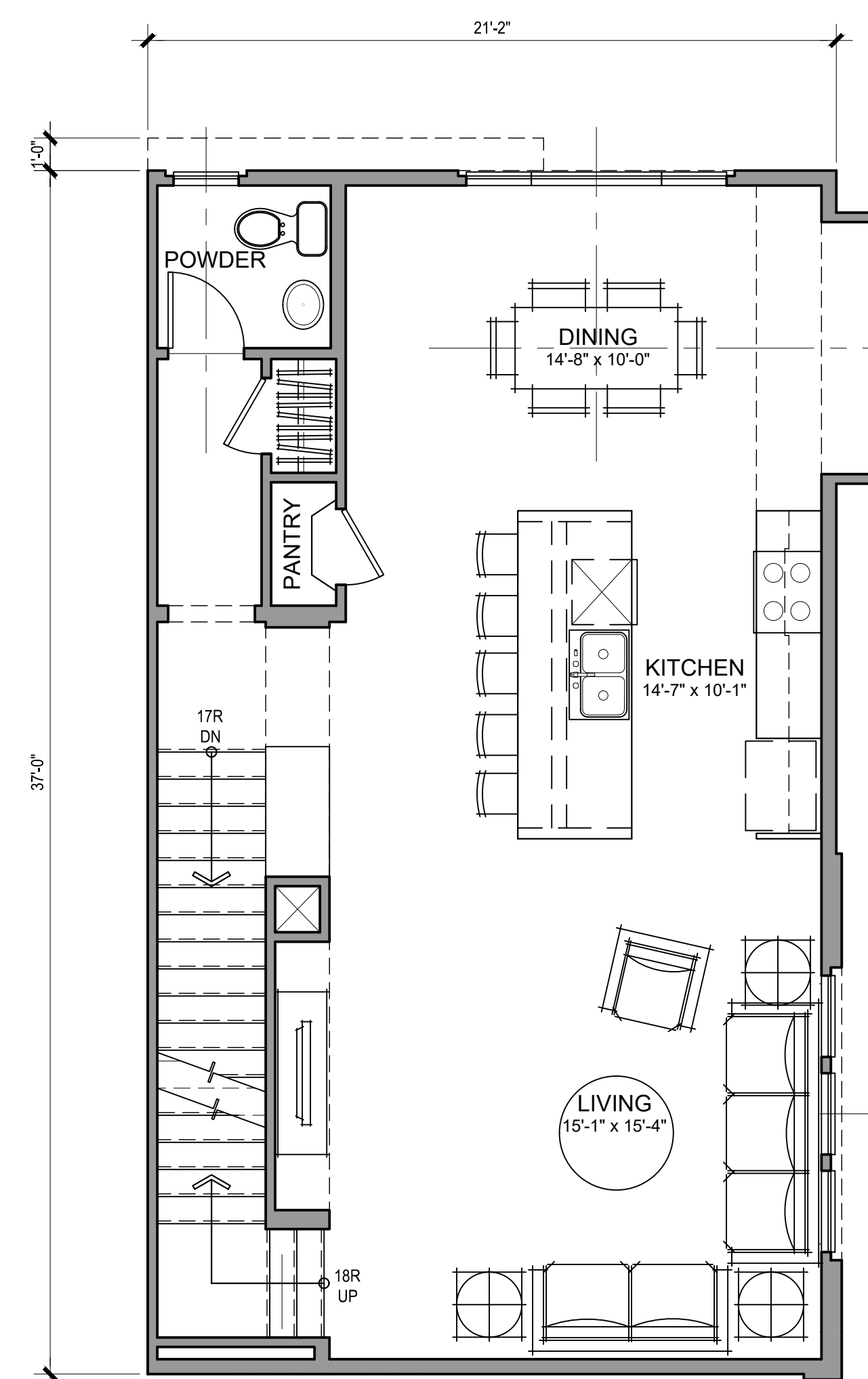




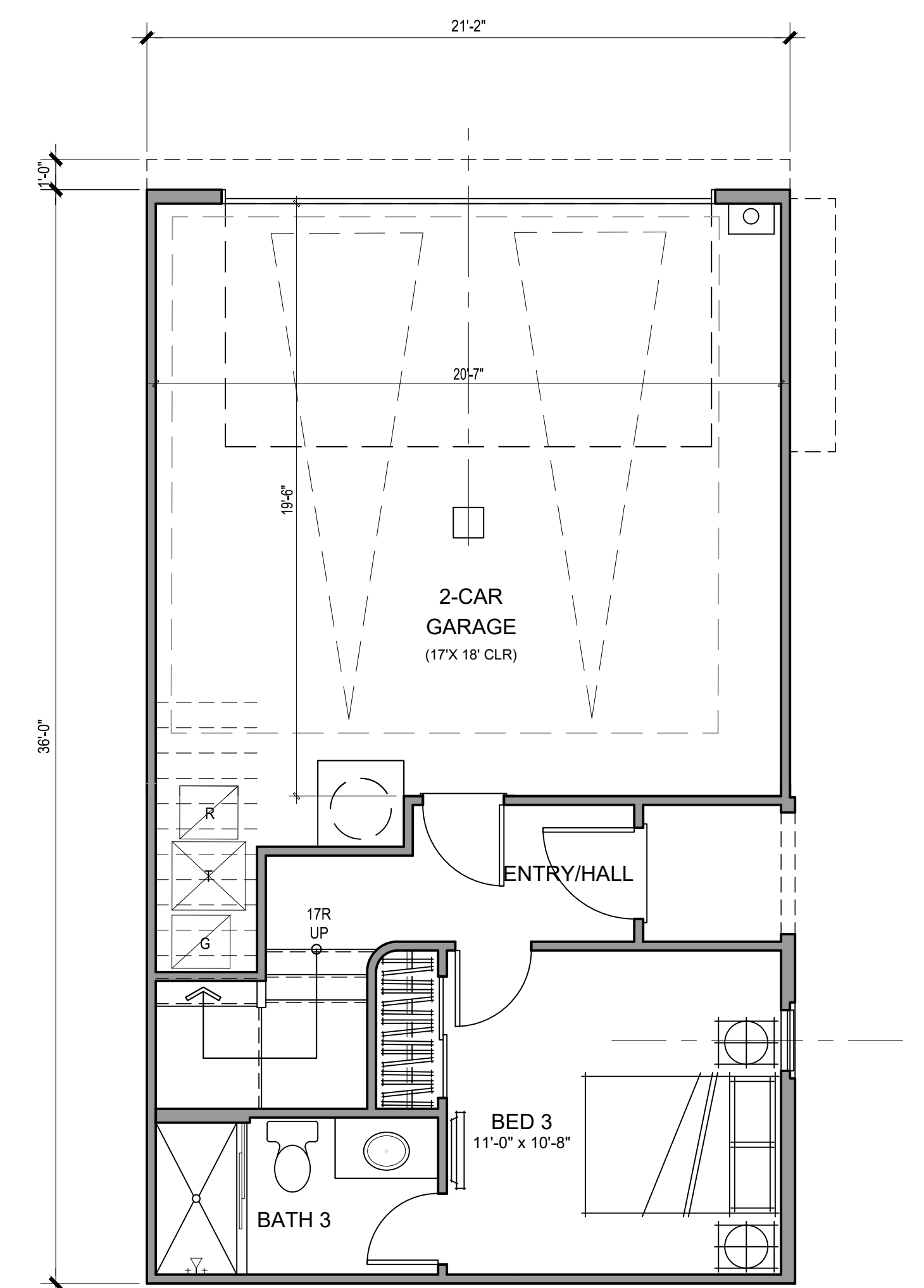
ROOF DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P5 ALT - GROSS SF		P5 ALT - NET SF	
1ST FLOOR	321 SQ. FT.	1ST FLOOR	297 SQ. FT.
2ND FLOOR	779 SQ. FT.	2ND FLOOR	733 SQ. FT.
3RD FLOOR	796 SQ. FT.	3RD FLOOR	756 SQ. FT.
STAIR TOWER	15 SQ. FT.	STAIR TOWER	12 SQ. FT.
TOTAL LIVING	1911 SQ. FT.	TOTAL LIVING	1798 SQ. FT.
GARAGE	451 SQ. FT.	GARAGE	429 SQ. FT.
ROOF DECK	274 SQ. FT.	ROOF DECK	256 SQ. FT.

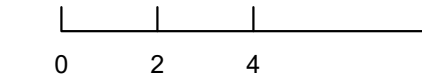


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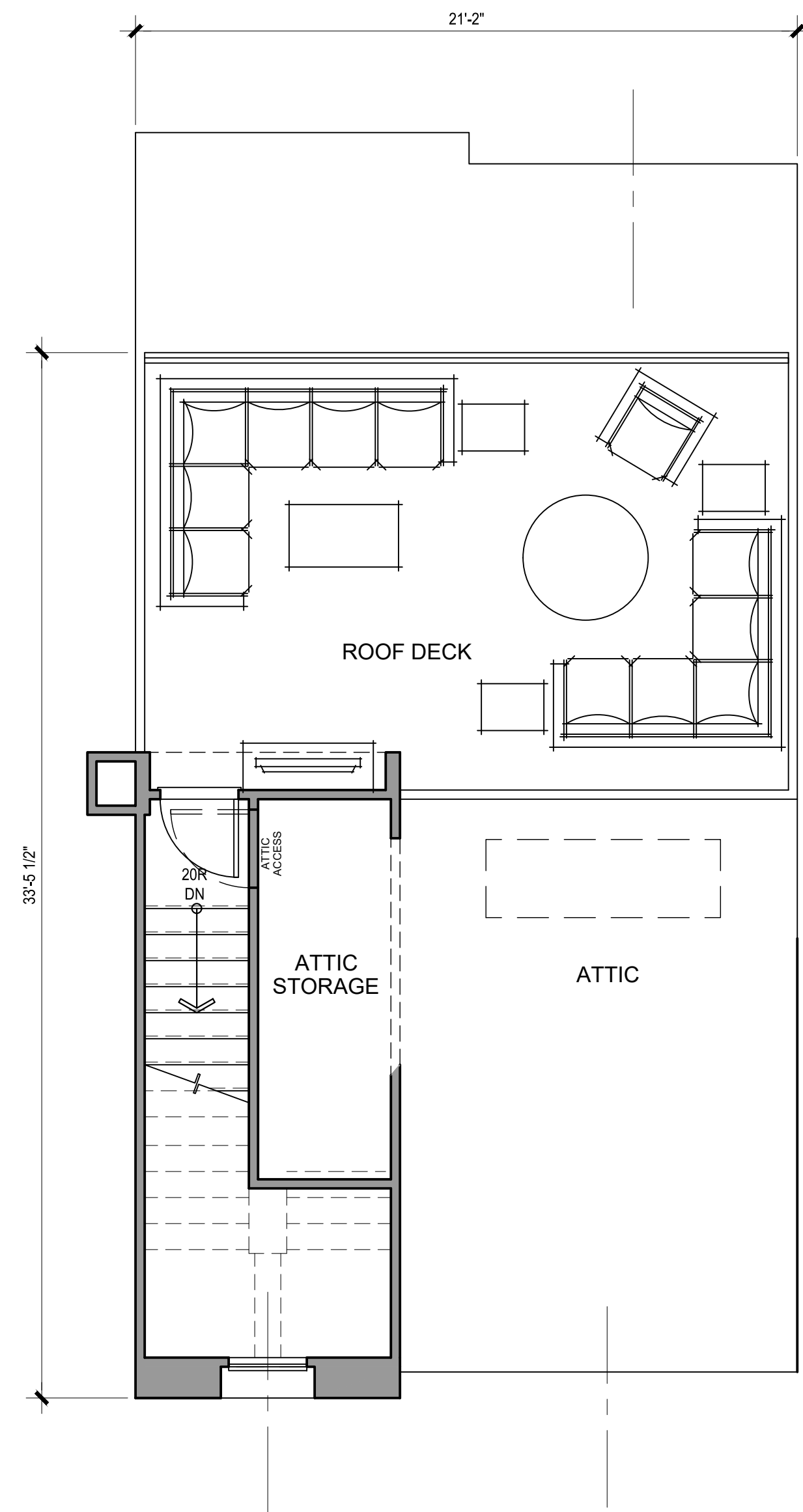
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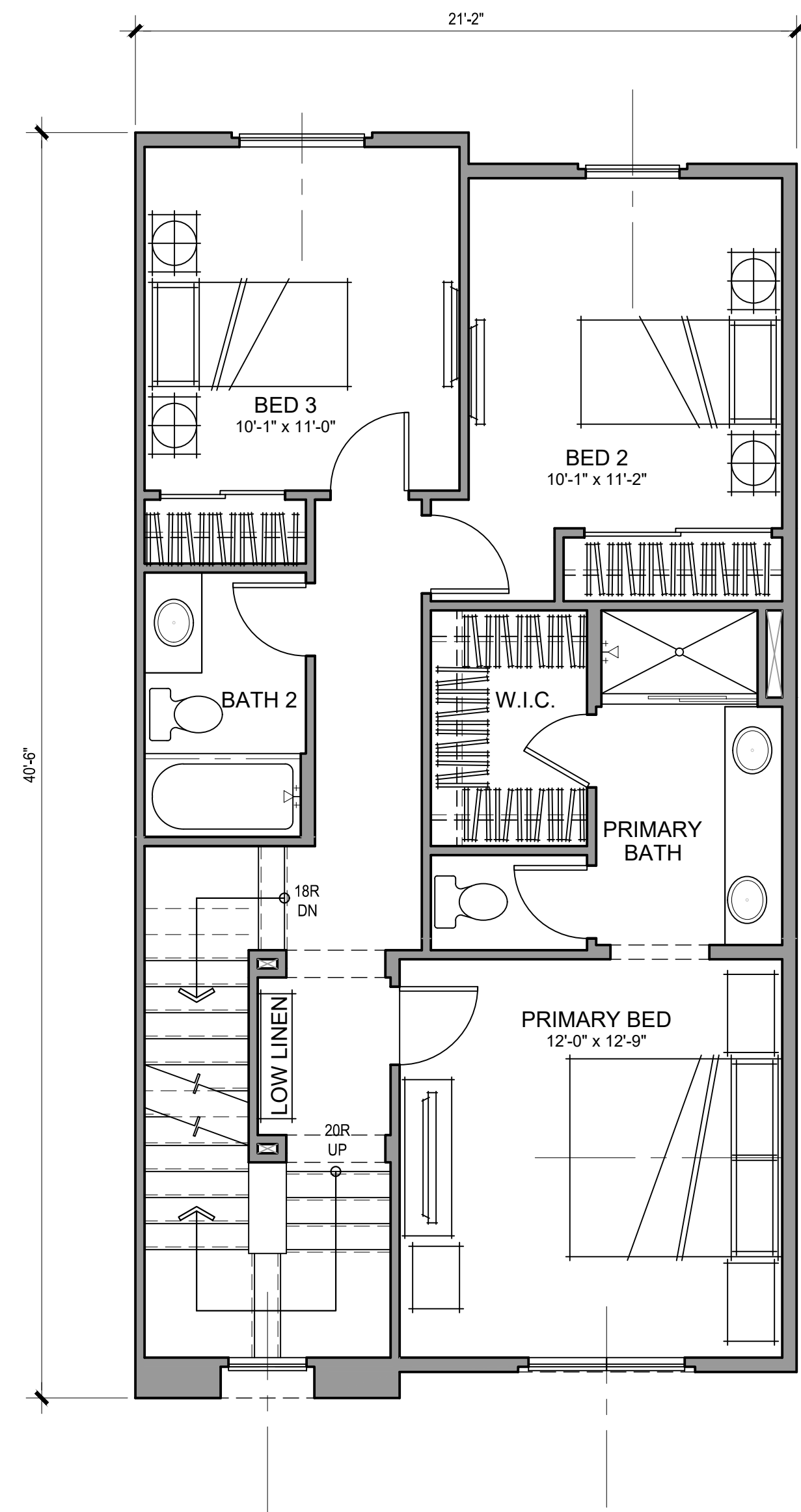
PLAN 5 ALT UNIT PLANS

