STORM WATER MANAGEMENT:

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.

2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.

3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. 4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT

THE PROJECT SITE. 5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY THER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON ITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. 6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. 7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE RACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. 8. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. 9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

DEVELOPMENT/PLANNING

MINIMUM PROJECT REQUIROMENTS IN ORDER TO ACHIEVE THE GOAL OF REDUCING THE LEVEL OF POLLUTANTS IN

STORM WATER RUNOFF, THESE MINIMUM **BMPs APPLY TO ALL PROJECTS:**

1) ALL YARD DRAINS AND CATCH BASINS DRAINING TO THE STREET

OR STORM DRAIN SYSTEM MUST BE STENCILED OR LABELED WITH THE "NO

DUMPING - DRAINS TO

OCEAN" LOGO OR EQUIVALENT. 2) ROOF DOWNSPOUTS MUST NOT BE DIRECTED TO TRASH

ENCLOSURES OR MATERIAL STORAGE AREAS. DOWNSPOUTS SHOULD DISCHARGE TO GRAVEL HEAVILY

VEGETATED AREAS WHENEVER POSSIBLE.

3) TRASH BINS MUST BE EQUIPPED WITH LIDS OR SCREENED, ROOFED OR WALLED.

FUNOFF WATER SHOULD BE DIVERTED AROUDN TRASH AREAS TO AVOID FLOW THROUGH. TRASH ENCLOSURE DRAINAGE SHOULD BE DIRECTED

TO BEGETATED AREAS WHERE FEASIBLE.

4) NO HOSES, HOSE BIBS OR FAUCETS HSOULD HBE LOCATED OUTSIDE EXCEPT IN LANDSCAPED AREAS OR AS NEEDED FOR FIRE PROTECTION.

5) ANY WASTE WATER FROM WASHING VBEHICLES OR EQUIPMENT MUST BE

DISCHARGED TO THE SANITARY SEWER SYSTEM THROUGH PROPER PRETREATMENT

FACILITIES (SEPARATE PERMITS MAY BE REUQIRED) 6) ALL OUTDOOR STORAGE AREAS MUST BE EQUIPPED WITH ADEQUATE SECONDARY

CONTAINMENT OR OTHER EQUIVALENT MEASURES TO REDUCE CONTAMINATION OF

RUNOFF. THIS APPLIES TO THE STORAGE OF BOTH HAZARDOUS AND NONHAZARDOUS MATERIALS (SOLIDS AND LIQUIDS).

- WM-1 MATERIAL DELIVERY AND STORAGE PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CVONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACITCES AND SCHEDULE PROPOSED FOR THIS AREA.
- WM-2 MATERIAL USE HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRANING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
- WM-4 SPILL PREVENTION AND CONTROL IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WEILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH THE ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
- WM-5 SOLID WASTER MANAGEMENT PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTRE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.
- WM-6 HAZARDOUS WASTE MANAGEMENT HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHOIDS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
- WM-7 CONTAMINATED SOIL MANAGEMENT PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRECONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMADIATING CONTAMINATED SOIL PROMOLTLY.
- WM-8 CONCRETE WASTE MANAGEMENT STORE DRY AND WET MATERIALS UNDER CONVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON SITE SHALL SET-UP, BHE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT UNTREATED RAW WASLEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITORY SEWER FACILITIES ON SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH ACENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERLY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE ROCK OR PAVED.
- SILT FENCE SEDIMENT TRAP SAND BAGS ERADED SEDIMENTS MUST BE RETAINED ON SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. MAY BE WAIVED AT THE SOLE DIRECTION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL DMPs DEEMD SUFFICIENT.

GENERAL NOTES:

1. All construction shall comply with the 2019 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments. 2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition 3. All property lines, easements, and existing buildings have been indicated on this site plan. 4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3302.4)

- 5. Water shall be provided on the site and used to control dust.
- 6. Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1) 7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved

alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4, CRC R401.3) 8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12"

plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)

SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-107).

CALIFORNIA RESIDENTIAL CODE CODE

- _____2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CA RESIDENTIAL CODE (CRC) Used Code
- 2019 CA MECHANICAL CODE (CMC)
- 2019 CA ELECTRICAL CODE (CEC)
- 2019 CA PLUMBING CODE (CPC)
- 2019 CAL GREEN CODE (CAL GREEN)
- 2019 CA ENERGY CODE / EFFICIENCY STANDARDS - 2019 CGBC (W/ CURRENT REVISIONS AND / OR
- AMENDMENTS AND LOCAL REGULATIONS



PROJECT SIGN

1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).

2. Sign may be mounted independently or on the construction fence.

Kitchen Faucet

		THE FOLLOWING NOTE SHALL BE REPRODUCE SUBMITTED DRAWINGS:	ED ON THE COVER SHEET OF THE						
		BUILDI Community Deve City o	NG DIVISION elopment Department of Burbank						
ERS		WATER-CONSERVING F	PLUMBING FIXTURES						
ERS		(For buildings built on o	r before Jan. 1, 1994)						
	36"	Project Address:	Permit No:						
S	¥	I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.							
		Owner's Name: Owner's Signature:	Date:						
		SINGLE-FAMILY	RESIDENTIAL						
		Fixture	CALGreen/ CPC						
		Water Closet	1.28 gals/flush						
		Showerhead	1.8 gals/min						
		Multiple Showerheads	1.8 gals/min combined						
		Lavatory Faucet	1.5 gals/min						
		Kitchen Faucet	1.8 gals/min						
		MULTI-FAMILY F	RESIDENTIAL						
		Fixture	CALGreen/ CPC						
		Water Closet	1.28 gals/flush						
		Urinal	0.5 gals/flush						
		Showerhead	1.8 gals/min						
		Multiple Showerheads	1.8 gals/min combined						
		Lavatory Faucet (within units)	1.5 gals/min						
		Lavatory Faucet (common areas)	0.5 gals/min						

1.8 gals/min



Existing House Area:
Existing Lot Area:
Existing Lot Coverage %:

A0	Cover Sheet
A1	Legal Info, Existi
A2	Proposed Floor
A3	Proposed Roof F
A4	Proposed Elevat
A5	Retaining Wall P
A6	Proposed Sectio
GN	General Notes
GRN	Green Notes

Designed by: E.H. Checked by: D.M.

