BOB HOPE CENTER - RESIDENTIAL

at

3201 W OLIVE AVE.
BURBANK, CA 91505

PLANNING DEVELOPMENT STANDARDS SUBMITTAL- 06.22.22

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:40:55 PM

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CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL
3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE:

SHEET SIZE: 30X42

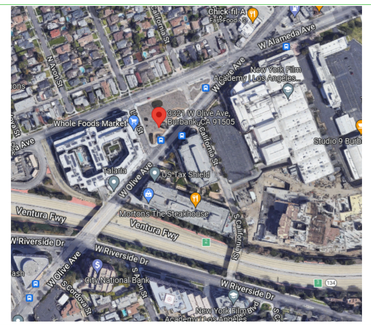
DRAWING TITLE:
COVER SHEET

SHEET NO:
A000

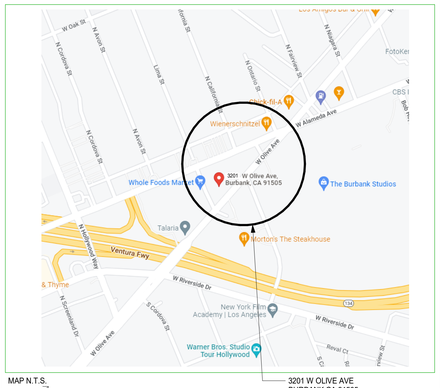
ABBREVIATIONS

#	POUND OR NUMBER	JAN.	JANITOR
∠	ANGLE	JT.	JOINT
℄	CENTERLINE		
ø	DIAMETER	LAM.	LAMINATE
@	AT	LAV.	LAVATORY
&	AND	LT.	LIGHT
⊥	PERPENDICULAR		
		M.C.	MINERAL CORE
ACOUS.	ACOUSTICAL	MATL.	MATERIAL
A.D.A.	AMERICANS WITH DISABILITIES ACT	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MEHC.	MECHANICAL
A.F.F.	ABOVE FINISH FLOOR	MET.	METAL
AL.	ALUMINUM	MFR.	MANUFACTURER
AMP	AMPERE	MIN.	MINIMUM
APPROX.	APPROXIMATE	MISC.	MISCELLANEOUS
ARCH	ARCHITECTURAL	MTD.	MOUNTED
ARCHT.	ARCHITECT	MUL.	MULLION
BD.	BOARD	N	NEW TO MATCH EXISTING
BLDG.	BUILDING	N/A	NOT APPLICABLE
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF	NO.	NUMBER
BOT.	BOTTOM	NOM.	NOMINAL
		N.T.S.	NOT TO SCALE
CAB.	CABINET		
C.B.C.	CALIFORNIA BUILDING CODE	O.A.	OVER ALL
CER.	CERAMIC	O.C.	ON CENTER
CL. OPG.	CLEAR OPENING	O.D.	OUTSIDE DIAMETER
CLNG.	CEILING	OFF.	OFFICE
CLKG.	CAULKING	OPNG.	OPENING
CLO.	CLOSET	OPP.	OPPOSITE
CLR.	CLEAR		
CNTR.	CENTER	PL.	PLATE
COL.	COLUMN	P.LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PLAS.	PLASTIC
CONT.	CONTINUOUS	PLY.	PLYWOOD
CONTR.	CONTRACTOR	P.O.	PRIVATE OFFICE
CORR.	CORRIDOR	PR.	PAIR
CTR.	CENTER	PT.	PAINT
		P.T.M.	PAINT TO MATCH
D	DEMOLISH	PTD.	PAINTED
DBL.	DOUBLE	PRTN.	PARTITION
DEPT.	DEPARTMENT		
DET.	DETAIL	Q.T.	QUARRY TILE
DIA.	DIAMETER		
DIM.	DIMENSION	R	RELOCATE EXISTING OR SALVAGE FOR RELOCATION
DISP.	DISPENSER		
DN.	DOWN	RAD.	RADIUS
D.O.	DOOR OPENING	REF.	REFERENCE
DR.	DOOR	REFL.	REFLECTED
DWG.	DRAWING	REFR.	REFRIGERATOR
DWR.	DRAWER	REQ.	REQUIRED
		RESIL.	RESILIENT
E	EXISTING TO REMAIN	RM.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
EL.	ELEVATION		
ELEC.	ELECTRICAL	S.C.	SOLID CORE
ELEV.	ELEVATION	SCHED.	SCHEDULE
ELCL.	ENCLOSURE	SECT.	SECTION
EQ.	EQUAL	SHT.	SHEET
EQPT.	EQUIPMENT	SIM.	SIMILAR
EXIST.	EXISTING	S.M.	SURFACE MOUNTED
EXT.	EXTERIOR	SPEC.	SPECIFICATION
		SQ.	SQUARE
F.F.E.	FINISH FLOOR ELEVATION	SS.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STA.	STATION
F.E.C.	FIRE EXTINGUISHER CABINET	STD.	STANDARD
F.H.	FIRE HOSE	STL.	STEEL
F.H.C.	FIRE HOSE CABINET	STOR.	STORAGE
FIN.	FINISH	SUSP	SUSPENDED
FL.	FLOOR	S.F.	SQUARE FEET
FLG.	FLOORING		
F.O.F.	FACE OF FINISH	TANDG	TONGUE AND GROOVE
F.O.S.	FACE OF STUDS	T.B.D.	TO BE DETERMINED
FPRF.	FIRE PROOF	TEL.	TELEPHONE
F.R.T.	FIRE RETARDANT TREATED	TER.	TERRAZZO
FT.	FOOT OR FEET	THK.	THICK
FURR.	FURRING	T.O.	TOP OF
FUT.	FUTURE	T.O.P.	TOP OF PARAPET
		T.O.L.	TOP OF LID
GA.	GAUGE	T.V.	TELEVISION
GALV.	GALVANIZED	TYP.	TYPICAL
GC	GENERAL CONTRACTOR		
G.D.	GARBAGE DISPOSAL	U.B.C.	UNIFORM BUILDING CODE
GL.	GLASS OR GLAZING	UNF.	UNFINISHED
GYP.	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
GYP. BD.	GYPSUM BOARD		
		V.	VOLT
H.C.	HOLLOW CORE	VERT.	VERTICAL
H.D.	HEAD	VEST.	VESTIBULE
HDWD.	HARDWOOD	V.I.F.	VERIFY IN FIELD
HDWR.	HARDWARE	V.T.	VINYL TILE
HGT.	HEIGHT		
H.M.	HOLLOW METAL	W/	WITH
HORIZ.	HORIZONTAL	WD.	WOOD
HR.	HOUR	W.H.	WATER HEATER
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	W.A.	WOLCOTT ARCHITECTURE
		W/O	WITHOUT
		WP.	WATERPROOF
I.D.	INSIDE DIAMETER	WSCT.	WAINSCOT
INFO.	INFORMATION	WS.	WORKSTATION
INSUL.	INSULATION	WT.	WEIGHT
INT.	INTERIOR		
I.T.	INFORMATION TECHNOLOGY		

SATELLITE MAP



VICINITY MAP



MAP N.T.S.

3201 W OLIVE AVE
BURBANK CA 91505

N

GRAPHIC SYMBOLS

- BUILDING STRUCTURAL GRID LINES
- DETAIL NUMBER / SHEET NUMBER
- SECTION NUMBER / SHEET NUMBER
- SINGLE ELEVATION IDENTIFICATION: ELEVATION NUMBER / SHEET NUMBER
- INTERIOR ELEVATION IDENTIFICATION: ELEVATION NUMBER; SHEET NUMBER
- BULLETIN (OR ADDENDUM): AREA OF REVISION; REVISION NUMBER
- +482.67" F.F.E. — FINISH FLOOR ELEVATION SYMBOL
- ROOM NAME / # — ROOM NAME; ROOM NUMBER
- STAIR/RAMP UP ##% SLOPE — STAIR/RAMP DIRECTION: ARROW POINTS UP
- ALIGN — ALIGN
- N TRUE NORTH — PLAN NORTH REFERENCE
- # — KEYNOTE SYMBOL
- 1001 — DOOR NUMBER
- C — WALL SYMBOL TYPE
- N.I.C. — "NOT IN CONTRACT": NO WORK IN THIS AREA
- E — EXISTING TO REMAIN
- N — NEW
- D — DEMO
- R — RELOCATE EXISTING/SALVAGE FOR RELOCATION (AT DEMO PLAN)

PROJECT TEAM

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-
LOS ANGELES, CA
PHONE: 310.625.2029 FAX: N/A
EMAIL: EGIBSON@GLLBSTUDIO.COM
CONTACT: ERIC GIBSON

PROJECT DESCRTPTION

SCOPE OF WORK:

LOCATED AT 3201 W. OLIVE AVE., ALSO KNOWN AS THE BOB HOPE SITE, THE PROJECT CONSISTS OF A NEW CONTEMPORARY STYLE MULTI-STORY RESIDENTIAL APARTMENT BUILDING OF 144 LIVING UNITS, INCLUDING POOL AND GYM AMNESTIES. TO BE BUILT ON A VACANT LOT. THE LIVING UNITS WILL BE A MIX OF STUDIO, 1-BEDROOM AND 2-BEDROOM UNITS WITH BALCONIES.

BURBANK PLANNING TABULATIONS

DEVELOPMENT AGREEMENT
(INCLUDES DENSITY BONUS, CONCESSIONS, INCENTIVES & WAIVERS PER SB 35)

STATE DENSITY BONUS (SDB)
WE ARE REQUESTING A 50% DENSITY BONUS AND WILL ALLOCATE 15% OF OUR BASE PROJECT'S UNITS TO VERY LOW INCOME TENANNTS. SATISFY'S BURBANK'S INCLUSIONARY HOUSING REQ. OF 15% OF BASE PROJECT FOR AFFORDABLE HOUSING.

LOT AREA

GROSS LOT AREA: (FOR PURPOSE OF CALCULATING DWELLING UNIT COUNT)	71,829 SF (1.649 ACRES)
NET LOT AREA: (INCLUDES CALIFORNIA ST. AND EASEMENT FOR PURPOSES OF CALCULATING FAR)	58,395 SF (1.34 ACRES)

RETAIL AREA	**1,058 SF**
EXISTING PD 2001-2 LAND AREA	1.65 ACRES (71,829 SF)
PD 2001-2 RESIDENTIAL DENSITY	58 DU/ACRE
BASE DENSITY ALLOWED	95.64 DU
BASE DENSITY ALLOWED. ROUNDED UP PER SDB 65915(Q)	96 DU
BASE PROJECT PROPOSED	**96 DU**
% AFFORDABLE (VERY LOW)	15%
AFFORDABLE UNITS	14.40 DU
AFFORDABLE UNITS, ROUNDED UP PER SDB 65915(Q)	**15 DU**
STATE DENSITY BONUS (50% ROUNDED UP)	**48 DU**
TOTAL RESIDENTIAL DENSITY	**144 DU**

APPLICABLE ADDRESSES: 3201 W. OLIVE AVE., BURBANK, CA 91505
3004 W. OLIVE AVE., BURBANK, CA 91505
3305 W. OLIVE AVE., BURBANK, CA 91505
3311 W. OLIVE AVE., BURBANK, CA 91505
3321 W. OLIVE AVE., BURBANK, CA 91505
(3 PARCELS ON PROPOSED SITE LISTED AS "NO ADD.")

ASSESSOR'S PARCEL #(S): 2484-024-401, 2483-023-419, 2483-023-420, 2483-023-421, 2483-023-422, 2483-023-431 2483-023-432

TRACT: 10135 MB 141-21-22

MAP REFERENCE: MR 43 - 47 - 59

ZONE: MEDIA DISTRICT COMMERCIAL (MDC-2)
DEVELOPMENT STANDARDS BASED ON MDC-2
ARTICLE 21 10-1-2101 (MDM-1)

ZONING SETBACKS	**REQUIRED**	**PROPOSED**
RESIDENTIAL (NOT A RESIDENTIAL ZONE - NONE REQ'D.)		
COMMERCIAL PER MEDIA DISTRICT PLAN: MIN 5'	5' - 0"	5' - 0" (APPLIES TO SINGLE STORY RETAIL BUILDING)
PORTION OF BUILDING TALLER THAN 15' IN HT. MUST HAVE AN AVG. SETBACK OF 20% FROM STREET RIGHT-OF-WAY (PROP. LINE)	12' - 2" (60'-7 1/2" BLDG HT. X 0.2)	10' - 0" AVG. BLDG. ENVELOPE 8' - 0" AVG. OVERHANG / PROJECTION

FENCE, WALL, HEDGE HEIGHTS	**ALLOWABLE**	**PROPOSED**
WITHIN SETBACKS		
FENCE AND WALL	4' - 0"	3' - 0"
HEDGE	6' - 0"	6' - 0" MAX.
OUTSIDE OF SETBACKS		
FENCE AND WALL	8' -0"	8' - 0" MAX.
HEDGE	12' - 0"	6' - 0" MAX.

BUILDING HEIGHT (MEASURED FROM AVG. NATURAL GRADE TO CEILING HEIGHT OF THE HIGHEST ROOM OF OCCUPANCY)	**ALLOWABLE**	**ACTUAL**
DISTANCE FROM R-1, R-2 LOT LINE		
150' - 300'	50'	60' - 7 1/2"
300' - 500'	70'	60' - 7 1/2"
# OF STORIES:	2	5

	ALLOWABLE	**PROPOSED**
LOT COVERAGE: (INCLUDES GARAGE RAMP AREA)	35,037 SF (60%)	29,424 SF
FLOOR AREA RATIO (USING NET LOT AREA AND LIMITED TO COMMERCIAL + ANCILLARY FOOTAGE, EXCLUDING RESIDENTIAL AREA)	1.1 FAR (58,395 SF * 1.1 =64,234 SF)	0.02 FAR (1,058 SF RETAIL / 58,395 SF)

TOTAL BUILDING AREA (EXCLUDES SHAFTS & STAIRS)	**PROPOSED**
RETAIL	1,058 SF
RESIDENTIAL	130,666 SF
TOTAL	131,724 SF

UNIT COUNT:

	1ST	2ND	3RD	4TH	5TH	TOTAL
2BR:	5	6	10	10	10	41
1BR:	13	20	16	16	16	81
STUDIO:	7	6	3	3	3	22
TOTAL:	25	32	29	29	29	**144**

ALLOCATES 15 UNITS AS VERY LOW INCOME (15% PER SDB)

VEHICLE PARKING:
NOTE: STATE DENSITY BONUS LAW REQUIRES A MINIMUM OF 0.5 SPACES PER UNIT, NO VISITOR REQUIREMENTS. RETAIL PARKS TO CODE. GUEST PARKING IS NOT REQUIRED NOR PROVIDED.

