

STORM WATER MANAGEMENT:

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE RACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
8. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

**DEVELOPMENT/PLANNING
MINIMUM PROJECT REQUIREMENTS
IN ORDER TO ACHIEVE THE GOAL OF REDUCING THE LEVEL OF
POLLUTANTS IN
STORM WATER RUNOFF, THESE MINIMUM
BMPs APPLY TO ALL PROJECTS:**

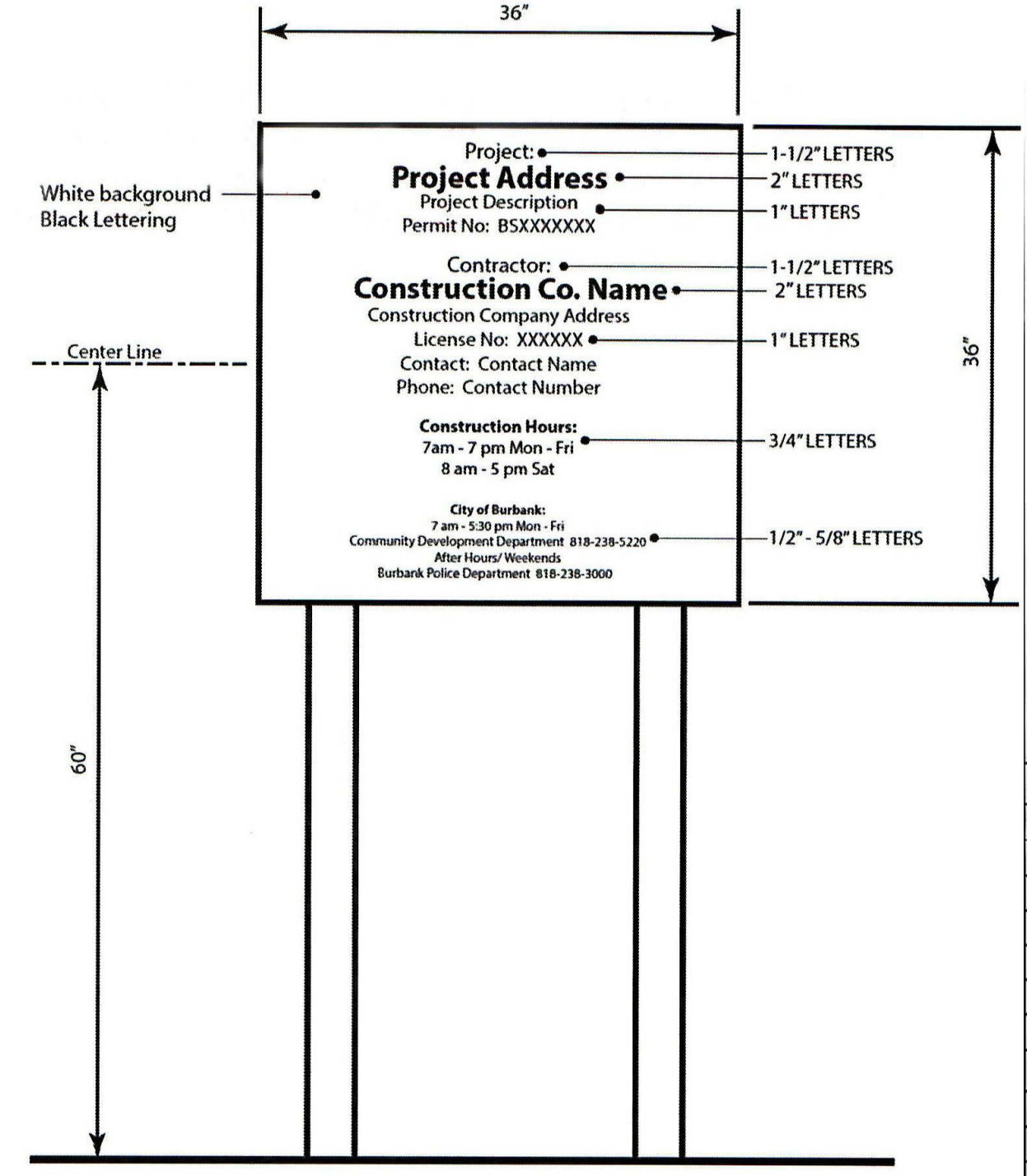
- 1) ALL YARD DRAINS AND CATCH BASINS DRAINING TO THE STREET OR STORM DRAIN SYSTEM MUST BE STENCILED OR LABELED WITH THE "NO DUMPING - DRAINS TO OCEAN" LOGO OR EQUIVALENT.
- 2) ROOF DOWNSPOUTS MUST NOT BE DIRECTED TO TRASH ENCLOSURES OR MATERIAL STORAGE AREAS. DOWNSPOUTS SHOULD DISCHARGE TO GRAVEL HEAVILY VEGETATED AREAS WHENEVER POSSIBLE.
- 3) TRASH BINS MUST BE EQUIPPED WITH LIDS OR SCREENED, ROOFED OR WALLED. RUNOFF WATER SHOULD BE DIVERTED AROUND TRASH AREAS TO AVOID FLOW THROUGH. TRASH ENCLOSURE DRAINAGE SHOULD BE DIRECTED TO BEGETATED AREAS WHERE FEASIBLE.
- 4) NO HOSES, HOSE BIBS OR FAUCETS SHOULD BE LOCATED OUTSIDE EXCEPT IN LANDSCAPED AREAS OR AS NEEDED FOR FIRE PROTECTION.
- 5) ANY WASTE WATER FROM WASHING VEHICLES OR EQUIPMENT MUST BE DISCHARGED TO THE SANITARY SEWER SYSTEM THROUGH PROPER PRETREATMENT FACILITIES (SEPARATE PERMITS MAY BE REQUIRED).
- 6) ALL OUTDOOR STORAGE AREAS MUST BE EQUIPPED WITH ADEQUATE SECONDARY CONTAINMENT OR OTHER EQUIVALENT MEASURES TO REDUCE CONTAMINATION OF RUNOFF. THIS APPLIES TO THE STORAGE OF BOTH HAZARDOUS AND NONHAZARDOUS MATERIALS (SOLIDS AND LIQUIDS).

- WM-1 MATERIAL DELIVERY AND STORAGE PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.
- WM-2 MATERIAL USE HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
- WM-4 SPILL PREVENTION AND CONTROL IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH THE ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
- WM-5 SOLID WASTE MANAGEMENT PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.
- WM-6 HAZARDOUS WASTE MANAGEMENT HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
- WM-7 CONTAMINATED SOIL MANAGEMENT PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRECONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.
- WM-8 CONCRETE WASTE MANAGEMENT STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON SITE SHALL SET-UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE ROCK OR PAVED.
- SILT FENCE SEDIMENT TRAP SAND BAGS ERADED SEDIMENTS MUST BE RETAINED ON SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. MAY BE WAIVED AT THE SOLE DIRECTION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL DMPs DEEM SUFFICIENT.

- GENERAL NOTES:**
1. All construction shall comply with the 2019 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.
 2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition
 3. All property lines, easements, and existing buildings have been indicated on this site plan.
 4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. **(BMC 9-1-2-3302.4)**
 5. Water shall be provided on the site and used to control dust.
 6. Temporary toilet facilities shall be provided on site. **(BMC 9-1-2-3305.1)**
 7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. **(CBC 1804.4, CRC R401.3)**
 8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. **(CBC 1808.7.4, CRC R403.1.7.3)**

SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. **(BMC 9-1-1-107)**.