A6.5

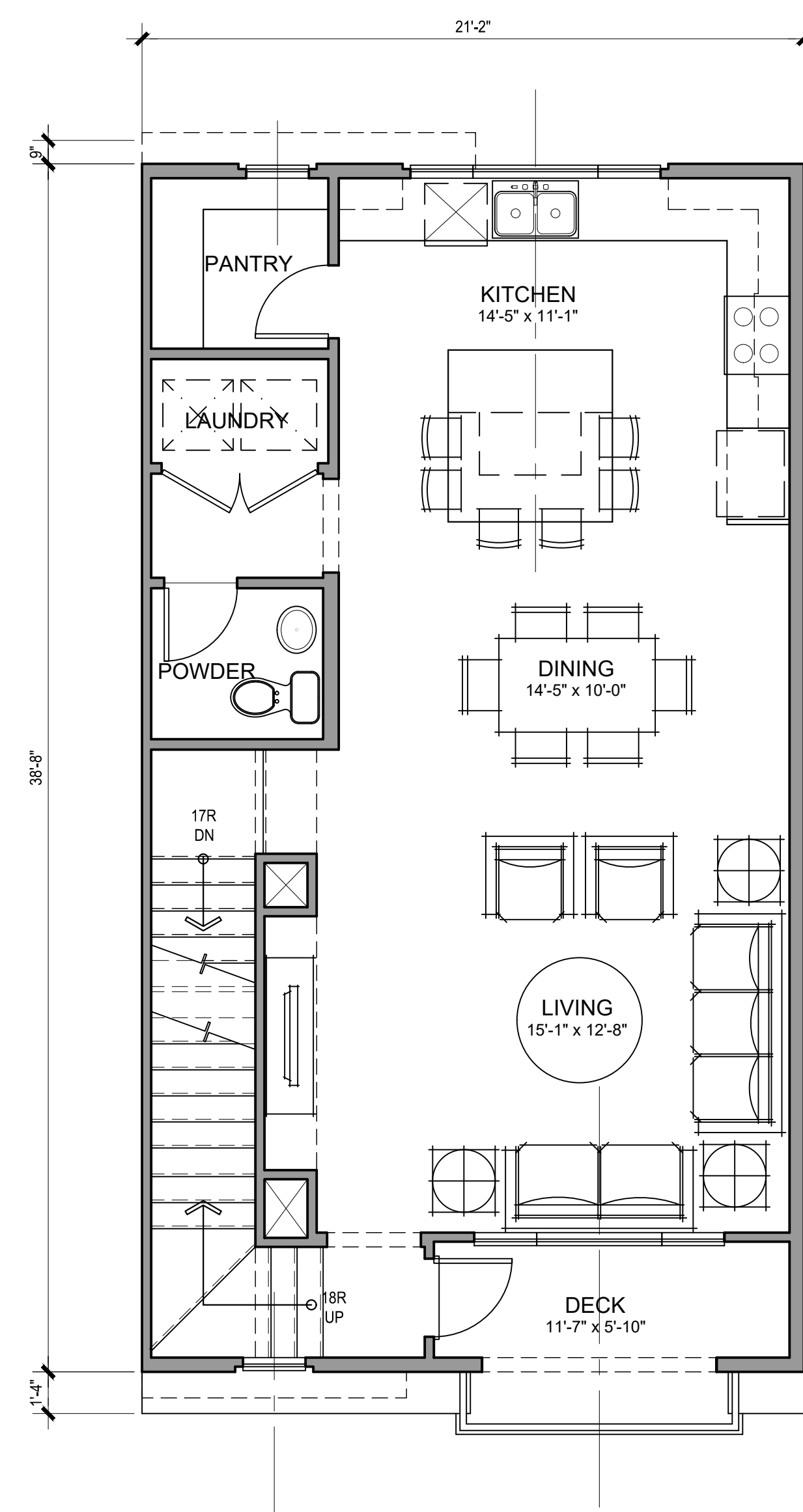




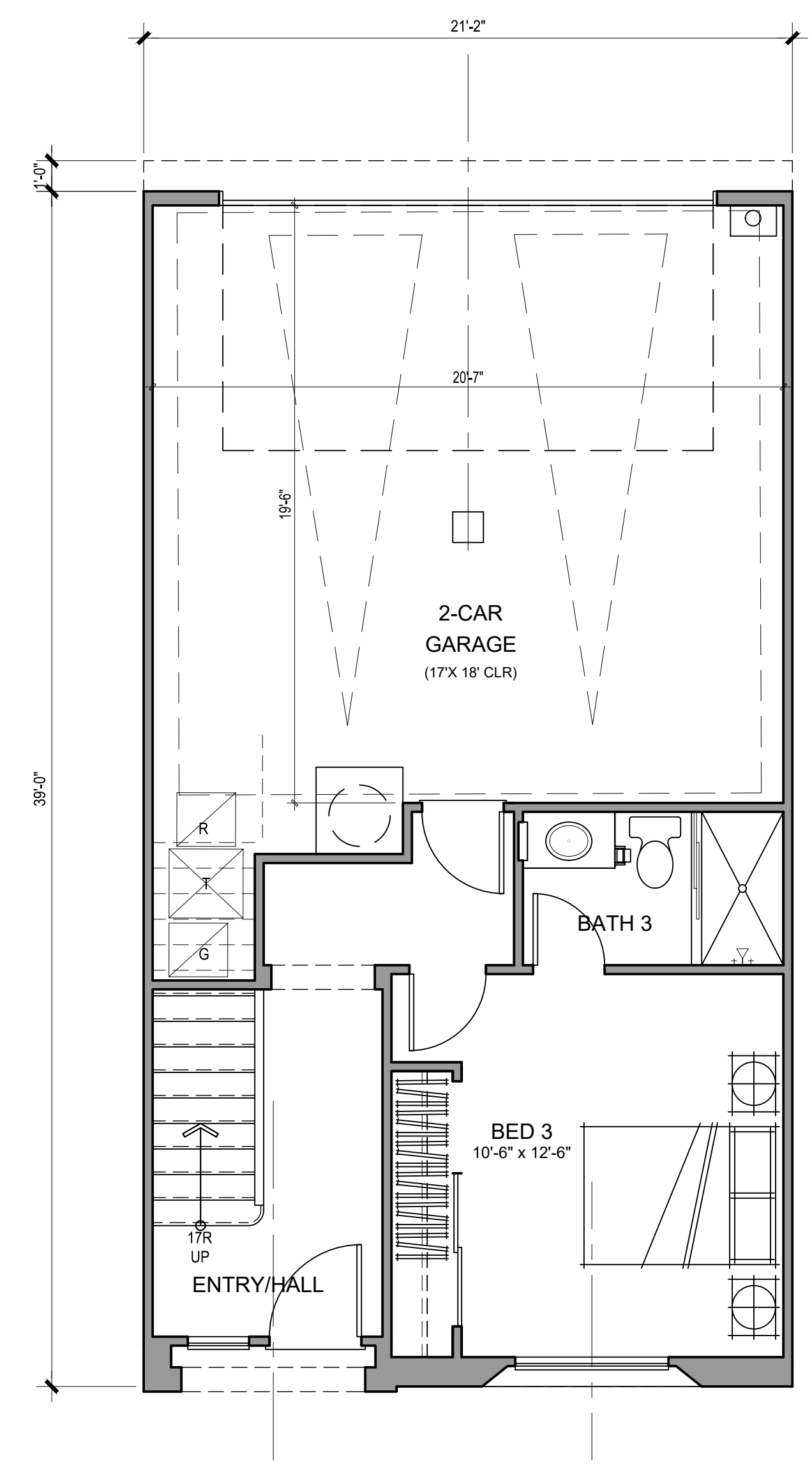
ROOF DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P7 - GROSS SF		P7 - NET SF	
1ST FLOOR	385 SQ. FT.	1ST FLOOR	362 SQ. FT.
2ND FLOOR	768 SQ. FT.	2ND FLOOR	723 SQ. FT.
3RD FLOOR	829 SQ. FT.	3RD FLOOR	781 SQ. FT.
STAIR HOUSING	15 SQ. FT.	STAIR HOUSING	12 SQ. FT.
TOTAL LIVING	1997 SQ. FT.	TOTAL LIVING	1878 SQ. FT.
GARAGE	452 SQ. FT.	GARAGE	429 SQ. FT.
ROOF DECK	300 SQ. FT.	ROOF DECK	282 SQ. FT.
DECK	68 SQ. FT.	DECK	61 SQ. FT.

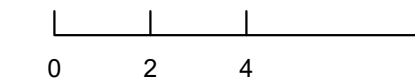


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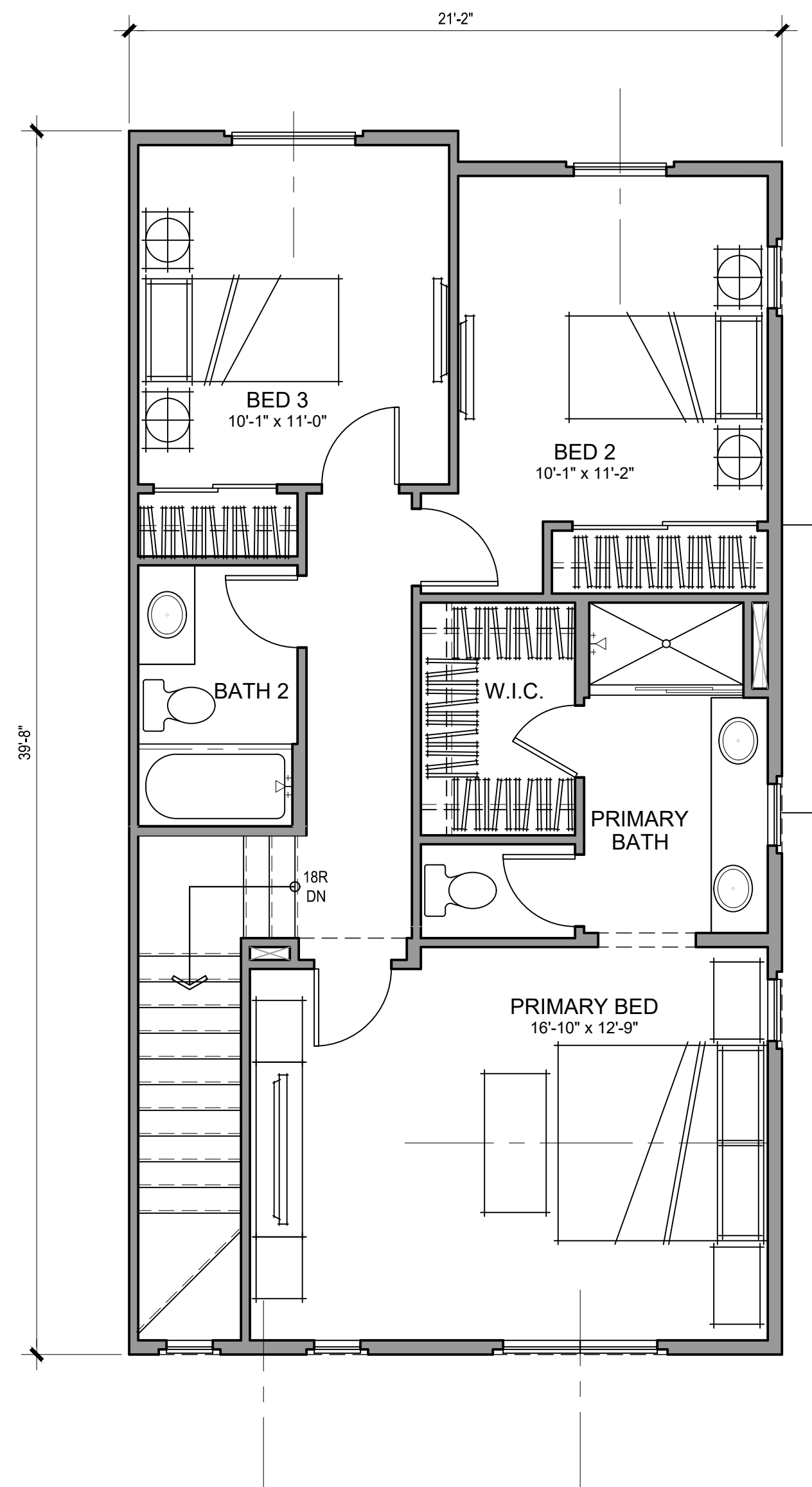
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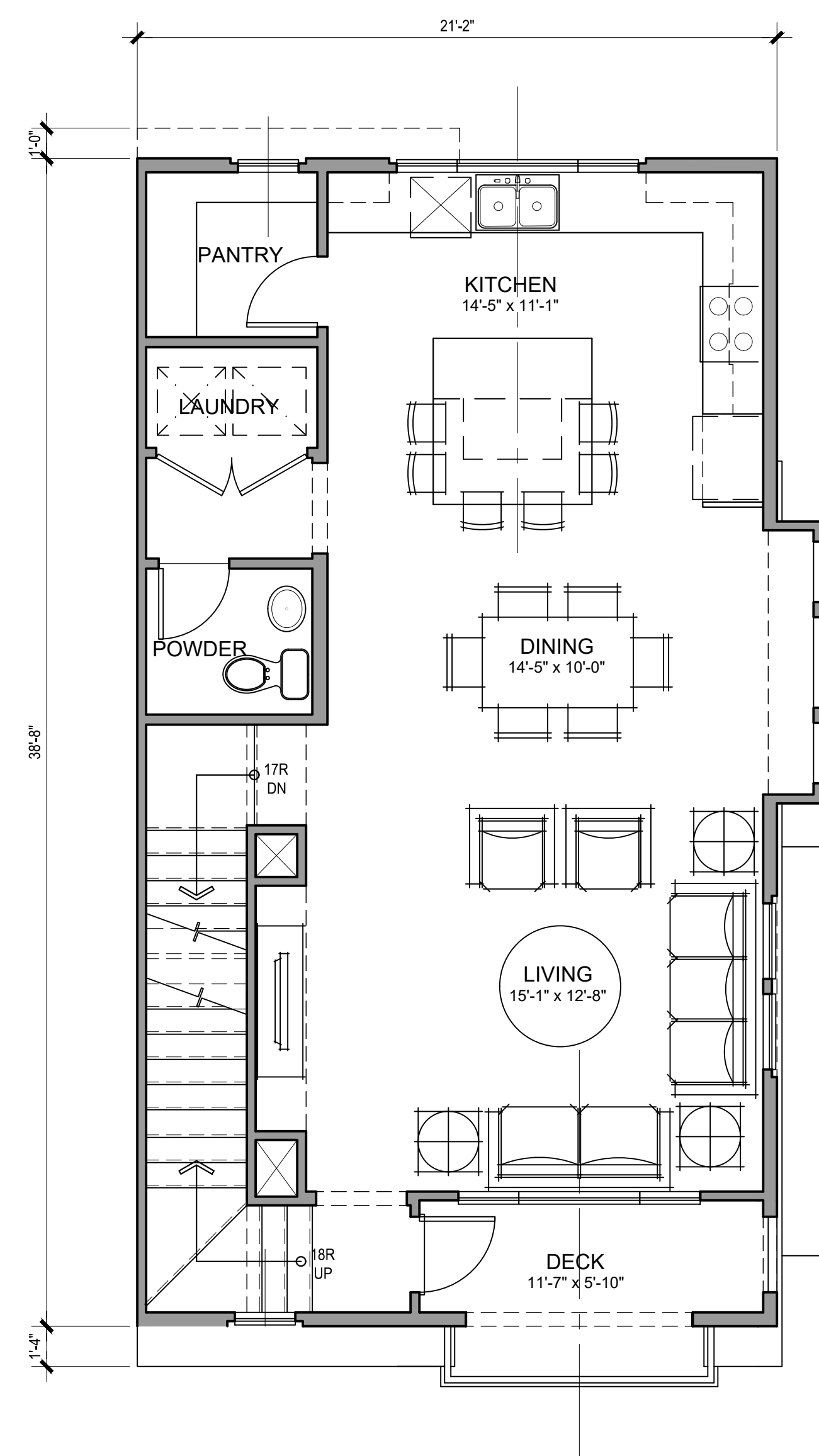
PLAN 7 UNIT PLANS

A6.6

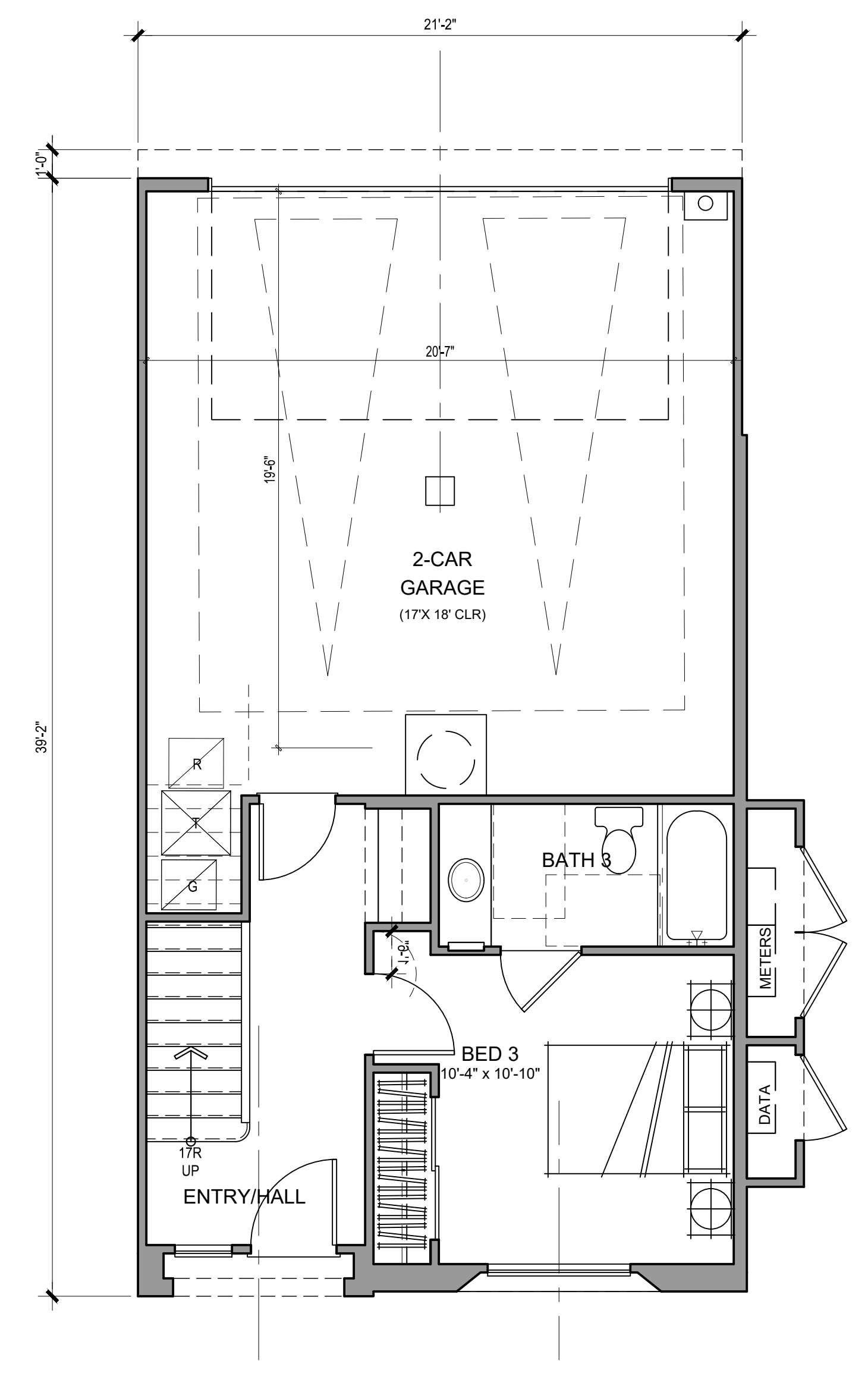




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P7X - GROSS SF		P7X - NET SF	
1ST FLOOR	364 SQ. FT.	1ST FLOOR	342 SQ. FT.
2ND FLOOR	768 SQ. FT.	2ND FLOOR	723 SQ. FT.
3RD FLOOR	829 SQ. FT.	3RD FLOOR	781 SQ. FT.
TOTAL LIVING	1961 SQ. FT.	TOTAL LIVING	1846 SQ. FT.
GARAGE	473 SQ. FT.	GARAGE	449 SQ. FT.
DECK	68 SQ. FT.	DECK	61 SQ. FT.