Date:



Cover Sheet

Assessor Map Vicinity Map Jobsite 2471 35 SCALE 1" = 100/ 1992 N Lamer St Brace Canyon NO 30422 M.B. 797-23-26 ASSESSOR'S MAP COUNTY OF LOS ANGELES, I T_NO, 30418 M.B. 813 - 1 - 6

Scope of Work

(N) 315 SF Patio, (N) 129.61 SF BBQ Area & (N) 40 SF Bath

RFA ANALYSIS

Existing House Area: 2346 SF Existing Lot Area: 21,381 SF Existing Lot

Coverage %:

10.97 %

Exitsting House Area: (2346 SF) New Patio Area: (315 SF) New BBQ Area: (129.61 SF) New Bath Area: (40 SF) New Total Area: (2830.61 SF)

Allowable RFA (40% of Lot Area) 21381 SF * 40% = 8552.4 SF

> New Total < Allowable 2830.61 SF < 8552.4 SF

Sheet Index Sheet Name

Sheet #

A0 Cover Sheet Legal Info, Existing & Proposed Site Plans A1 Proposed Floor Plan A2 Proposed Roof Plan A3 **Proposed Elevations A4 Retaining Wall Plan**, Section & Elevations A5 **Proposed Sections A6 General Notes** GN GRN Green Notes

Project Data:

Project Address:

3174 Mesa Verde Dr Burbank, CA 91504 USA Assessor Parcel #: 2471-035-003

Zoning: Tract #: Lot #: Block #: Stories: School District:

Fire Zone: Fire Sprinklers Required

None No

R-1

3

None

BUSD

NO 30422

Construction Type: Type V-B

Owner:

Name: Address:

Narek Isakhanyan 3174 Mesa Verde Dr Burbank, CA 91504

BUILDING CODE

- LOS ANGELES MUNICIPAL CODE
- LOS ANGELES GREEN BUILDING PROGRAM
- 2019 CA BUILDING CODE
 2019 CA RESIDENTIAL CODE
- 2019 CA MECHANICAL CODE
- 2019 CA ELECTRICAL CODE
- 2019 CA PLUMBING CODE
- 2019 CAL GREEN CODE
- 2019 CA ENERGY CODE / EFFICIENCY STANDARDS - 2019 CGBC (W/ CURRENT REVISIONS AND / OR
- AMENDMENTS AND LOCAL REGULATIONS



		New Door S	Schedule		
Mark	Qty.	Description	Width	Height	Sill Height
nd.1	1	Exterior Single Door	2' - 8"	6' - 8"	0' - 0"
nd.2	2	Exterior Bi-Fold Door	12' - 0"	6' - 8"	0' - 0"

10. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.2.2)

11. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)

12. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. (R315.2.2)





General Legend

- (E) Existing element
- (N) New Element

Wall Legend

Existing Walls

Demolition Walls

Infill Walls

New Walls

Symbols Legend



Min 50-CFM w/ Humidity senson exhaust fan with minimum 5 Air Change p/hr. Fans shall be energy star compliant and be ducted to terminate to the outside of the building. Fans, not functioning as a component of a whole

house ventilation system must be controlled by a humidity controller.

s/c SD

Smoke and Carbon Monoxide Combination Detector with Voice Alarm

Hard Wired Smoke Detector with a battery backup are required. Detectors shall sound an alarm auido in all sleeping areas of the dwelling unit which they serve - interconnected

Alarms may be solely battery operated when installed in existing construction areas - interconnected.



ō

Hard - Wired Carbon Monoxide detector - interconnected

Attic Venilation Calculations

ATTIC VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. (APPROXIMETELY 10 SQ.IN. FOR EACH 10 SQ.FT. OF ATTIC AREA) IS REQUIRED.

EXCEPT THAT REDUCTION OF TOTAL THE AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AND NOT MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE MEASURED VERTICALLY WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. A MINIMUM OF 1-INCH CLEARANCE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.

TOTAL ROOF AREA	VENTILATION AREA REQ.					
xxx SF	xxx SF / 300 = xxx SF					
VENT SIZE AND AREA	TOTAL NUMBER OF VENTS					
xxx Vents = xxx SQ. INCH = xxx SF	xxx Vents @ xxx = xxx SF VNET AREA					
REQUIRED <	REQUIRED < PROVIDED					

xxx SF < xxx SF

General Legend

(E) - Existing element

(N) - New Element

Wall Legend

Existing Walls Demolition Walls Infill Walls New Walls







Proposed South Elevation

1/4" = 1'-0"

DOORS, WINDOWS, GLAZING, LIGHT & VENTILATION

- (CRC R310.1)
- SCHEDULE.
- **MEANS OF EGRESS**

Proposed West Elevation

1/4" = 1'-0"

1. BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 SF WHEN ABOVE THE GRADE FLOOR ND 5 SF ON THE RAD-FLOOR, A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WDITH OF 20", AND SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. MANUFACTURER'S DATA SHOWING COMPLIANCE WITH EGRESS REQUIREMENTS MUST BE REPRODUCED ON THE DRAWINGS FOR ANY WINDOWS DEVIATING FROM THE APPROVED WINDOW SIZES SHOWN ON THE CITY OF BURBANK CONVENTIONAL CONSTRUCTION SHEET.

2. WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED AND THE WINDOW U-FACTOR AND SHGC MUST BE INDICATED ON THE

3. GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4): IN OPERABLE PANELS OF DOORS WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE IN AN INDIVIDUAL PANE LARGER THAN 9 SF, WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE FLOOR, WHEN THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND WHEN WITHIN 36" OF A WALKING SURFACE AS MEASURED HORIZONTALLY AND IN A STRAIGHT LINE IN RAILINGS WITHIN 60" OF TUB OR SHOWER FLOOR GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS IS 60" ABOVE THE ADJACENT WALKING SURFACE WITHIN 60" OF STAIRS AND STAIR LANDINGS

1. FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (R311.4) 2. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

Proposed Elevations

Retai		Desiç Chec	Date:	Proiect Name	Mesa Verde Residence	THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE	REV	DATE	DESCRIPTION	BY	VGL DEVELOPMENT INC.	ENG
ning √	S H E E	jned by ked by	-			DESIGNER, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND	1	2/18/2020	1st Submittal	DM	GOR VARDANYAN	NEER
/all Plan , levations			01-28-	Project Address	3174 Mesa Verde Dr Burbank, CA 91504 USA	DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS CONTRACTORS	2 3				ADD.: 621 S VICTORY BLVD BURBANK, CA 91502	
Section &			2022	Client Name	Narek Isakhanyan	SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.	4 5				Tel.: (818)-284-2444 E-mail vglengineering@gmail.com WEB: ENGINEERCONTRACTOR.COM	A C T O A

Section 4 3/8" = 1'-0"

ENGINEER CONTRACTOR Δ (N) 2x8 Roof Rafters
 @ 12" O.C. AN У Q <u>T.O. Level 1</u> 10' - 0" ADD. BURI — (N) 6' Hight Retaining Wall M В 6 <u>مَ /</u> - `Finish Grade Ground Level 0' - 0" 1.01 Water Proofing. Run up 2" Above Finish Grade, Tape for Neat Appearance (N) Continuous
 Foundation Of
 Retaining Wall Section 3 3/8" = 1'-0" THE AB DESIGN DESIGN DESIGN DISCLO DISCLO DESIGN DISCLO DESIGN DISCLO DESIGN DISCLO DESIGN DISCLO DESIGN DISCLO DESIGN DISCLO DISCLO DESIGN DISCLO DI T.O. <u>Roof</u> 11' - 7 1/2" T.O. Level 1 10' - 0" CA 91504 USA - (N) _-_ Insulation മ D (N) Free Standing Sauna Width 3' 11'' Length 6' 6'' Height 6' 8'' <u>0</u> Ľ Ξω õ \geq 3174 Me g Me 6' - 6" Ð Ground Level 0' - 0" Z Project Address \circ Δ Date: 01-28-2022 Designed by: E.H. Checked by: D.M. A6 SHEET NUMBER

Proposed Sections

A. GENERAL

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES -WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES." OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP (213) 367-0562.

2. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR: A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 3306.

B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA. 3. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER

SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". (210-52 NEC) 4. ALL NEW LIGHTING SHALL BE FROM AN ENERGY HIGH EFFICACY LIGHT SOURCE (E.G. FLUORESCENT LAMP). (T-24, SEC. 150(K))

5. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE 7. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO

INSTALLATION.

8. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3) 9. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS

AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

11. LOS ANGELES CITY ELECTRICAL TEST LAB RESEARCH REPORT IS REQUIRED TO USE AN ELECTRO-MECHANICAL LIFT FOR PROVIDED PARKING SPACES 12. "A MAINTENANCE OF VEHICLE LIFT SYSTEM (2-LEVELS OR MORE) AFFIDAVIT"

SHALL BE APPROVED AND RECORDED PRIOR TO ISSUING A BUILDING PERMIT. 13. A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLE AND/OR SALVAGE FOR REUSE IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.4. (R334)

14. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.5. (R340)

15. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5. (R506.2.3.1)

16. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN BOTTOM/SOLE PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4. (R602.3.4.1)

B. BATHROOMS

1. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES (0.66 M2) AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER (0.76 M) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8 M) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODE SECTION 408.6) 2. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A

SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2). 3. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION.

EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

4. A MIN 12" SQ. ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED. (PLUMBING CODE SECTION 402.10)

C. LAUNDRY ROOM

1. CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (BUT NOT BENEATH THE BUILDING OR IN THE ATTIC AREA). (M.C. 504.4.2.1)

2. A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (M.C. 504.3.2, M.C. 908)

D. MEANS OF EGRESS

1. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT. (LARC SECTION R101, LABC SECTION 6304.1) 2. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.- 24" CLEAR HT, 20"

CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA. (LARC SECTION R310.2.1, LABC SECTION 1030.2) OCCUPIED ROOFS SHALL BE PROVIDED WITH EXITS AS REQUIRED FOR STORIES.

E. GRADING AND FOUNDATION

1. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED. (LARC SECTION R401.4) 2. FOUNDATION AND FLOOR SLABS SHALL CONFORM TO THE FOLLOWING OR THE

RECOMMENDATION OF AN APPROVED SOILS REPORT A. DEPTH OF FOOTINGS BELOW THE NATURAL AND FINISHED GRADES SHALL NOT BE LESS THAN 24 INCHES FOR EXTERIOR AND 18 INCHES FOR INTERIOR FOOTINGS.

B. EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.

C. FOOTINGS SHALL BE REINFORCED WITH A MINIMUM 4 - 1/2 - INCH DIAMETER DEFORMEDREINFORCING BARS. TWO BARS SHALL BE PLACED WITHIN 4 INCHES OF THE BOTTOM OF THEFOOTING AND TWO BARS WITHIN 4 INCHES OF THE TOP OF THE FOOTINGS.

D. THE SOIL BELOW AN INTERIOR CONCRETE SLAB SHALL BE SATURATED WITH MOISTURE TO ADEPTH OF 18 INCHES PRIOR TO PLACING THE CONCRETE.

E. CONCRETE FLOOR SLABS ON GRADE SHALL BE PLACED ON A 4" FILL OF COARSE AGGREGATE ORON A MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 3¹/₂ INCH THICK AND SHALL BE REINFORCED WITH #4 REBAR AT 16 INCH ON CENTER IN BOTH DIRECTIONS.