- CALIFORNIA RESIDENTIAL CODE CODE**
- 2019 CALIFORNIA BUILDING CODE (CBC)
 - 2019 CA RESIDENTIAL CODE (CRC) ← Used Code
 - 2019 CA MECHANICAL CODE (CMC)
 - 2019 CA ELECTRICAL CODE (CEC)
 - 2019 CA PLUMBING CODE (CPC)
 - 2019 CAL GREEN CODE (CAL GREEN)
 - 2019 CA ENERGY CODE / EFFICIENCY STANDARDS
 - 2019 CGBC (W/ CURRENT REVISIONS AND / OR AMENDMENTS AND LOCAL REGULATIONS



PROJECT SIGN

1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
2. Sign may be mounted independently or on the construction fence.

THE FOLLOWING NOTE SHALL BE REPRODUCED ON THE COVER SHEET OF THE SUBMITTED DRAWINGS:



BUILDING DIVISION
Community Development Department
City of Burbank

**WATER-CONSERVING PLUMBING FIXTURES
CERTIFICATE OF COMPLIANCE**
(For buildings built on or before Jan. 1, 1994)

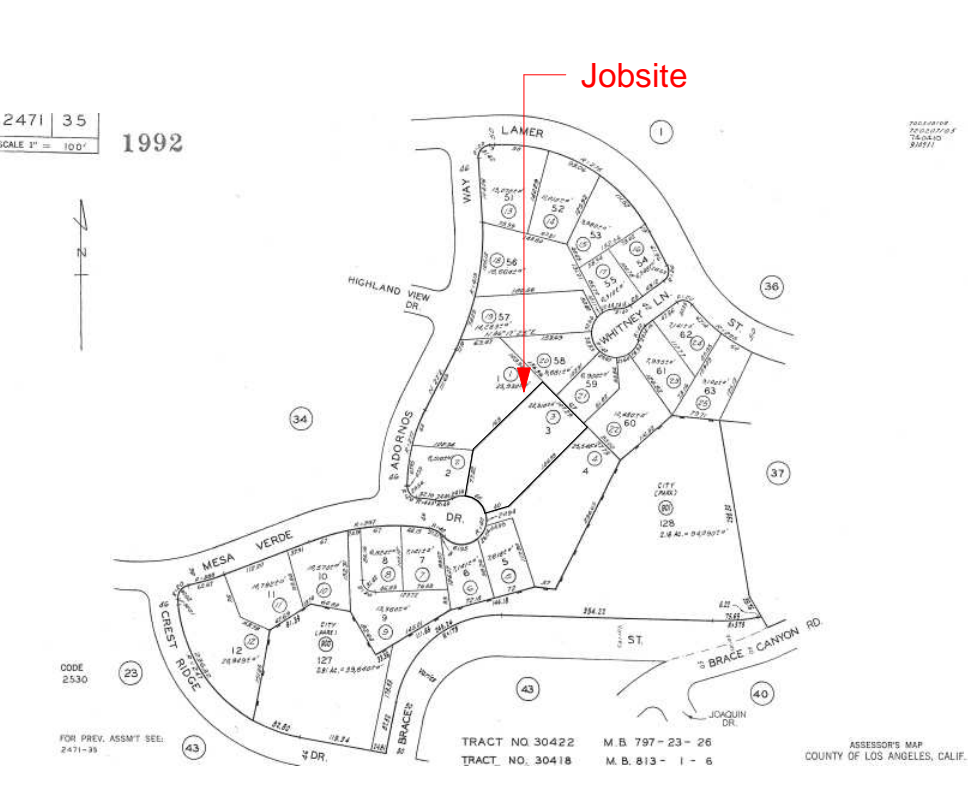
Project Address: _____ Permit No: _____

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: _____ Date: _____
Owner's Signature: _____

SINGLE-FAMILY RESIDENTIAL	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet	1.5 gals/min
Kitchen Faucet	1.8 gals/min
MULTI-FAMILY RESIDENTIAL	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Urinal	0.5 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet (within units)	1.5 gals/min
Lavatory Faucet (common areas)	0.5 gals/min
Kitchen Faucet	1.8 gals/min

Assessor Map



Vicinity Map



Scope of Work

(N) 315 SF Patio, (N) 129.61 SF BBQ Area & (N) 40 SF Bath

RFA ANALYSIS

Existing House Area: 2346 SF
Existing Lot Area: 21,381 SF
Existing Lot Coverage %: 10.97 %

Existing House Area: (2346 SF)
+
New Patio Area: (315 SF)
+
New BBQ Area: (129.61 SF)
+
New Bath Area: (40 SF)
=
New Total Area: (2830.61 SF)

Allowable RFA (40% of Lot Area)
21381 SF * 40% = 8552.4 SF

New Total < Allowable
2830.61 SF < 8552.4 SF

Lot Coverage

New total / Lot Size
2830.61 SF / 21381 * 100% SF = 13.2 %

Sheet Index

Sheet #	Sheet Name
A0	Cover Sheet
A1	Legal Info, Existing & Proposed Site Plans
A2	Proposed Floor Plan
A3	Proposed Roof Plan
A4	Proposed Elevations
A5	Retaining Wall Plan , Section & Elevations
A6	Proposed Sections
GN	General Notes
GRN	Green Notes

Project Data:

Project Address: 3174 Mesa Verde Dr
Burbank, CA 91504 USA
Assessor Parcel #: 2471-035-003

Zoning: R-1
Tract #: NO 30422
Lot #: 3
Block #: None
Stories: 2
School District: BUSD

Fire Zone: None
Fire Sprinklers Required: No

Construction Type: Type V-B

Owner:

Name: Narek Isakhanyan
Address: 3174 Mesa Verde Dr
Burbank, CA 91504



VGL DEVELOPMENT INC.
GOR VARDANYAN
ADD.: 621 S VICTORY BLVD
BURBANK, CA 91502
Tel: (818) 284-2444
Email: gwardanyan@gmail.com
WEB: ENGINEERCONTRACTOR.COM

REV	DATE	DESCRIPTION
1	2/19/2020	1st Submittal
2		
3		
4		
5		

THE ABOVE DRAWINGS AND SPECIFICATIONS AND DEETS, DESIGN AND ARRANGEMENTS REPRESENTED THEREBY, DESIGNER, AND NO PART THEREOF, SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ANY UNAUTHORIZED USE OF THESE DRAWINGS SHALL CONSTITUTE A VIOLATION OF THE DESIGNER'S RIGHTS AND SHALL BE SUBJECT TO LEGAL ACTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE DRAWINGS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND FABRICATION OF THE DRAWINGS AND SHALL NOT BE EXTENDED TO THE FABRICATION OF THE DRAWINGS WITHOUT THE FABRICATOR'S REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

Project Name	Mesa Verde Residence
Project Address	3174 Mesa Verde Dr Burbank, CA 91504 USA
Client Name	Narek Isakhanyan

Date: 01-28-2022

Designed by: E.H.
Checked by: D.M.