USE	FORMULA	UNIT COUNT/SF	REQUIRED	PROPOSED
RETAIL	3.3 PER 1,000SF	1,058 SF	3.4 STALLS	4 STALLS
RESIDENTIAL	0.5 PER UNIT	144 UNITS	72 STALLS	192 STALLS (34 TANDEM)
TOTAL			76 STALLS	196 STALLS

ACCESSIBLE PARKING RQTS (11B-208.2)	**REQUIRED**	**PROPOSED**
ACCESSIBLE STANDARD STALLS	5 STALLS	5 STALLS
ACCESSIBLE VAN STALL (11B-208.2.4)	2 STALLS	2 STALLS
TOTAL	7 STALLS	7 STALLS
ACCESSIBLE VAN EV STALL	1 STALL	1 STALL

BICYCLE PARKING	**REQUIRED**	**PROPOSED**
SHORT TERM:		
RESIDENTIAL (1 SPACE / 20 UNITS)	7.2	7
RETAIL (1 SPACE / 5000 SF)	1	1
TOTAL:	8.2 (8)	8 SPACES
LONG TERM:		
RESIDENTIAL (1 SPACE / 4 UNITS)	36	36
RETAIL: (1 SPACE / 12,000 SF)	1	1
TOTAL:	37 SPACES	37 SPACES

OPEN SPACE REQUIREMENTS
(NOT REQ'D IN MDC-2 & MDM-1 ZONE)

MIN. PRIVATE OPEN SPACE PER UNIT:
(NOT REQ'D IN MDC-2 & MDM-1 ZONE)

LANDSCAPING (R4-ZONE) (INCLUDES SET BACKS)
(NOT REQ'D IN MDC-2 & MDM-1 ZONE)

SHEET INDEX

DRAWING NUMBER	DRAWING TITLE	PLANNING DEV. STANDARDS	SCHEMATIC DESIGN	DESIGN DEVELOPMENT	CONSTRUCTION DOCUMENTS
ARCHITECTURAL					
A000	COVER SHEET	◆			
A001	PROJECT DATA	◆			
CIVIL					
C000	CIVIL DRAWING PACKAGE	◆			
ARCHITECTURAL					
A110	SITE PLAN - PROPOSED	◆			
A200	FLOOR PLAN - 1ST FLOOR	◆			
A201	FLOOR PLAN - 2ND FLOOR	◆			
A202	FLOOR PLAN - 3RD-5TH FLOORS	◆			
A203	ROOF PLAN	◆			
A204	FLOOR PLAN - P-1	◆			
A205	FLOOR PLAN - P-2	◆			
A300	EXTERIOR ELEVATIONS	◆			
A301	ENLARGED EXTERIOR ELEVATIONS	◆			
A302	ENLARGED EXTERIOR ELEVATIONS	◆			
A303	ENLARGED EXTERIOR ELEVATIONS	◆			
A400	BUILDING SECTIONS	◆			
A410	ENLARGED SECTIONS	◆			
A600	ENLARGED PLANS - TYP. UNITS	◆			
A601	ENLARGED PLAN 1ST FLOOR - AREA A	◆			
A602	ENLARGED PLAN 1ST FLOOR - AREA B	◆			
A603	ENLARGED PLAN 2ND FLOOR - AREA A	◆			
A604	ENLARGED PLAN 2ND FLOOR - AREA B	◆			
A605	ENLARGED PLAN 3RD-5TH FLOORS - A	◆			
A606	ENLARGED PLAN 3RD-5TH FLOORS - B	◆			
A710	SCHEDULE - FINISH AND FIXTURE	◆			
A900	SITE CONTEXT PHOTOS	◆			
A901	VIEWS AND IMAGES	◆			
LANDSCAPE					
L1.0	OVERALL LANDSCAPE CONCEPT PLAN	◆			
L1.1	HARDSCAPE CONCEPT PLAN	◆			
L1.2	LANDSCAPE ELEVATIONS	◆			
L1.3	CONCEPTUAL PLANTING PLAN	◆			
L1.4	PLANT IMAGES	◆			
L1.5	PLANT IMAGES	◆			

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PROJECT MANAGER: CC

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SHEET SIZE: 30X42

DRAWING TITLE:
PROJECT DATA

SHEET NO:
A001

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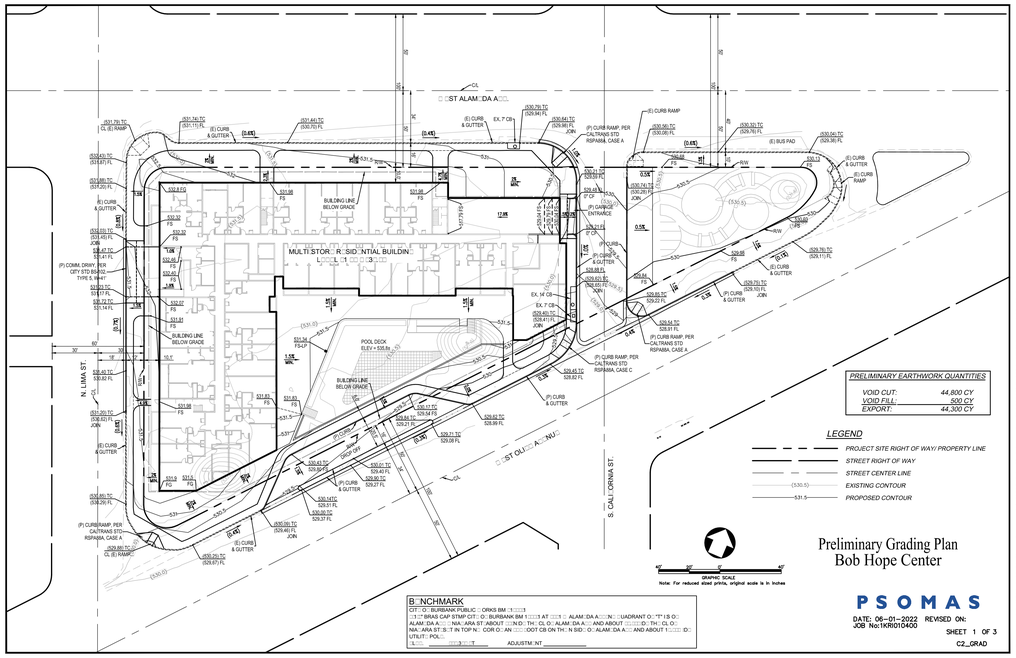
DATE STAMP: 6/22/2022 2:40:56 PM



PRELIMINARY EARTHWORK QUANTITIES	
VOID CUT:	44,800 CY
VOID FILL:	500 CY
EXPORT:	44,300 CY

LEGEND

- PROJECT SITE RIGHT OF WAY/ PROPERTY LINE
- STREET RIGHT OF WAY
- STREET CENTER LINE
- (530.5) EXISTING CONTOUR
- 531.5 PROPOSED CONTOUR

GRAPHIC SCALE 40' 20' 0 40'
Note: For reduced sized prints, original scale is in inches

BENCHMARK
CIT: O: BURBANK PUBLIC WORKS BM :1:1:1:1
:1:1:1" BRAS CAP STMP CIT: O: BURBANK BM 1:1:1:3 AT :1:1:1 :1: ALAM:DA A:::N: :: LIADRANT O:::"T" I S O::
ALAM:DA A:::N: NIA:ARA ST ABOUT :::N:B:: TH: CL O: ALAM:DA A:::: AND ABOUT :::::B:: TH: CL O::
NIA:: ARA ST::S::T IN TOP N:: COR O:: AN :::::DOOT CB ON TH:: N SID:: O:: ALAM:DA A:::: AND ABOUT 1:::::B:: ID::
UTILIT:: POL::
1:::::: ADJUSTM:NT _____

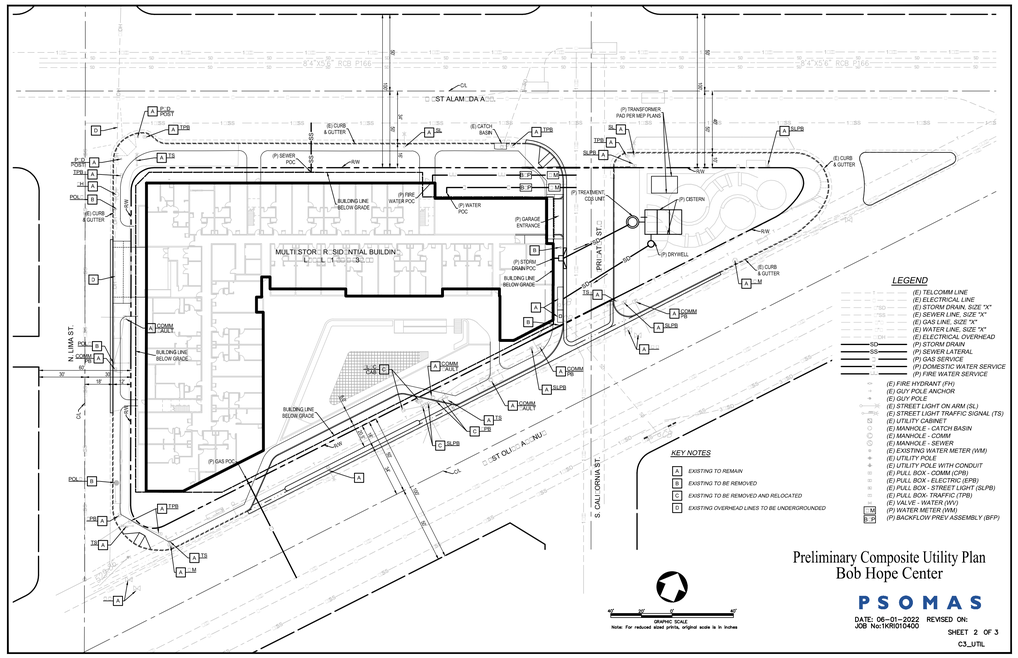
Preliminary Grading Plan
Bob Hope Center

PSOMAS

DATE: 06-01-2022 REVISED ON:
JOB No:1KR010400

SHEET 1 OF 3
C2_GRAD

Plotted : 6/7/2022 3:22:09 PM :: Saved : 6/7/2022 3:21:35 PM :: V:\1KR060500\DWG\SHEETS\Planning\C2_GRAD.dwg :: william.willey



LEGEND

- (E) TELCOMM LINE
- (E) ELECTRICAL LINE
- (E) STORM DRAIN, SIZE "X"
- (E) SEWER LINE, SIZE "X"
- (E) GAS LINE, SIZE "X"
- (E) WATER LINE, SIZE "X"
- (E) ELECTRICAL OVERHEAD
- SD (P) STORM DRAIN
- SS (P) SEWER LATERAL
- G (P) GAS SERVICE
- W (P) DOMESTIC WATER SERVICE
- FW (P) FIRE WATER SERVICE
- (E) FIRE HYDRANT (FH)
- (E) GUY POLE ANCHOR
- (E) GUY POLE
- (E) STREET LIGHT ON ARM (SL)
- (E) STREET LIGHT TRAFFIC SIGNAL (TS)
- (E) UTILITY CABINET
- (E) MANHOLE - CATCH BASIN
- (E) MANHOLE - COMM
- (E) MANHOLE - SEWER
- (E) EXISTING WATER METER (WM)
- (E) UTILITY POLE
- (E) UTILITY POLE WITH CONDUIT
- (E) PULL BOX - COMM (CPB)
- (E) PULL BOX - ELECTRIC (EPB)
- (E) PULL BOX - STREET LIGHT (SLPB)
- (E) PULL BOX- TRAFFIC (TPB)
- (E) VALVE - WATER (WV)
- M (P) WATER METER (WM)
- BF (P) BACKFLOW PREV ASSEMBLY (BFP)

KEY NOTES

- A EXISTING TO REMAIN
- B EXISTING TO BE REMOVED
- C EXISTING TO BE REMOVED AND RELOCATED
- D EXISTING OVERHEAD LINES TO BE UNDERGROUNDED

GRAPHIC SCALE 40' 20' 0 40'
Note: For reduced sized prints, original scale is in inches

Preliminary Composite Utility Plan
Bob Hope Center

PSOMAS

DATE: 06-01-2022 REVISED ON:
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SHEET 2 OF 3
C3_UTIL