3. CONCRETE SLABS ON EXPANSIVE SOIL, COMPACTED FILL OR SLOPES OVER 1:10 SHALL BE PLACED ON A 4-INCH FILL OF COARSE AGGREGATE. THE SLABS SHALL BE AT LEAST 3-1/2 INCHES THICK AND REINFORCED WITH #4 BARS SPACED AT INTERVALS NOT EXCEEDING 16 INCHES ON CENTER EACH WAY. A 6-MIL POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6-INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE. (LABC SECTION 1808.6, LARC SECTION R403.1.8, R506.1)

4. PROVIDE UNDER-FLOOR NET VENTILATION OPENING SIZE AND LOCATIONS EQUAL TO 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA AND AN ACCESS OPENING THROUGH THE FLOOR (18" X 24" MIN) OR AN OPENING THROUGH A PERIMETER WALL NOT LESS THAN (16" X 24" MIN). (LARC R408, LABC SECTION 1202.4, 1208)

5. OPENINGS SHALL BE AS CLOSE TO CORNERS AS PRACTICABLE AND SHALL PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENING SHALL HAVE 1/4 INCH CORROSION RESISTANT METAL MESH COVERING. (LABC SECTION 1202.4, LARC R408.2) 6. PROVIDE CORROSION RESISTANT WEEP SCREED BELOW THE STUCCO A

MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. (LARC SECTION R703.7.2.1, LABC SECTION 2512.1.2) 7. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.

(LARC R903.4, LABC 1502.1, 7013.9)

F. ZONING NOTES

1. A/C UNITS AND WATER HEATERS ARE NOT ALLOWED IN THE REQUIRED SIDE YARDS AND FRONT YARDUNLESS SPECIFICALLY ALLOWED BY EXCEPTION PER INFORMATION BULLETIN P/ZC 2002-006.

G. SPECIAL HAZARDS

1. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. (LARC R308, LABC SECTION 2406.4) FIXED OR OPERABLE PANELS IN SWINGING, SLIDING AND BIFOLD DOORS AND FIXED OR OPERABLE PANELS ADJACENT TO DOORS; FIXED OR OPERABLE WINDOW PANELS WITH PANES LARGER THAN 9 SQUARE FEET AND ARE LESS THAN 18 INCHES ABOVE THE FLOOR, HAVE A TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR AND HAVE ONE OR MORE WALKING SURFACES WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING. GLAZING IN GUARDS AND RAILINGS, ADJACENT TO WET SURFACES, ADJACENT TO STAIRS AND RAMPS, AND ADJACENT TO BOTTOM STAIR LANDINGS.

2. EACH LIGHT OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, THE TYPE OF GLASS, AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AND THAT IS VISIBLE IN THE FINAL INSTALLATION.

3. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, MANUFACTURER, AND PERFORMANCE GRADE RATING TO INDICATE COMPLIANCE WITH AAMA/WDMA/CSA 101/I.S.2/A440 (RESEARCH REPORT NOT REQUIRED). (R308.6.9) 4. PRE-FAB FIREPLACES ARE REQUIRED TO HAVE MANUFACTURER, MODEL, AND UNDERWRITER LABORATORIES CERTIFICATION (OR ICC-ES)

6. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 171,874-FOR WORK OVER \$10,000.) 7. WATER HEATER MUST BE STRAPPED TO WALL. SECTION 507.2, LAPC. SEE INFORMATION BULLETIN P/PC 2011-003 "HOW TO BRACE YOUR WATER HEATER" FOR DETAILS.

8. FOR EXISTING POOL ON SITE. PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

ALL OPENINGS MARKED * ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY:

1.EACH UNIT M A RESIDENTIAL DEVELOPMENT SHALL BE KEYED DIFFERENTLY THAN ANY OTHER UNITS UNDER THE SAME GENERAL PLAN. A CERTIFICATE FROM THE LOCK SUPPLIER DECLARING THAT ALL LOCKS SUPPLIED TO THE PROJECT ARE KEYED SEPARATELY SHALL BE ACCEPTABLE AS COMPLYING WITH THE ABOVE REQUIREMENTS. 2.DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF SIX

(6) INCHES (153MM) EACH SIDE OF THE STRIKE 3.INWOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE (3) STUD SPACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.

4.IRON OR STEEL SCREENS SHALL BE 1/8" THICK WITH 2" MESH SECURELY FASTENED. 5.IRON BARS SHALL BE 1/2" DIAMETER BARS OR 1" X 1/4" FLAT STEEL SPACED AT 5" MAX. SECURELY FASTENED.

6.CYLINDER GUARDS SHALL BE ATTACHED WITH 1/2" CONNECTING SCREWS AND SHALL BE INSTALLED WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR, OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.

7.DOOR STOPS FOR IN-SWINGING DOORS SHALL BE INTEGRATED (RABETTED) WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE. 8. THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE

SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS.

FROM THE EXTERIOR BY REMOVING THE HINGE PINS. 10. LOUVERED WINDOWS SHALL NOT BE USED WHEN ANY PORTION OF THE WINDOW IS LESS THAN 12 FEET (3658MM) VERTICALLY OR 6 FEET (1829MM) HORIZONTALLY FROM AN ACCESSIBLE SURFACE OR ANY ADJOINING ROOF, BALCONY, LANDING, STAIR TREAD, PLATFORM, OR SIMILAR STRUCTURE.

11.GARAGE DOOR TYPES: ROLLING OVERHEAD, SOLID OVERHEAD, SWING OR SLIDING ACCORDION GARAGE-TYPE DOORS SHALL CONFORM TO THE FOLLOWING STANDARDS 11.1 WOOD DOORS SHALL HAVE PANELS A MINIMUM OF FIVE-SIXTEENTHS (5/16) INCH (8MM) IN THICKNESS WITH THE LOCKING HARDWARE BEING ATTACHED TO THE SUPPORT FRAMING.

5. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE. STOVE, OR BARBECUE WHICH USES FUEL BURNING MATERIAL." (L.A.M.C. 57.4704.10)

CONSTRUCTED OF AT LEAST SIXTEEN (16) U.S.GAUGE STEEL, BRONZE, OR BRASS AND

9. HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR

11.2 ALUMINUM DOORS SHALL BE A MINIMUM THICKNESS OF .0215 INCHES (.546MM) AND RIVETED TOGETHER A MINIMUM OF EIGHTEEN (18) INCHES (458MM) ON CENTER ALONG THE OUTSIDE SEAMS. THERE SHALL BE A FULL-WIDTH HORIZONTAL BEAM ATTACHED TO THE MAIN DOOR STRUCTURE WHICH SHALL MEET THE PILOT, OR PEDESTRIAN ACCESS, DOOR FRAMING WITHIN THREE (3) INCHES (76MM) OF THE STRIKE AREA OF THE PILOT OR PEDESTRIAN ACCESS DOOR