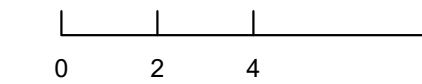


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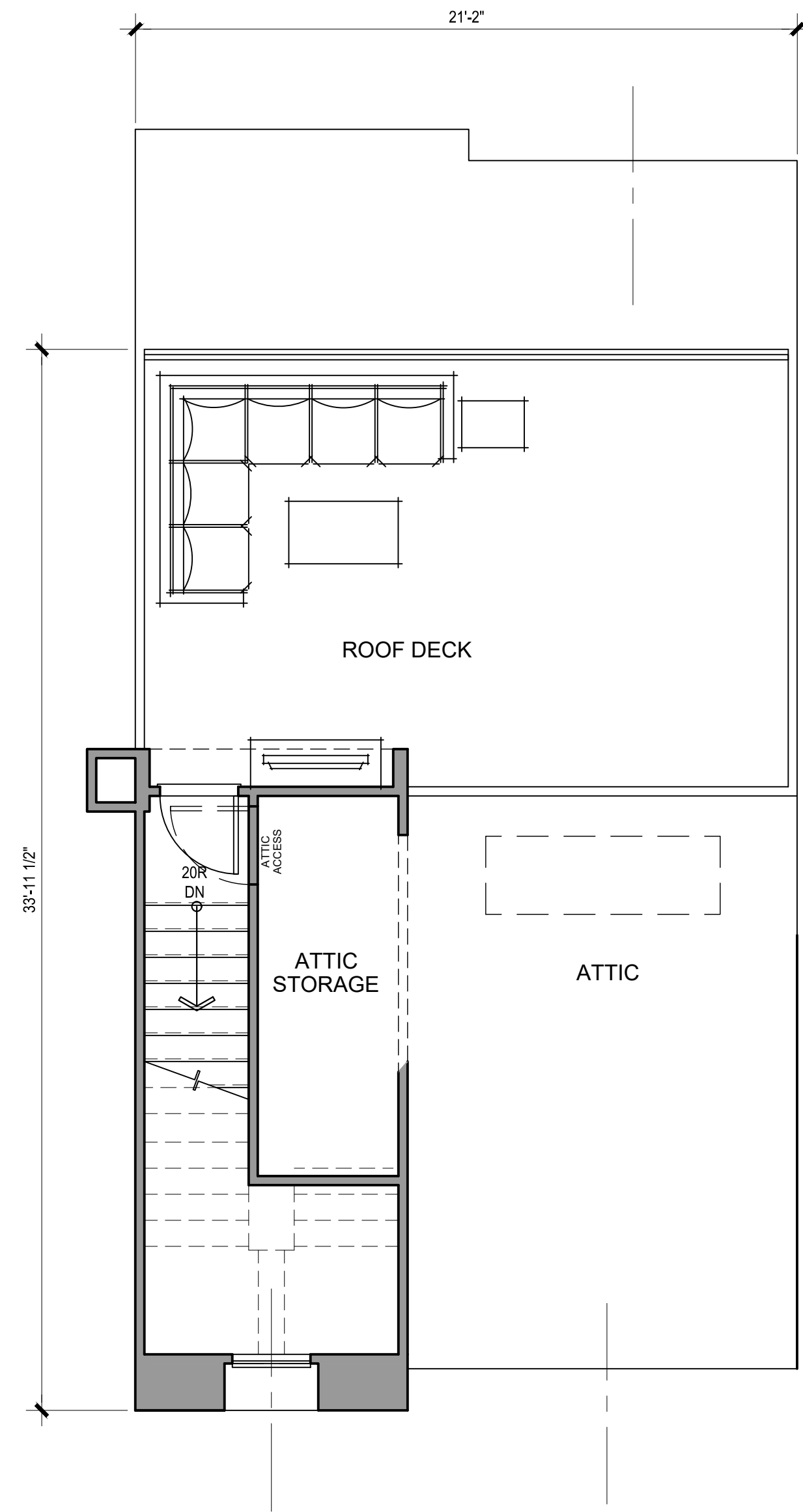
Plot Date: 6/16/2023  
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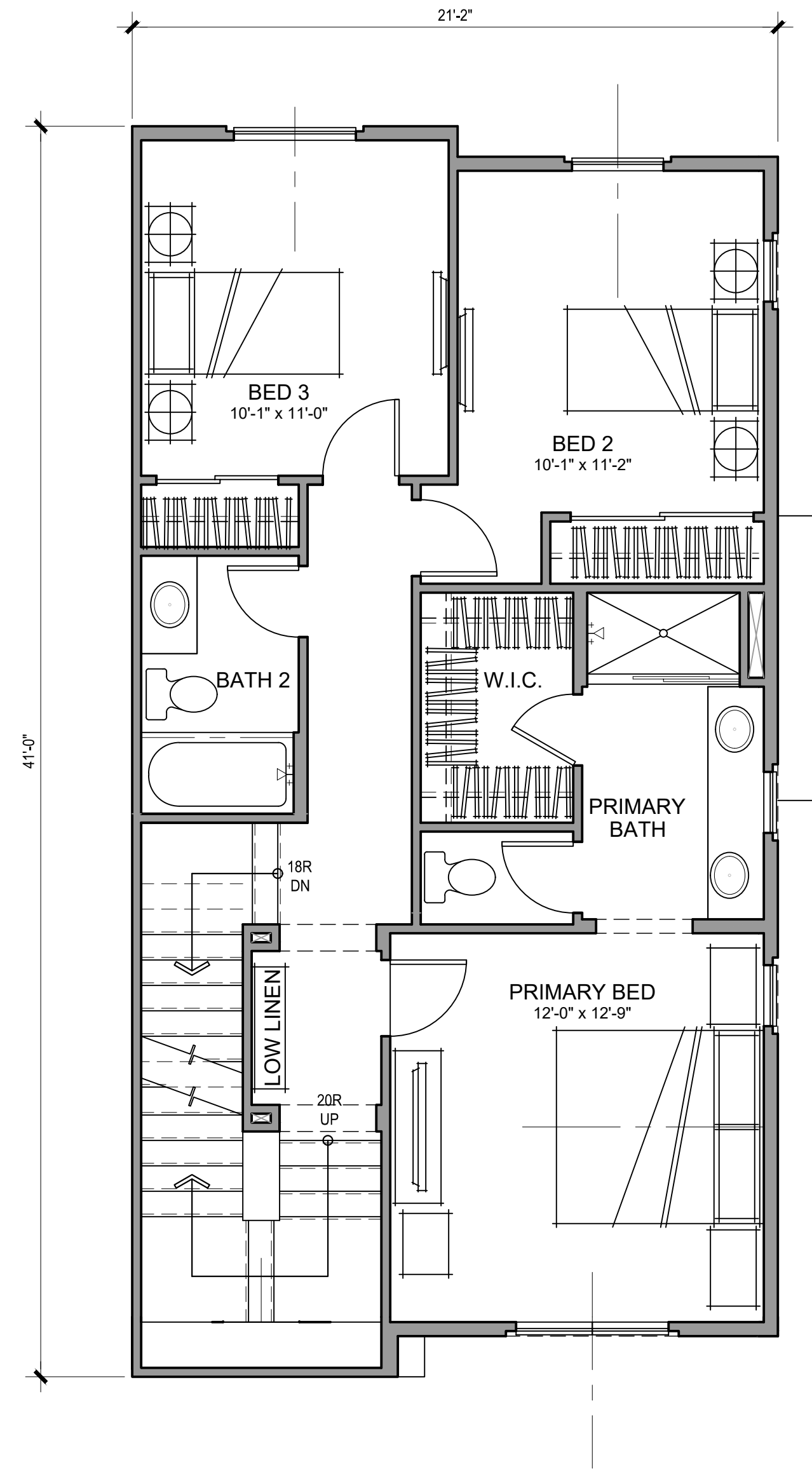
PLAN 7X UNIT PLANS

A6.7

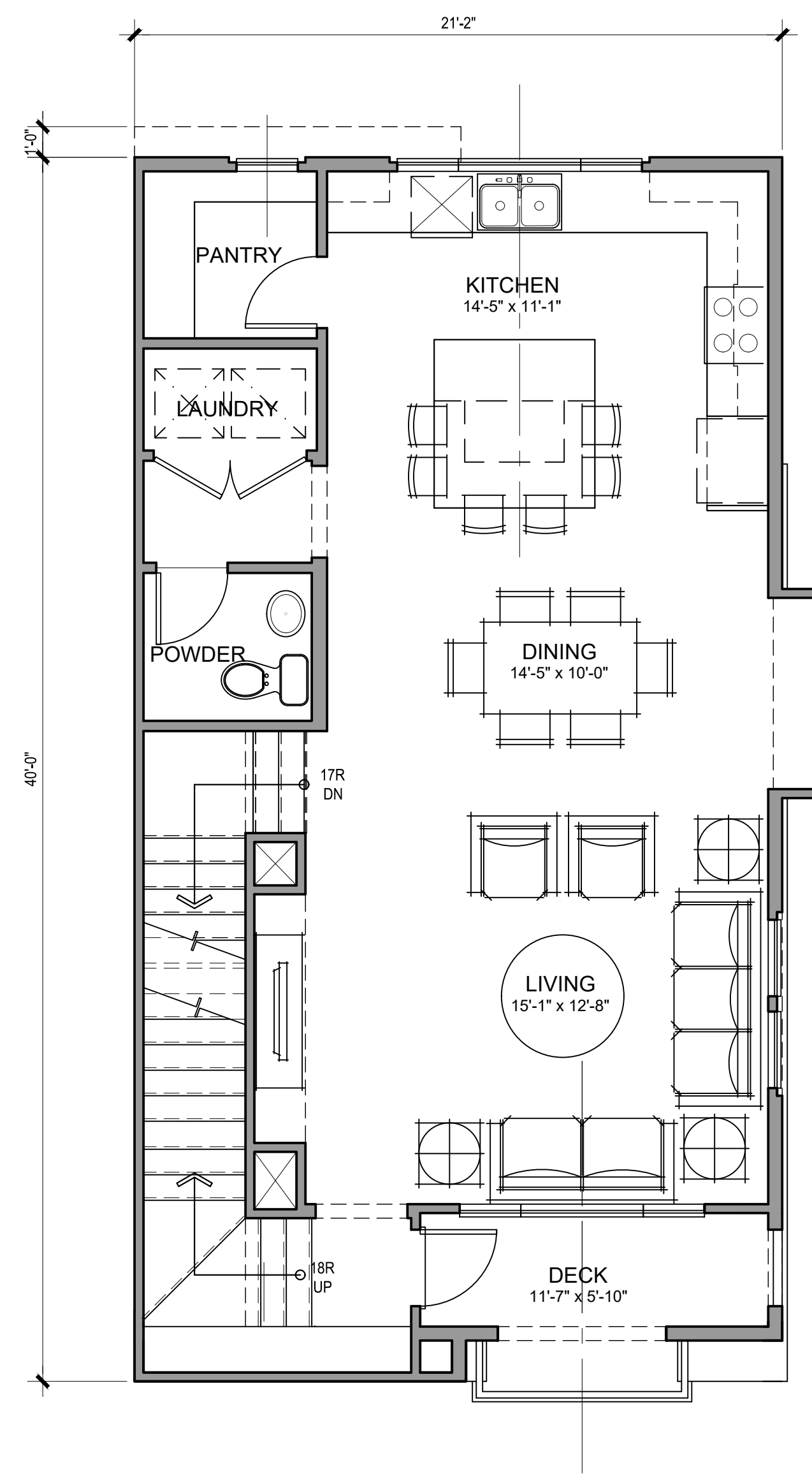




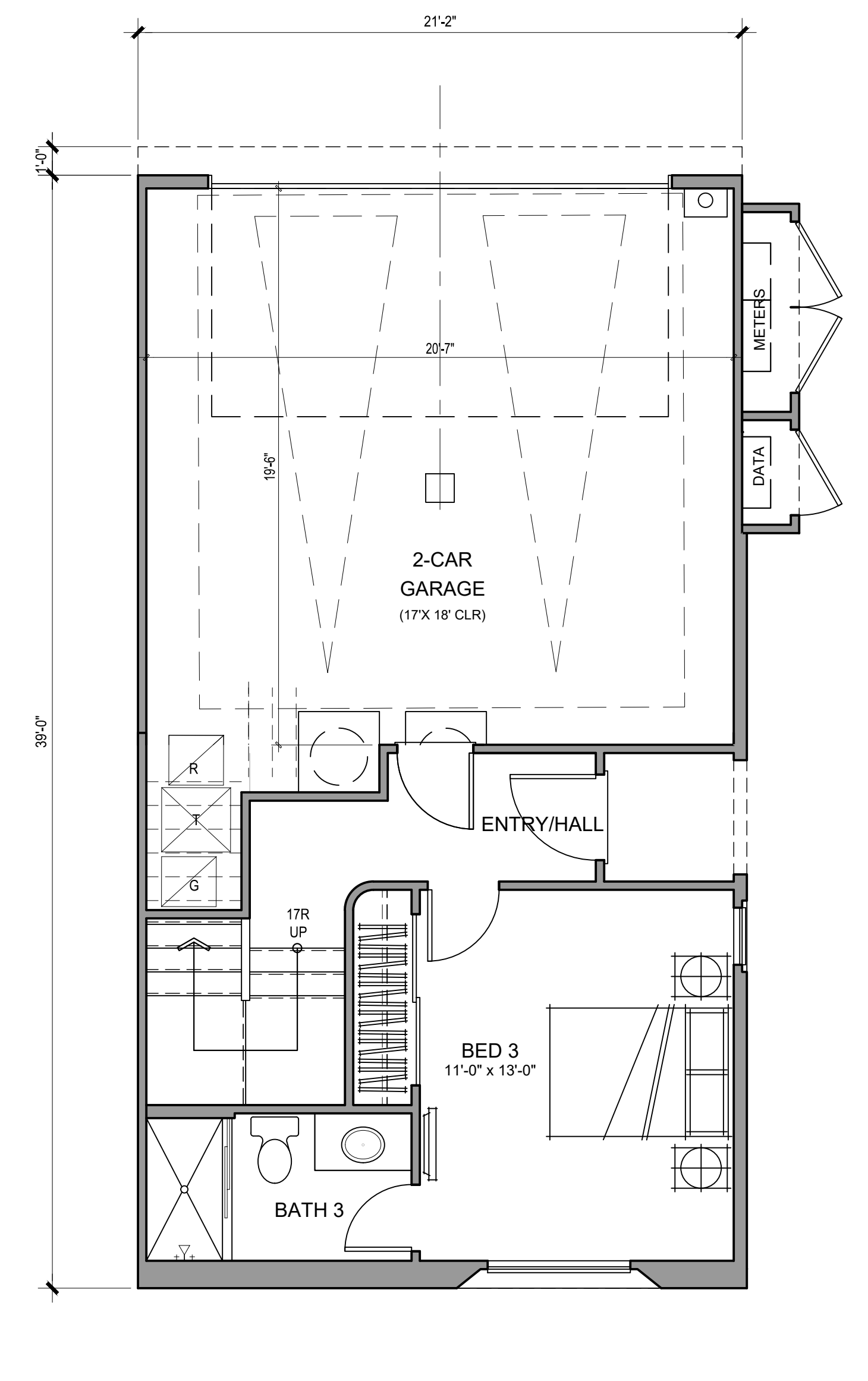
ROOF DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P7X ALT - GROSS SF		P7X ALT - NET SF	
1ST FLOOR	397 SQ. FT.	1ST FLOOR	374 SQ. FT.
2ND FLOOR	780 SQ. FT.	2ND FLOOR	736 SQ. FT.
3RD FLOOR	838 SQ. FT.	3RD FLOOR	793 SQ. FT.
STAIR HOUSING	15 SQ. FT.	STAIR HOUSING	12 SQ. FT.
TOTAL LIVING	2030 SQ. FT.	TOTAL LIVING	1915 SQ. FT.
GARAGE	451 SQ. FT.	GARAGE	429 SQ. FT.
ROOF DECK	300 SQ. FT.	ROOF DECK	281 SQ. FT.
DECK	64 SQ. FT.	DECK	57 SQ. FT.

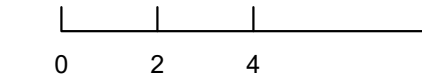


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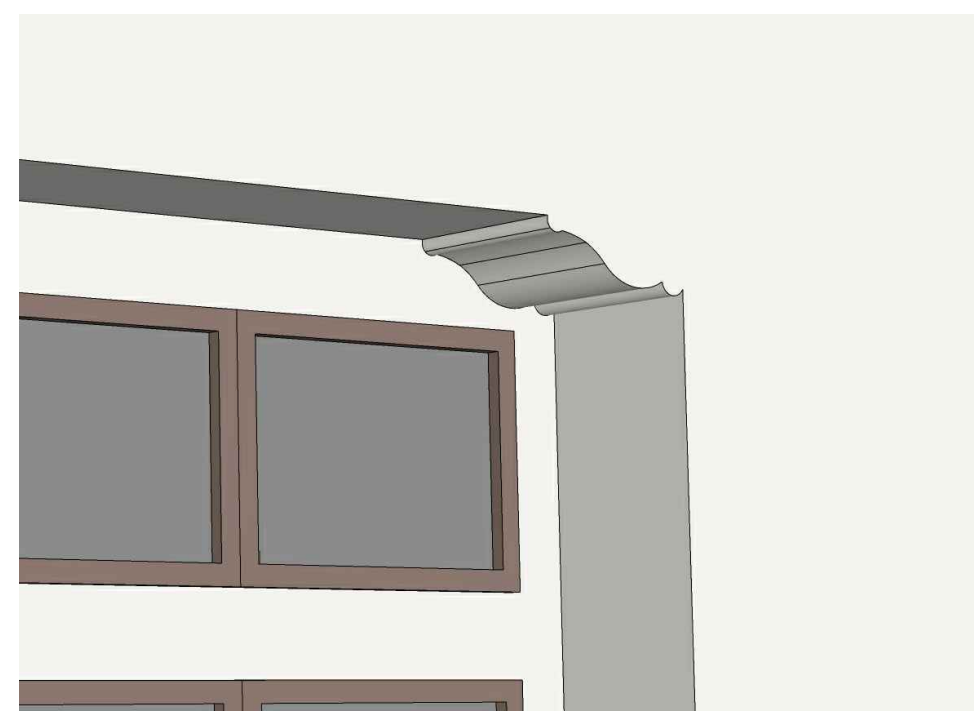
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PLAN 7X ALT UNIT PLANS