A0
SHEET NUMBER

Cover Sheet

General Legend

- (E) - Existing element
- (N) - New Element

Wall Legend

Existing Walls
 Demolition Walls
 Infill Walls
 New Walls



VGL DEVELOPMENT INC.
 GOR VARDANYAN
 ADD.: 621 S VICTORY BLVD
 BURBANK, CA 91502
 Tel.: (818) 284-2444
 Email: gvardanyan@vgl.com
 WEB: ENGINEERCONTRACTOR.COM

REV	DATE	DESCRIPTION	BY
1	2/19/2020	1st Submittal	DM
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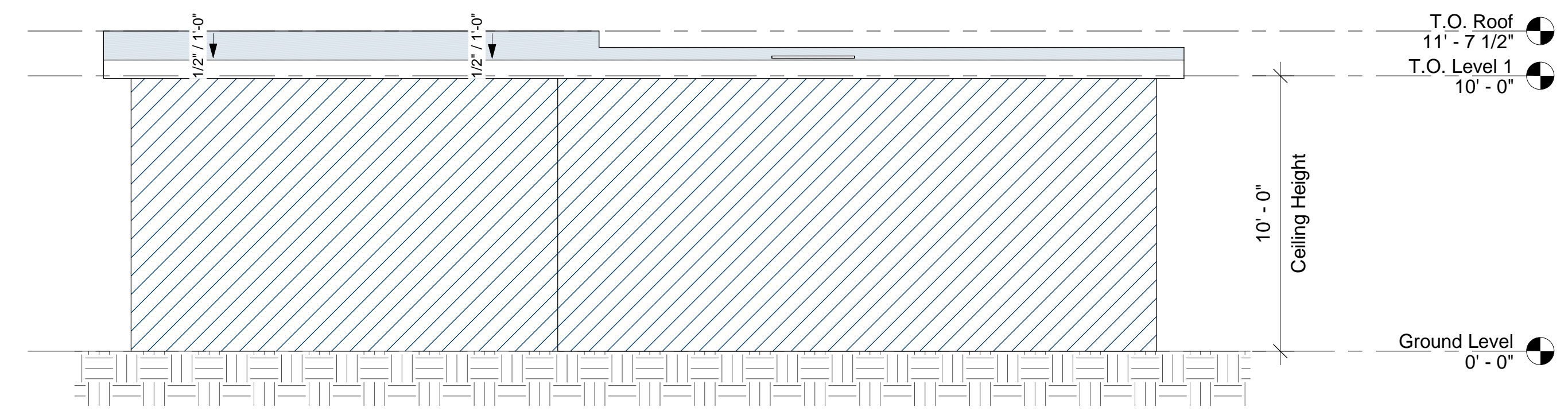
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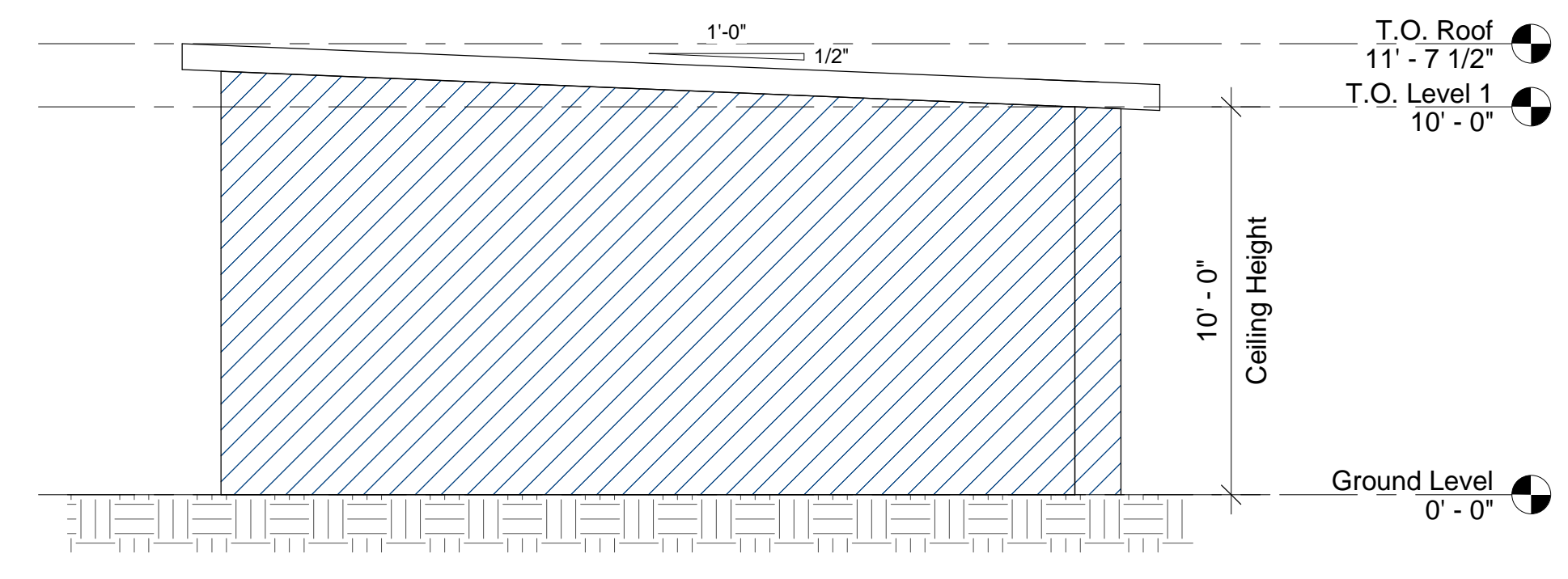
Date: 01-28-2022
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 Checked by: D.M.

A4
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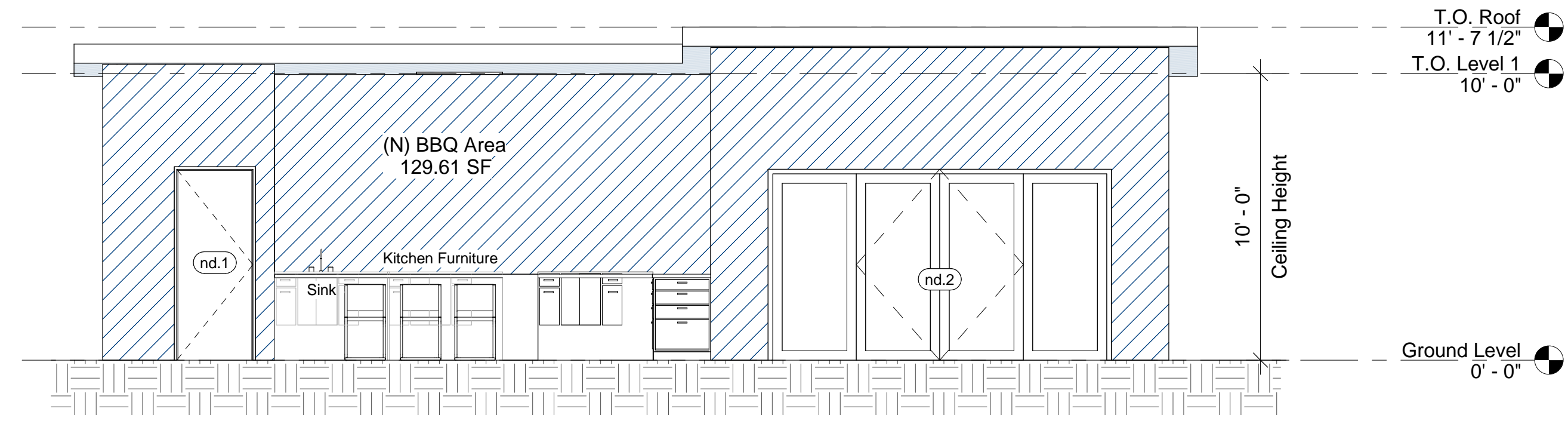
Proposed Elevations