11.3 FIBERGLASS DOORS SHALL HAVE PANELS A MINIMUM DENSITY OF SIX (6) OUNCES PER SQUARE FOOT(1831 GRAM/M2) FROM THE BOTTOM OF THE DOOR TO A HEIGHT OF SEVEN (7) FEET (2134MM). PANELS ABOVE SEVEN (7) FEET (2134MM) AND PANELS IN RESIDENTIAL STRUCTURES SHALL HAVE A DENSITY NOT LESS THAN FIVE (5) OUNCES PER SQUARE FOOT (1526 GRAMS/M2) 11.4 DOORS UTILIZING A CYLINDER LOCK SHALL HAVE NOT LESS THAN A FIVE

(5) PIN TUMBLER OPERATION WITH THE LOC MG BAR OR BOLT EXTENDING INTO THE RECEIVING GUIDE A MINIMUM OF ONE (1) INCH (25 4MM) 11.5 DOORS EXCEEDING SIXTEEN (16) FEET (4877MM) IN WIDTH SHALL HAVE

TWO LOCK RECEIVING POINTS OR, IF THE DOOR DOES NOT EXCEED NINETEEN (19) FEET (5791MM), A SINGLE BOLT MAY BE USED IF PLACED 1N THE CENTER OF THE DOOR WITH THE LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER OR, TORSION SPRING COUNTERBALANCE TYPE HARDWARE MAY BE USED

11.6 DOORS WITH SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MINIMUM OF .120 INCHES (3MM) IN THICKNESS, WITH A MINIMUM BOLT DIAMETER OF ONE-HALF (YI) INCH (13MM) AND PROTRUDE AT LEAST ONE AND ONE-HALF (1YI) INCHES (38MM) INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF THREE EIGHTS (3/E) INCH (10MM) MAY BE USED IN A RESIDENTIAL BUILDING. THE SLIDE BOLT SHALL BE ATTACHED TO THE DOOR WITH NON-REMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES

12. SWINGING EXTERIOR DOORS ALL EXTERIOR SWINGING DOORS OF ANY RESIDENTIAL BUILDING AND ATTACHED GARAGES (EXCEPT FOR VEHICULAR ACCESS DOORS). INCLUDING THE DOOR LEADING FROM THE GARAGE AREA INTO THE DWELLING UNIT SHALL BE EQUIPPED AS FOLLOWS:

12.1 ALL WOOD DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF ONE AND THREE-FOURTHS (1 ³/₄ INCH (45 MM)). OR WITH PANELS NOT LESS THAN NINE- SIXTEENTHS (9/16) INCH (15MM) THICK.

12. 2 A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A SINGLE CYLINDER DEADBOLT LOCK WITH A MINIMUM PROJECTION OF ONE (1) INCH (25.4MM) AND BE CONSTRUCTED TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST THREE-FOURTHS (3/4) INCH (19MM) INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST ONE FOURTH (1/4) INCH (6.3MM) IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF THE LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATCH CAN BE RETRACTED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES

12.3. THE INACTIVE LEAF OF DOUBLE DOORS SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF FIVE-EIGHTS (5/E) INCH (16MM) INTO THE HEAD AND THRESHOLD OR THE DOOR FRAME.

12 4 GLAZING. GLAZING IN EXTERIOR DOORS OR WITHIN FORTY (40) INCHES (1016MM) OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY RESISTANT GLAZING.

12.5 WIDE ANGLE VIEWER EXCEPT WHERE CLEAR VISION PANELS ARE INSTALLED, ALL FRONT EXTERIOR DOORS SHALL BE EQUIPPED WITH A WIDE ANGLE (180°) DOOR VIEWER.

12.6 HOLLOW STEEL DOORS SHALL BE A MINIMUM SIXTEEN (16) GAUGE THICK WITH EXTRA REINFORCING AROUND THE LOCK TO PREVENT COLLAPSING. 12.7 ALUMINUM DOORS SHALL BE CONSTRUCTED PER VOL. VII, SECTION 15.3

OF SECURITY ORDINANCE NO 5581, AND SHALL BE EQUIPPED WITH A DOUBLE CYLINDER DEADBOLT WITH A 1" MIN. BOLT PROJECTION OR HOOK SHAPED OR EXPANDING DOG BOLT TO PREVENT SPREADING. THE DEADBOLT LOCK SHALL HAVE A MINIMUM OF FIVE (5) PIN TUMBLERS AND A CYLINDER GUARD.

13 ADDRESS NUMBER AND IDENTIFYING DATA: ADDRESS NUMBERS AND OTHER IDENTIFYING DATA SHALL BE DISPLAYED AS FOLLOWS: 13 1. ALL RESIDENTIAL DWELLINGS SHALL DISPLAY AN ADDRESS NUMBER IN A

PROMINENT LOCATION ON THE STREET SIDE OF THE RESIDENCE IN SUCH A POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMERALS SHALL BE NO LESS THAN FOUR (4) INCHES (102MM) 1N HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHED. IN ADDITION, ANY RESIDENCE WITH REAR VEHICULAR ACCESS THROUGH ANY DRIVEWAY, ALLEYWAY OR PARKING LOT SHALL ALSO DISPLAY THE SAME NUMBERS ON THE REAR OF THE BUILDING

13.2 MULTIPLE FAMILY DWELLING; ILLUMINATED DIAGRAMS AND IDENTIFICATION NUMBERS: THERE SHALL BE POSITIONED AT EACH ENTRANCE OF A MULTIPLE FAMILY DWELLING COMPLEX AN ILLUMINATED DIAGRAMMATIC REPRESENTATION OF THE COMPLEX WHICH SHOWS THE LOCATION OF: 13.2.1 THE VIEWER;

13.2.2 THE UNIT DESIGNATIONS WITHIN THE COMPLEX.

13.2.3 EACH UNIT THAT IS A "SMOKING UNIT AND A "NONSMOKING" UNIT (AS GOVERNED BY CHAPTER 8.52 OF THE GLENDALE MUNICIPAL CODE, 1995, OR ANY SUCCESSOR LEGISLATION),

13.2.4 A SMOKING PERMITTED AREA AUTHORIZED UNDER SECTION 8.52.130 OF THE GMC: AND

13.2.5 THE COMPLEX'S EXITS, STAIRWELLS, ELEVATORS, FIRE ALARM ANNUNCIATOR PANELS, AND STANDPIPES. IN ADDITION, EACH INDIVIDUAL UNIT WITHIN THE COMPLEX SHALL DISPLAY A PROMINENT IDENTIFICATION NUMBER. NOT LESS THAN FOUR (4) INCHES (102MM) IN HEIGHT, WHICH IS EASILY VISIBLE TO APPROACHING VEHICULAR AND/OR PEDESTRIAN TRAFFIC. IN ADDITION, ANY MULTIPLE FAMILY DWELLING WITH REAR VEHICULAR ACCESS SHALL ALSO DISPLAY THE SAME NUMBERS ON THE REAR OF THE BUILDING.