A6.8

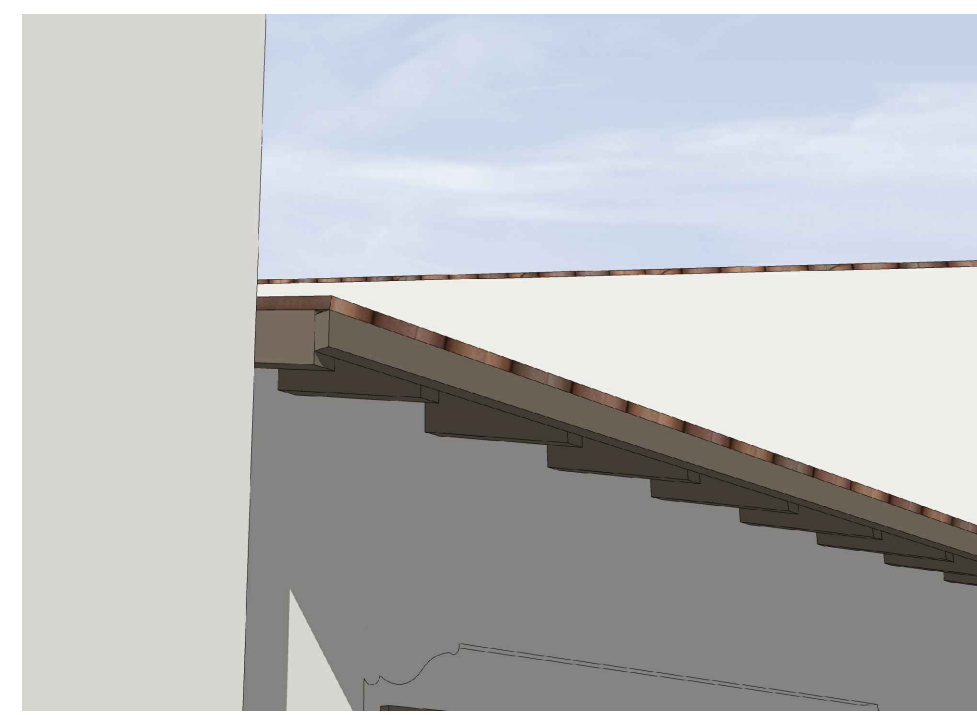




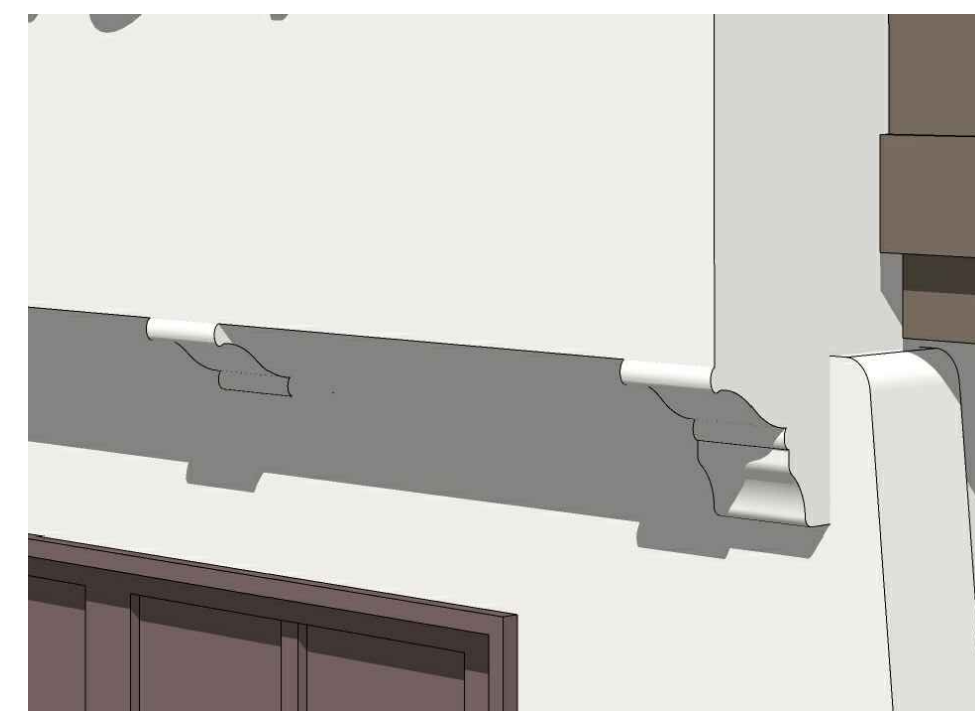
22  
CORBEL AT WINDOW RECESS



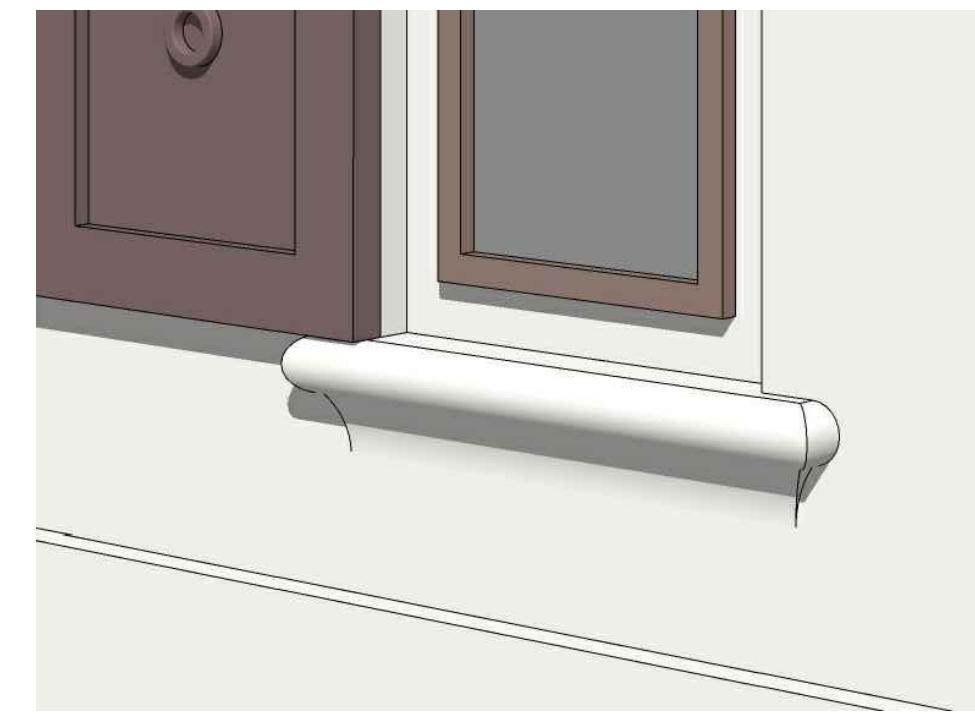
8  
TYPICAL EAVE CORNICE



7  
TYPICAL EXPOSED WOOD TRUSS TAILS



22  
DECORATIVE STUCCO CORBELS



10  
DECORATIVE SCALLOPED STUCCO SILL TRIM



21  
DECORATIVE METAL AND WOOD PLANK POT HOLDER



18/23  
ACCENT BATTERED CERAMIC TILE SURROUND w/ TILE CAPPED BARRANCA



18/23 12 28 27 28



24 21 22 9/15/16

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
  - 2 Concrete 'S' Tiles
  - 3 Gable End Faux Decorative Vent (Recesses)
  - 4 Recessed 1" Stucco / Simulated Wood Header Trim
  - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
  - 6 Stucco Recess/Reveal
  - 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
  - 8 Decorative Stucco Eave
  - 9 Recess Faux Wood Panel Insert
  - 10 Decorative Scalloped Stucco Sill Trim
  - 11 Decorative Simulated Wood Corbel
  - 12 Decorative Canvas/Metal Spear Awning
  - 13 Fiberglass Decorative Front Door
  - 14 Vinyl Windows
  - 15 Fiber Cement Trim at Bay Window
  - 16 Fiber Cement Bd. Panel
  - 17 Stucco Arch
  - 18 Low Stucco Barranca w/ Concrete Tile Cap
  - 19 Decorative Shutters
  - 20 Decorative Stucco Chimney/Stucco Finial
  - 21 Decorative Tube and Wood Plank Pot Holder
  - 22 Decorative Stucco Corbel
  - 23 Accent Battered Ceramic Tile Surround
  - 24 Metal Decorative Sectional Garage Door
  - 25 Decorative Exterior Lights & Address
  - 26 Metal Utility Door
  - 27 Metal Juliet Railing/Guard Rail
  - 28 Decorative HD Stucco/Foam Surround



28  
ENTRY SURROUND



9/15/16  
BOX BAY WINDOW w/ FIBER CEMENT BOARD PANEL, FAUX WOOD CORBELS



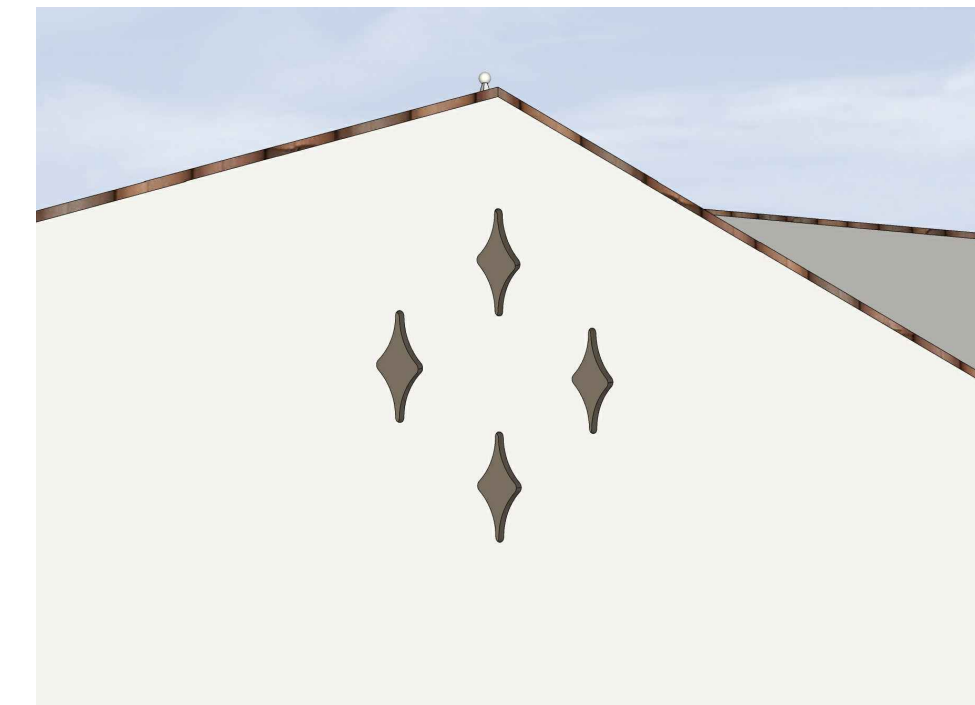
12  
DECORATIVE CANVAS / METAL SPEAR AWNING



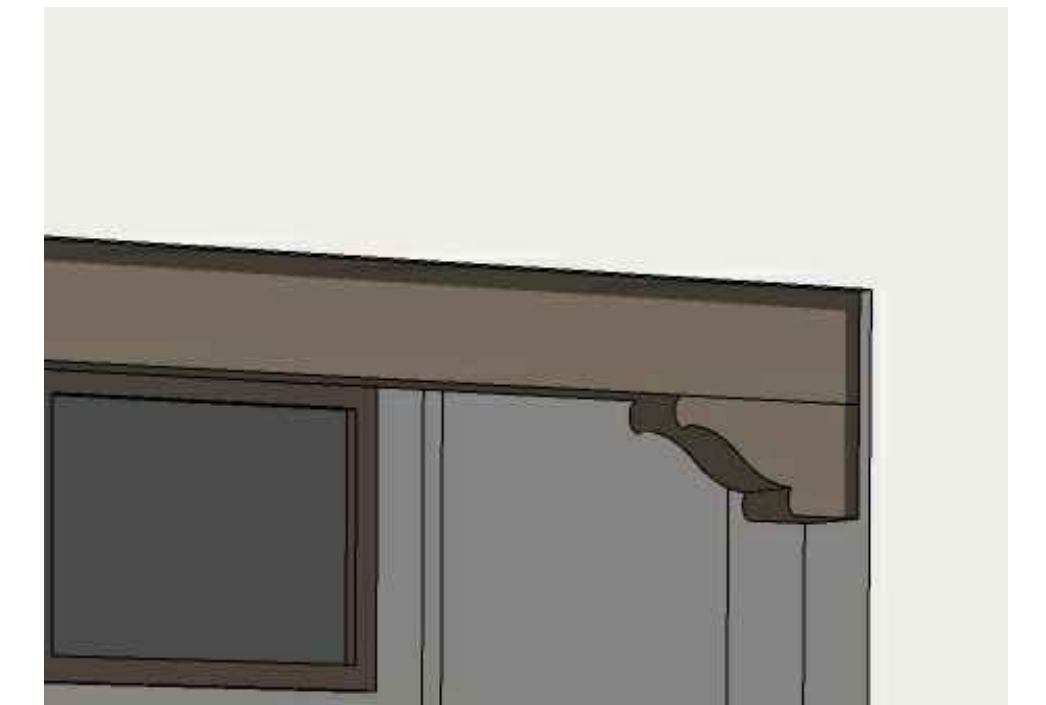
27  
DECORATIVE METAL BALCONY



4/5  
DEEP RECESSED WINDOW w/ 1" RECESSED STUCCO SIMULATED WD BEAM



3  
GABLE END FAUX DECORATIVE VENT (RECESSES)



5/11  
WOOD BEAM / FAUX CORBEL

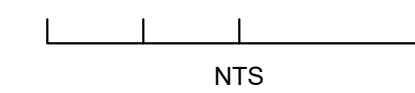


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ENLARGED DETAILS BOARD

A7.0



## COLOR SCHEME 1

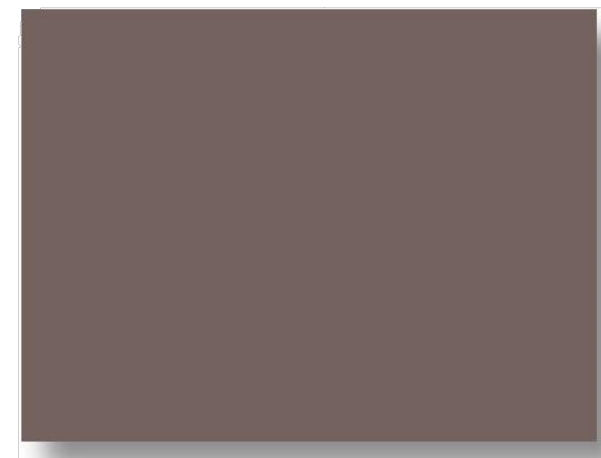


**STUCCO BASE**  
SNOWFALL (SW6000)

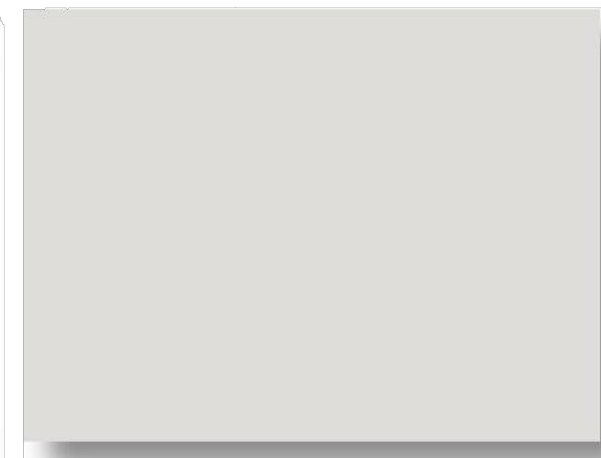
**STUCCO ACCENT**  
GRAYISH (SW6001)



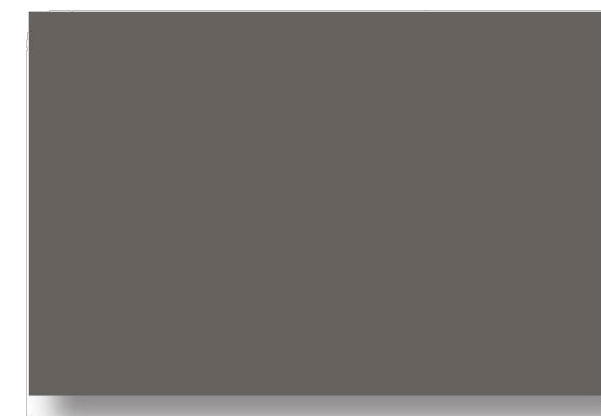
**DOOR 1**  
RELENTLESS OLIVE (SW 6425)



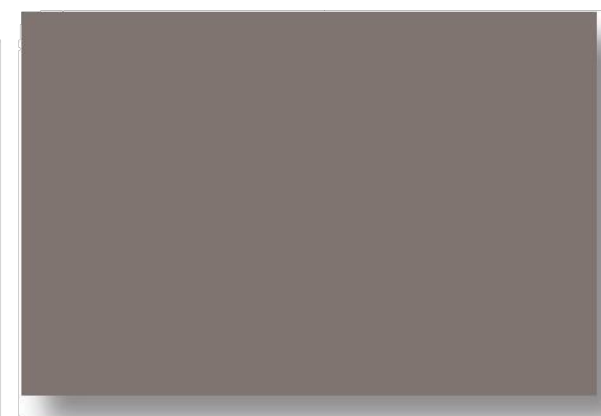
**DOOR 2**  
CORDOVAN (SW 6027)



**ENTRY SURROUND**  
FIRST STAR (SW 7646)



**IRON**  
BLACK FOX (SW7020)



**SHUTTER**  
DEEPEST MAUVE (SW0005)



**WINDOW**  
MILGARD - TWEED



**PORCELAIN SALTILLO**  
VILLA & MISSION STONE IMPORTS, LLC  
PORCELAIN LAGUAN SALTILLO - DARK



**ROOF**  
BORAL - COPPER MOUNTAIN BLEND



**CERAMIC ACCENT TILES**  
TIERRA Y FUEGO - SANTA BARBARA SERIES  
CARNAVAL FLOWER 1, CARNAVAL FLOWER 2



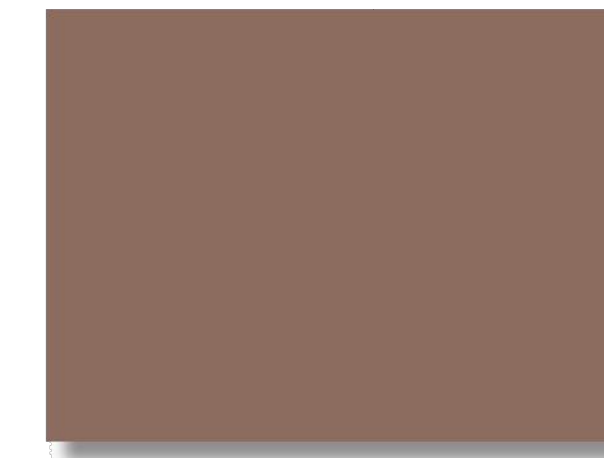
**CANVAS**  
SUNBRELLA - TRUE BROWN

## COLOR SCHEME 2



**STUCCO BASE**  
POPULAR GRAY (SW6071)

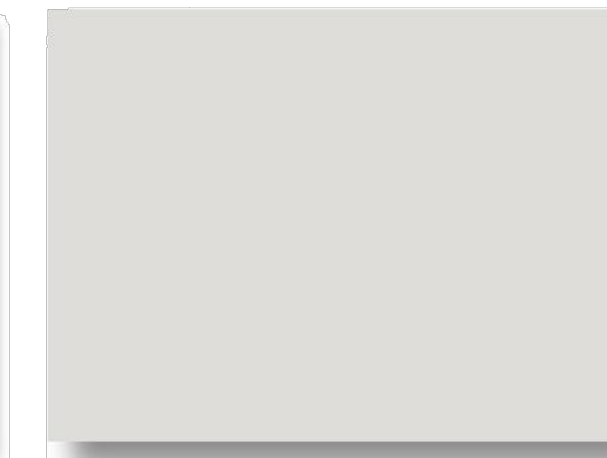
**STUCCO ACCENT**  
PERFECT GRIEGE (SW6073)



**DOOR 1**  
RED BARN (SW 7591)



**DOOR 2**  
RELENTLESS OLIVE (SW 6425)



**ENTRY SURROUND**  
FIRST STAR SW 7646



**IRON**  
URBANE BRONZE (SW7048)



**SHUTTER**  
ADAPTIVE SHADE (SW7053)



**WINDOW**  
MILGARD - TWEED



**PORCELAIN SALTILLO**  
VILLA & MISSION STONE IMPORTS, LLC  
PORCELAIN LAGUAN SALTILLO - DARK



**ROOF**  
BORAL - CASA GRANDE BLEND

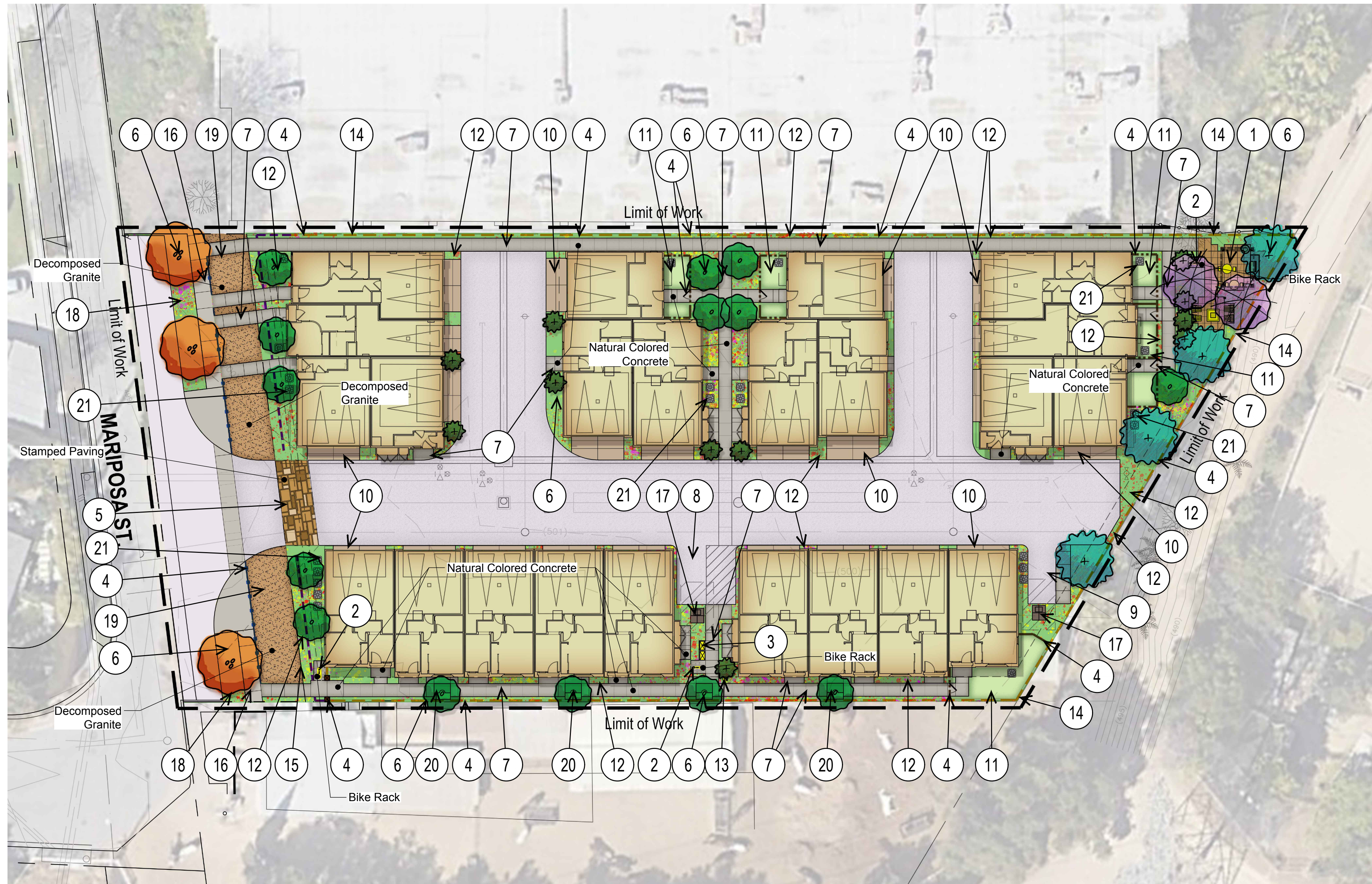


**CERAMIC ACCENT TILES**  
TIERRA Y FUEGO - SANTA BARBARA SERIES  
JAZMIN 1, JAZMIN 2



**CANVAS**  
SUNBRELLA - TAUPE





**LEGEND**

1. Community open space area with BBQ Island, Shade Structure, Dining Furniture, fire-pit and lounge furniture for small social events and group gatherings. See sheet L2- Enlargement.
2. Short term bike parking (3 bike racks to accommodate 6 bike stalls).
3. Two community cluster mailboxes, per USPS review and approval.
4. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
5. Enhanced stamped paving at main project entry.
6. Proposed tree, per Planting Plan.
7. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
8. Accessible parking stall and striping, per Civil plans.
9. Guest parking stall.
10. Natural colored concrete driveway, with light broom finish and tooled joints.
11. Private patio / yard area, homeowner maintained.
12. Common area landscape, builder installed and HOA maintained.
13. Community dog bag station (black in color), for pet owners.
14. Property line.
15. Public street R.O.W.
16. Proposed public street sidewalk, per Civil plans.
17. Transformer to be screened with landscape, quantity and final locations to be determined.
18. Proposed street parkway.
19. Proposed equestrian trail.
20. Proposed tree well.
21. Proposed AC condenser locations, per Architect's plans.