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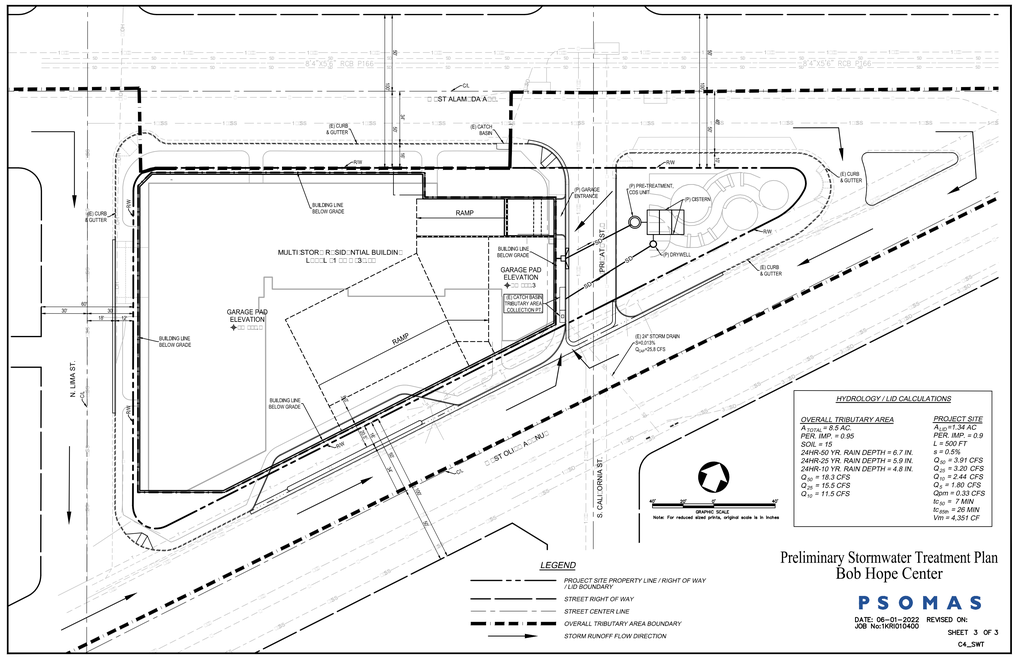

HYDROLOGY / LID CALCULATIONS

OVERALL TRIBUTARY AREA	PROJECT SITE
A_{TOTAL} = 8.5 AC.	A_{LID}=1.34 AC.
PER. IMP. = 0.95	PER. IMP. = 0.9
SCN. = 15	L = 500 FT
24HR-50 YR. RAIN DEPTH = 6.7 IN.	s = 0.5%
24HR-25 YR. RAIN DEPTH = 5.9 IN.	Q_{50} = 3.91 CFS
24HR-10 YR. RAIN DEPTH = 4.8 IN.	Q_{25} = 3.20 CFS
Q_{50} = 18.3 CFS	Q_{10} = 2.44 CFS
Q_{25} = 15.5 CFS	Q_2 = 1.80 CFS
Q_{10} = 11.5 CFS	Qpm = 0.33 CFS
	tc_{50} = 7 MIN
	$tc_{25/10}$ = 26 MIN
	Vm = 4,351 CF

GRAPHIC SCALE 40' 20' 0 40'
Note: For reduced sized prints, original scale is in inches

LEGEND

- PROJECT SITE PROPERTY LINE / RIGHT OF WAY / LID BOUNDARY
- STREET RIGHT OF WAY
- STREET CENTER LINE
- OVERALL TRIBUTARY AREA BOUNDARY
- STORM RUNOFF FLOW DIRECTION

Preliminary Stormwater Treatment Plan
Bob Hope Center

PSOMAS

DATE: 06-01-2022 REVISED ON:
JOB No:1KR010400

SHEET 3 OF 3
C4_SWT

Plotted : 6/7/2022 4:06:36 PM :: Saved : 6/7/2022 4:06:21 PM :: V:\1KR060500\DWG\SHEETS\Planning\C4_SWT.dwg :: william.willey

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenterResi.rvt
DATE STAMP: 6/2/2022 5:48:47 PM

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3321 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.16.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE:

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PROJECT NO: 21-2779-1

DRAWN BY: CHECKED BY:

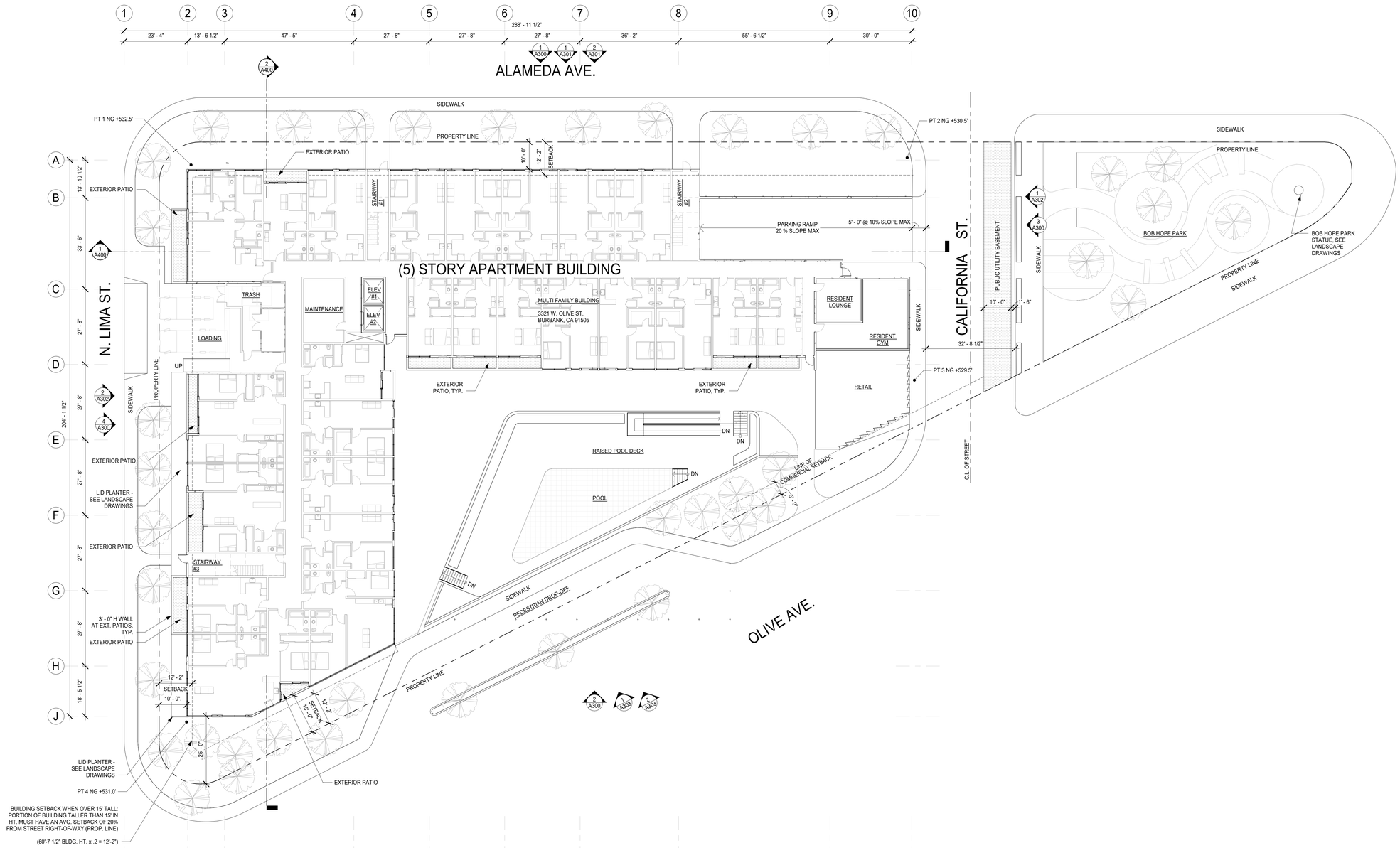
PROJECT MANAGER:

DRAWING SCALE:

SHEET SIZE: 30X42

DRAWING TITLE:
CIVIL DRAWING PACKAGE

SHEET NO:
C000



SITE PLAN - PROPOSED

1/16" = 1'-0"

1

AVERAGE NATURAL GRADE TAB

PT 1 EL. +532.5'
PT 2 EL. +530.5'
PT 3 EL. +529.5'
PT 4 EL. +521.0'

TOTAL 2113.5

ANG = 2213.5 / 4 = 528.38'

KEYNOTES

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
3. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME BY JURISDICTION HAVING AUTHORITY.
4. IN NO CASE SHALL DIMENSIONS OR OBJECTS OF ANY KIND BE SCALED FROM ANY DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES OR CLARIFICATIONS TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH ANY RELATED WORK.
5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL NEW LANDSCAPE AND PLANTER BOXES TO RECEIVE DRIP IRRIGATION SYSTEM. SEE CIVIL AND IRRIGATION DRAWINGS FOR ADDITIONAL INFORMATION.
8. PROVIDE (1) EV OUTLET AT (2) PARKING STALLS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
9. ALL EXTERIOR EXPOSED STAIR TREADS AND STEPS TO SLOPE 2% MAXIMUM TOWARD NOSE OF TREAD, TYP.
10. ALL STAIR TREADS TO RECEIVE CAST-IN CONTRASTING WARNING STRIP, TYP.
11. IN CASE OF CONFLICT OF INDICATED PAVING OR SLAB SLOPES WITH CIVIL DRAWINGS, THE CIVIL DRAWINGS SHALL GOVERN.
12. ALL EXPOSED FLASHING AND BRAKE METAL TO BE PRIMED AND FIELD PAINTED TO MATCH ADJACENT WALL COLOR. VERIFY COLOR WITH ARCHITECT PRIOR TO PAINTING.

LEGEND

N.I.C.	NOT IN CONTRACT
	PROPERTY LINE
	CONCRETE PAVING
	PERVIOUS PAVING
	LANDSCAPE

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
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CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

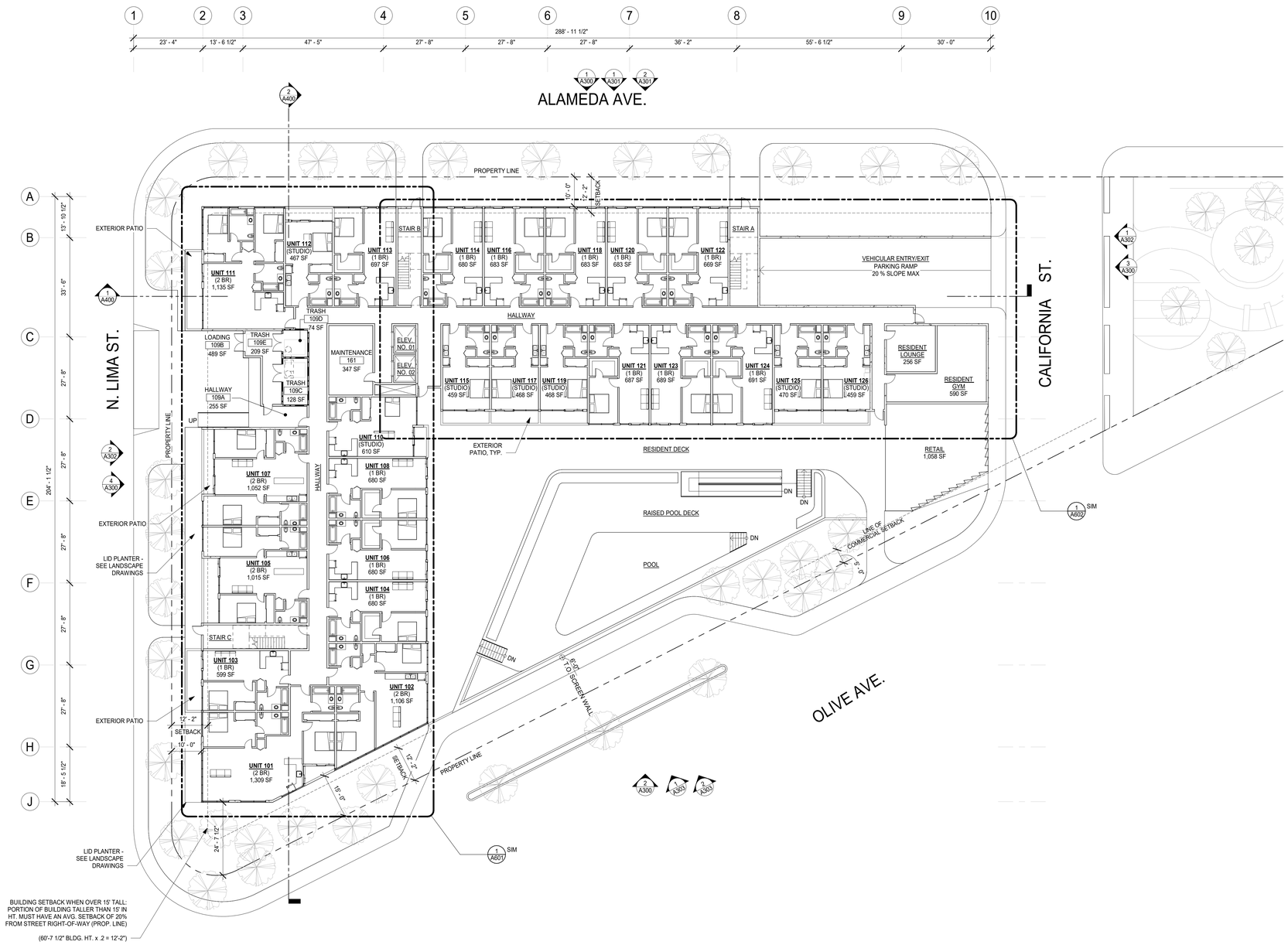
SHEET SIZE: 30X42

DRAWING TITLE:

SITE PLAN - PROPOSED

SHEET NO: A110

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:40:57 PM



KEYNOTES

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7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.