14. LIGHTING; MULTIPLE FAMILY DWELLING. LIGHTING IN MULTIPLE FAMILY DWELLINGS SHALL BE AS FOLLOWS:

14.1 AISLES, PASSAGEWAYS, AND RECESSES: AISLES, PASSAGEWAYS AND RECESSES RELATED TO AND WITHIN THE BUILDING COMPLEX SHALL BE ILLUMINATED WITH AN INTENSITY OF AT LEAST TWENTY-FIVE HUNDREDTHS (.25) OF A FOOTCANDLE (2.7 LUX) AT THE GROUND LEVEL DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM-RESISTANT COVERS.

14.2 PARKING STRUCTURES, PARKING LOTS AND CARPORTS: PARKING STRUCTURES, PARKING LOTS AND CARPORTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) FOOTCANDLES (21 5 LUX) OF LIGHT ON THE PARKING SURFACE DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM- RESISTANT COVERS

15. NOTE: THESE NOTES ARE INTENDED AS A GUIDE ONLY. CONTRACTOR AND SUPPLIER SHALL REFER TO THE GLENDALE BUILDING & SAFETY CODE, VOLUME VII FOR MORE COMPLETE AND SPECIFIC DETAILS.

NOTES:

1. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH MAXIMUM FLOW RATES IN TABLE 4.303.2

2. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED THE FLOW RATES SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.2)

3. FOR PROJECTS THAT INCLUDE LANDSCAPE, WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL No. 1881)

4. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES, PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF LOS ANGELES PLUMBING CODE. (4.406.1)

5. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4)

6. AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MAXIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN BUILDING AT THE TIME OF FINAL INSPECTION. FORM GRN 6 (4.410.1)

7. ALL DUCT AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL VENTILATING EQUIPMENT. (4.504.1)

8. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3

(4.504.2.1-4.504.2.3)

9. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2. SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING voe CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READIL Y AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)

10. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING 10.1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.

10.2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S.

10.3. NSF/ANSI 140 AT THE GOLD LEVEL

10.4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD 11. ALL NEW CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)

12. 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OF THE FOLLOWING:

12.1. VOC EMISSION LIMITS DEFEND IN THE CHPS HIGH PERFORMANCE PRODUCTS AT A BASE

12.2. PRODUCTS COMPLAINT WITH THE CHPS CRITERIA. 12.3. CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFO) FLOOR SCORE PROGRAM

12.4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (CALGREEN 4.504.4)

13. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)

14. THE FORMALDEHYDE EMISSION VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1) 15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)

16. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004. ANSI/ ACCA 29- D-2009 OR ASH RAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.(CALGREEN 4.507.2)

17. BATHROOM EXHAUST FANS MUST COMPLY WITH THE FOLLOWING: 17.1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

17.2. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDITY CONTROL.

H.INTERIOR ENVIRONMENT

1. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLO OR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)

I. BUILDING ENVELOPE 1. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

1.1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD ASSEMBLIES.

1.2. GLAZING IN ENCLOSURE FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

1.3. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).

1.4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

1.5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION:

1.5.1. MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT A ND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY **GRAFFITI WITHIN**

