

**EXHIBIT B: VIEW STUDY FOR HILLSIDE DEVELOPMENT PROJECT NO. 22-0003920
LOCATED AT 3006 MESA VERDE, BURBANK, CA 91504**

Objective and Analysis:

Per Burbank Municipal Code Section 10-1-607(D)(3)(f), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. As a part of the view study, the applicant constructed story poles that outlined a 77 square foot addition to the front of the dwelling, a 605 square foot addition to the rear of the dwelling, and an updated roof form. The applicant proposes demolition of interior walls at the front of the dwelling to accommodate the 77 square foot addition and demolition of the external wall at the rear of the dwelling to accommodate the 605 square foot addition. The Project also proposes full demolition of the roof to accommodate a new roof which will increase the top of plate height of the dwelling from 8 feet to 11 feet and the top of roof pitch height from 14 feet and 9 inches to 19 feet. The Project proposes minor grading.

In addition to the public notices, residents and property owners of all the neighboring properties located within the immediate vicinity of the project site were contacted and informed of the proposed project along with the process involved in the view study. Staff analyzed the topographic map and photos taken from various angles to assess the potential impact of the development on the views from the neighboring properties. The exhibits used in the study can be found below:

Figure 1: Location of the proposed project with respect to the neighboring properties

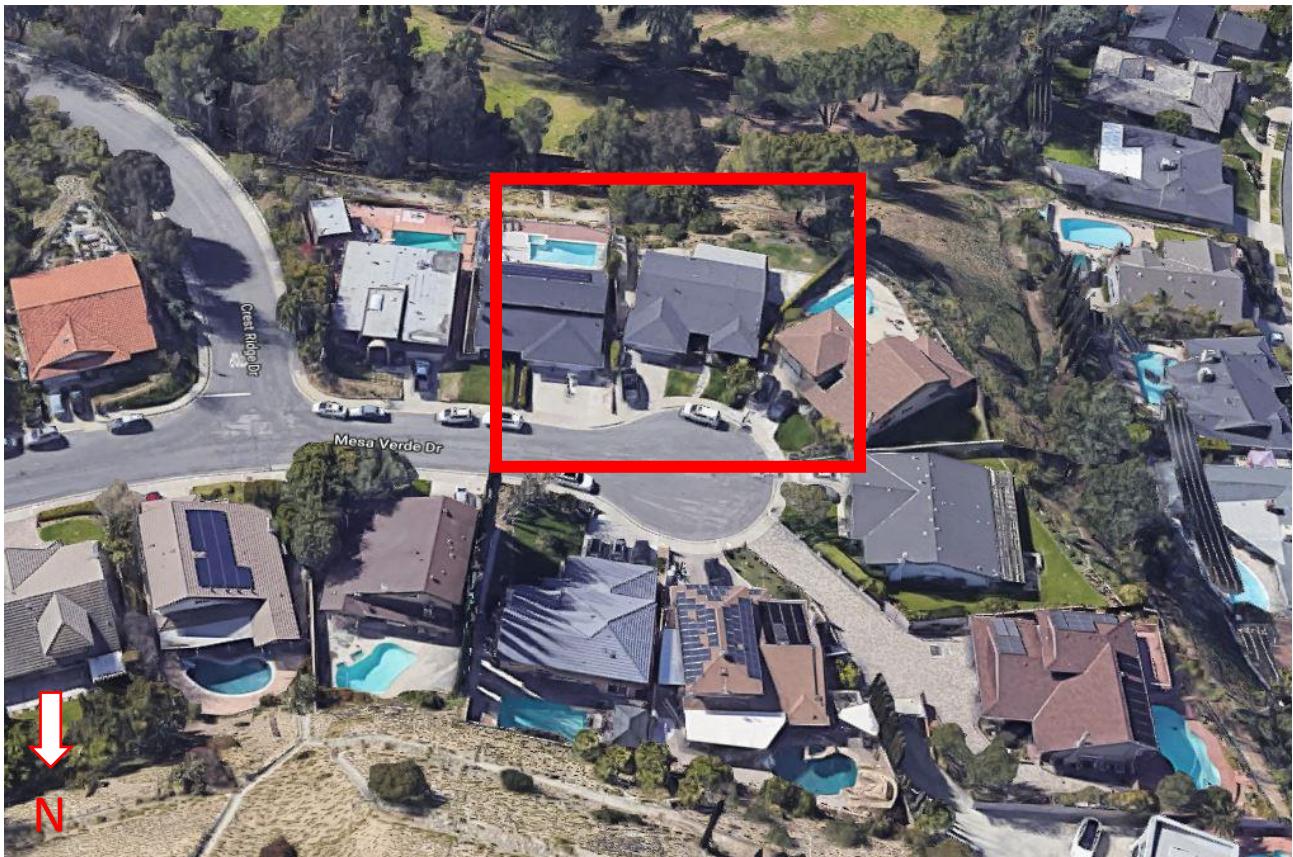
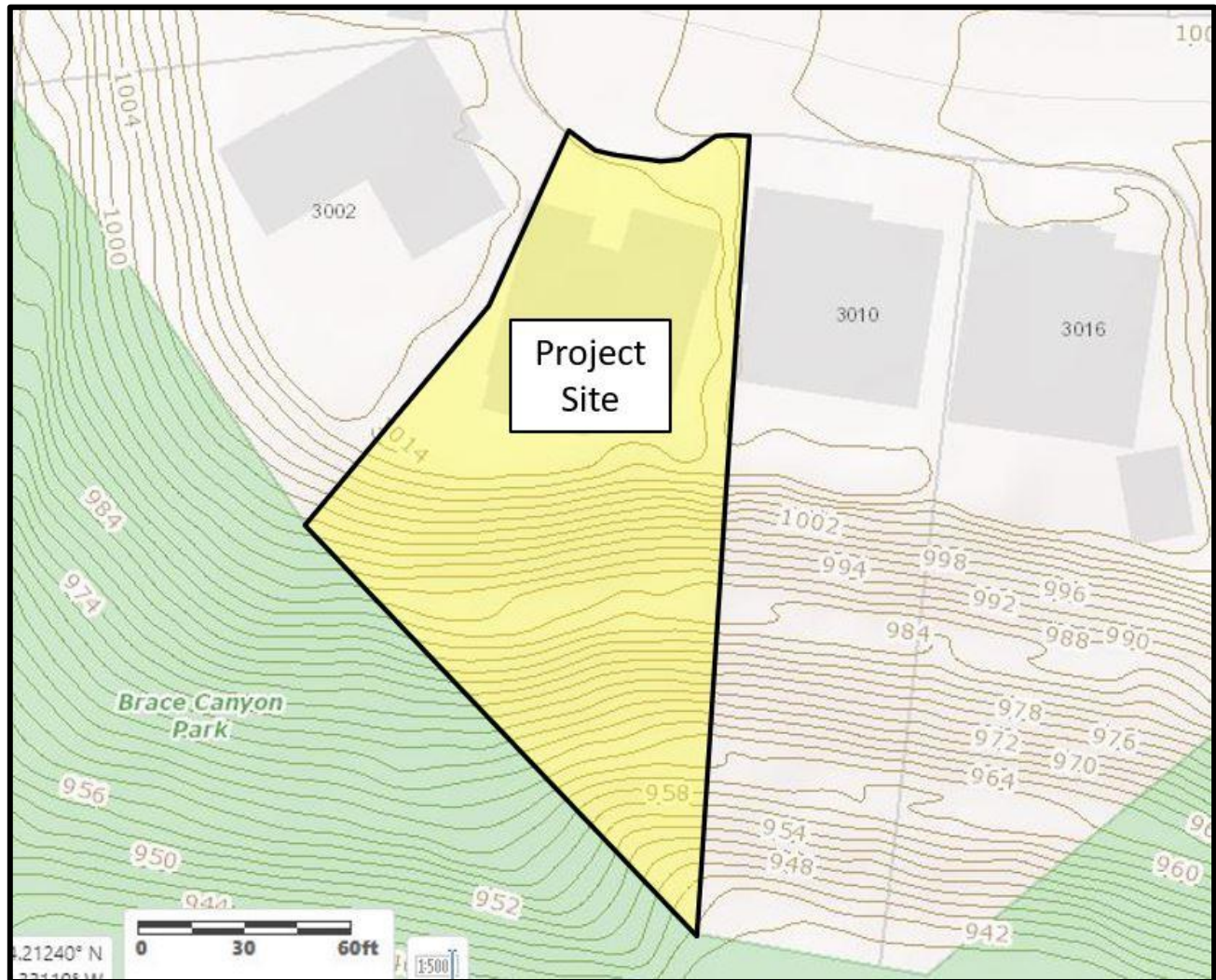


Figure 2: Topographic map of the subject property and vicinity.