LEGEND

N.I.C.	NOT IN CONTRACT
	EXISTING MILLWORK
	NEW MILLWORK
	EXISTING PARTITION
	EXISTING DOOR
C#	WALL TAG. REFER TO A800
	NEW PARTITION PER PLAN
4" TYP. / 7" MAX.	NEW DOOR
1001	DOOR NUMBER. REFER TO A700
##	WINDOW TAG. REFER TO A700
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710
ALIGN	ALIGN ELEMENTS
RM NAME #	ROOM NAME AND NUMBER
F.E.C.	FIRE EXTINGUISHER CABINET
	NEW PLUMBING FIXTURES

FLOOR PLAN - 1ST FLOOR
1/16" = 1'-0"

1

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

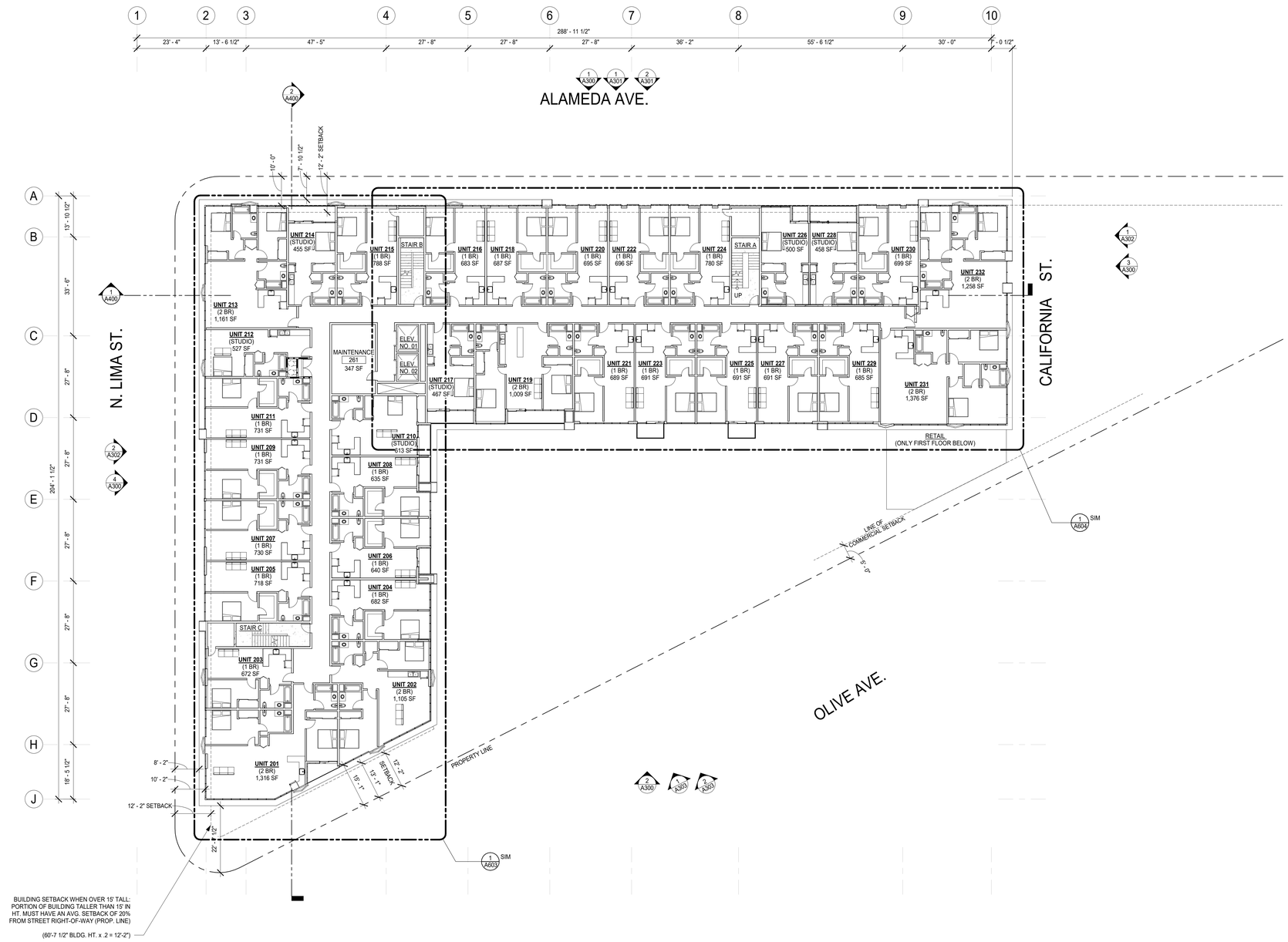
SHEET SIZE: 30X42

DRAWING TITLE:

FLOOR PLAN - 1ST FLOOR

SHEET NO: A200

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:40:59 PM



FLOOR PLAN - 2ND FLOOR

1/16" = 1'-0"

1

KEYNOTES

GENERAL NOTES

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15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.

LEGEND

N.I.C.	NOT IN CONTRACT
	EXISTING MILLWORK
	NEW MILLWORK
	EXISTING PARTITION
	EXISTING DOOR
C#	WALL TAG. REFER TO A800
	NEW PARTITION PER PLAN
4" TYP. 7" MAX.	NEW DOOR
1001	DOOR NUMBER. REFER TO A700
##	WINDOW TAG. REFER TO A700
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710
ALIGN	ALIGN ELEMENTS
RM NAME #	ROOM NAME AND NUMBER
F.E.C.	FIRE EXTINGUISHER CABINET
	NEW PLUMBING FIXTURES

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

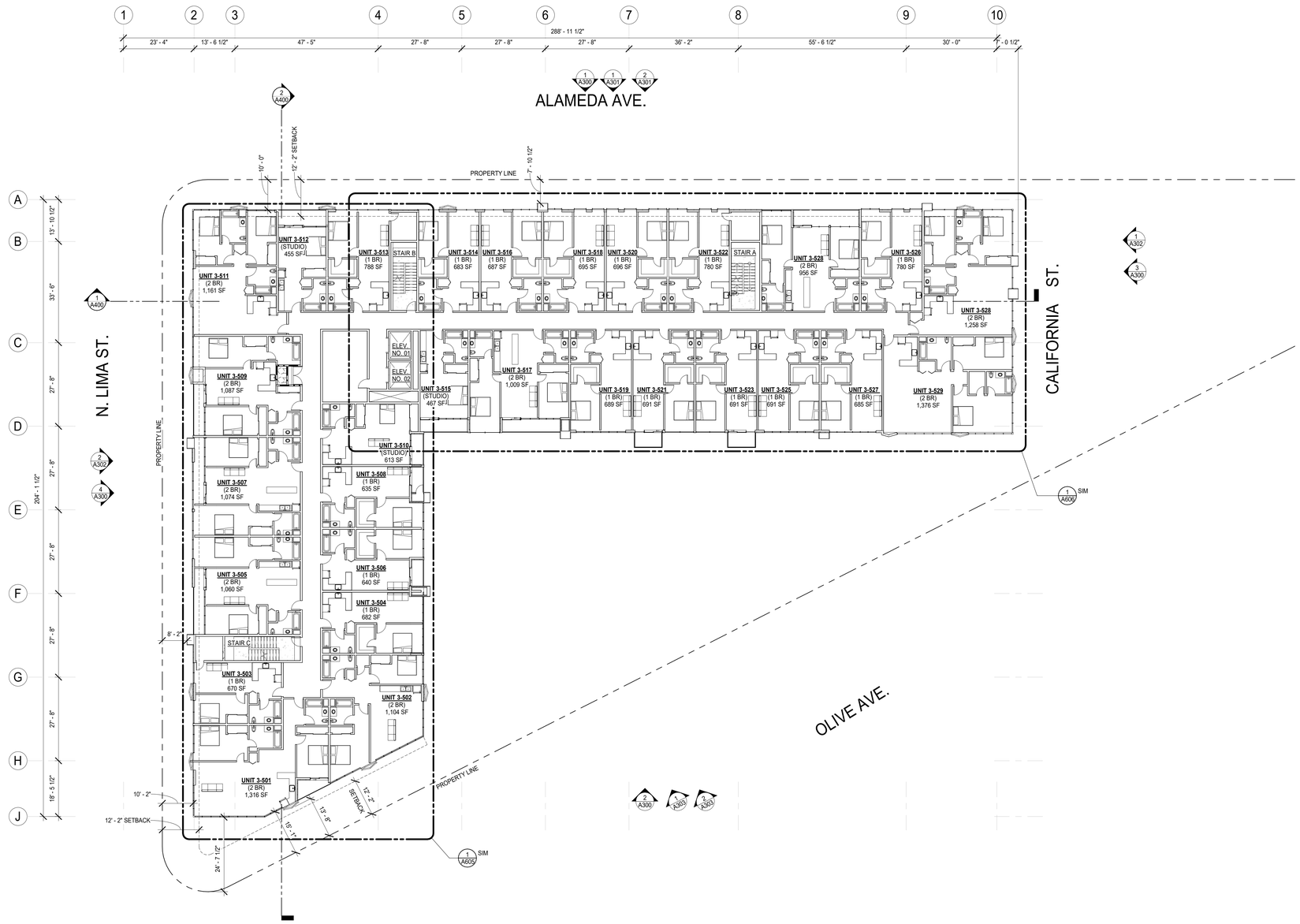
DRAWING TITLE:

FLOOR PLAN - 2ND FLOOR

SHEET NO:

A201

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:41:01 PM



KEYNOTES

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LEGEND

N.I.C.	NOT IN CONTRACT
	EXISTING MILLWORK
	NEW MILLWORK
	EXISTING PARTITION
	EXISTING DOOR
C#	WALL TAG. REFER TO A800
	NEW PARTITION PER PLAN
4" TYP. / 7" MAX	NEW DOOR
1001	DOOR NUMBER. REFER TO A700
##	WINDOW TAG. REFER TO A700
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710
ALIGN	ALIGN ELEMENTS
RM NAME #	ROOM NAME AND NUMBER
F.E.C.	FIRE EXTINGUISHER CABINET
	NEW PLUMBING FIXTURES

FLOOR PLAN - 3RD-5TH FLOORS
1/16" = 1'-0"

1

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
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CONSULTANT:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

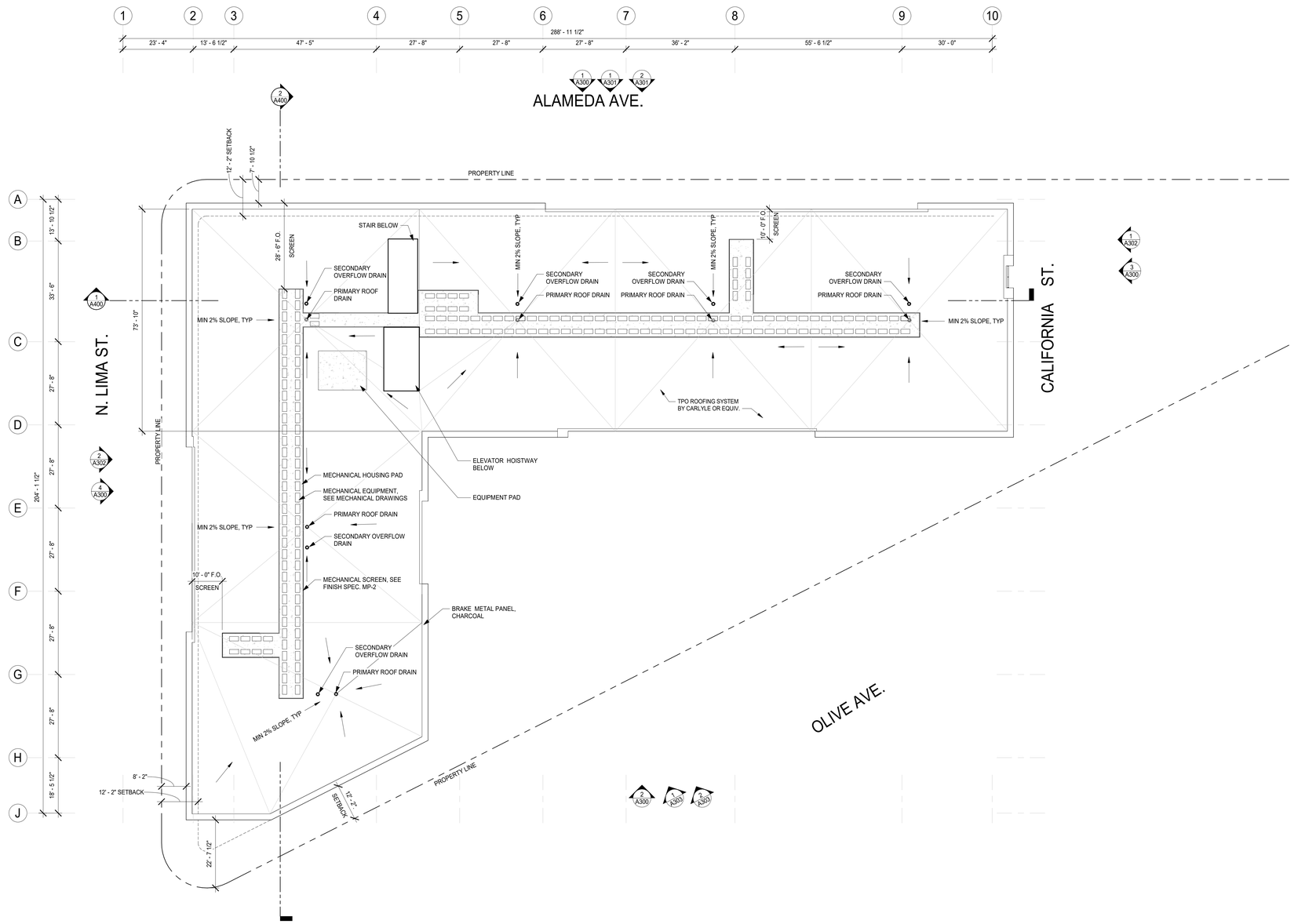
DRAWING TITLE:

FLOOR PLAN - 3RD-5TH FLOORS

SHEET NO:

A202

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:41:03 PM



ROOF PLAN

1/16" = 1'-0"

1

KEYNOTES

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. PROVIDE NEW UL CLASS 'A' ROOF THROUGHOUT ENTIRE ROOF AREA, UP AND AROUND ALL WALL, PARAPETS, CRICKETS, MECHANICAL PLATFORMS AND VENTS.
3. ROOFING SPECIFICATIONS: ROOFING MEMBRANE AND INSULATION BY GAF, PROVIDE GAF MECHANICALLY ATTACHED SINGLE-PLY EVERGUARD TPO 80 MIL ROOFING MEMBRANE SYSTEM (UL1306) WITH 2 LAYERS OF 2.7" POLYISO INSULATION (DO NOT EXCEED 3" THICK INSULATION) FOR A MINIMUM R-30 R VALUE.
4. PROVIDE GAF ROOFING ACCESSORIES INCLUDING: VENTS BOOTS, SQUARE TUBE WRAP, 36" CORNER CURB WRAP, INSIDE CORNER, DETAILING MEMBRANE, FLASHING STRIP, SEALER POCKET AND TPO COATED METAL DRAINS
5. INSTALL ALL ROOFING ACCESSORIES AND ROOFING SYSTEM PER MANUFACTURER'S REQUIREMENTS. PROVIDE NEW ROOF WITH MINIMUM 2% SLOPE TO DRAINS.
6. SEE SHEET AXXX FOR ROOF PENETRATION DETAILS