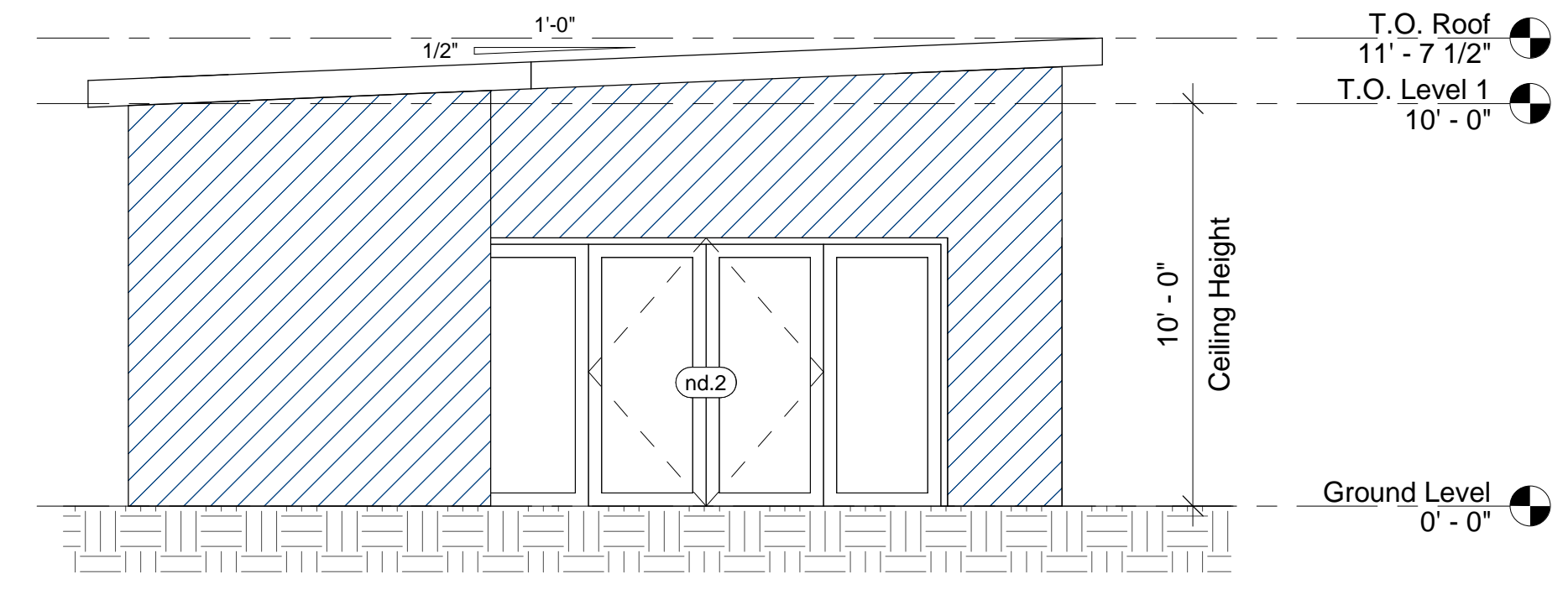
Proposed North Elevation
 1/4" = 1'-0"



Proposed East Elevation
 1/4" = 1'-0"



Proposed South Elevation
 1/4" = 1'-0"



Proposed West Elevation
 1/4" = 1'-0"

THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR 5.0 SF.

MIN. SIZE WINDOW FOR 20" CLEAR WIDTH AND 5.0 S.F. OPENABLE AREA
 1. 20" MIN. CLEAR WIDTH
 2. 24" MIN. CLEAR HEIGHT
 3. 5.0 SF MIN. OPENABLE AREA AT GRADE-FLOOR ONLY, 5.7 SF MIN. ELSEWHERE.

EMERGENCY ESCAPE/ RESCUE OPENING

NOTE: SIZES ARE TAKEN FROM DATA SUPPLIED BY WINDOW MANUFACTURERS. HOWEVER, THESE ARE GENERAL DIMENSIONS AND MUST BE VERIFIED WITH ACTUAL WINDOWS INSTALLED TO MEET MINIMUM EGRESS REQUIREMENTS.

OTHER WINDOW TYPES:
 AWNING: 8'6" W/ FIXED CENTER; NONE W/O MANUF. DATA
 SINGLE/ DOUBLE HUNG: 30" X 50", 30" X 56", 34" X 50", 34" X 50", 40" X 50", 40" X 50"
 SINGLE/ FIXED COMBO: NONE W/O MANUF. DATA
 SLIDER: 40" X 40", 50" X 36", 60" X 30", 80" X 40", 100" X 40", 120" X 30"
 SLIDER/ FIXED COMBO: 80" X 40", 100" X 40", 120" X 30"

DOORS, WINDOWS, GLAZING, LIGHT & VENTILATION

- BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 SF WHEN ABOVE THE GRADE FLOOR AND 5 SF ON THE RAD-FLOOR, A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. MANUFACTURER'S DATA SHOWING COMPLIANCE WITH EGRESS REQUIREMENTS MUST BE REPRODUCED ON THE DRAWINGS FOR ANY WINDOWS DEVIATING FROM THE APPROVED WINDOW SIZES SHOWN ON THE CITY OF BURBANK CONVENTIONAL CONSTRUCTION SHEET. (CRC R310.1)
- WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED AND THE WINDOW U-FACTOR AND SHGC MUST BE INDICATED ON THE SCHEDULE.
- GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4): IN OPERABLE PANELS OF DOORS WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE IN AN INDIVIDUAL PANE LARGER THAN 9 SF, WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE FLOOR, WHEN THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND WHEN WITHIN 36" OF A WALKING SURFACE AS MEASURED HORIZONTALLY AND IN A STRAIGHT LINE IN RAILINGS WITHIN 60" OF TUB OR SHOWER FLOOR GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS IS 60" ABOVE THE ADJACENT WALKING SURFACE WITHIN 60" OF STAIRS AND STAIR LANDINGS

MEANS OF EGRESS

- FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (R311.4)
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)



ENGINEER CONTRACTOR

VGL DEVELOPMENT INC.