The floor plan shows a house with a red outline. Key features include:

- Left Addition (805 SQ. FT.):** A large rectangular area on the left side, divided into several sections labeled 2, 3, 4, and 5. It includes a fireplace and a large window.
- Living Room:** Located in the center-left, labeled (N) LIVING ROOM, with a fireplace and a large window.
- Dining Room:** Located in the center-right, labeled (N) DINING ROOM, with a large window.
- Kitchen:** Located in the top right, labeled (N) KITCHEN, with a refrigerator (REF.) and a sink.
- Pantry:** Located in the top right, labeled PANTRY, with a sink and a window.
- Master Bedroom:** Located in the center, labeled (N) MASTER BEDROOM, with a large window and a closet.
- Master Bath:** Located in the center, labeled (N) MASTER BATH, with a bathtub and a window.
- Powder Room:** Located in the center, labeled (N) POWDER, with a toilet and a window.
- Bedroom:** Located in the bottom center, labeled (N) BEDROOM, with a window.
- Garage:** Located in the bottom right, labeled (E) GARAGE, with a large window and a door.
- Right Addition (77 SQ. FT.):** A smaller rectangular area on the right side, labeled ADDITION 77 SQ. FT., with a window.
- Dimensions:** Various dimensions are provided for walls, windows, and overall sections, such as 10'-0", 12'-0", 15'-0", 18'-0", 20'-0", 22'-0", 24'-0", 26'-0", 28'-0", 30'-0", 32'-0", 34'-0", 36'-0", 38'-0", 40'-0", 42'-0", 44'-0", 46'-0", 48'-0", 50'-0", 52'-0", 54'-0", 56'-0", 58'-0", 60'-0", 62'-0", 64'-0", 66'-0", 68'-0", 70'-0", 72'-0", 74'-0", 76'-0", 78'-0", 80'-0", 82'-0", 84'-0", 86'-0", 88'-0", 90'-0", 92'-0", 94'-0", 96'-0", 98'-0", 100'-0".
- North Arrow:** Located in the bottom right corner, pointing towards the top of the page.

EXHIBIT B

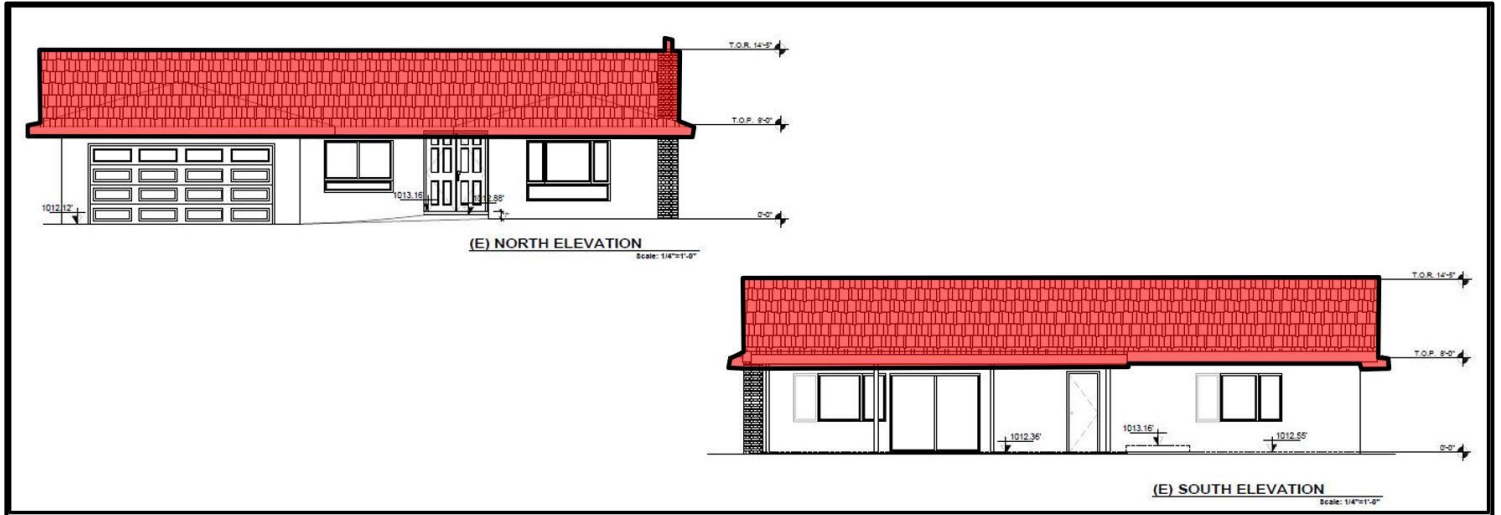


Figure 3b: Existing elevation of proposed development with areas of demolition shown in red