LEGEND

N.I.C.	NOT IN CONTRACT
	ROOF DRAIN
	ROOF CRICKET
SLOPE 1:12	ROOF SLOPE
	ROOF HATCH
	WALK PAD
ALIGN	ALIGN ELEMENTS
	PARAPET. WALL TYPE TO MATCH BELOW

WOLCOTT ARCHITECTURE
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BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	08.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

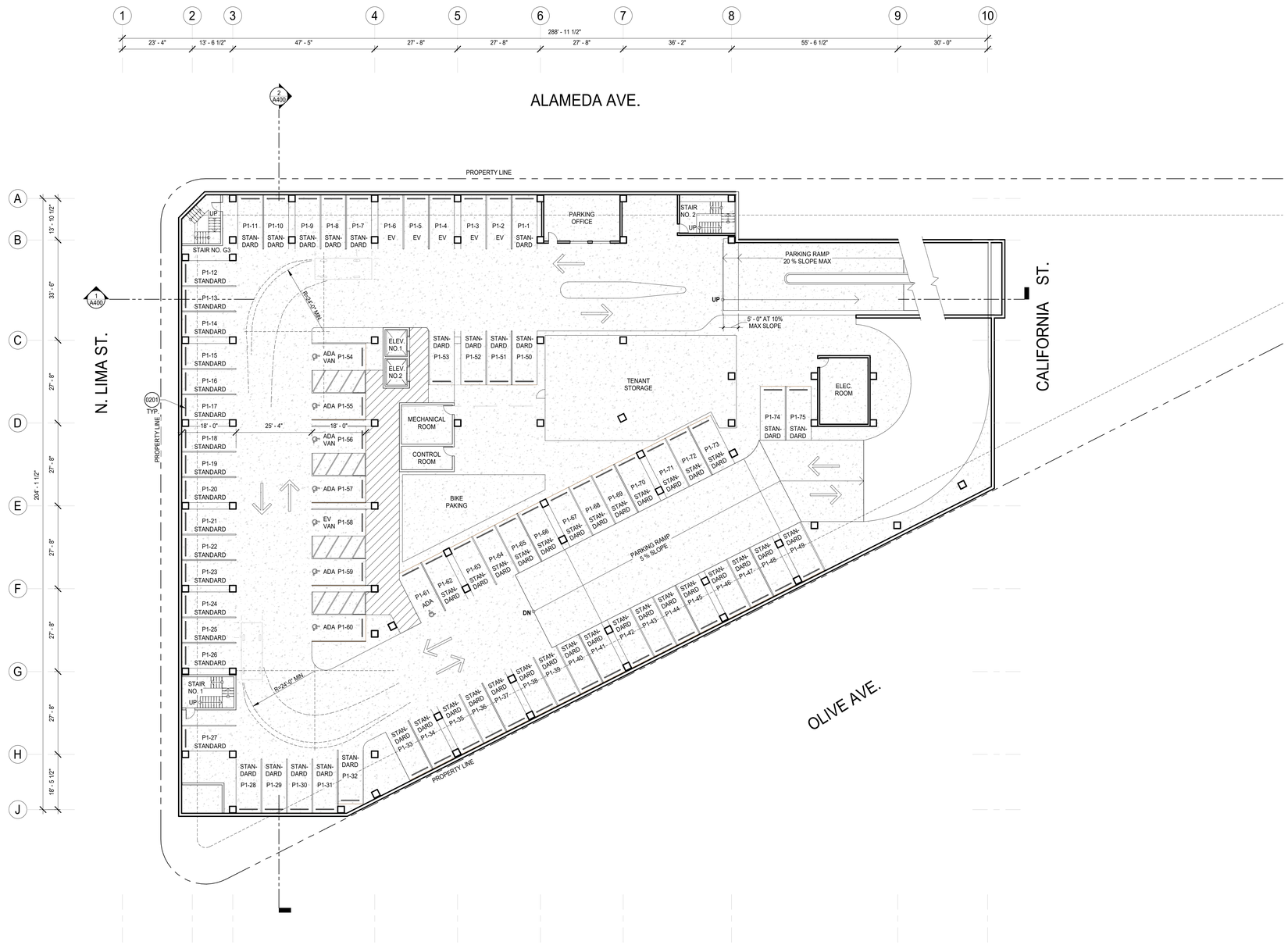
SHEET SIZE: 30X42

DRAWING TITLE:

ROOF PLAN

SHEET NO: A203

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:41:04 PM



KEYNOTES

0201 | WHEELSTOP, TYP. AT ALL STALLS.

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
3. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME BY JURISDICTION HAVING AUTHORITY.
4. IN NO CASE SHALL DIMENSIONS OR OBJECTS OF ANY KIND BE SCALED FROM ANY DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES OR CLARIFICATIONS TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH ANY RELATED WORK.
5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.

LEGEND

N.I.C.	NOT IN CONTRACT	ALIGN	ALIGN ELEMENTS
	EXISTING MILLWORK	RM NAME #	ROOM NAME AND NUMBER
	NEW MILLWORK	F.E.C.	FIRE EXTINGUISHER CABINET
	EXISTING PARTITION		NEW PLUMBING FIXTURES
	EXISTING DOOR		
C#	WALL TAG. REFER TO A800		
	NEW PARTITION PER PLAN		
4" TYP. 7" MAX.	NEW DOOR		
1001	DOOR NUMBER. REFER TO A700		
##	WINDOW TAG. REFER TO A700		
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.		
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710		

FLOOR PLAN - P-1
1/16" = 1'-0"

1

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

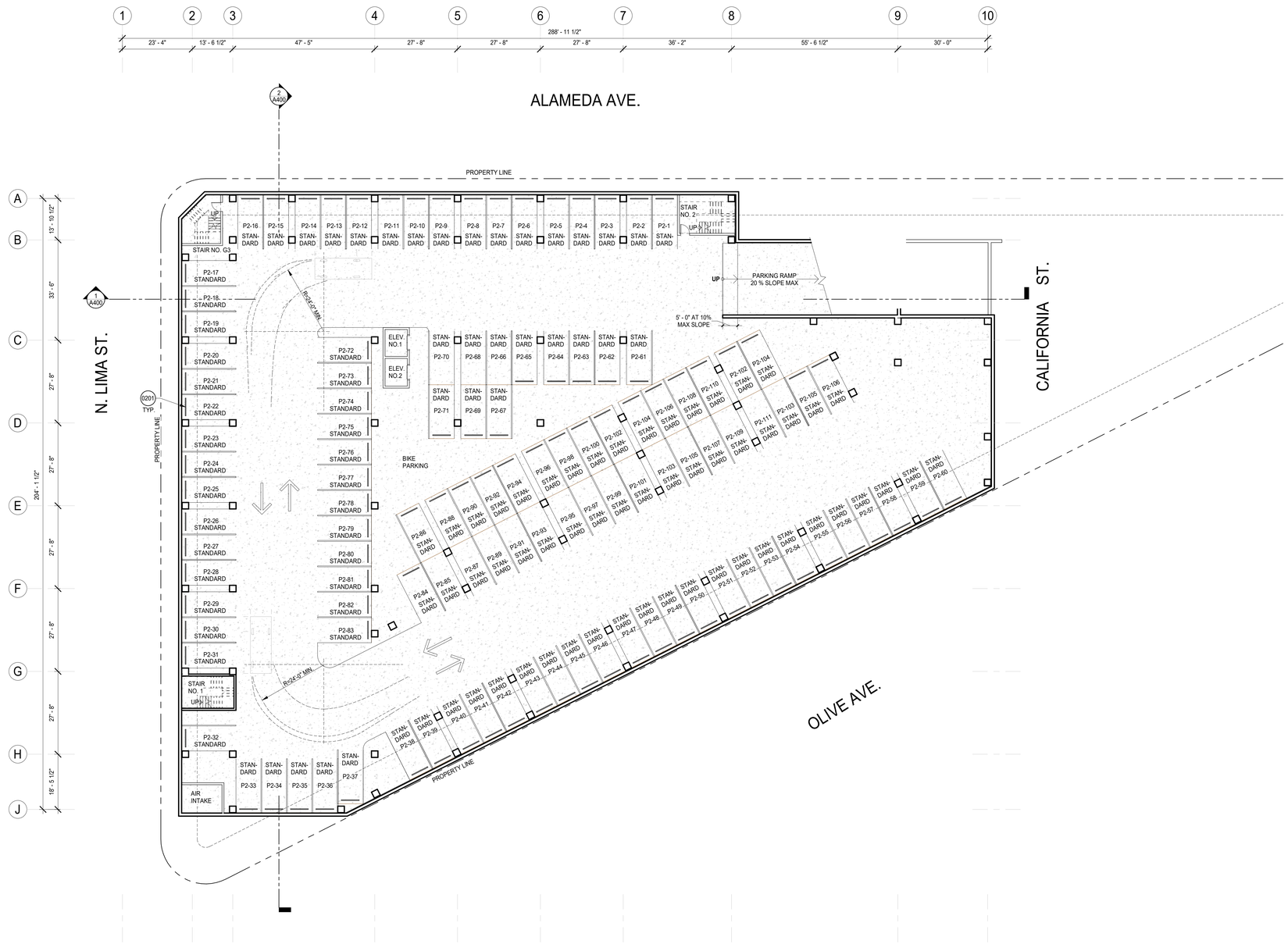
DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:
FLOOR PLAN - P-1

SHEET NO: A204

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenterResi.rvt
DATE STAMP: 6/22/2022 2:41:06 PM



FLOOR PLAN - P-2
1/16" = 1'-0"

1

KEYNOTES

0201 WHEELSTOP, TYP. AT ALL STALLS.

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
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6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
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12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.

LEGEND

N.I.C.	NOT IN CONTRACT	ALIGN	ALIGN ELEMENTS
	EXISTING MILLWORK	RM NAME #	ROOM NAME AND NUMBER
	NEW MILLWORK	F.E.C.	FIRE EXTINGUISHER CABINET
	EXISTING PARTITION		NEW PLUMBING FIXTURES
	EXISTING DOOR		
C#	WALL TAG. REFER TO A800		
	NEW PARTITION PER PLAN		
4" TYP. / 7" MAX	NEW DOOR		
1001	DOOR NUMBER. REFER TO A700		
##	WINDOW TAG. REFER TO A700 NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.		
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710		

WOLCOTT ARCHITECTURE
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CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

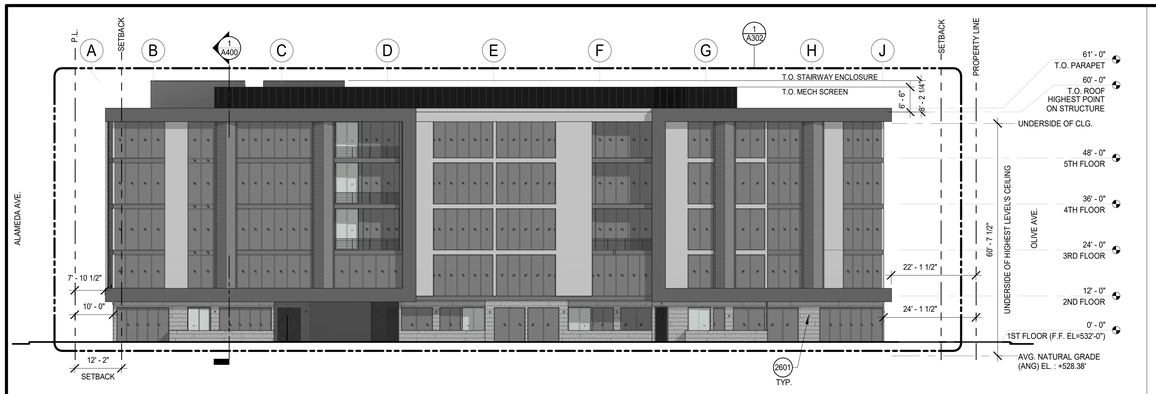
DRAWING SCALE: As indicated

SHEET SIZE: 30X42

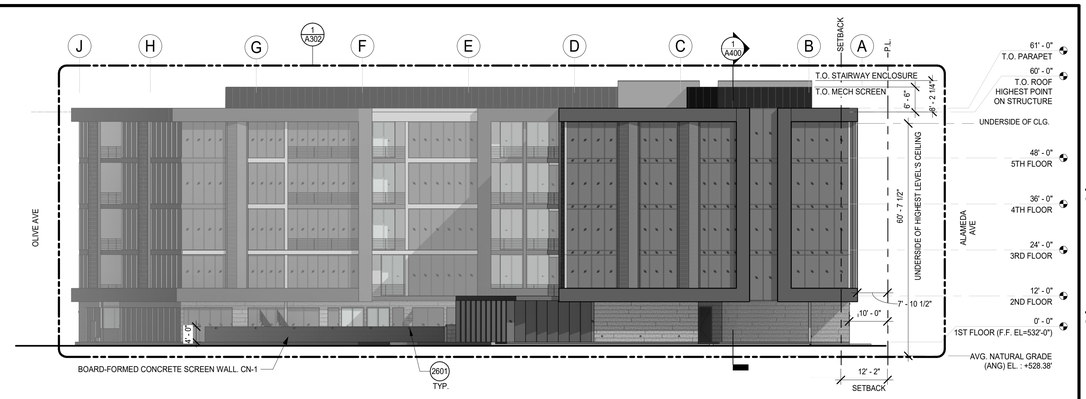
DRAWING TITLE:
FLOOR PLAN - P-2

SHEET NO:
A205

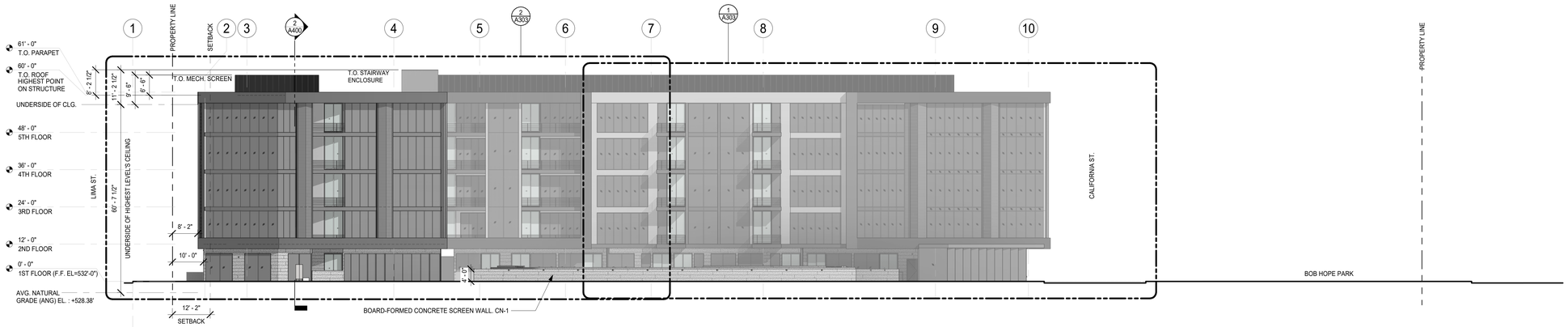
FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:41:06 PM