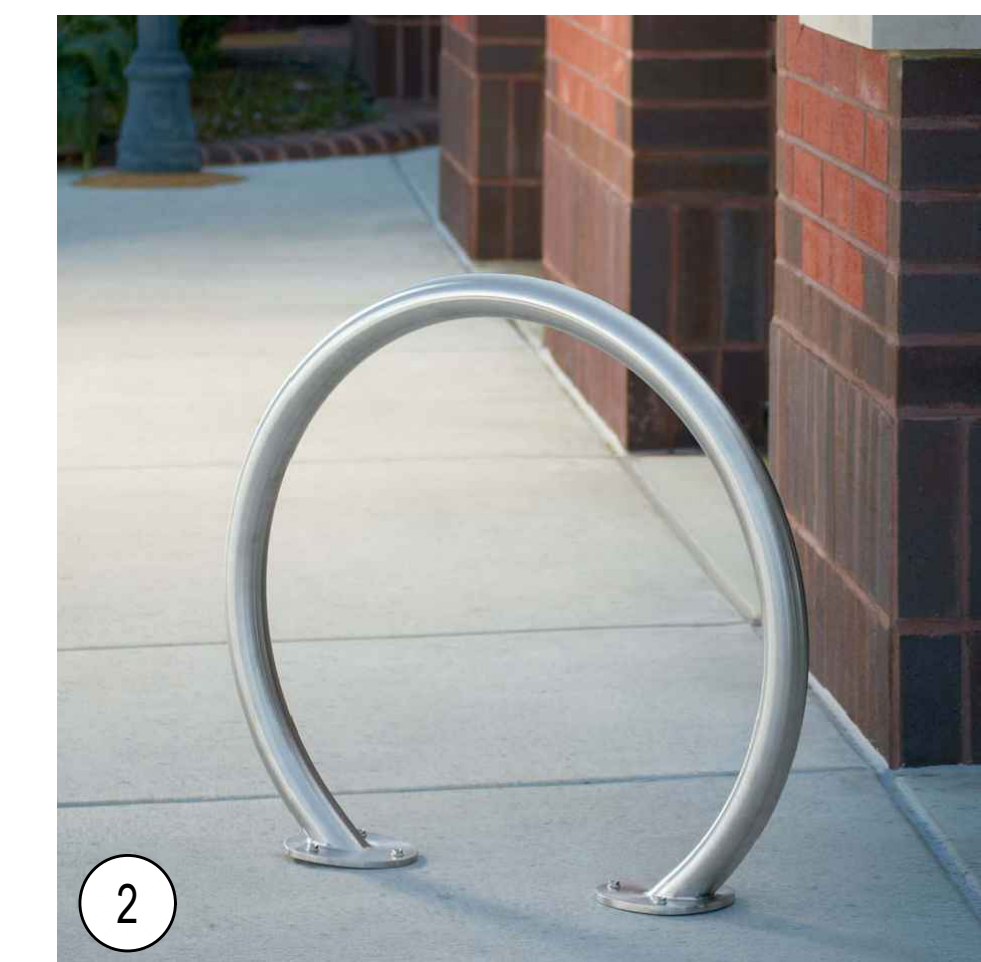
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3

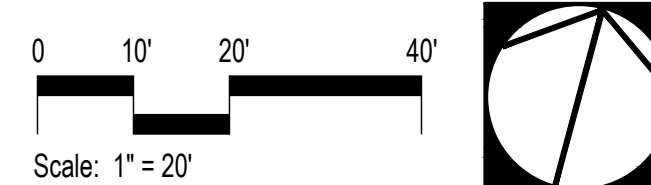


13



2

Schematic Landscape Plan



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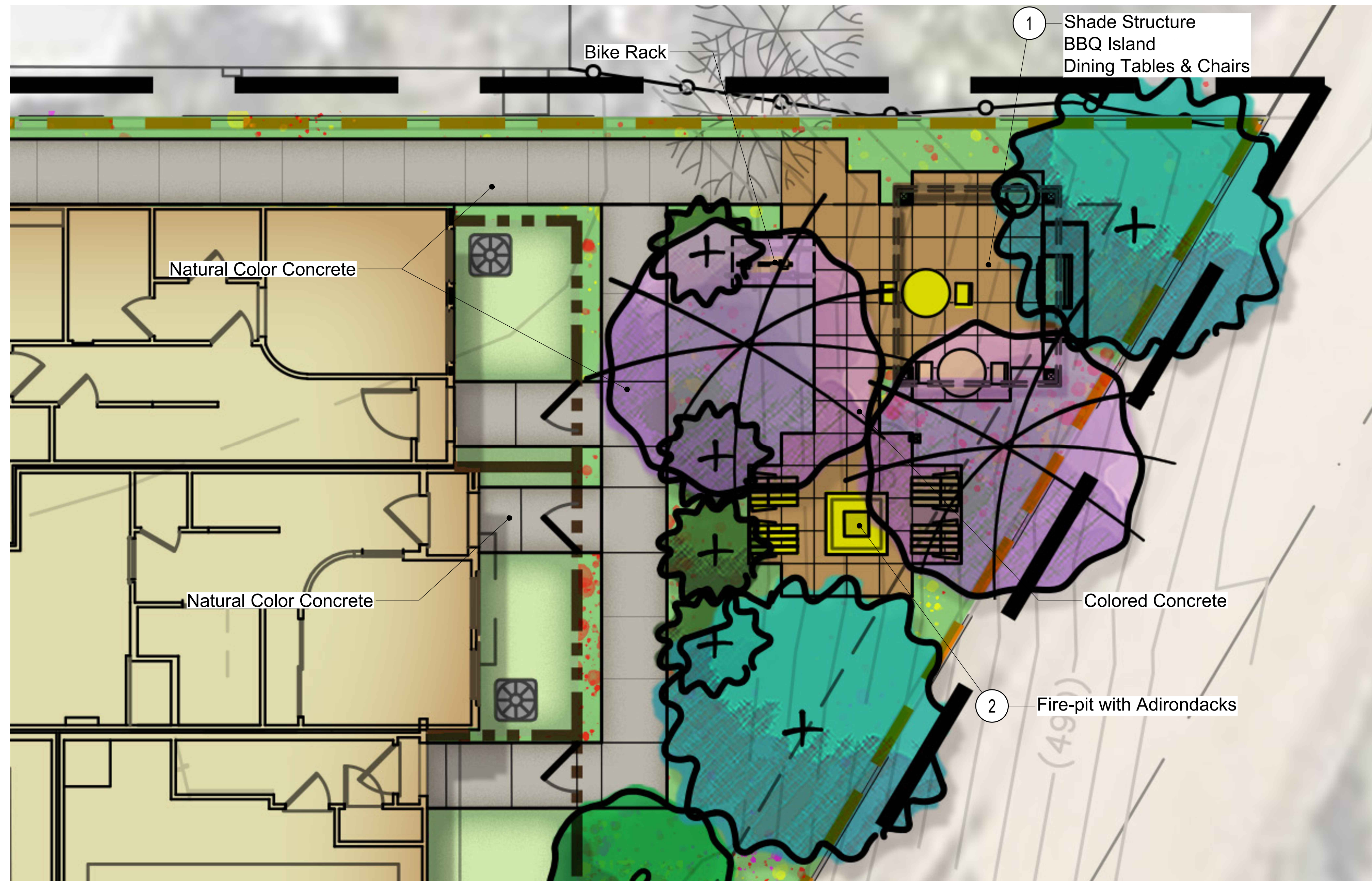
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Date: June 15, 2023

**L-1**

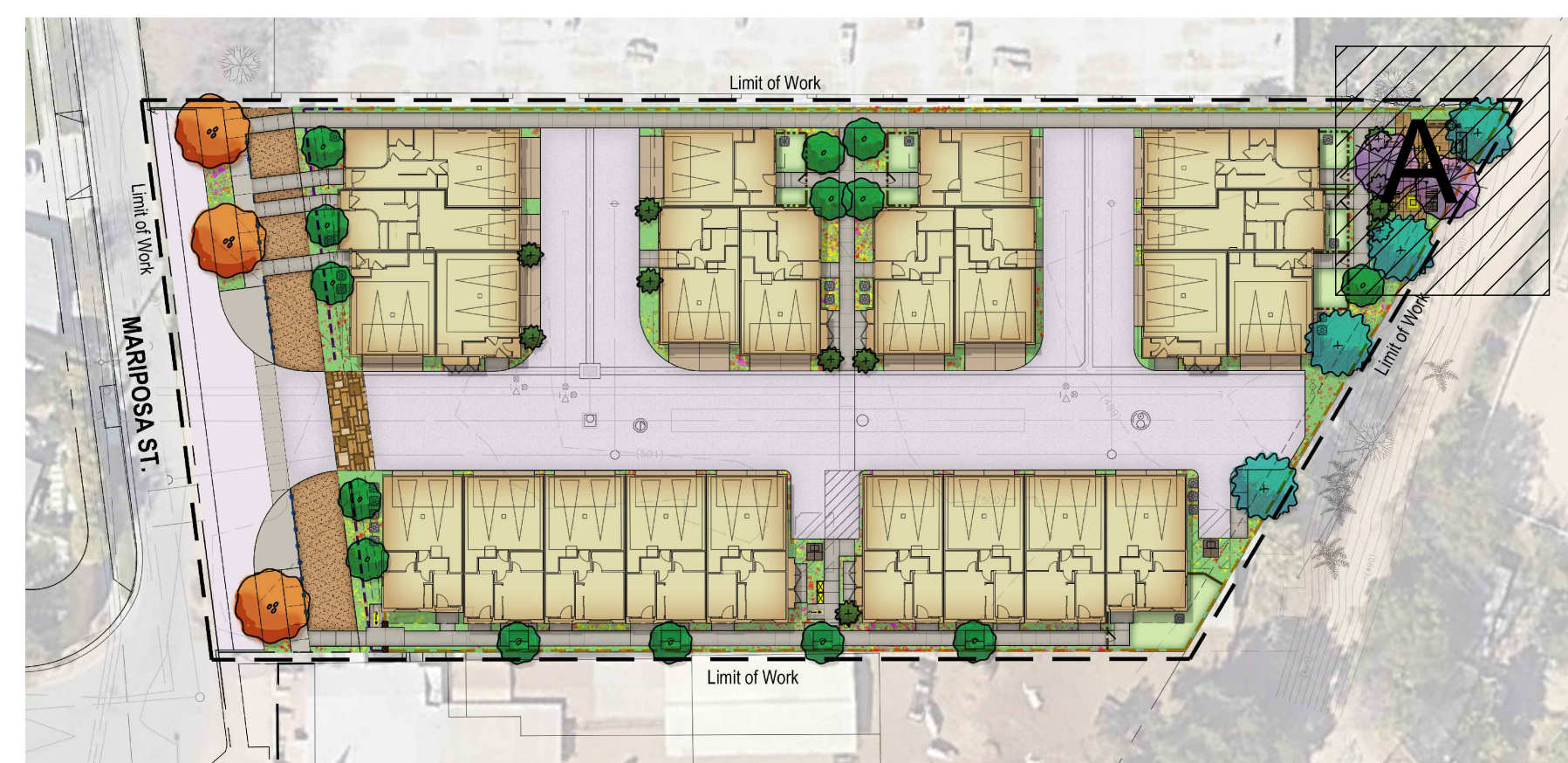
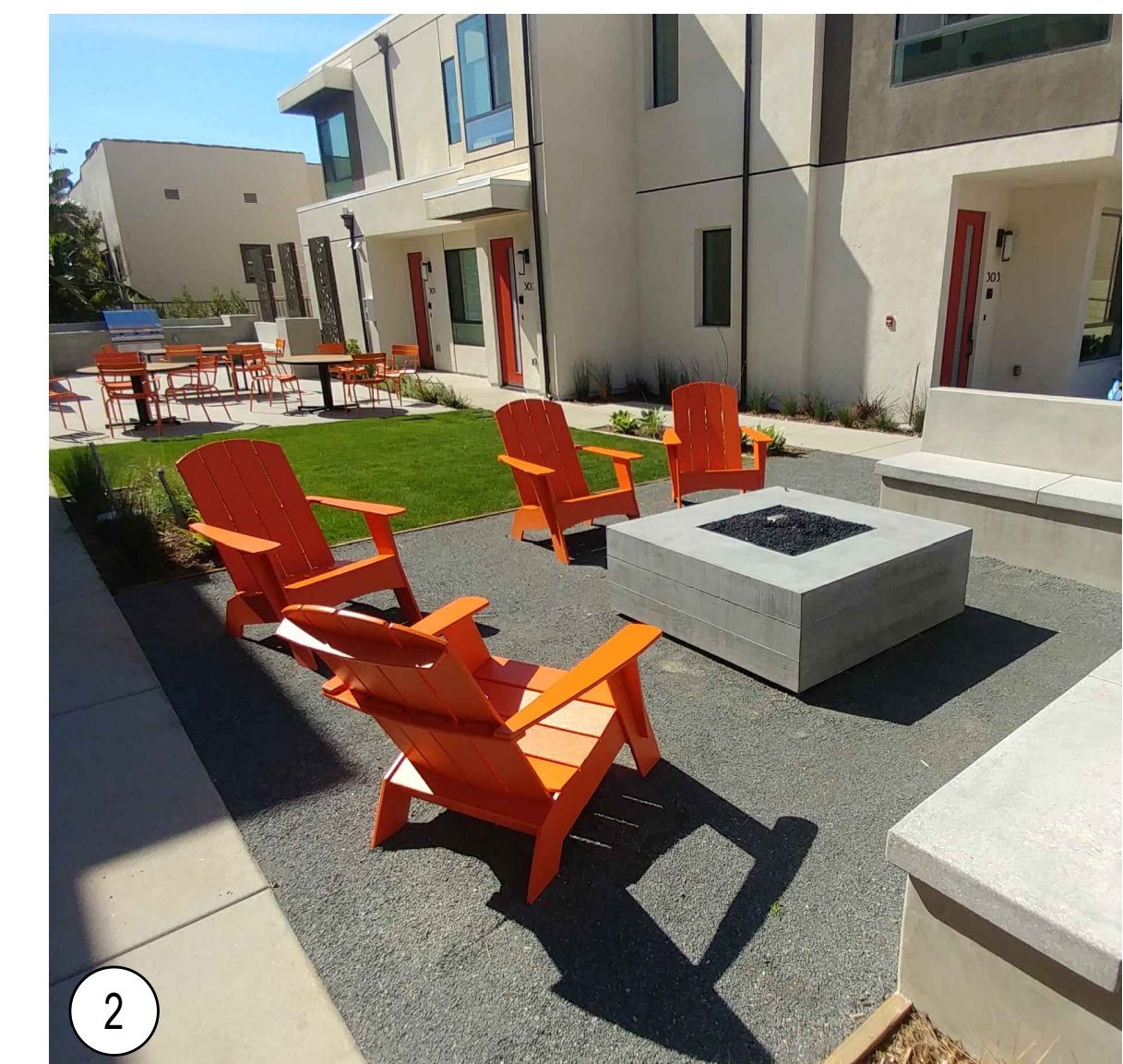
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33219 S. Pacific Avenue, Suite 100  
Laguna Hills, CA 92653 | www.studiopad.com