7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

As a covered ent and, upon reque (Rev. 01/01/20)	¹ Lavatory Fa ² Kitchen fau ³ Where com ⁴ Kitchen fau with a maxin Single ef A Dual FI ar A	Showerhe Lavatory f Lavatory f Kitchen fa Metering F Gravity tar Flushome Flushome Urinals Clothes W Dishwash		DEPARTMENT OF BUILDING AN	As a covered entity under Ti provide reasonable accomm (Rev. 01/01/20)	6 4.211.4 7 4.303.1 7 4.303.1.3.2 9 4.303.3 10 4.303.4 11 4.304.1 12 4.304.2 13 4.304.3 14 4.304.3 15 4.305.1 16 4.305.2 18 4.305.3.1 19 4.305.3.2 20 4.305.4 21 4.406.1 22 4.407.3	1 4.106.2 2 4.106.3 3 4.106.4 4 4.106.5 5 4.106.7	Permit #	DEPARTMENT OF BUILDING AND
ity under Title II of the Americans with Disabilities Act, the City of Los Ang st, will provide reasonable accommodation to ensure equal access to its p Page 1 of 1	aucets shall not have a flow rate less than 0.8 gpm at 2 cets may temporarily increase flow above the maximu fault to a maximum flow rate of 1.8 gpm @ 60psi. plying faucets are unavailable, aerators or other mear cets with a maximum 1.8 gpm flow rate may be install num flush rate of 1.06 gallons/flush installed throughoungle and dual flush water closets with an effective flush Flush Toilets - The effective flush volume shall not exc fective flush volume is the average flush volume when 112.19.233.2. ush Toilets - The effective flush volume shall not exce fective flush volume is defined as the composite, avera d one full flush. Flush volumes will be tested in accord 12.19.14.	ads aucets, residential aucets, nonresidential ucets -aucets 	SECTION 4.303.1 WATER REDUCTION FIXTURE FI	BS PLUMBING FIXTURE I Residential Occup: 2020 Los Angeles Green E (Incorporate this form int	tle II of the Americans with Disabilities Act, the City of Los Angeles does n nodation to ensure equal access to its programs, services and activities. Page 1 of 2	Solar ready buildings WATER EFFICIENCY & CONSERVATION Water conserving plumbing fixtures and fittings Multiple showerheads serving one shower Water submeters Water use reduction Outdoor water use in landscape areas Irrigation controllers Metering outdoor water use Exterior faucets Swimming pool covers Graywater ready Recycled water supply to fixtures Cooling towers (buildings ≤ 25 stories) Groundwater discharge MATERIAL CONSERVATION & RESOUR Rodent proofing Flashing details	PLANNING AND DESIGN Storm water drainage and retention during construction Grading and paving Electric vehicle (EV) charging Cool roof for reduction of heat island effect Reduction of heat island effect for non-roof areas ENERGY EFFICIENCY	REQUIREMENTS	BS 2020 Los Angeles Green Bu MANDATORY REQUIREMENTS <u>NEWLY CONSTRUCTED RESIDEN</u> (COMPLETE AND INCORPORATE THIS F
eles does not discriminate on the basis of disability programs, services and activities. www.ladbs.org	20 psi. Im rate, but not above 2.2gpm @ 60psi Ins may be used to achieve reduction. Ied in buildings that have water closets ut. h of 1.28 gallons or less. eed 1.28 gallons (4.8 liters). The tested in accordance with ASME ed 1.28 gallons (4.8 liters). The age flush volume of two reduced flushes dance with ASME A112.19.2 and ASME	1.8 gpm @ 80 psi 1.2 gpm @ 60 psi ^{1,3} 0.4 gpm @ 60 psi ^{2,4} 1.5 gpm @ 60 psi ^{2,4} 0.2 gallons/cycle 1.28 gallons/flush ⁵ 1.28 gallons/flush ⁵ 1.28 gallons/flush 0.125 gallons/flush 0.125 gallons/flush NERGY-STAR certified NERGY-STAR certified	LOW RATES IM ALLOWABLE FLOW RATE	FLOW RATES ancies Building Code to the plans) FORM GRN 16	ot discriminate on the basis of disability and, upon request, will			REFERENCE COMMENTS SHEET Comments (Sheet #) (e.g. note #, detail #) or N/A) or reason for N/A	Ilding Code GRN 4 S CHECKLIST ITIAL BUILDINGS ORM INTO THE PLANS)
As a covered entity under Title provide reasonable accommod	 6. Provide a cover havin system in any perman swimming pool or spe For irregular-shaped p 100% of the pool shall 7. Except as provided in square feet of landsca installed to permit dis bathtub, showers, and be used for a future gr 8. Except as provided in water is available with closets, urinals, floor heating in the building water and shall be insi Angeles Plumbing Co 	on the maximum fixtures and fittin Plumbing Code. (reduction in the t established in Tai B. New fixtures and maximum flow r C. Plumbing fixture Exception: Fixture re Submeters for outdoor 4. Additions and alteratin more of cumulative landscape submeters for outdoor or submeters for outdo 5. In other than single fa installed on all public bibs.	 Multi-family dwelling containing 50 units or submeter within comr dwelling unit. Water use reduction s the following: A. Provide a 20% re use within the buse 	DEPARTMENT OF BUILDING AND	As a covered entity under Tit provide reasonable accommo (Rev. 01/01/20)	37 4.504.6 38 4.505.2.1 39 4.506.3 41 4.507.2	28 4.504.2.1 30 4.504.2.1 31 4.504.2.2 31 4.504.2.3 32 4.504.2.4 33 4.504.3.1 34 4.504.3.1 35 4.504.4 36 4.504.5	24 4.408.1 25 4.410.1 26 4.503.1 27 4.504.1 20 4.504.2	TTEM # SECTION 23 4.407.4
II of the Americans with Disabilities Act, the City of Los Ang ation to ensure equal access to its programs, services and activi Page 1 of 1	g a manual or power-operated reel ently installed outdoor in-ground i in one- and two-family dwellings. pools where it is infeasible to cover to its irregular shape, a minimum of be covered. (4.304.5) this section, for sites with over 500 pe area, alternate waste piping shall be charge from the clothes washer, bathroom/restrooms wash basins to 'aywater irrigation system. (4.305.1) this section, where City-recycled in 200 feet of the property line, water drains, and process cooling and y shall be supplied from recycled talled in accordance with the Los de. (4.305.2)	allowable water use for plumbing gs as required by the Los Angeles Calculations demonstrating a 20% ouilding "water use baseline", as ble 4.303.4.1, shall be provided; or fittings shall comply with the ates shown in Table 4.303.4.2, or s shall use recycled water. placements (4.303.4) e with 500 square feet or more of area shall have separate meters or water use. (4.304.3) ons on a site with 500 square feet or ndscape area and where the entire is replaced, shall have separate meters oor water use. (4.304.3) mily dwellings, locks shall be ly accessible exterior faucets and hose (4.304.4)	9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9	BS 2020 Los Angeles G ER CONSERVATION NOTES <u>RESIDENTIAL BUIL</u>	le II of the Americans with Disabilities Act, the City of Los Ange odation to ensure equal access to its programs, services and a Page 2 of 2	Filters Capillary break Moisture content of building materials Bathroom exhaust fans Heating and air-conditioning system d	 Finish material pollutant control Adhesives, sealants, caulks Paints and coatings Aerosol paints and coatings Verification Carpet systems Carpet cushion Resilient flooring systems Composite wood products 	Construction waste reduction Operation and maintenance manual ENVIRONMENTAL QUALITY Fireplaces and woodstoves Covering of duct openings and protect mechanical equipment during constru	BS 2020 Los Angeles Gre REQUIREMENTS Material protection
eles does not discriminate on the ba ties.	 a. The not ward, support to the fixtures shall to b. The total developed heater to farthest fix distances specified in Energy Code Reside c. The hot water supply insulated in accordan the California Energ IRRIGATION A water budget for landscap to the California Department Water Efficient Landscape C required for new landscape a The following methods to re areas include, but are not lim recycled water, graywater, op purposes and conveyed by a 	 blowdown); and blowdown); and a. 100% of the makeup wat towers shall come from n including treated backwa where groundwater is being e develop and construct a system groundwater. Alternatively, the discharged to the sewer. Provide a hot water system co following (Los Angeles Plum A. The hot water system sha gallons of water to be del hot water arrives. B. Where a hot water system is recirculating loop or elect to the fixture shall contai following: C. Residential units having in the hot water a compact hot water supply have a compact hot water supply a the hot water supply have a compact hot water supply a the hot water supply have a compact hot water supply a the hot water supply a the hot water supply have a compact hot water supply a the hot water sup	In new buildings of 25 stories shall comply with one of the f A. Shall have a minimum of (blowdown); or B. A minimum of 50% of th cooling towers shall com sources, including treated In new buildings over 25 stori comply with all of the followi	reen Building Cod - ORDINANCE <u>DINGS</u>	les does not discriminate on the bativities.			ion of ction	en Building Code REFERENCE SHEET (Sheet # or N/A)
asis of disability and, upon request, will	take the most direct path. length of pipe from the water ture shall not exceed the n Table 3.6.5 of the California antial Appendix. y piping shall be installed and nce with Section RA3.6.2 of y Code Residential Appendix. SYSTEM e irrigation use that conforms of Water Resources' Model yrdinance (MWELO) is reas of 500 sq. ft. or more. duce potable water use in landscap ited to, use of captured rainwater, r water treated for irrigation water district or public entity. (4.304.1	er supply to the cooling non-potable water sources, ish. (4.305.3.2) extracted and discharged, m for onsite reuse of the ne groundwater may be (4.305.4) implying with one of the bbing Code Section 610.4.1): all not allow more than 0.6 ivered to any fixture before installed, the branch from the tric resistance heat trace wire n a maximum of 0.6 gallons. individual water heaters shall expression of the system that meets all of the	or less, the cooling towers following: f ocycles of concentration le makeup water supply to the e from non-potable water i backwash. (4.305.3.1) es, the cooling towers shall ng:	FORM e GRN 18R #184248	asis of disability and, upon request, will www.ladbs.org				COMMENTS e.g. note #, detail # or reason for N/A