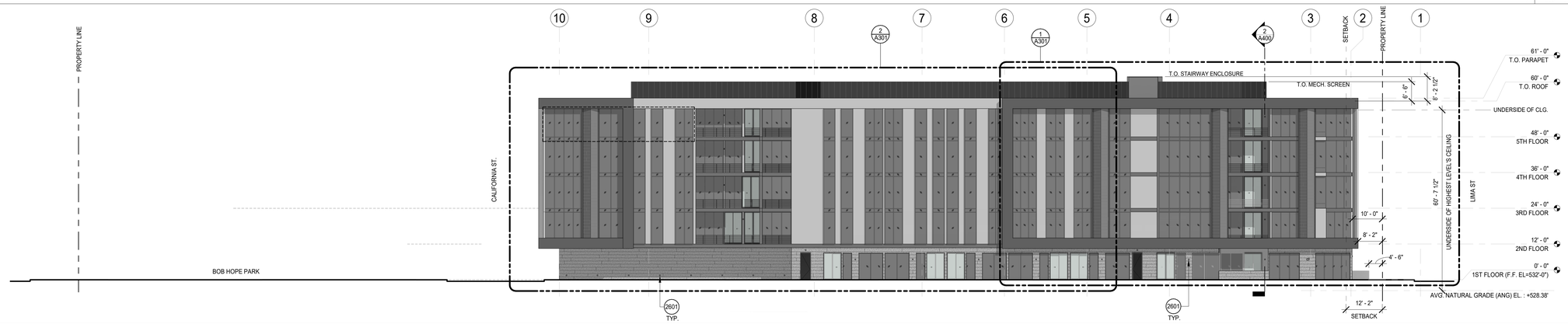
WEST ELEVATION (LIMA ST.) SCALE 1/16" = 1'-0" 4



EAST ELEVATION (CALIFORNIA ST.) SCALE 1/16" = 1'-0" 3



SOUTH ELEVATION (W. OLIVE AVE.) SCALE 1/16" = 1'-0" 2



NORTH ELEVATION (W. ALAMEDA AVE.) 1/16" = 1'-0" 1

MATERIAL FINISHES

FINISH NO.	DESCRIPTION	MANUFACTURER	SPECIFICATION	LOCATION	NOTES
CN-1	CONCRETE	-	BOARD-FORMED CONCRETE	SEE FINISH ELEVATION	DAVIS COLORS, DARK GREY (CARBON) 8084
MP-1	METAL PANEL	ALUMABOARD	ALUMABOARD FW-10: CHARCOAL	SEE FINISH ELEVATION	-
MP-2	METAL PANEL	METAL SALES	TLC-1, 22 GA. FLAT SEAM METAL PANEL	SEE FINISH ELEVATION	COLOR TO MATCH PT-1
ST-1	STEEL	-	STEEL BARSTOCK HANDRAIL	SEE FINISH ELEVATION	COLOR TO MATCH PT-2
WD-1	WOOD COMPOSITE PANEL	TRESPA	METEON-LOFT BROWN	SEE FINISH ELEVATION	-
WF-1	WALL FINISH	EIFS	EIFS, PAINTED	SEE FINISH ELEVATION	PAINTED PT-1

KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES

GLAZING PRODUCTS:
ARCADIA ACOUSTIC GLAZING PRODUCTS: T237 STC 43 DOUBLE GLAZED WITH OUTBOARD GLASS 1/2" THK, AIR SPACE OF 1/2", 1/4" INBOARD GLAZING.

LEGEND

N.I.C. — NOT IN CONTRACT

ALIGN — ALIGN ELEMENTS

FINISH SYMBOL

GLAZING

ABBREVIATION	FINISH TYPE
B	BASE FINISH
C	CARPET
GL	GLASS
P	PAINT
PL	PLASTIC LAMINATE
SC	SEALED CONCRETE
SDT	STATIC DISSIPATIVE TILE
SS	SOLID SURFACING
SST	STAINLESS STEEL
ST	STONE
SV	SHEET VINYL
T	TILE
VT	VINYL TILE
VCT	VINYL COMPOSITION TILE
W	WALL COVERING
WD	WOOD
WS	WAINSCOT
WT	WINDOW TREATMENT

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

WOLCOTT ARCHITECTURE
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CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

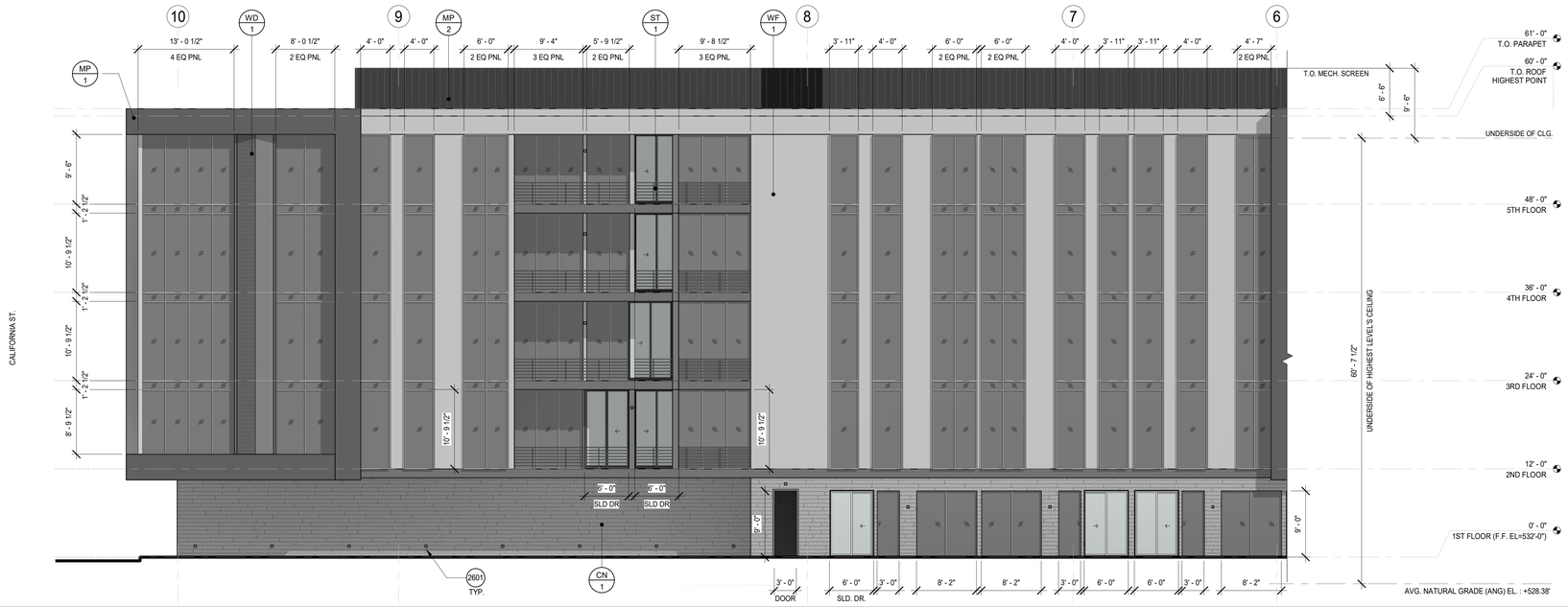
DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A300

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:42:09 PM



ENLARGED NORTH ELEVATION (W. ALAMEDA AVE.) | SCALE 1/8" = 1'-0" | 2

ENLARGED NORTH ELEVATION (W. ALAMEDA AVE.) | 1/8" = 1'-0" | 1

MATERIAL FINISHES

FINISH NO.	DESCRIPTION	MANUFACTURER	SPECIFICATION	LOCATION	NOTES
CN-1	CONCRETE	-	BOARD-FORMED CONCRETE	SEE FINISH ELEVATION	DAVIS COLORS, DARK GREY (CARBON) 8084
MP-1	METAL PANEL	ALUMABOARD	ALUMABOARD FW-10: CHARCOAL	SEE FINISH ELEVATION	-
MP-2	METAL PANEL	METAL SALES	TLC-1, 22 GA. FLAT SEAM METAL PANEL	SEE FINISH ELEVATION	COLOR TO MATCH PT-1
ST-1	STEEL	-	STEEL BARSTOCK HANDRAIL	SEE FINISH ELEVATION	COLOR TO MATCH PT-2
WD-1	WOOD COMPOSITE PANEL	TRESPA	METEON-LOFT BROWN	SEE FINISH ELEVATION	-
WF-1	WALL FINISH	EIFS	EIFS, PAINTED	SEE FINISH ELEVATION	PAINTED PT-1

KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES

GLAZING PRODUCTS:
ARCADIA ACOUSTIC GLAZING PRODUCTS: T237 STC 43 DOUBLE GLAZED WITH OUTBOARD GLASS 1/2" THK, AIR SPACE OF 1/2", 1/4" INBOARD GLAZING.

LEGEND

N.I.C. — NOT IN CONTRACT

ALIGN — ALIGN ELEMENTS

FINISH SYMBOL

GLAZING

ABBREVIATION	FINISH TYPE
B	BASE FINISH
C	CARPET
GL	GLASS
P	PAINT
PL	PLASTIC LAMINATE
SC	SEALED CONCRETE
SDT	STATIC DISSIPATIVE TILE
SS	SOLID SURFACING
SST	STAINLESS STEEL
ST	STONE
SV	SHEET VINYL
T	TILE
VT	VINYL TILE
VCT	VINYL COMPOSITION TILE
W	WALL COVERING
WD	WOOD
WS	WAINSCOT
WT	WINDOW TREATMENT

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

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310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

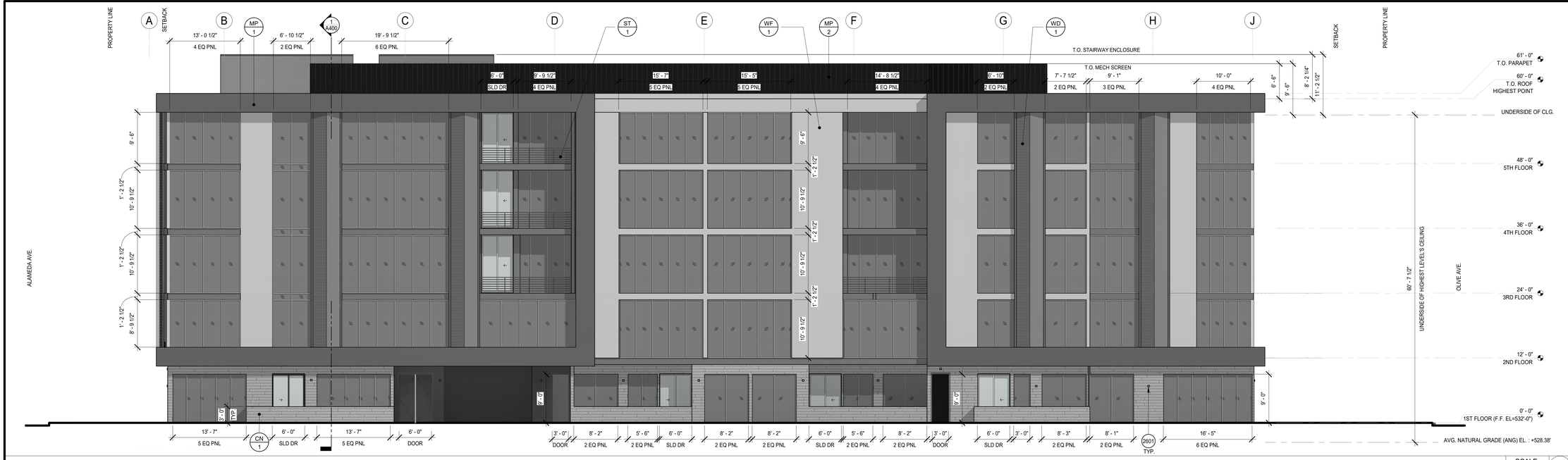
DRAWING SCALE: 1/8" = 1'-0"