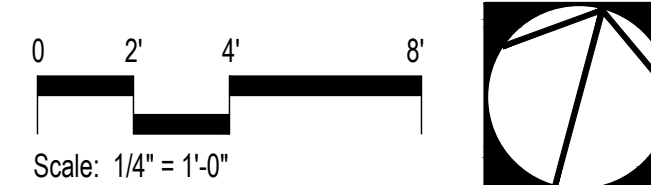


ENLARGEMENT A: COMMUNITY POCKET PARK



KEY MAP  
Scale: NTS

Schematic Enlargement Plan



Butterfly Gardens LLC

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L-2

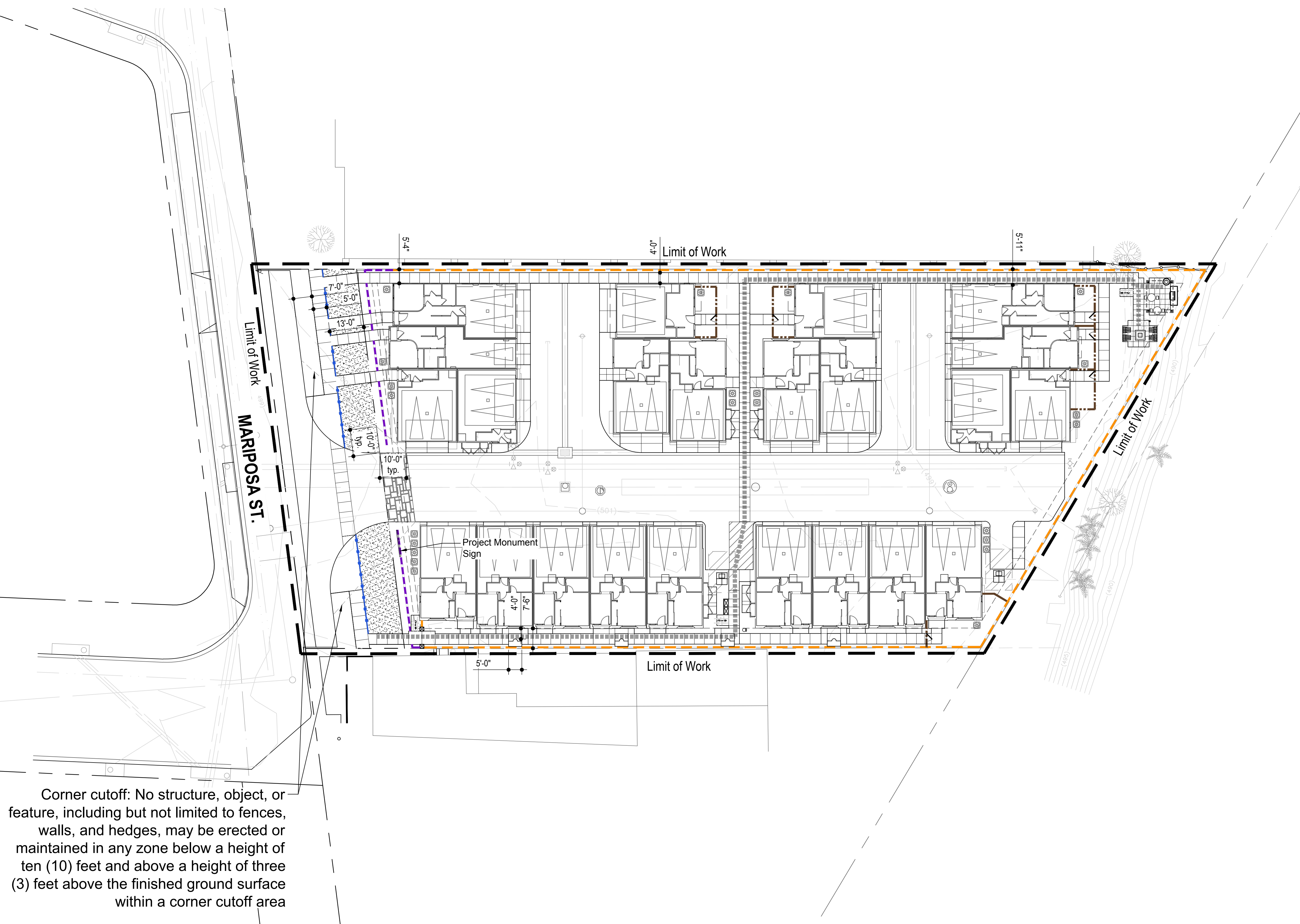
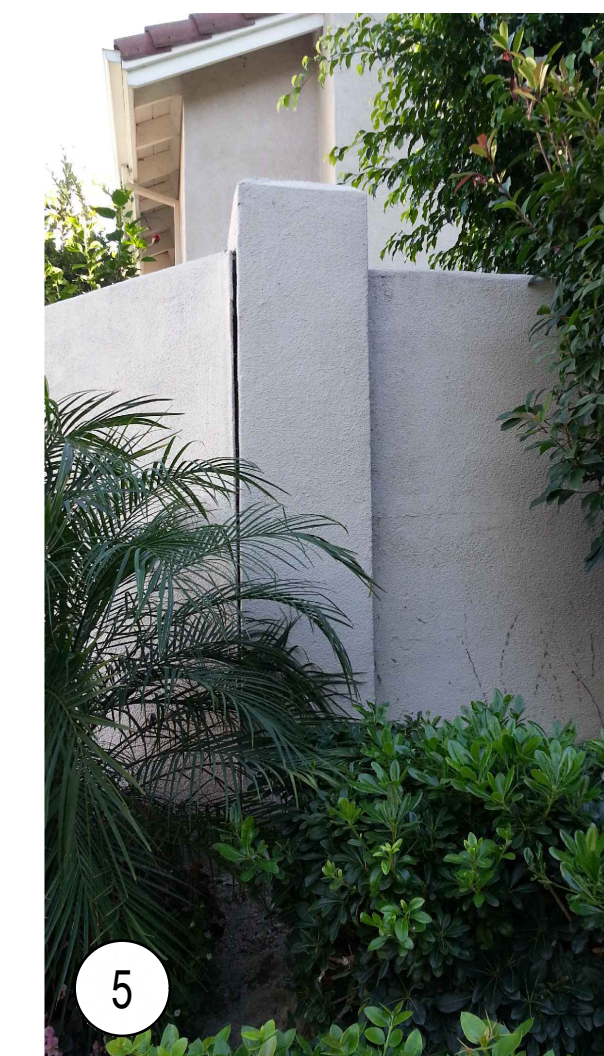
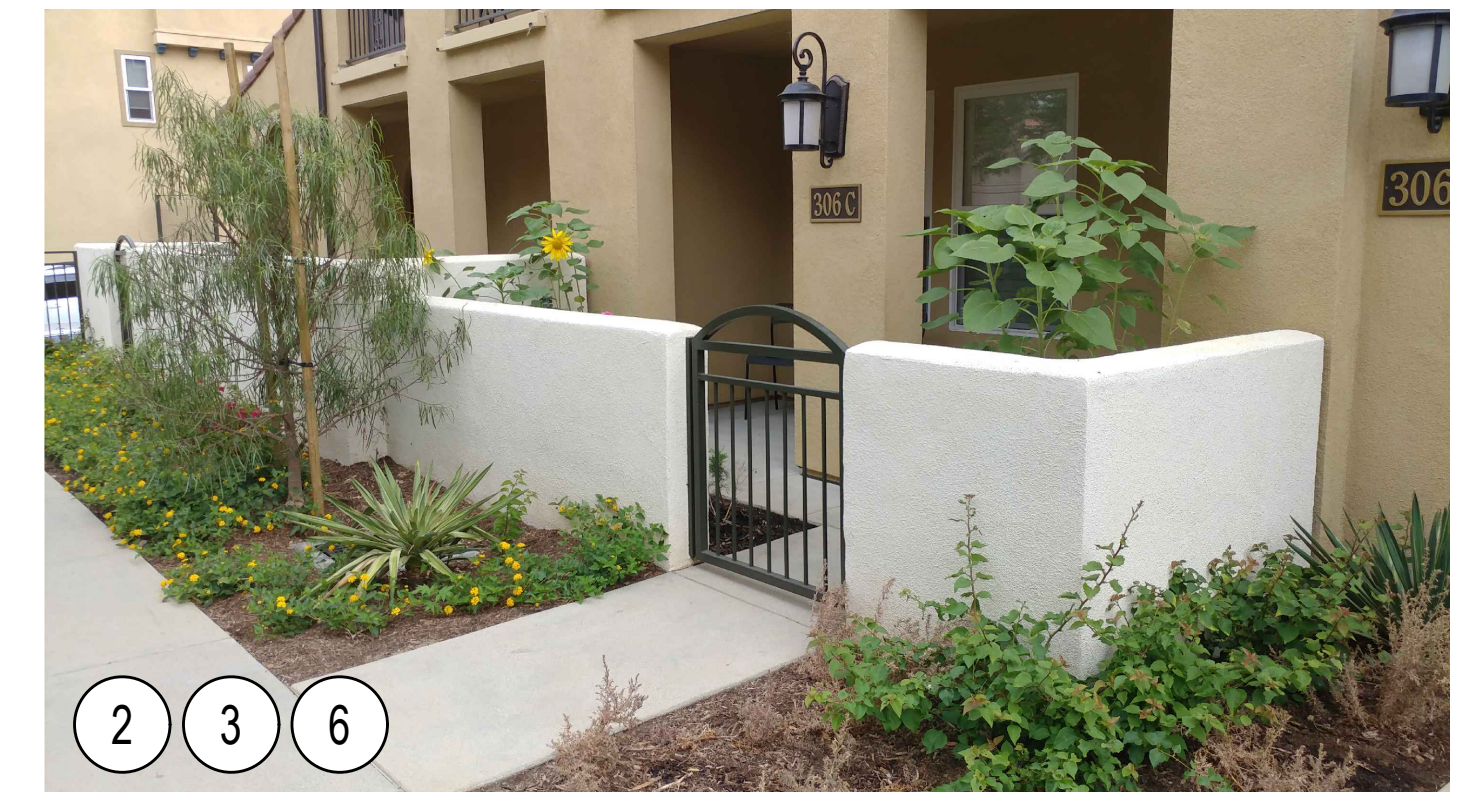
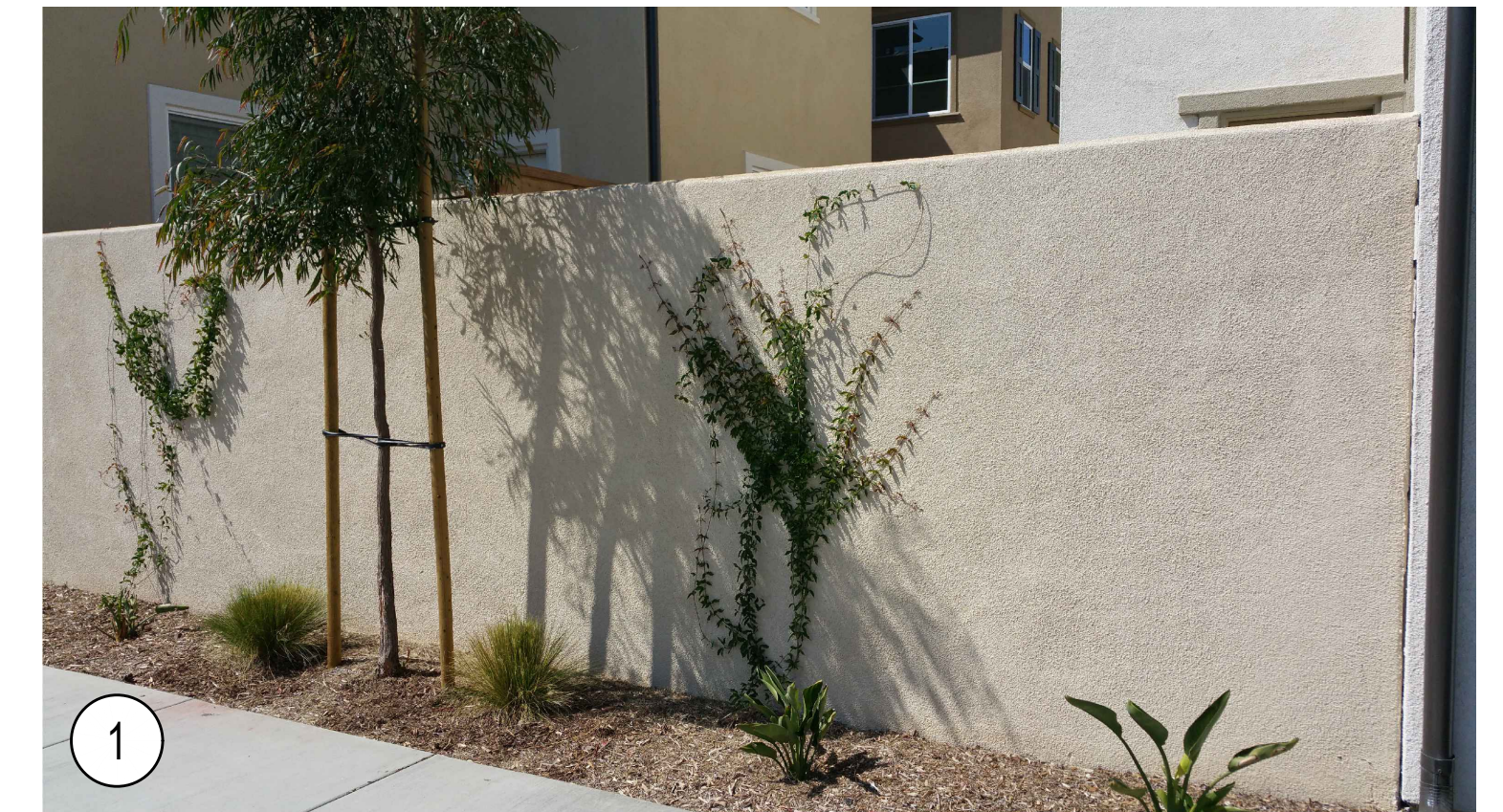
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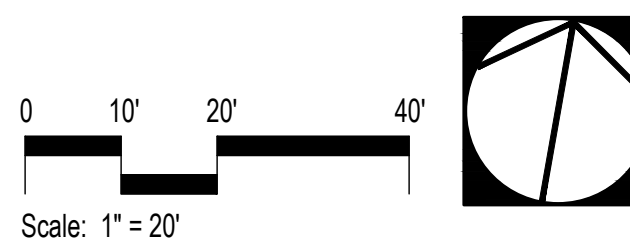
**WALL LEGEND**

- 1 — 6'-0" High stucco over CMU wall, with flat stucco cap.
- 2 — 3'-6" High stucco over CMU patio wall, with flat stucco cap.
- 3 — 3'-0" High stucco over CMU wall, with flat stucco cap.
- 4 — 3'-0" High equestrian rail fence (wood or vinyl).
- 5 — 6'-6" High (18" sq.) stucco over CMU pilaster, with stucco cap.
- 6 — 3'-6" High metal patio gates.
- ..... ADA Path of Travel



Corner cutoff: No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area

**Schematic Walls & Fence Plan**



Butterfly Gardens LLC

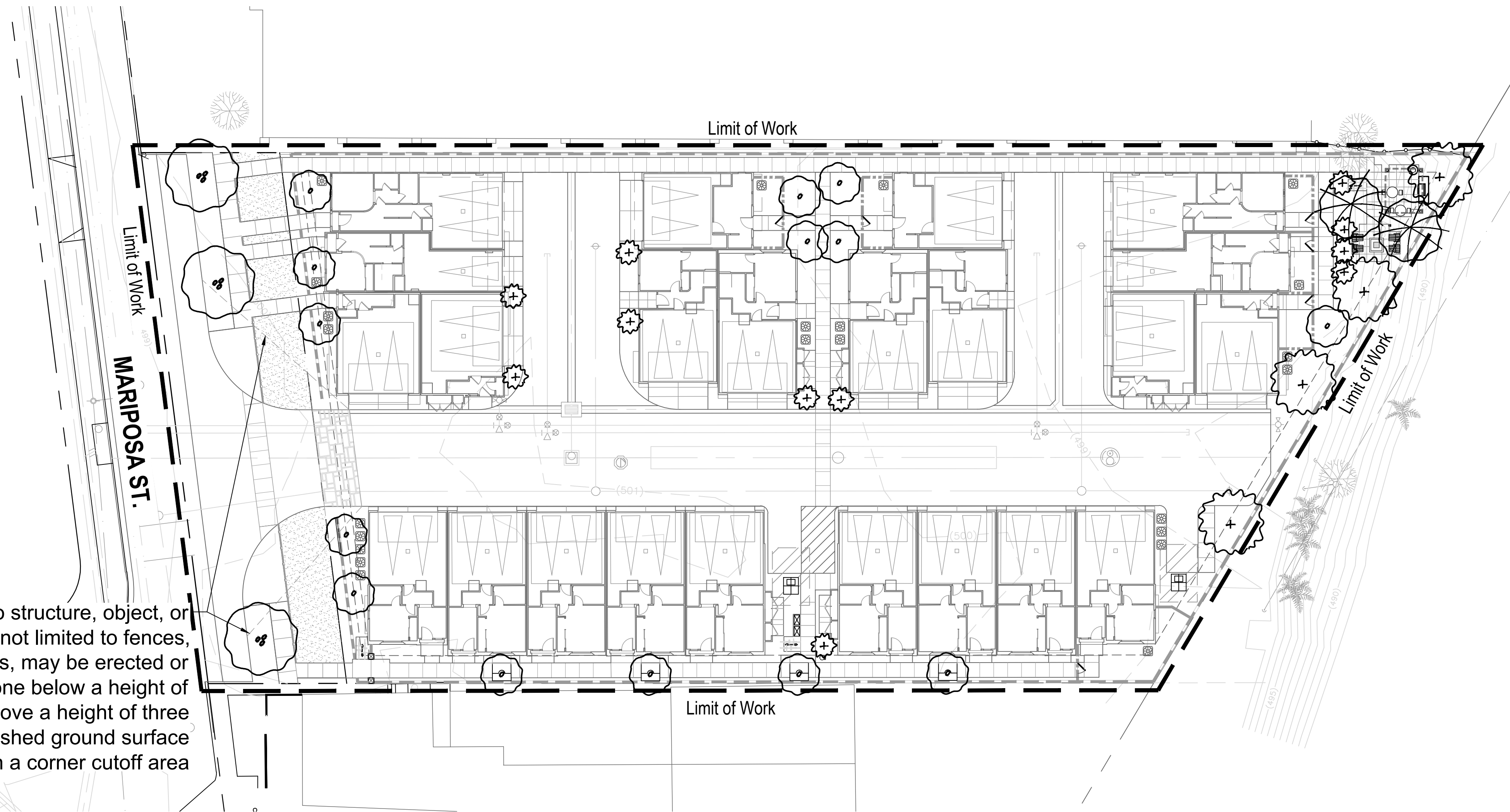
3rd City Submittal | Project No.: SP01  
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**L-3**

**Burbank - Butterfly Gardens**







Corner cutoff: No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area

### PLANTING LEGEND

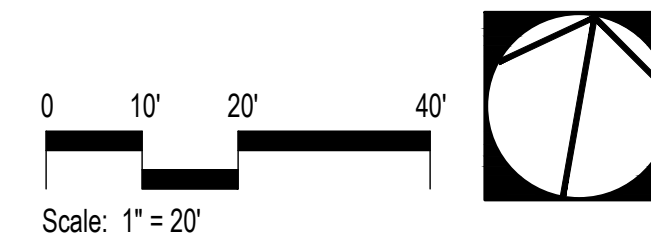
Symbol	Type/Form	Suggestions Botanical Name (Common Name)	Trunk	Size	WUCOLS (R3)	Qty.
<b>TREES</b>						
	Focal	Magnolia grandiflora 'Little Gem (Southern Magnolia)	Single	36" Box	Mod.	2
	Canopy Deciduous	Sycamore racemosa (California Sycamore)	Single	36" Box	Mod.	3
	Street	Tristania conferta (Brisbane Box)	Single	24" Box	Mod.	4
	Evergreen Flowering	Arbutus u. 'Marina' (Marina Strawberry Tree) Geijera parviflora (Australian Willow)	Single	36"/24" Box	Low	14
	Columnar	Cupressus sempervirens (Italian Cypress) Podocarpus gracillior (Fern Pine)	Single	24" Box	Low	11
						Total = 34

### SHRUBS and GROUND COVER

		WUCOLS (R3)
Anigozanthos	Kangaroo Paw	Low
Agave sp.	Agave	Low
Aloe sp.	Aloe	Low
Bougainvillea sp.	Bougainvillea	Low
Callistemon citrinus 'Little John'	Dwarf Bottlebrush	Low
Carex divulsa	Berkeley Sedges	Low
Carissa m. 'Green Carpet'	Dwarf Natal Plum	Low
Chamaerops humilis	Mediterranean Fan Palm	Low
Cordyline 'Pink Passion'	Pink Passion Dracaena Palm	Low
Dasyliro longissimum	Mexican Grass Tree	Low
Delosperma cooperi	Trailing Ice Plant	Low
Dianella revoluta 'Little Rev'	Little Rev™ Flax Lily	Low
Iris sp.	Iris	Low
Kalanchoe thyrsiflora	Flapjack Paddle Plant	Low
Lavandula stoechas 'Larkman Hazel'	Hazel™ Spanish Lavender	Low
Ligustrum japonicum 'Texanum'	Japanese Privet	Low
Nassella pulchra	Purple Needlegrass	Low
Muhlenbergia rigens	Deer Grass	Low
Rhaphiolepis indica 'Clara'	India Hawthorn	Low
Rosmarinus p. 'Huntington Carpet'	Groundcover Rosemary	Low
Strelitzia reginae	Bird of Paradise	Low
Trachelospermum jasminoides	Star Jasmine	Low
Westringia sp.	Westringia	Low
Xylosma congestum 'Compact'	Compact Xylosma	Low
Yucca gloriosa	Spanish Dagger	Low

### VINES & ESPALIERS

Antigonon leptopus	Coral Vine
Bougainvillea 'Monka' (Oo-La-La® Bougainvillea)	Bougainvillea
Macfadyena unguis-cati	Cat's Claw Vine
Pandorea jasminoides 'Lady Di'	White Bower Vine
Trachelospermum jasminoides	Star Jasmine



Butterfly Gardens LLC

### 10-1-2441 C. Yard:

- 3. Landscaping.
  - b. The following landscaping requirements shall apply in the CR Zone:
    - a. A minimum of 50 percent of front and exposed side yards shall be landscaped.
    - b. The provision of outdoor amenities and decorative hardscape, such as outdoor seating areas with benches permanently affixed to the ground or hardscaped areas enriched with decorative materials which are under a tree canopy, shall be credited toward up to 50 percent of the required landscaping in all yards. Vehicular access areas may not be considered as decorative hardscape.
    - c. The planting of vines on masonry buildings is encouraged.
    - d. To qualify as landscaped area, all areas not occupied by trees or shrubs must be planted with turf or other ground cover with a minimum soil depth of 12 inches. All planters must be a minimum of 18 inches deep and two (2) feet in their smallest inside dimension, unless a tree is required, in which case a three (3) foot planter depth shall be required and the planter must have a minimum inside dimension of four (4) feet.
    - e. In required front and exposed side yards, a minimum of one (1) tree shall be planted for every 40 linear feet of street frontage or fraction thereof. Turf is allowed in up to 50 percent of required landscaped areas. In shrub areas, a minimum of one five (5) gallon shrub is required for every ten (10) square feet of shrub area.
    - f. A minimum of 50 percent of required trees shall be a minimum 36-inch box size, with the remainder a minimum 24-inch box size. The required 36-inch box trees shall be equally distributed in required front or street side yards.
    - g. If trees are planted in planters, the planters must have a minimum length and width of five (5) feet.
    - h. For additional landscaping requirements for above-grade parking structures and surface parking lots, see Article 14, Division 4 of this Chapter.