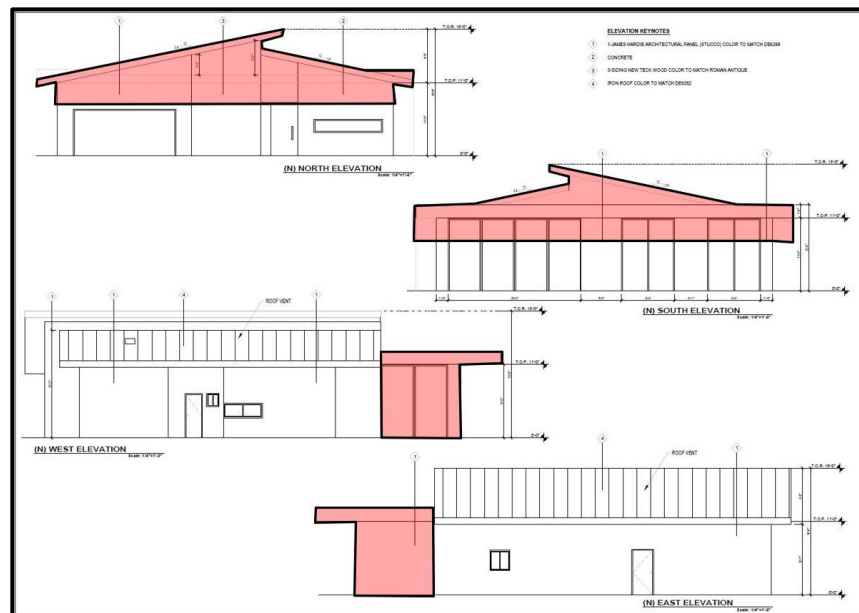


Figure 3c: Elevation of proposed development with roof and rear additions shown in red



Figure 4: Photo Key – Photos of installed story poles taken from different locations (see next page)



Figure 5: Front facade



Figure 6: Rear yard, southwest



Figure 7: Rear yard, facing west



Figure 8: Neighbor's property, facing west

Conclusion:

As evident from the proposed elevations, existing structures, and story poles, the placement and overall massing of the proposed additions will have minimal impact on the views from the surrounding properties. The bulk of the addition (605 square feet) is proposed along the full rear width of the dwelling at a height of 11 feet and will not extend into any side yard. The 77 square foot addition proposed at the front of the dwelling will accommodate a new bathroom and expansion of an existing bedroom. However, the addition will not result in any further extension into the front yard. The Project proposes demolition of the existing roof, and construction of a new shed roof form at a maximum height of 19 feet. All elements of the proposed additions, including windows, and wall materials will match the style and color of the existing residence.

Staff sent out inquiries to adjacent neighbors requesting site visits to determine whether the proposed addition would result in significant obstruction of views. Responding neighbors communicated their support of the project indicating that the story poles did not compromise existing views. On December 1, 2022, staff conducted a site visit on the subject property and took photos (Figures 5-8) of the constructed story poles.

Figure 5 depicts the view of the Project from Mesa Verde Drive and was taken at the street level. The Project proposes a minor addition within the existing recessed entryway. However, the addition will not extend beyond the existing garage and therefore will not encroach into the front yard setback. The Project proposes to increase the roof height to 19 feet by utilizing a new shed roof form. The shed roof form is designed to follow the existing downslope contour of the Hillside thereby ensuring minimal view impacts for surrounding neighbors.

Figures 6 and 7 depict the views of the addition taken from the rear yard. The addition will be approximately 11 feet in height, incorporating a flat roof, and is proposed to extend 12 feet into the rear yard. The addition will incorporate a new living room and new primary bedroom. From the vantage point of the photos taken, staff does not believe the volume and massing proposed results in any significant view obstruction.

Finally, Figure 4 depicts the subject property from the vantage point of the neighboring property's rear yard. As shown on the topography map (Figure 2), the abutting property, 3010 Mesa Verde is located at a slightly lower grade relative to the subject property. From this vantage point, the proposed rear addition can be seen, and upslope views are minimally impacted. Downslope views for the neighboring property will not be impacted. Therefore, the proposed addition will have no significant impact for this property.

Considering the information provided by the photographs, site plan and elevation drawings, and the elevation contours, City staff's analysis of the Project concludes that the proposed project does not create unreasonable impacts to the primary and secondary views of properties in the surrounding neighborhood.