SHEET SIZE: 30X42

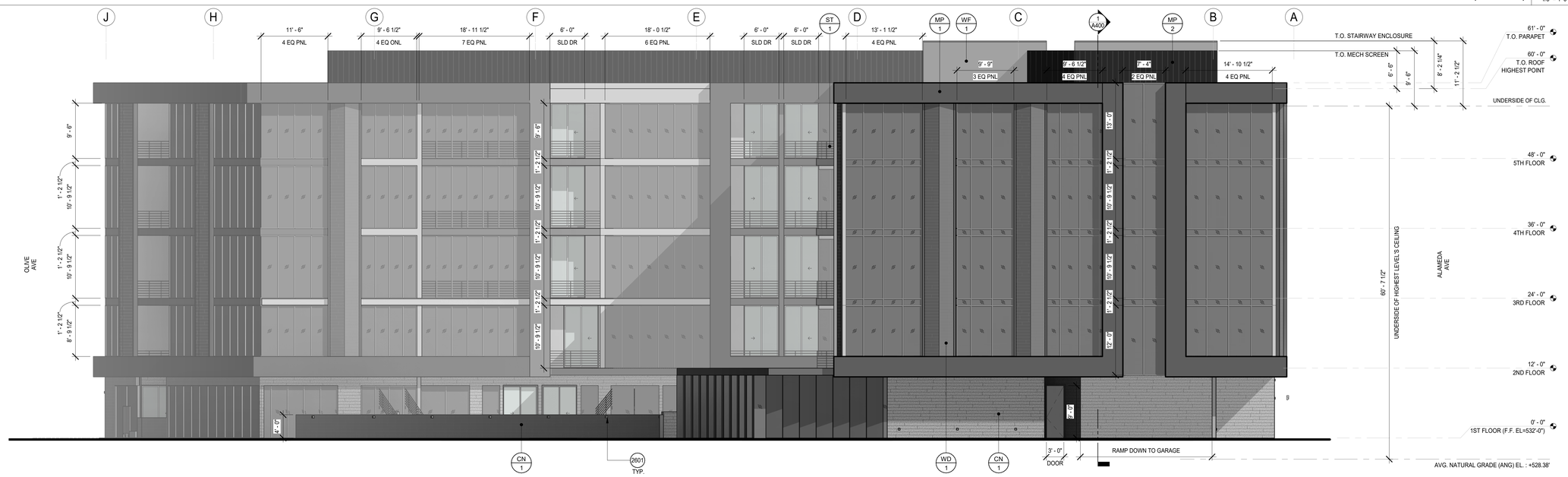
DRAWING TITLE:
ENLARGED EXTERIOR ELEVATIONS

SHEET NO: A301

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:42:37 PM



WEST ELEVATION (LIMA ST.) SCALE 1/8" = 1'-0" 2



EAST ELEVATION (CALIFORNIA ST.) 1/8" = 1'-0" 1

MATERIAL FINISHES

FINISH NO.	DESCRIPTION	MANUFACTURER	SPECIFICATION	LOCATION	NOTES
CN-1	CONCRETE	-	BOARD-FORMED CONCRETE	SEE FINISH ELEVATION	DAVIS COLORS, DARK GREY (CARBON) 8084
MP-1	METAL PANEL	ALUMABOARD	ALUMABOARD FW-10: CHARCOAL	SEE FINISH ELEVATION	-
MP-2	METAL PANEL	METAL SALES	TLC-22 GA. FLAT SEAM METAL PANEL	SEE FINISH ELEVATION	COLOR TO MATCH PT-1
ST-1	STEEL	-	STEEL BARSTOCK HANDRAIL	SEE FINISH ELEVATION	COLOR TO MATCH PT-2
WD-1	WOOD COMPOSITE PANEL	TRESPA	METEON-LOFT BROWN	SEE FINISH ELEVATION	-
WF-1	WALL FINISH	EIFS	EIFS, PAINTED	SEE FINISH ELEVATION	PAINTED PT-1

KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES

GLAZING PRODUCTS:
ARCADIA ACOUSTIC GLAZING PRODUCTS: T237 STC 43 DOUBLE GLAZED WITH OUTBOARD GLASS 1/2" THK, AIR SPACE OF 1/2", 1/4" INBOARD GLAZING.

LEGEND

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ALIGN — ALIGN ELEMENTS

FINISH SYMBOL

GLAZING

ABBREVIATION	FINISH TYPE
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SST	STAINLESS STEEL
ST	STONE
SV	SHEET VINYL
T	TILE
VT	VINYL TILE
VCT	VINYL COMPOSITION TILE
W	WALL COVERING
WD	WOOD
WS	WAINSCOT
WT	WINDOW TREATMENT

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

FILE NAME: BIM 360/21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenterResi.rvt
DATE STAMP: 6/22/2022 2:43:52 PM

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

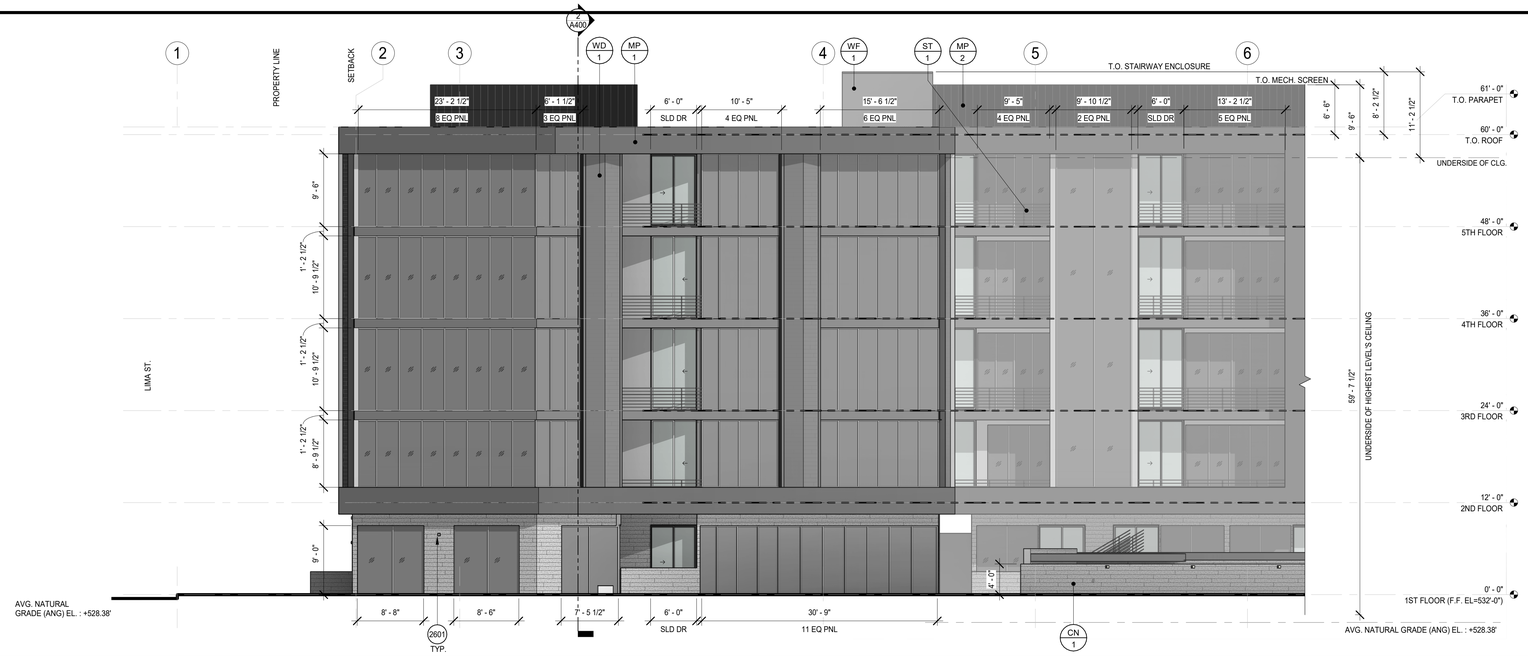
PROJECT MANAGER: CC

DRAWING SCALE: 1/8" = 1'-0"

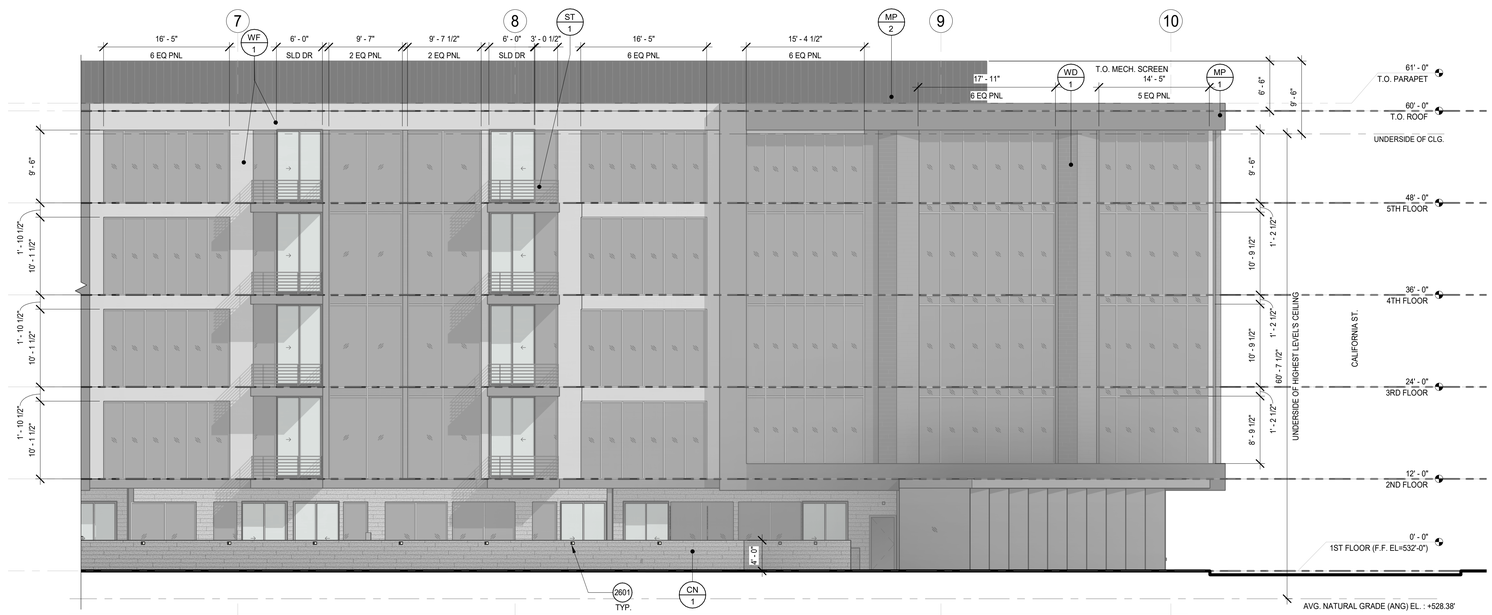
SHEET SIZE: 30X42

DRAWING TITLE:
ENLARGED EXTERIOR ELEVATIONS

SHEET NO:
A302



SOUTH ELEVATION (W. OLIVE AVE.) - Callout 1 | SCALE 1/8" = 1'-0" | 2



SOUTH ELEVATION (W. OLIVE AVE.) | 1/8" = 1'-0" | 1

MATERIAL FINISHES

FINISH NO.	DESCRIPTION	MANUFACTURER	SPECIFICATION	LOCATION	NOTES
CN-1	CONCRETE	-	BOARD-FORMED CONCRETE	SEE FINISH ELEVATION	DAVIS COLORS, DARK GREY (CARBON) 8084
MP-1	METAL PANEL	ALUMABOARD	ALUMABOARD FW-10: CHARCOAL	SEE FINISH ELEVATION	-
MP-2	METAL PANEL	METAL SALES	TLC-1, 22 GA. FLAT SEAM METAL PANEL	SEE FINISH ELEVATION	COLOR TO MATCH PT-1
ST-1	STEEL	-	STEEL BARSTOCK HANDRAIL	SEE FINISH ELEVATION	COLOR TO MATCH PT-2
WD-1	WOOD COMPOSITE PANEL	TRESPA	METEON-LOFT BROWN	SEE FINISH ELEVATION	-
WF-1	WALL FINISH	EIFS	EIFS, PAINTED	SEE FINISH ELEVATION	PAINTED PT-1

KEYNOTES

2601 (N) EXTERIOR WALL MOUNTED LIGHTING BY SISTEMALUX OR EQUIV.

GENERAL NOTES

1. (N) EXTERIOR GLAZING SYSTEMS BY ARCADIA OR EQUIV. MFR.
2. (N) EXTERIOR WINDOW SYSTEMS BY ARCADIA OR EQUIV. MFR.
3. (N) EXTERIOR DOOR SYSTEMS BY ARCADIA OR EQUIV. MFR.
4. SEE MATERIAL FINISH LEGEND FOR OTHER MATERIAL FINISHES

GLAZING PRODUCTS:
ARCADIA ACOUSTIC GLAZING PRODUCTS: T237 STC 43 DOUBLE GLAZED WITH OUTBOARD GLASS 1/2" THK, AIR SPACE OF 1/2", 1/4" INBOARD GLAZING.