GOR VARDANYAN
ADD.: 621 S VICTORY BLVD
BURBANK, CA 91502

Tel: (818) 286-2444
Email: g.vardanyan@gmail.com
WEB: ENGINEERCONTRACTOR.COM

BY

DM

DESCRIPTION

1st Submittal

REV

DATE

1 2/19/2020

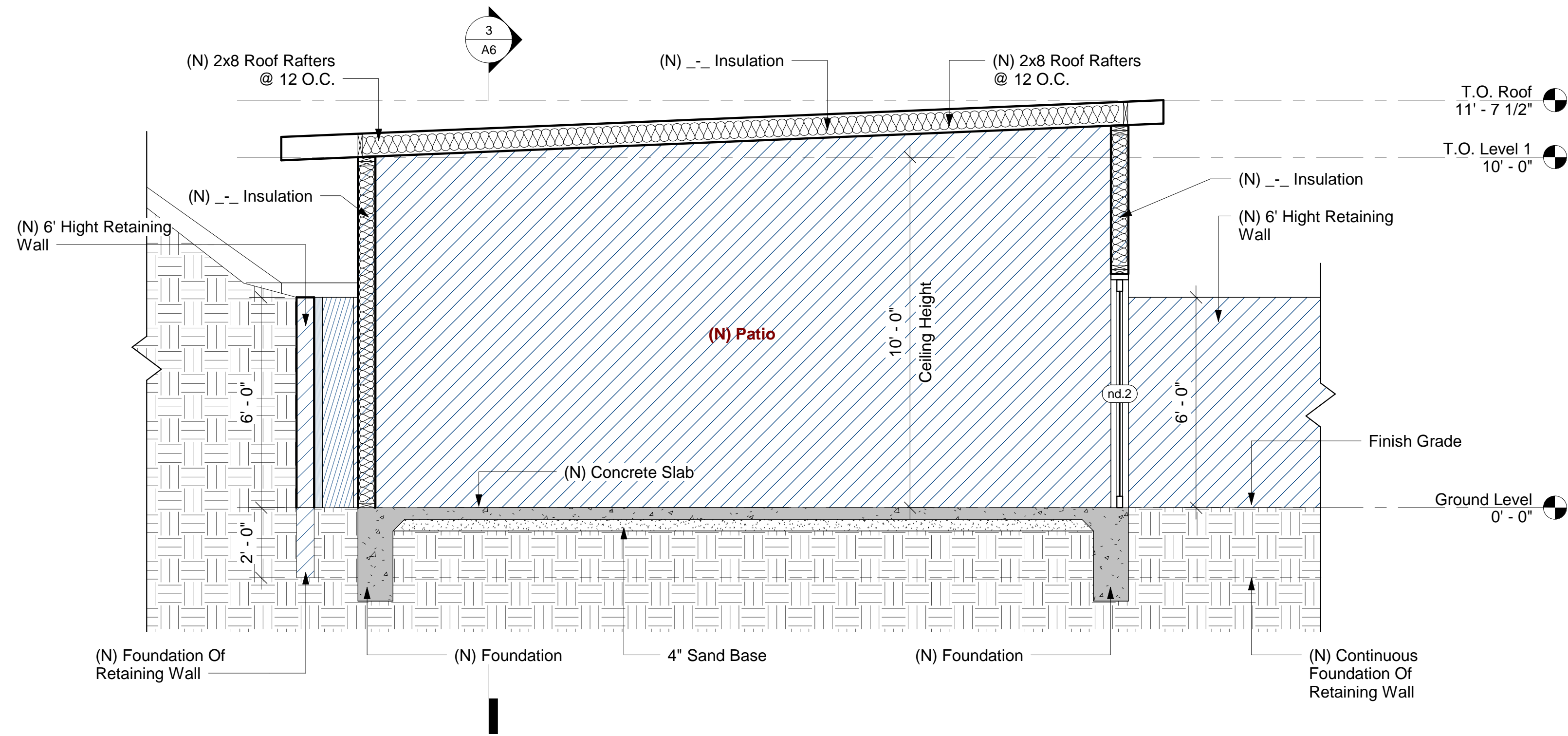
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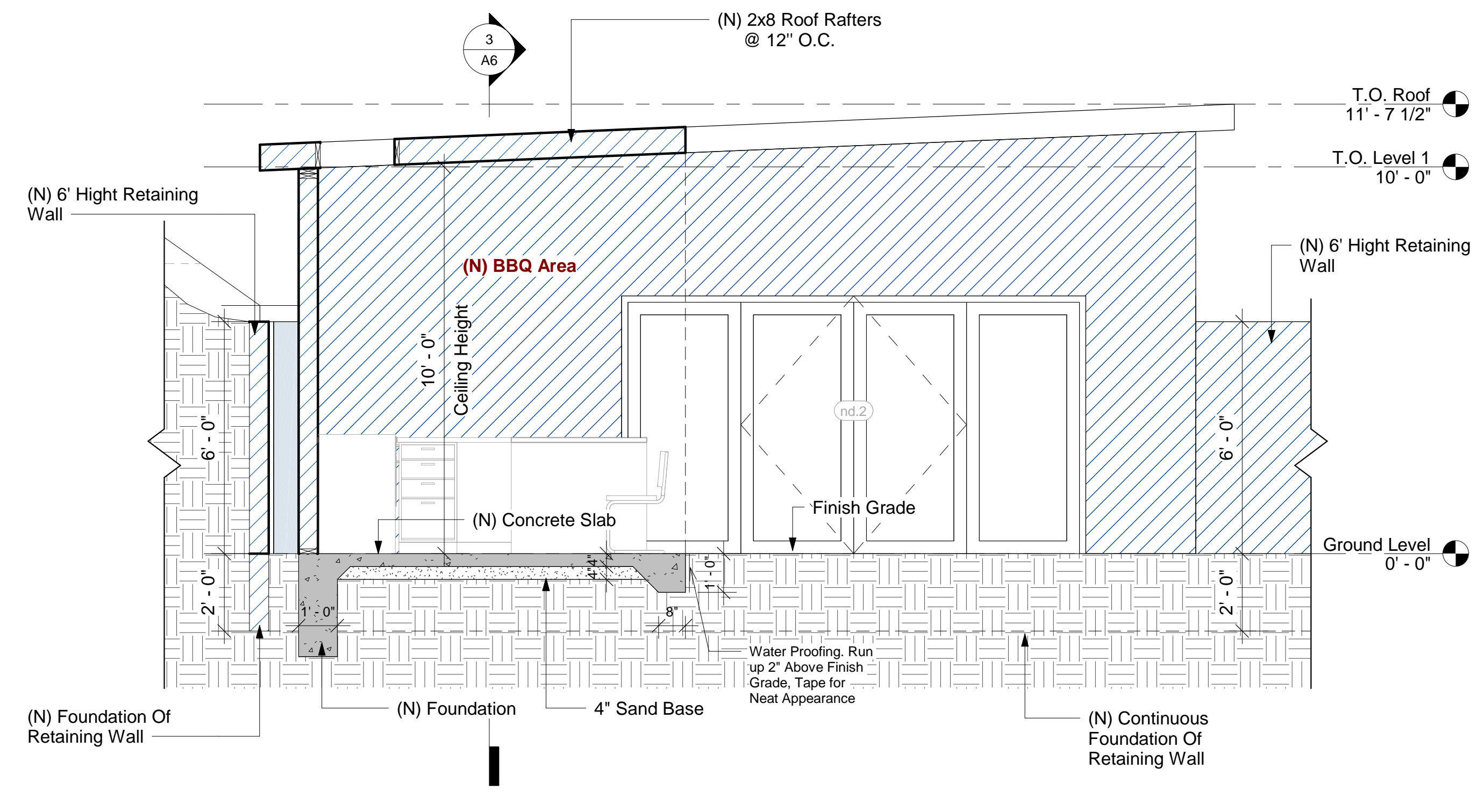
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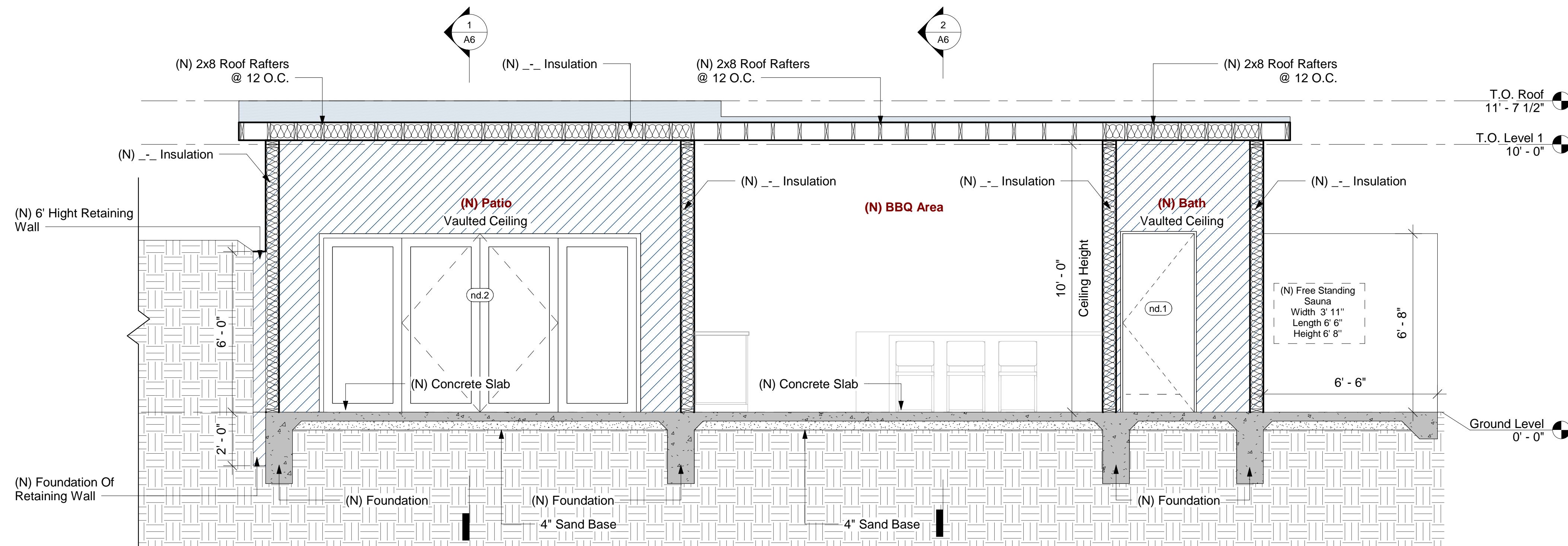
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Section 2
3/8" = 1'-0"