### Preliminary Shrubs Quantity:

Overall Landscape Area: 4,862 sf

- Shrubs (15 gallon, 20% of SF Area @ 48" o.c. spacing) = 70 each
- Shrubs (5 gallon, 60% of SF Area @ 36" o.c. spacing) = 36 each
- Shrubs (1 gallon, 20% of SF Area @ 30" o.c. spacing) = 15 each

### NOTES:

- Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881).
- Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted per local codes & regulations.
- Landscape lighting (landscape up-lights, path lights/bollards, etc.) to be coordinated with Electrical Engineer in future phase.
- The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this project. However, substitutions may be required due to availability, soil tests, or other conditions.
- All trees within 5' of hardscape to be installed with deep root barriers.

### ARTICLE 6. RESIDENTIAL USES AND STANDARDS - DIVISION 4. MULTIPLE FAMILY RESIDENTIAL ZONE (R-3)

C. Vegetation  
Landscaping must include the following types of trees and vegetation, or similar species complementary to the existing Rancho environment that are approved by the Community Development Director:

- California pepper
- Olive
- Live oak
- California holly
- Eucalyptus
- Cactus and succulents

## Schematic Planting Plan

# Burbank - Butterfly Gardens

3rd City Submittal | Project No.: SP01  
Date: June 15, 2023

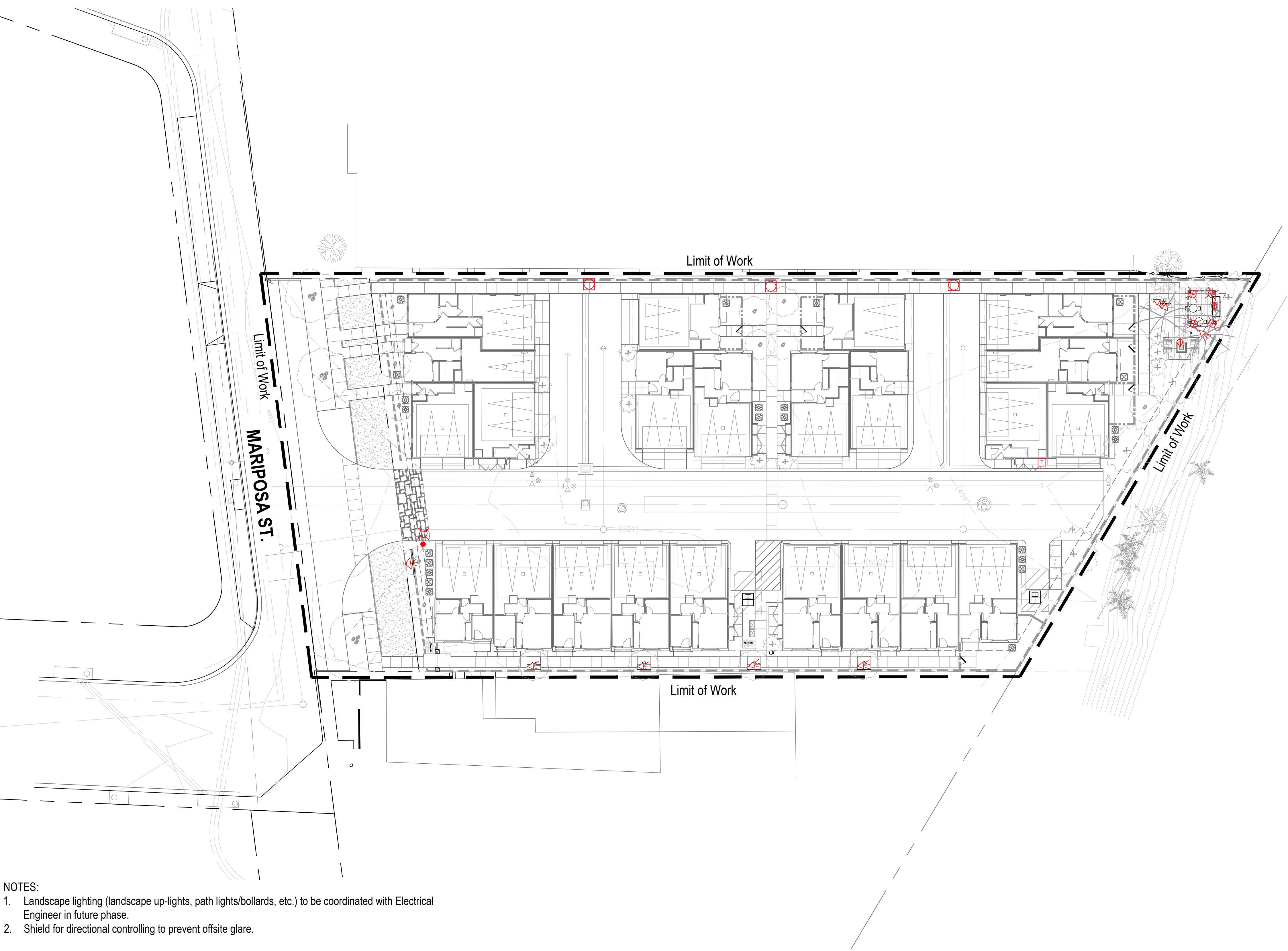
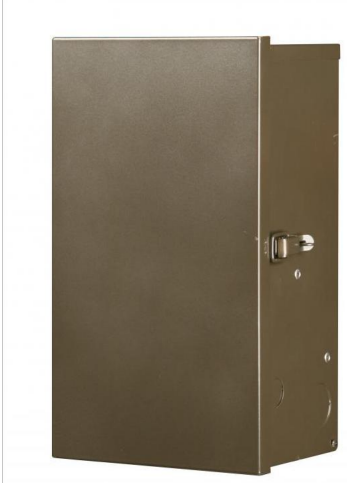
L-4

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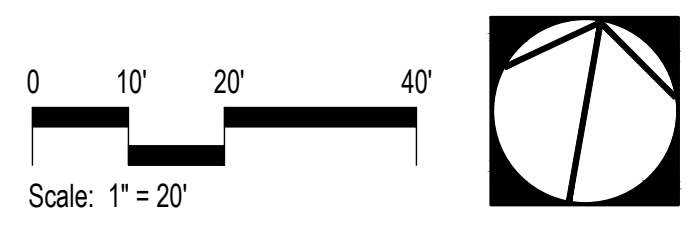


**LIGHTING SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FX Luminaire PB Ideal selection for large broad objects or washing light. 2.23in. W x 6.72in. H x 4.03in. L. Order code: PB, Aluminum Alloy, (BZ) Bronze Metallic, Long Slot Spike Lamp: PB-3LED, 4.2W/4.5VA, 2700K, Beamspread: Very Wide Flood	1
	SVE-3 - Pole Light Area Pole Light, HID - Direct Lighting Sales, Model San Vicente #SVE-3 Cast Aluminum, Textured Bronze, RA21 Radius Lamp: Per Elec. Eng., Per Elec. Eng., Per Elec. Eng. Accessories: On DBC-1 Base & 10' round pole.	1
	GFCI - Outlet Exterior Electrical GFI Outlet Cast Aluminum, Textured Architectural Bronze, Wall	2
	FX Luminaire DE Down light ideal for large applications. 9.7in. H x 3.0in. Dia. Order code: DE, Aluminum Alloy, (BZ) Bronze Metallic, Mini J-Box for 1/2in. Thr Lamp: DE-9LED, 10W/10.7VA, 2700K, Beamspread: Spot	4
	FX Luminaire - PX: Transformer SS, Stainless Steel, Wall 300W	1
	FX Luminaire NP-9LED-BZ Large directional up light ideal for vertical landscape elements. Order code: NP, Aluminum Alloy, (BZ) Bronze Metallic, Ground Mount Lamp: NP-9LED, 10W/10.7VA, 2700K, Beamspread: Narrow Flood	7
	FX Luminaire PM Modern path light with powder-coated finish. 2.5in. Dia PM-XT for Extra Tall 18.5in. Order code: PM, Aluminum Alloy, (BZ) Bronze Metallic, Deck Mount for PM Lamp: PM-6LED, 7.7W/9.3VA, 3900K, Beamspread: Very Wide Flood	3



NOTES:  
 1. Landscape lighting (landscape up-lights, path lights/bollards, etc.) to be coordinated with Electrical Engineer in future phase.  
 2. Shield for directional controlling to prevent offsite glare.



**Schematic Lighting Plan**

Butterfly Gardens LLC

3rd City Submittal | Project No.: SP01 | **L-5**  
 Date: June 15, 2023

**Burbank - Butterfly Gardens**

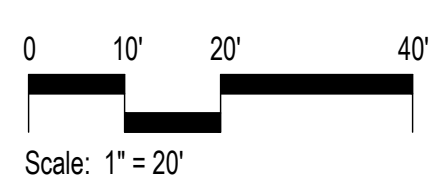
Landscape Architecture  
 22175 N. Pacific Coast Hwy. 103  
 Laguna Hills, CA 92653 | www.studiopad.com





SITE DEVELOPMENT		
SYMBOL	NOTES	QTY
[Pink]	COMMON PROGRAMMED OPEN SPACE Includes walks. (builder installed, HOA maintained)	967 sf
[Yellow]	PRIVATE OPEN SPACE (MIN. 5' DIM.) (Homeowner installed, Homeowner maintained)	976 sf
[Green]	COMMON LANDSCAPE (Builder installed, HOA maintained)	2,890 sf
[Teal]	SETBACK: COMMON LANDSCAPE (Builder installed, HOA maintained)	878 sf
[Light Green]	PARKWAY LANDSCAPE (Builder installed, HOA maintained)	482 sf
[Gold]	SETBACK: LANDSCAPE/EQUESTRIAN TRAIL D.G.	1,293 sf

PRIVATE OPEN SPACE AT DECKS (Provided by Architect)	1,356 sf
PRIVATE OPEN SPACE AT ROOF DECKS (Provided by Architect)	3,508 sf
<b>Provided</b>	<b>(967 + 2,890)sf</b>
COMMON O. S.	3,857 sf
PRIVATE O.S.	(976 + 1,356)sf
	2,332 sf
<b>TOTAL PROVIDED OPEN SPACE</b>	<b>6,189 sf</b>
TOTAL LANDSCAPE/PEREMABLE AREA IN THE FRONT/SIDE YARD SETBACK	(878 + 482 + 1,293)sf
	2,653 sf (70%)
<b>TOTAL O.S. (INCL. SETBACK)</b>	<b>8,862 sf</b>
PRIVATE O.S. (ROOF DECKS BY ARCHITECT)	3,508 sf
<b>TOTAL O.S. (INCL. ROOF DECKS)</b>	<b>12,350 sf</b>
<b>TOTAL NET SITE AREA</b>	<b>±0.88 acres / 38,332.8 sf</b>
<b>TOTAL FRONT/SIDE YARD SETBACK AREA</b>	<b>±3,803 sf</b>



## Schematic Open Space Exhibit

Butterfly Gardens LLC

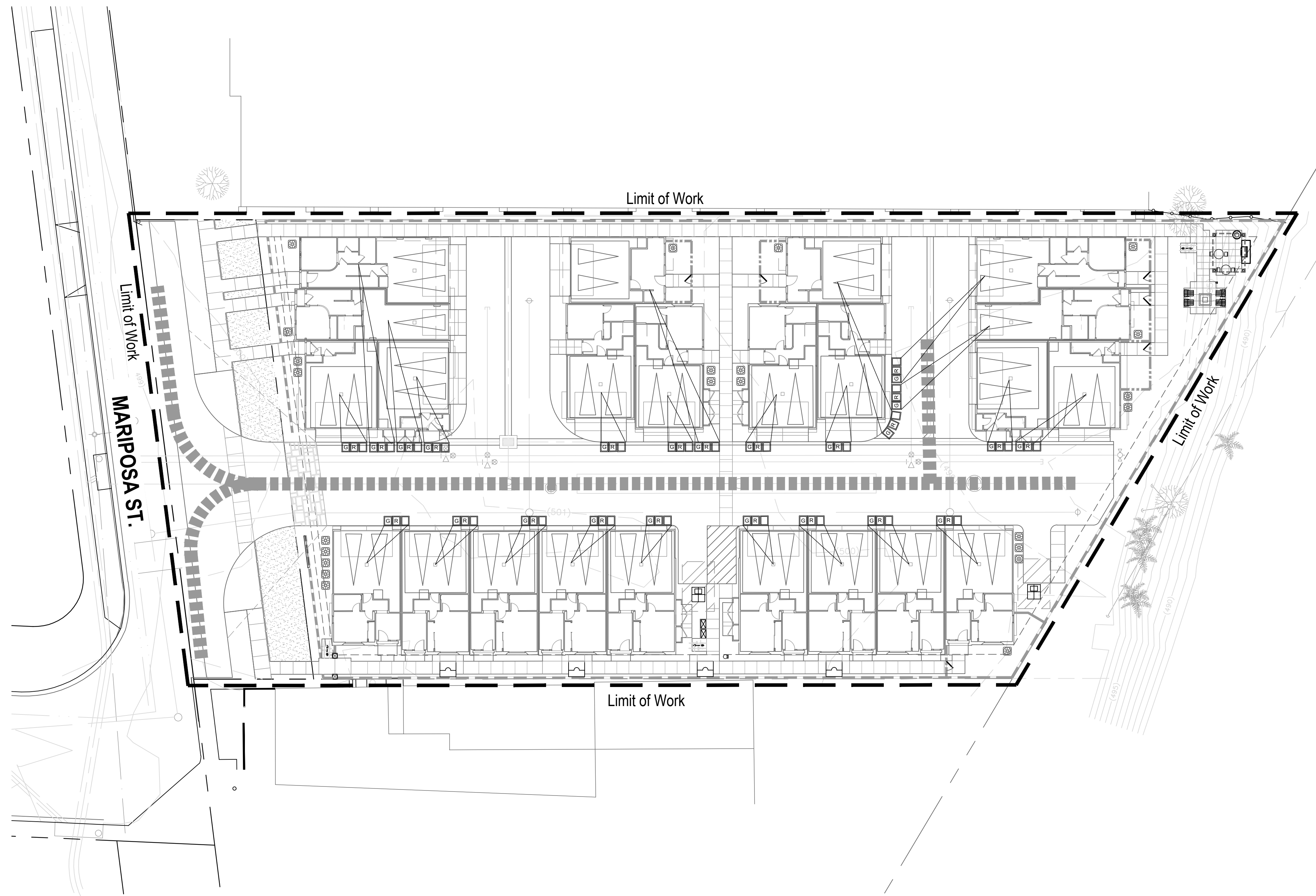
3rd City Submittal | Project No.: SP01  
Date: June 15, 2023

**L-6**

# Burbank - Butterfly Gardens

**studio**  
**PAD**  
Landscape Architecture  
33215 S. Pacific Coast Hwy 103  
Laguna Hills, CA 92653 | www.studiopad.com



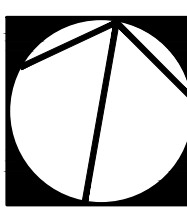
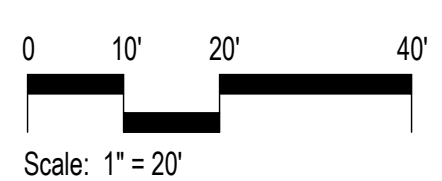


**LEGEND**

- Regular trash bin.
- ▣ Recycle bin.
- ▢ Green waste bin.
- ▬▬▬▬ Trash hauler path of travel.

NOTES:  
 1. Individual trash bins, sizes and locations, to follow City of Burbank, Public Works/ Trash & Recycling standards.

Schematic Trash Exhibit & Hauler Circulation Plan



Butterfly Gardens LLC

3rd City Submittal | Project No.: SP01  
 Date: June 15, 2023

**L-7**

Burbank - Butterfly Gardens

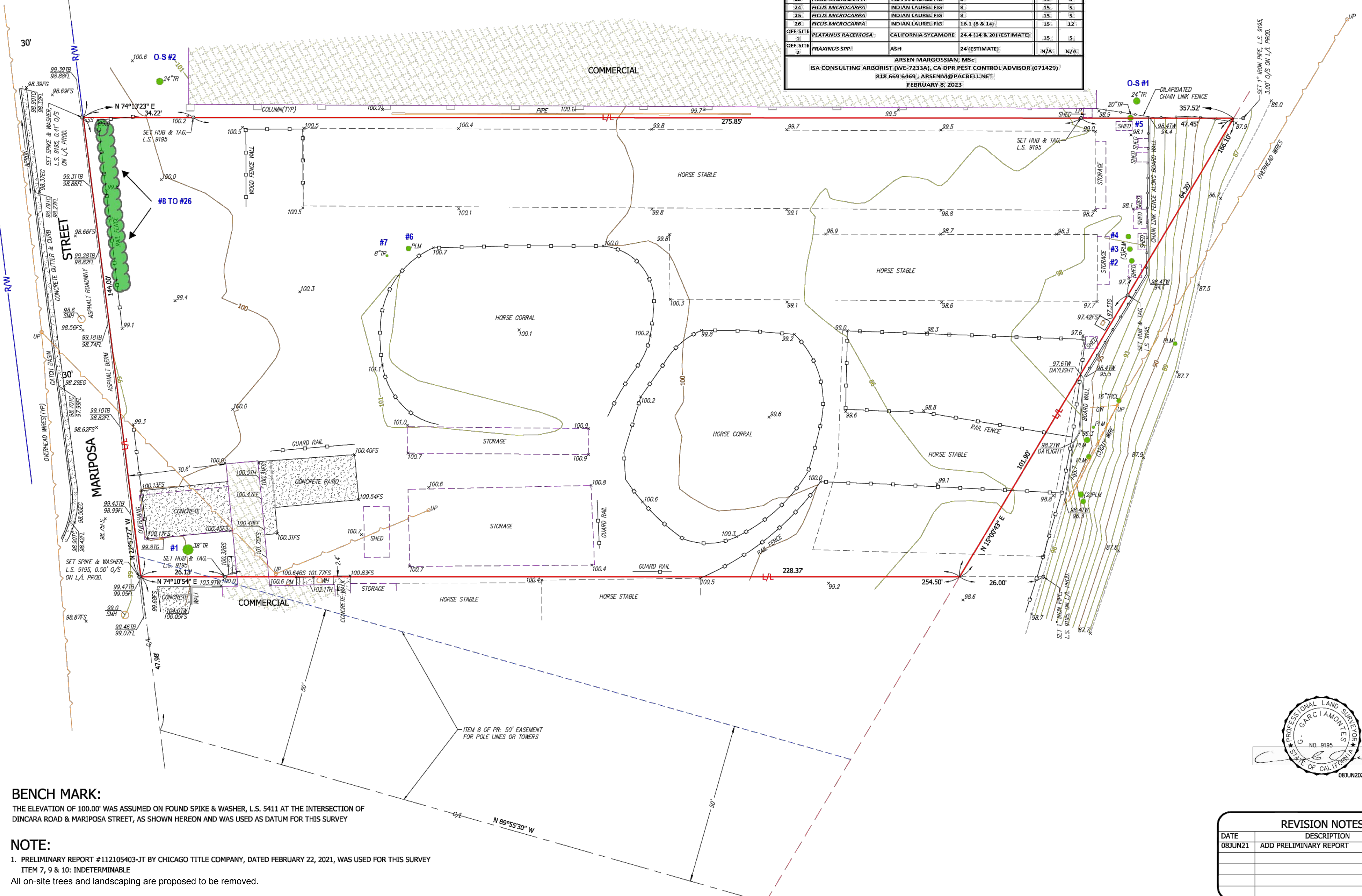


Landscape Architecture  
 22121 S. Pacific Avenue, 103  
 Laguna Hills, CA 92653 | www.studiopad.com