DEPARTMENT OF BUILDING AND SAFETY

DING AND SAFETY

VOC AND FORMALDEHYDE LIMITS 2020 Los Angeles Green Building Code (Incorporate this form into the plans) Building Code Tables 4.504.1, 4.504.2, 4.504.3, 4.504.5, 5.504.4.1, 5.504.4.2, 5.

2020 Los Angeles Gi

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3} Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds COATING CATEGORY ^{2,3} CURRENT L

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dwood plyw dwood plyw licleboard

Aimum Form... PRODUCT

r Million. 0.05 0.05 0.09 0.11 0.13

FORMALDEHYDE

E LIMITS¹ ions in Parts per l

1. "THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE."

EHDM Group Inc.

A: 8622 White Oak Ave, Northridge, CA, 91325 E: info@ehdmgroup.com P: 747-237-9172 WEB: www.edhmgroup.com

5.504,4.2, 5.504.4.3, 5.50

FORM GRN 11

NOTES

Dry fog o Faux fin

ete/masonry sealers vay sealers g coatings inishing coatings Clear Top Coat Decorative Coatings

e coatings

Porous fied bitu ne deck

minous 500

250 775 760 750

3. "THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'." (4.211.4, ENERGY CODE §110.10, LAFD REQUIREMENT NO.96)

DESCRIPTION

SEALANT PRIMERS

ment specialty coatings inous roof coatings inous roof primers

350 350 350

values in this table are derived from those specified by the California Ai Toxics Control Measure for Composite Wood as tested in accordance with additional information, see *California Code of Regulations*, Title 17, Section 33120.12.

n ASTM E 1333. For ns 93120 through

2. "THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE." (4.106.4.1)

ΒY

ngs

gloss coatings

e curing compounds e curing compounds, f

Roadways &

50

hitectural rine deck nmembrane roof

C LIMIT npounds in Grams per Liter 50 760 300 250 450 420

Less Water and Less Exempt Comp SEALANTS

inues in this table are derived inal Coatings Suggested Cor from the Air Resources Boar

ary 5, 2016.

Info A

Top and trim adhesive **SUBSTRATE SPECIFIC APPLICATIONS** Metal to metal Plastic from

ontact adhes

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ve 30 50 30

<u>Opaque</u> alt<u>y</u> prim

100

PECIALTY APPLICATIONS

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THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS. DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE

DESIGNER, AND NO PART THEREOF SHALL BE COPIED.

SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE

CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR

REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND

DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS AND

PRECEDENCE OVER SCALED DIMENSIONS, CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE MUST BE

NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND

DATE

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ADHESIVE VOC Less Water and Less Exempt Con ARCHITECTURAL APPLICATIONS oor carpet adhesives

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consolidants ming pool coatii marking coatir marking coatir nd tile refinish c proofing memb coatings

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(Rev. 01/01/20)

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Page 1 of 1

projects.

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Eroded sediments and pollutants shall be retained on site and shall not be transported from sheet flow, swales, area drains, natural drainage or wind. Stockpiles of earth and other construction-related materials shall be covered and/or protect transported from the site by wind or water. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listin not contaminate the soil nor the surface waters. All approved toxic storage containers are 1 protected from the weather. Spills must be cleaned up immediately and disposed of propen not be washed into the drainage system.

2.

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conveyed to the street and the storm drain system provided that and maintained on-site during the construction duration.

8

by rain or by any other means. Retention basins of sufficient size shall be provided to retain storm water runoff on-site an properly located to collect all tributary site runoff. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff

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a covered entity under wide reasonable accor

of the Americans with Disabilities Act, the City of Los Angeles doe ion to ensure equal access to its programs, services and activities.

Page 1 of 1

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approved filtering

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Designed by: Checked by:

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Green Notes

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01-28-2022

Project

Address

Client Name

Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled. Trash and construction –related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed do washed dow

be contained

Non-storm water runoff from equipment and vehicle washing and any other activity shall on the project site.

Project Name | Mesa Verde Residence

Narek Isakhanyan

3174 Mesa Verde Dr Burbank, CA 91504 USA

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ted from being

the site via

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction

cts

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Construction Proje

FORM GRN 1

STORM WATER POLLUTION CONTROL

(2020 Los Angeles Green Building Code)

168,