Section 3
3/8" = 1'-0"



Section 4
3/8" = 1'-0"

Project Name
Mesa Verde Residence

Project Address
3174 Mesa Verde Dr Burbank, CA 91504 USA

Client Name
Narek Isakhanyan

Date: 01-28-2022

Designed by: E.H.
Checked by: D.M.

A6
SHEET NUMBER

Proposed Sections

A. GENERAL

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES -WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. * OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP (213) 367-0562.
2. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:
A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 3306.
B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.
3. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". (210-52 NEC)
4. ALL NEW LIGHTING SHALL BE FROM AN ENERGY HIGH EFFICACY LIGHT SOURCE (E.G. FLUORESCENT LAMP). (T-24, SEC. 150(K))
5. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
7. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
8. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
9. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
11. LOS ANGELES CITY ELECTRICAL TEST LAB RESEARCH REPORT IS REQUIRED TO USE AN ELECTRO-MECHANICAL LIFT FOR PROVIDED PARKING SPACES.
12. "A MAINTENANCE OF VEHICLE LIFT SYSTEM (2-LEVELS OR MORE) AFFIDAVIT" SHALL BE APPROVED AND RECORDED PRIOR TO ISSUING A BUILDING PERMIT.
13. A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLE AND/OR SALVAGE FOR REUSE IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.4. (R334)
14. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.5. (R340)
15. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5. (R506.2.3.1)
16. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN BOTTOM/SOLE PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4. (R602.3.4.1)
B. BATHROOMS
1. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES (0.66 M2) AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER (0.76 M) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8 M) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODE SECTION 408.6)
2. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
3. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
4. A MIN 12" SQ. ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED. (PLUMBING CODE SECTION 402.10)

C. LAUNDRY ROOM

1. CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (BUT NOT BENEATH THE BUILDING OR IN THE ATTIC AREA). (M.C. 504.4.2.1)
2. A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (M.C. 504.3.2, M.C. 908)

D. MEANS OF EGRESS

1. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT. (LARC SECTION R101, LABC SECTION 6304.1)
2. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.- 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA. (LARC SECTION R310.2.1, LABC SECTION 1030.2)
3. OCCUPIED ROOFS SHALL BE PROVIDED WITH EXITS AS REQUIRED FOR STORIES.

E. GRADING AND FOUNDATION

1. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED. (LARC SECTION R401.4)
2. FOUNDATION AND FLOOR SLABS SHALL CONFORM TO THE FOLLOWING OR THE RECOMMENDATION OF AN APPROVED SOILS REPORT :
A. DEPTH OF FOOTINGS BELOW THE NATURAL AND FINISHED GRADES SHALL NOT BE LESS THAN 24 INCHES FOR EXTERIOR AND 18 INCHES FOR INTERIOR FOOTINGS.
B. EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.
C. FOOTINGS SHALL BE REINFORCED WITH A MINIMUM 4 - ½ -INCH DIAMETER DEFORMEDREINFORCING BARS. TWO BARS SHALL BE PLACED WITHIN 4 INCHES OF THE BOTTOM OF THEFOOTING AND TWO BARS WITHIN 4 INCHES OF THE TOP OF THE FOOTINGS.
D. THE SOIL BELOW AN INTERIOR CONCRETE SLAB SHALL BE SATURATED WITH MOISTURE TO ADEPTH OF 18 INCHES PRIOR TO PLACING THE CONCRETE.

E. CONCRETE FLOOR SLABS ON GRADE SHALL BE PLACED ON A 4" FILL OF COARSE AGGREGATE ORON A MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 3½ INCH THICK AND SHALL BE REINFORCED WITH #4 REBAR AT 16 INCH ON CENTER IN BOTH DIRECTIONS.
3. CONCRETE SLABS ON EXPANSIVE SOIL, COMPACTED FILL OR SLOPES OVER 1:10 SHALL BE PLACED ON A 4-INCH FILL OF COARSE AGGREGATE. THE SLABS SHALL BE AT LEAST 3-1/2 INCHES THICK AND REINFORCED WITH #4 BARS SPACED AT INTERVALS NOT EXCEEDING 16 INCHES ON CENTER EACH WAY. A 6-MIL POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6-INCHES SHALL BE P ACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE. (LABC SECTION 1808.6, LARC SECTION R403.1.8, R506.1)
4. PROVIDE UNDER-FLOOR NET VENTILATION OPENING SIZE AND LOCATIONS EQUAL TO 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA AND AN ACCESS OPENING THROUGH THE FLOOR (18" X 24" MIN) OR AN OPENING THROUGH A PERIMETER WALL NOT LESS THAN (16" X 24" MIN). (LARC R408, LABC SECTION 1202.4, 1208)
5. OPENINGS SHALL BE AS CLOSE TO CORNERS AS PRACTICABLE AND SHALL PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENING SHALL HAVE 1/4 INCH CORROSION RESISTANT METAL MESH COVERING. (LABC SECTION 1202.4, LARC R408.2)
6. PROVIDE CORROSION RESISTANT WEEP SCREED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. (LARC SECTION R703.7.2.1, LABC SECTION 2512.1.2)
7. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. (LARC R903.4, LABC 1502.1, 7013.9)

F. ZONING NOTES

1. A/C UNITS AND WATER HEATERS ARE NOT ALLOWED IN THE REQUIRED SIDE YARDS AND FRONT YARDUNLESS SPECIFICALLY ALLOWED BY EXCEPTION PER INFORMATION BULLETIN P/IZC 2002-006.