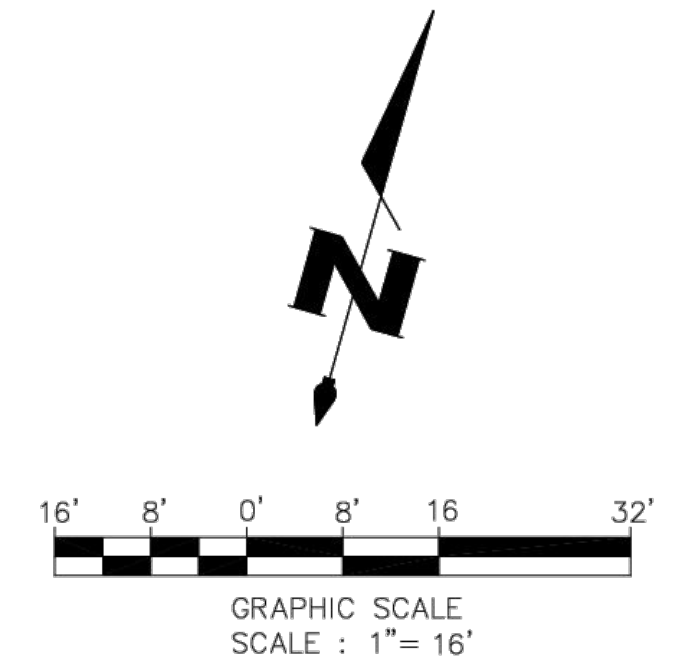
FOUND SPIKE & WASHER, L.S. 5411  
ASSUMED BM: 100.00'

**DINCARA ROAD**



TREE #	SPECIES	COMMON NAME	DIAMETER (DBH, IN INCHES)	HEIGHT (FEET)	SPREAD (FEET)
1	JUGLANS CALIFORNICA	CALIFORNIA BLACK WALNUT	38	30	25
2	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	35	N/A
3	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	55	N/A
4	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	55	N/A
5	SAMBUCUS MEXICANA	MEXICAN ELDERBERRY	21.6 (12 & 18) (ESTIMATE)	35	35
6	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	30	N/A
7	SCHINUS MOLLE	CALIFORNIA PEPPER	13	20	15
8	FICUS MICROCARPA	INDIAN LAUREL FIG	7	15	5
9	FICUS MICROCARPA	INDIAN LAUREL FIG	10	15	5
10	FICUS MICROCARPA	INDIAN LAUREL FIG	10	15	5
11	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
12	FICUS MICROCARPA	INDIAN LAUREL FIG	3.2 (2 & 2.5)	15	5
13	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
14	FICUS MICROCARPA	INDIAN LAUREL FIG	7	15	5
15	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
16	FICUS MICROCARPA	INDIAN LAUREL FIG	6.4 (4.5 & 4.5)	15	5
17	FICUS MICROCARPA	INDIAN LAUREL FIG	7	15	5
18	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
19	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
20	FICUS MICROCARPA	INDIAN LAUREL FIG	5.5	15	5
21	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
22	FICUS MICROCARPA	INDIAN LAUREL FIG	4 & 8	15	5
23	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
24	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
25	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
26	FICUS MICROCARPA	INDIAN LAUREL FIG	16.1 (8 & 14)	15	12
OFF-SITE #1	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24.4 (14 & 20) (ESTIMATE)	15	5
OFF-SITE #2	FRAXINUS SPP.	ASH	24 (ESTIMATE)	N/A	N/A

ARSEN MARGOSSIAN, M.S.  
ISA CONSULTING ARBORIST (WE-72334), CA DPR PEST CONTROL ADVISOR (071429)  
818 669 6469; ARSEN@FACBELL.NET  
FEBRUARY 8, 2023



- ABBREVIATIONS:**
- BM BENCH MARK
  - BS BOTTOM OF STEP
  - C/L CENTERLINE
  - EG EDGE OF GUTTER
  - FF FINISHED FLOOR
  - FL FLOWLINE
  - FS FINISHED SURFACE
  - GW GUY WIRE
  - L/L LOT LINE
  - LP LIGHT POLE
  - Q/S OFFSET
  - PLM PALM TREE
  - PM POWER METER
  - PR PRELIMINARY REPORT
  - R/W RIGHT OF WAY
  - SMH SEWER MANHOLE
  - SS STREET SIGN
  - TB TOP OF BERM
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TH THRESHOLD
  - TR TREE
  - TRCL TREE CLUSTER
  - TS TOP OF STEP
  - TW TOP OF WALL
  - TYP TYPICAL
  - UP UTILITY POLE
  - WH WATER HEATER

**BENCH MARK:**  
THE ELEVATION OF 100.00' WAS ASSUMED ON FOUND SPIKE & WASHER, L.S. 5411 AT THE INTERSECTION OF DINCARA ROAD & MARIPOSA STREET, AS SHOWN HEREON AND WAS USED AS DATUM FOR THIS SURVEY

**NOTE:**  
1. PRELIMINARY REPORT #112105403-JT BY CHICAGO TITLE COMPANY, DATED FEBRUARY 22, 2021, WAS USED FOR THIS SURVEY  
ITEM 7, 9 & 10: INDETERMINABLE  
All on-site trees and landscaping are proposed to be removed.



REVISION NOTES		
DATE	DESCRIPTION	BY
08JUN21	ADD PRELIMINARY REPORT	SGM

**PREPARED BY:**  
**GMON Surveying, Inc.**  
Gerardo Garciamontes, PLS 9195  
200 N. San Fernando Road #318, Los Angeles CA 90031  
Office: 323.336.6725 | 818.478.2017  
gmonsurveying.com

**PREPARED FOR:**  
**Garen Gozumian**  
(818) 590-9559

**TOPOGRAPHY & BOUNDARY SURVEY**  
Portion of Block 69, Subdivision of Rancho Providencia  
and Scott Tract, M.R. 43, Pgs. 47-59  
SITE AREA:  
43,690 SQ.FT.

JOB NO. 21-1486  
SCALE: 1" = 16'  
DATE: MAY 2021  
DRAFTED: BG

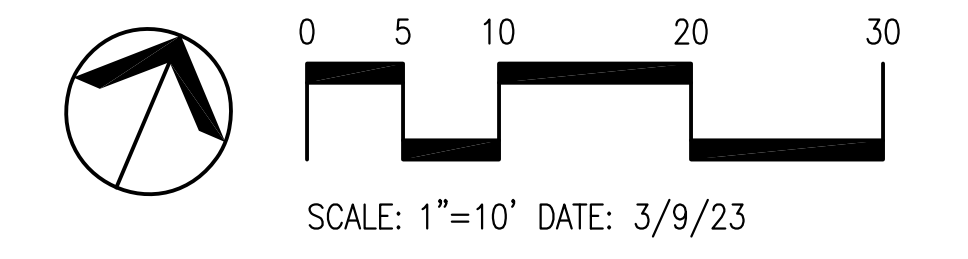
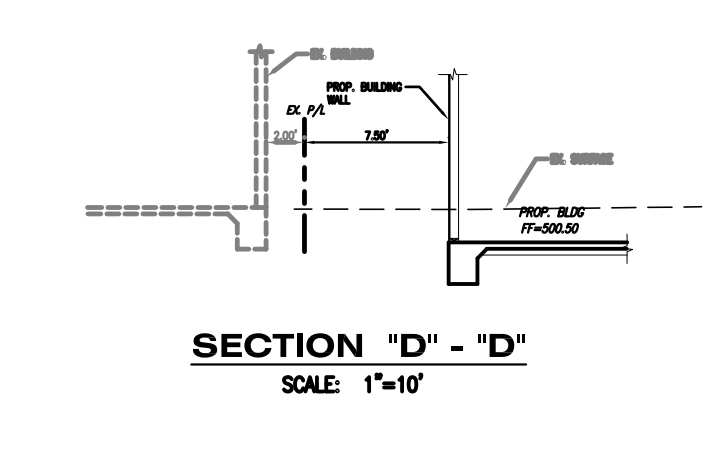
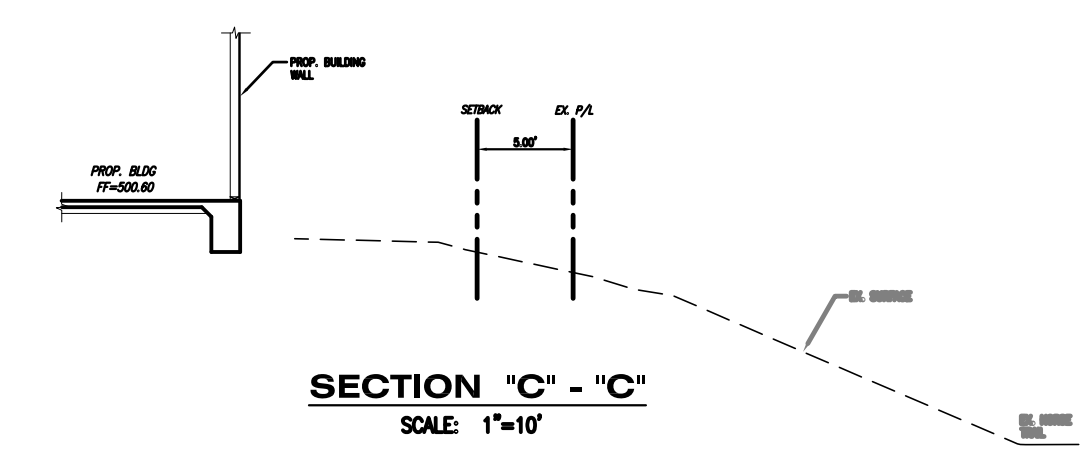
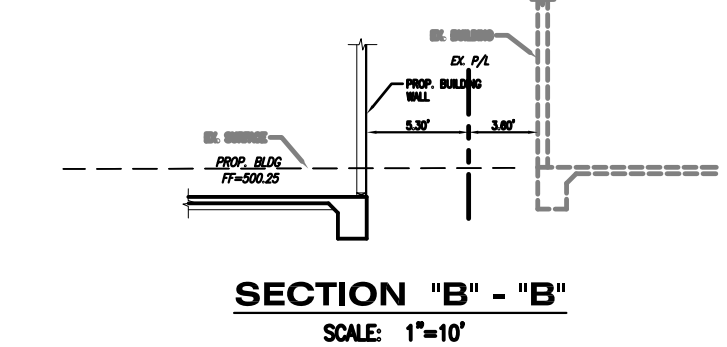
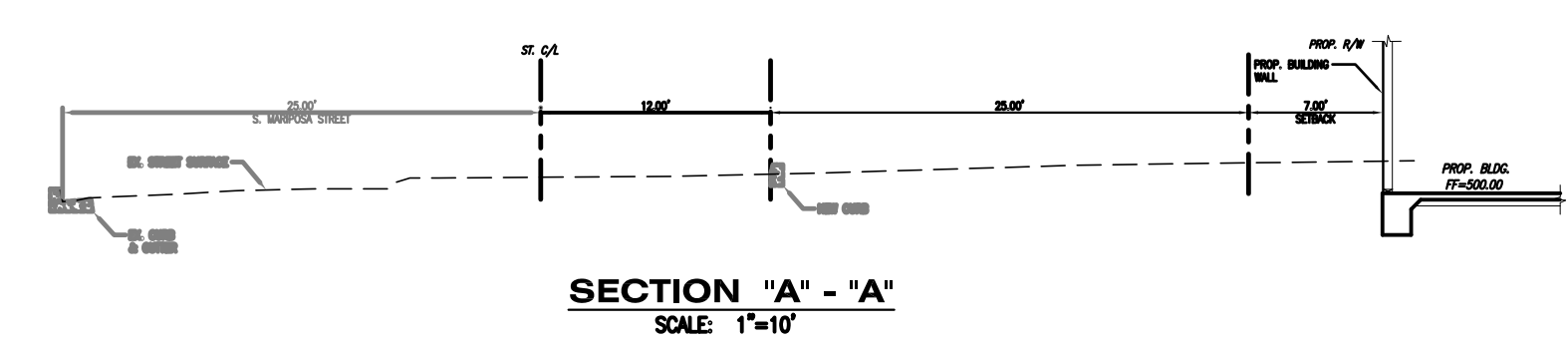
SHEET NO.  
**1**  
OF 1 SHEET





- CONSTRUCTION NOTES:**
- ① CONSTRUCT 6-INCH PCC CURB ONLY.
  - ② CONSTRUCT 2-FOOT WIDE 8-INCH THICK PCC V-GUTTER.
  - ③ CONSTRUCT 4-INCH THICK ASPHALT CONCRETE PAVEMENT.
  - ④ CONSTRUCT 4-INCH THICK PCC DRIVEWAY PAVEMENT.
  - ⑤ PAINT 4-INCH WIDE SOLID BLUE ACCESSIBLE PARKING STALL STRIPING AND ACCESSIBLE SYMBOL.

- LEGEND:**
- ① CONSTRUCTION NOTE REFERENCE
  - NEW CONCRETE PAVEMENT
  - NEW ASPHALT CONCRETE PAVEMENT



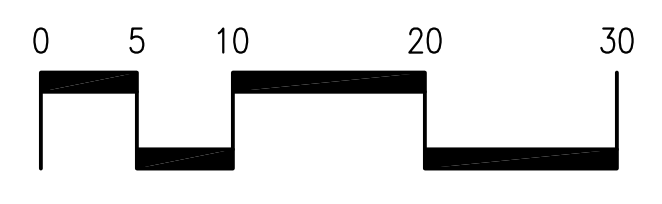
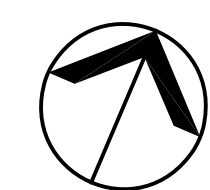
**BUTTERFLY GARDENS**  
BUTTERFLY GARDENS LLC

**PRELIMINARY GRADING AND DRAINAGE PLAN**  
910 S. MARIPOSA STREET, BURBANK, CALIFORNIA 91506

**C-1**  
**KHR ASSOCIATES**  
CONSULTING ENGINEERS/SURVEYORS/PLANNERS  
17530 Von Karman Avenue - Suite 200 Irvine, California 92614  
Tel (949) 756-6440

© KHR Associates. Property: 910 S. Mariposa Street, Burbank, CA 91506. Date: 3/9/23. 1"=10'





SCALE: 1"=10' DATE: 3/6/23

**BUTTERFLY GARDENS**  
**BUTTERFLY GARDENS LLC**

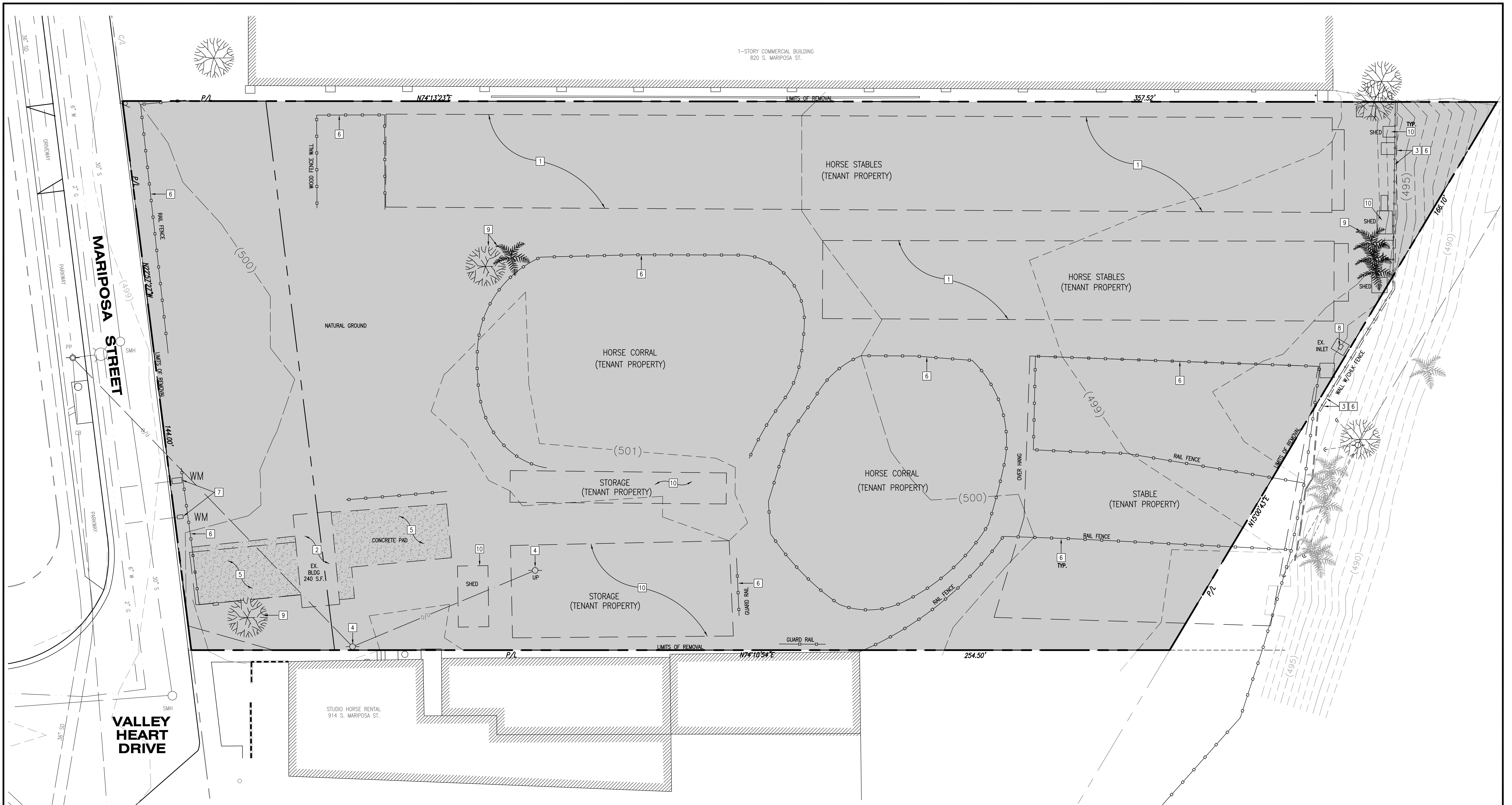
**PRELIMINARY UTILITY PLAN**

**910 S. MARIPOSA STREET, BURBANK, CALIFORNIA 91506**

**KHR ASSOCIATES**  
 CONSULTING ENGINEERS/SURVEYORS/PLANNERS  
 17530 Von Karman Avenue - Suite 200 Tel (949) 756-6440  
 Irvine, California 92614

**C-2**



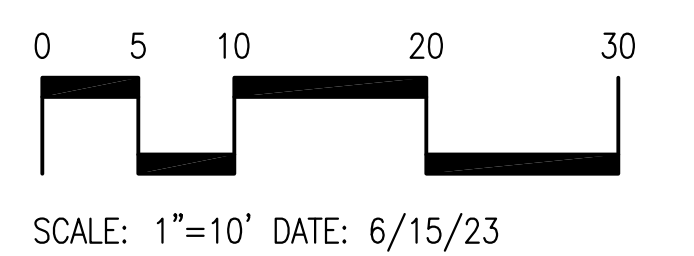
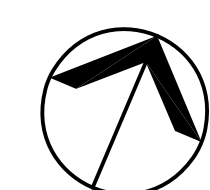


**DEMOLITION NOTES**

- |   |   |
|---|---|
| <p>1 TENANT TO REMOVE EXISTING HORSE STABLE.</p> <p>2 REMOVE AND DISPOSE OF EXISTING BUILDING. EXISTING USE IS RESTROOM/STORAGE.</p> <p>3 REMOVE AND DISPOSE OF EXISTING WALL.</p> <p>4 REMOVE AND DISPOSE OF EXISTING POWER POLE, AND ALL CONDUIT, AND WIRING.</p> <p>5 REMOVE AND DISPOSE OF EXISTING CONCRETE.</p> <p>6 REMOVE AND DISPOSE OF EXISTING FENCING/ RAILS.</p> | <p>7 REMOVE AND DISPOSE OF EXISTING WATER METERS.</p> <p>8 REMOVE AND DISPOSE OF EXISTING INLET GRATE.</p> <p>9 REMOVE AND DISPOSE OF EXISTING TREES.</p> <p>10 TENANT TO REMOVE EXISTING STORAGE AND TEMPORARY STRUCTURES.</p> |
|---|---|

**LEGEND**

- |         |                         |
|---------|-------------------------|
| ---     | PROPERTY BOUNDARY       |
| - - - - | RIGHT OF WAY CENTERLINE |
| —+—+—+— | CURB AND GUTTER         |
| =====   | WALL                    |
| ■       | REMOVAL AREA            |



**BUTTERFLY GARDENS**  
**BUTTERFLY GARDENS LLC**

**DEMOLITION PLAN**  
**910 S. MARIPOSA STREET, BURBANK, CALIFORNIA 91506**

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