G. SPECIAL HAZARDS

1. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. (LARC R308, LABC SECTION 2406.4) FIXED OR OPERABLE PANELS IN SWINGING, SLIDING AND BIFOLD DOORS AND FIXED OR OPERABLE PANELS ADJACENT TO DOORS; FIXED OR OPERABLE WINDOW PANELS WITH PANES LARGER THAN 9 SQUARE FEET AND ARE LESS THAN 18 INCHES ABOVE THE FLOOR, HAVE A TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR AND HAVE ONE OR MORE WALKING SURFACES WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING. GLAZING IN GUARDS AND RAILINGS, ADJACENT TO WET SURFACES, ADJACENT TO STAIRS AND RAMPS, AND ADJACENT TO BOTTOM STAIR LANDINGS.
2. EACH LIGHT OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, THE TYPE OF GLASS, AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AND THAT IS VISIBLE IN THE FINAL INSTALLATION.
3. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, MANUFACTURER, AND PERFORMANCE GRADE RATING TO INDICATE COMPLIANCE WITH AAMA/WDMA/CSA 1011/S.2/A440 (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
4. PRE-FAB FIREPLACES ARE REQUIRED TO HAVE MANUFACTURER, MODEL, AND UNDERWRITER LABORATORIES CERTIFICATION (OR ICC-ES).
5. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE WHICH USES FUEL BURNING MATERIAL." (L.A.M.C. 57.4704.10)
6. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. "(PER ORDINANCE 171,874-FOR WORK OVER \$10,000.)
7. WATER HEATER MUST BE STRAPPED TO WALL. SECTION 507.2, LAPC. SEE INFORMATION BULLETIN P/PC 2011-003 "HOW TO BRACE YOUR WATER HEATER" FOR DETAILS.
8. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

ALL OPENINGS MARKED * ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY:

1.EACH UNIT M A RESIDENTIAL DEVELOPMENT SHALL BE KEYED DIFFERENTLY THAN ANY OTHER UNITS UNDER THE SAME GENERAL PLAN. A CERTIFICATE FROM THE LOCK SUPPLIER DECLARING THAT ALL LOCKS SUPPLIED TO THE PROJECT ARE KEYED SEPARATELY SHALL BE ACCEPTABLE AS COMPLYING WITH THE ABOVE REQUIREMENTS.
2.DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF SIX (6) INCHES (153MM) EACH SIDE OF THE STRIKE.
3.INWOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE (3) STUD SPACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.
4.IRON OR STEEL SCREENS SHALL BE 1/8" THICK WITH 2" MESH SECURELY FASTENED.
5.IRON BARS SHALL BE 1/2" DIAMETER BARS OR 1" X 1/4" FLAT STEEL SPACED AT 5" MAX. SECURELY FASTENED.
6.CYLINDER GUARDS SHALL BE ATTACHED WITH 1/2" CONNECTING SCREWS AND SHALL BE INSTALLED WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR, OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
7.DOOR STOPS FOR IN-SWINGING DOORS SHALL BE INTEGRATED (RABETTED) WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
8. THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF AT LEAST SIXTEEN (16) U.S.GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS.
9. HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS.
10. LOUVERED WINDOWS SHALL NOT BE USED WHEN ANY PORTION OF THE WINDOW IS LESS THAN 12 FEET (3658MM) VERTICALLY OR 6 FEET (1829MM) HORIZONTALLY FROM AN ACCESSIBLE SURFACE OR ANY ADJOINING ROOF, BALCONY, LANDING, STAIR TREAD, PLATFORM, OR SIMILAR STRUCTURE.
11.GARAGE DOOR TYPES: ROLLING OVERHEAD, SOLID OVERHEAD, SWING OR SLIDING ACCORDION GARAGE-TYPE DOORS SHALL CONFORM TO THE FOLLOWING STANDARDS :
11.1 WOOD DOORS SHALL HAVE PANELS A MINIMUM OF FIVE-SIXTEENTHS (5/16) INCH (8MM) IN THICKNESS WITH THE LOCKING HARDWARE BEING ATTACHED TO THE SUPPORT FRAMING.

11.2 ALUMINUM DOORS SHALL BE A MINIMUM THICKNESS OF .0215 INCHES (.546MM) AND RIVETED TOGETHER A MINIMUM OF EIGHTEEN (18) INCHES (458MM) ON CENTER ALONG THE OUTSIDE SEAMS. THERE SHALL BE A FULL-WIDTH HORIZONTAL BEAM ATTACHED TO THE MAIN DOOR STRUCTURE WHICH SHALL MEET THE PILOT, OR PEDESTRIAN ACCESS, DOOR FRAMING WITHIN THREE (3) INCHES (76MM) OF THE STRIKE AREA OF THE PILOT OR PEDESTRIAN ACCESS DOOR
11.3 FIBERGLASS DOORS SHALL HAVE PANELS A MINIMUM DENSITY OF SIX (6) OUNCES PER SQUARE FOOT(1831 GRAM/M2) FROM THE BOTTOM OF THE DOOR TO A HEIGHT OF SEVEN (7) FEET (2134MM). PANELS ABOVE SEVEN (7) FEET (2134MM) AND PANELS IN RESIDENTIAL STRUCTURES SHALL HAVE A DENSITY NOT LESS THAN FIVE (5) OUNCES PER SQUARE FOOT (1526 GRAMS/M2)
11.4 DOORS UTILIZING A CYLINDER LOCK SHALL HAVE NOT LESS THAN A FIVE (5) PIN TUMBLER OPERATION WITH THE LOC MG BAR OR BOLT EXTENDING INTO THE RECEIVING GUIDE A MINIMUM OF ONE (1) INCH (25 4MM)
11.5 DOORS EXCEEDING SIXTEEN (16) FEET (4877MM) IN WIDTH SHALL HAVE TWO LOCK RECEIVING POINTS OR, IF THE DOOR DOES NOT EXCEED NINETEEN (19) FEET (5791MM), A SINGLE BOLT MAY BE USED IF PLACED IN THE CENTER OF THE DOOR WITH THE LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER OR, TORSION SPRING COUNTERBALANCE TYPE HARDWARE MAY BE USED
11.6 DOORS WITH SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MINIMUM OF .120 INCHES (3MM) IN THICKNESS, WITH A MINIMUM BOLT DIAMETER OF ONE-HALF (1/2) INCH (13MM) AND PROTRUDE AT LEAST ONE AND ONE-HALF (1 1/2) INCHES (38MM) INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF THREE EIGHTS (3/8) INCH (10MM) MAY BE USED IN A RESIDENTIAL BUILDING. THE SLIDE BOLT SHALL BE ATTACHED TO THE DOOR WITH NON-REMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES
12. SWINGING EXTERIOR DOORS ALL EXTERIOR SWINGING DOORS OF ANY RESIDENTIAL BUILDING AND ATTACHED GARAGES (EXCEPT FOR VEHICULAR ACCESS DOORS). INCLUDING THE DOOR LEADING FROM THE GARAGE AREA INTO THE DWELLING UNIT SHALL BE EQUIPPED AS FOLLOWS:
12.1 ALL WOOD DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF ONE AND THREE-FOURTHS (1 ¾ INCH (45 MM)), OR WITH PANELS NOT LESS THAN NINE- SIXTEENTHS (9/16) INCH (15MM) THICK.
12. 2 A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A SINGLE CYLINDER DEADBOLT LOCK WITH A MINIMUM PROJECTION OF ONE (1) INCH (25.4MM) AND BE CONSTRUCTED TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST THREE-FOURTHS (3/4) INCH (19MM) INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST ONE FOURTH (1/4) INCH (6.3MM) IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF THE LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATCH CAN BE RETRACTED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES
12.3. THE INACTIVE LEAF OF DOUBLE DOORS SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF FIVE-EIGHTHS (5/8) INCH (16MM) INTO THE HEAD AND THRESHOLD OR THE DOOR FRAME.
12.4 GLAZING. GLAZING IN EXTERIOR DOORS OR WITHIN FORTY (40) INCHES (1016MM) OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY RESISTANT GLAZING.
12.5 WIDE ANGLE VIEWER EXCEPT WHERE CLEAR VISION PANELS ARE INSTALLED. ALL FRONT EXTERIOR DOORS SHALL BE EQUIPPED WITH A WIDE ANGLE (180º) DOOR VIEWER.
12.6 HOLLOW STEEL DOORS SHALL BE A MINIMUM SIXTEEN (16) GAUGE THICK WITH EXTRA REINFORCING AROUND THE LOCK TO PREVENT COLLAPSING.
12.7 ALUMINUM DOORS SHALL BE CONSTRUCTED PER VOL. VII, SECTION 15.3 OF SECURITY ORDINANCE NO 5581, AND SHALL BE EQUIPPED WITH A DOUBLE CYLINDER DEADBOLT WITH A 1" MIN. BOLT PROJECTION OR HOOK SHAPED OR EXPANDING DOG BOLT TO PREVENT SPREADING. THE DEADBOLT LOCK SHALL HAVE A MINIMUM OF FIVE (5) PIN TUMBLERS AND A CYLINDER GUARD.
13 ADDRESS NUMBER AND IDENTIFYING DATA: ADDRESS NUMBERS AND OTHER IDENTIFYING DATA SHALL BE DISPLAYED AS FOLLOWS:
13.1. ALL RESIDENTIAL DWELLINGS SHALL DISPLAY AN ADDRESS NUMBER IN A PROMINENT LOCATION ON THE STREET SIDE OF THE RESIDENCE IN SUCH A POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMERALS SHALL BE NO LESS THAN FOUR (4) INCHES (102MM) IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHED. IN ADDITION, ANY RESIDENCE WITH REAR VEHICULAR ACCESS THROUGH ANY DRIVEWAY, ALLEYWAY OR PARKING LOT SHALL ALSO DISPLAY THE SAME NUMBERS ON THE REAR OF THE BUILDING
13.2 MULTIPLE FAMILY DWELLING; ILLUMINATED DIAGRAMS AND IDENTIFICATION NUMBERS: THERE SHALL BE POSITIONED AT EACH ENTRANCE OF A MULTIPLE FAMILY DWELLING COMPLEX AN ILLUMINATED DIAGRAMMATIC REPRESENTATION OF THE COMPLEX WHICH SHOWS THE LOCATION OF:
13.2.1 THE VIEWER;
13.2.2 THE UNIT DESIGNATIONS WITHIN THE COMPLEX.
13.2.3 EACH UNIT THAT IS A "SMOKING UNIT AND A "NONSMOKING" UNIT (AS GOVERNED BY CHAPTER 8.52 OF THE GLENDALE MUNICIPAL CODE, 1995, OR ANY SUCCESSOR LEGISLATION).
13.2.4 A SMOKING PERMITTED AREA AUTHORIZED UNDER SECTION 8.52.130 OF THE GMC; AND
13.2.5 THE COMPLEX'S EXITS, STAIRWELLS, ELEVATORS, FIRE ALARM ANNUNCIATOR PANELS, AND STANDPIPES. IN ADDITION, EACH INDIVIDUAL UNIT WITHIN THE COMPLEX SHALL DISPLAY A PROMINENT IDENTIFICATION NUMBER, NOT LESS THAN FOUR (4) INCHES (102MM) IN HEIGHT, WHICH IS EASILY VISIBLE TO APPROACHING VEHICULAR AND/OR PEDESTRIAN TRAFFIC. IN ADDITION, ANY MULTIPLE FAMILY DWELLING WITH REAR VEHICULAR ACCESS SHALL ALSO DISPLAY THE SAME NUMBERS ON THE REAR OF THE BUILDING.
14. LIGHTING; MULTIPLE FAMILY DWELLING. LIGHTING IN MULTIPLE FAMILY DWELLINGS SHALL BE AS FOLLOWS:
14.1 AISLES, PASSAGEWAYS, AND RECESSES: AISLES, PASSAGEWAYS AND RECESSES RELATED TO AND WITHIN THE BUILDING COMPLEX SHALL BE ILLUMINATED WITH AN INTENSITY OF AT LEAST TWENTY-FIVE HUNDRETHS (.25) OF A FOOTCANDLE (2.7 LUX) AT THE GROUND LEVEL DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM-RESISTANT COVERS.
14.2 PARKING STRUCTURES, PARKING LOTS AND CARPORTS: PARKING STRUCTURES, PARKING LOTS AND CARPORTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) FOOTCANDLES (21 5 LUX) OF LIGHT ON THE PARKING SURFACE DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM- RESISTANT COVERS
15. NOTE: THESE NOTES ARE INTENDED AS A GUIDE ONLY. CONTRACTOR AND SUPPLIER SHALL REFER TO THE GLENDALE BUILDING & SAFETY CODE, VOLUME VII FOR MORE COMPLETE AND SPECIFIC DETAILS.

NOTES:

1. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH MAXIMUM FLOW RATES IN TABLE 4.303.2
2. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED THE FLOW RATES SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.2)
3. FOR PROJECTS THAT INCLUDE LANDSCAPE, WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL NO. 1881)
4. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES, PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF LOS ANGELES PLUMBING CODE. (4.406.1)
5. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4)
6. AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MAXIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN BUILDING AT THE TIME OF FINAL INSPECTION. FORM GRN 6 (4.410.1)
7. ALL DUCT AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL VENTILATING EQUIPMENT. (4.504.1)
8. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3 (4.504.2.1-4.504.2.3)
9. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READIL Y AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)
10. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING
10.1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
10.2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S.
10.3. NSF/ANSI 140 AT THE GOLD LEVEL.
10.4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
11. ALL NEW CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)
12. 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OF THE FOLLOWING:
12.1. VOC EMISSION LIMITS DEFEND IN THE CHPS HIGH PERFORMANCE PRODUCTS AT A BASE
12.2. PRODUCTS COMPLAINT WITH THE CHPS CRITERIA.
12.3. CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFO) FLOOR SCORE PROGRAM
12.4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (CALGREEN 4.504.4)
13. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)
14. THE FORMALDEHYDE EMISSION VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1)
15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)
16. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ ACCA 29- D-2009 OR ASH RAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.(CALGREEN 4.507.2)
17. BATHROOM EXHAUST FANS MUST COMPLY WITH THE FOLLOWING:
17.1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
17.2. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL.

H. INTERIOR ENVIRONMENT
1. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68ºF AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
1. BUILDING ENVELOPE
1. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
1.1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD ASSEMBLIES.
1.2. GLAZING IN ENCLOSURE FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
1.3. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
1.4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)
1.5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION:
1.5.1. MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVAENT A ND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

EHD Group Inc.
41852 Wilson Dale Ave, Norridge, CA 91320
Tel: 626-399-9015 Fax: 626-399-9172
WWW.EHDGROUP.COM

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Mesa Verde Residence		
Project Name	Mesa Verde Residence	
Project Address	3174 Mesa Verde Dr Burbank, CA 91504 USA	
Client Name	Narek Isakhanyan	

Date:	01-28-2022
Designed by:	E.H.
Checked by:	D.M.

GN
SHEET NUMBER

General Notes