LEGEND

N.I.C. — NOT IN CONTRACT

ALIGN — ALIGN ELEVATIONS

FINISH SYMBOL

GLAZING

ABBREVIATION	FINISH TYPE
B	BASE FINISH
C	CARPET
GL	GLASS
P	PAINT
PL	PLASTIC LAMINATE
SC	SEALED CONCRETE
SDT	STATIC DISSIPATIVE TILE
SS	SOLID SURFACING
SST	STAINLESS STEEL
ST	STONE
SV	SHEET VINYL
T	TILE
VT	VINYL TILE
VCT	VINYL COMPOSITION TILE
W	WALL COVERING
WD	WOOD
WS	WAINSCOT
WT	WINDOW TREATMENT

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

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PROJECT:

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BURBANK, CA 91505

FLOOR/LEVEL:

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SIGNATURE: DATE: -

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DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

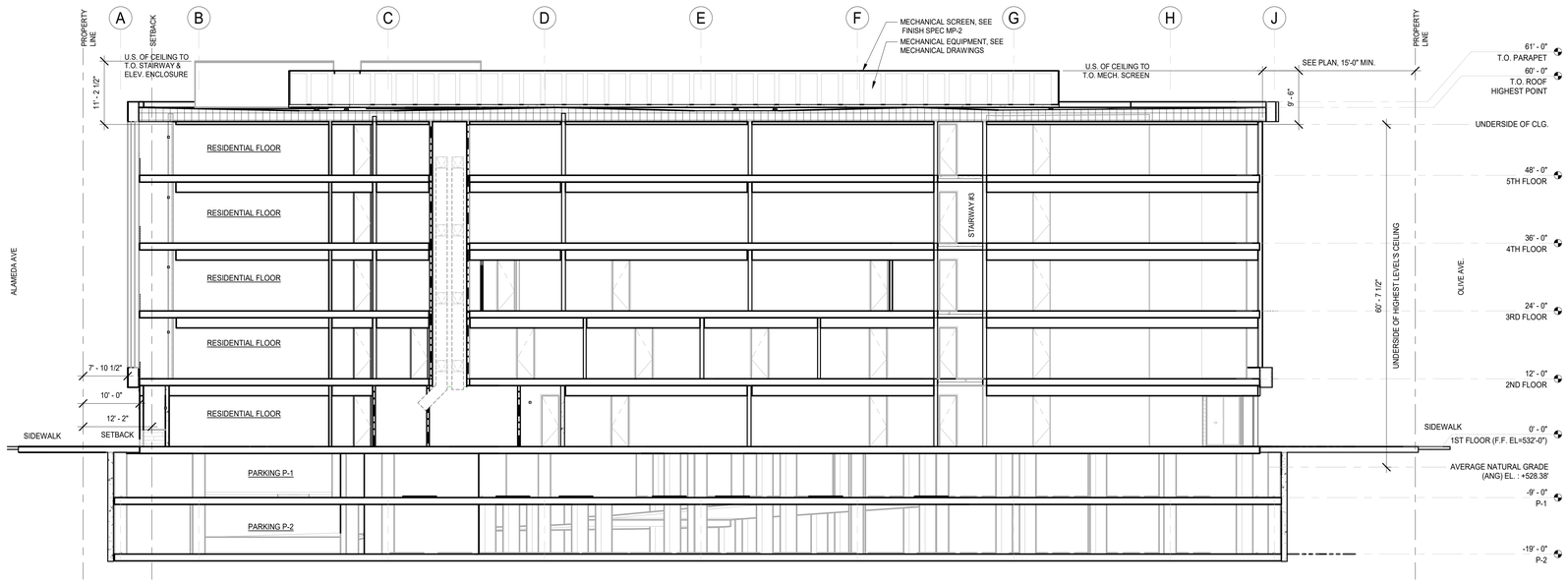
DRAWING SCALE: 1/8" = 1'-0"

SHEET SIZE: 30X42

DRAWING TITLE:
ENLARGED EXTERIOR ELEVATIONS

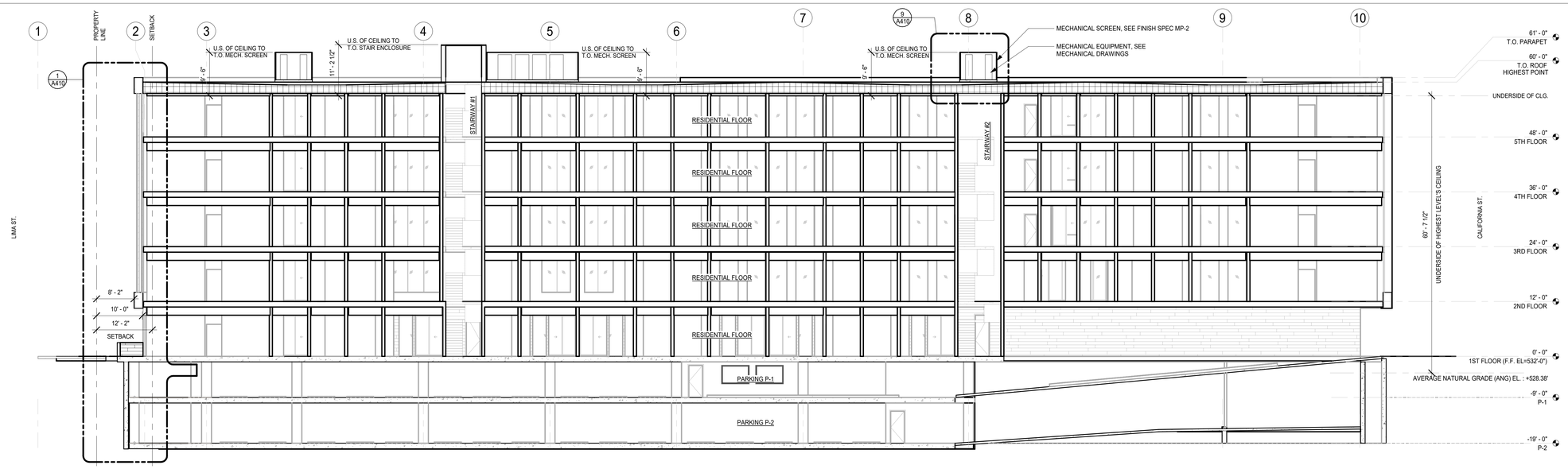
SHEET NO:
A303

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:14 PM



NORTH-SOUTH SECTION 2

3/32" = 1'-0"



EAST-WEST SECTION 1

3/32" = 1'-0"

KEYNOTES

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

LEGEND

N.I.C.	NOT IN CONTRACT
ALIGN	ALIGN ELEMENTS
	MATERIAL
	MATERIAL
	MATERIAL

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FLOOR/LEVEL:

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:

BUILDING SECTIONS

SHEET NO: A400

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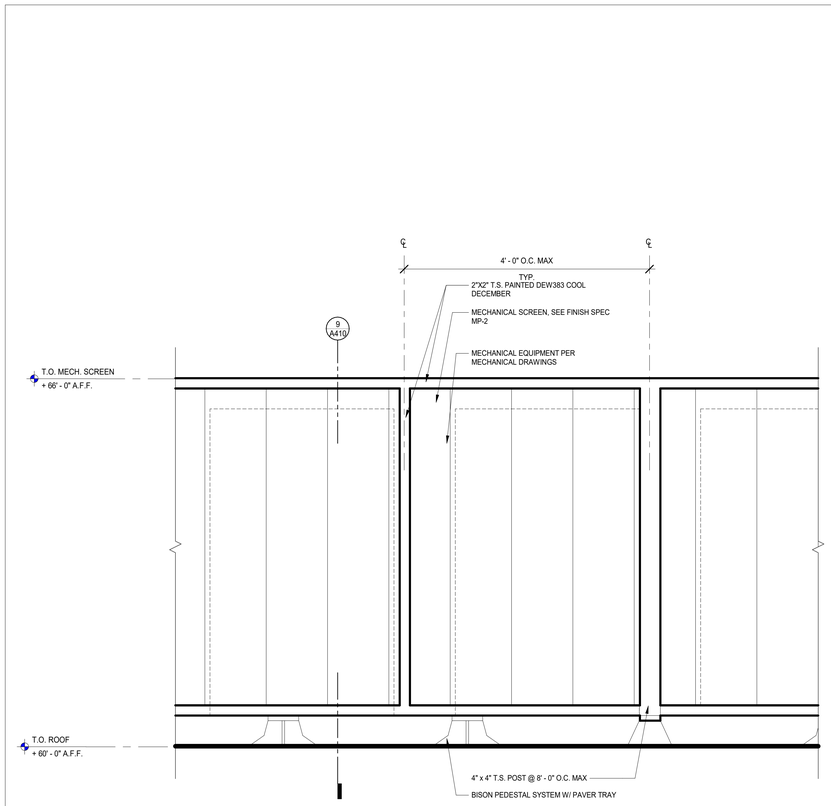
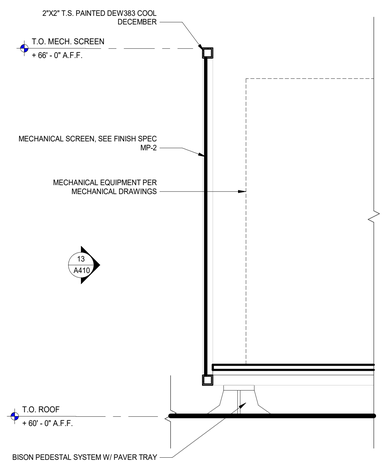
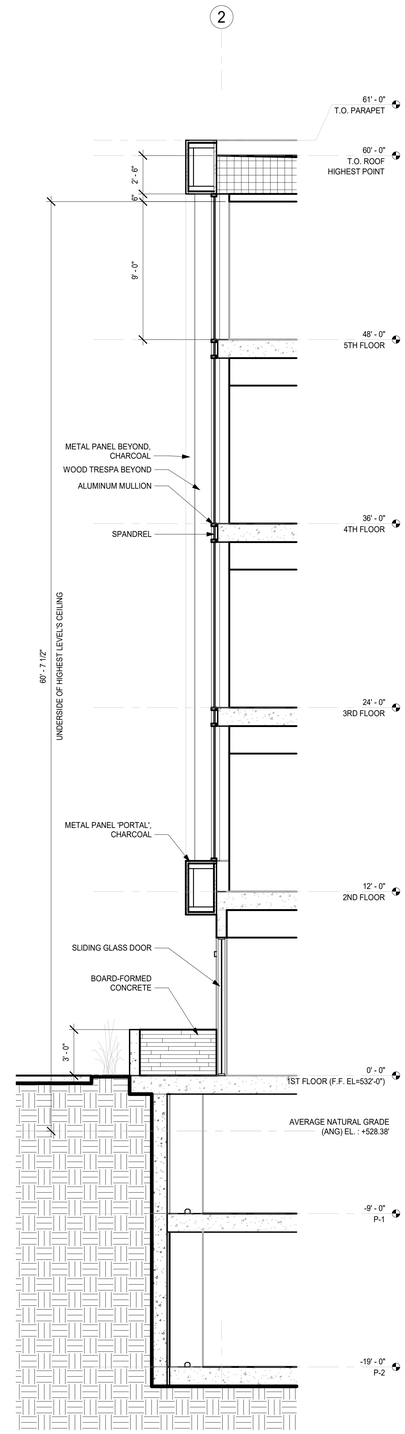
DATE STAMP: 6/22/2022 2:44:15 PM



SECTION DETAIL @ MECHANICAL SCREEN | SCALE 1" = 1'-0" | 13



SECTION DETAIL @ MECH. SCREEN | SCALE 1" = 1'-0" | 9



WALL SECTION @ GRID-LINE 2 | SCALE 1/4" = 1'-0" | 1

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FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:
ENLARGED SECTIONS

SHEET NO: A410

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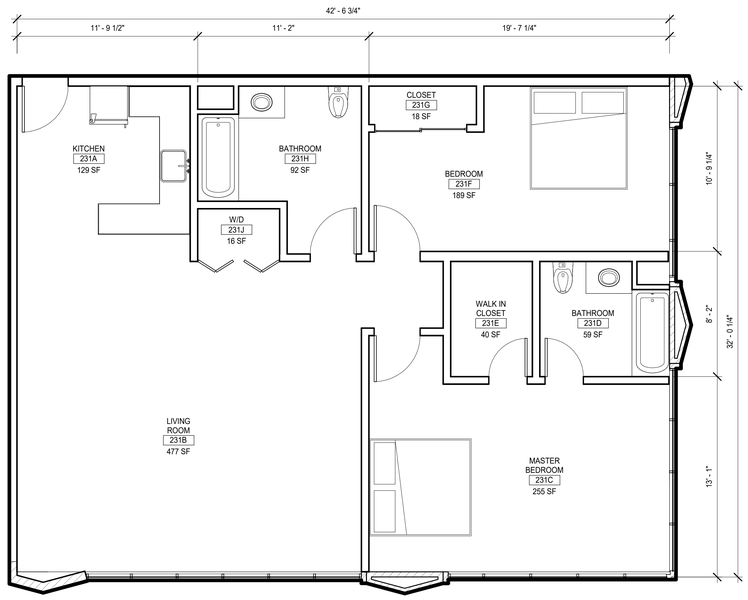
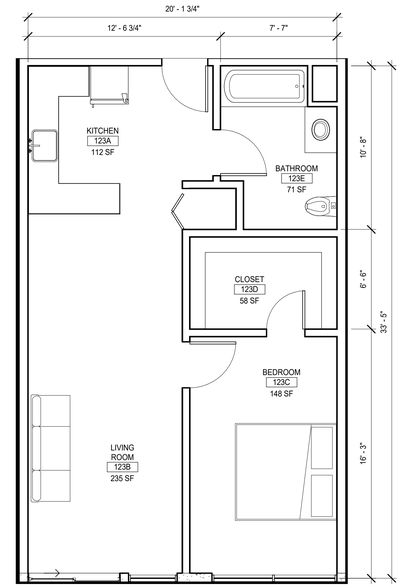
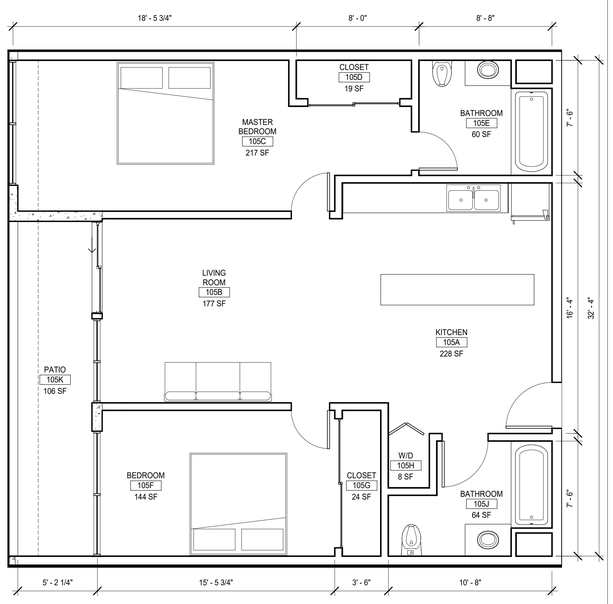
DATE STAMP: 6/22/2022 2:44:16 PM



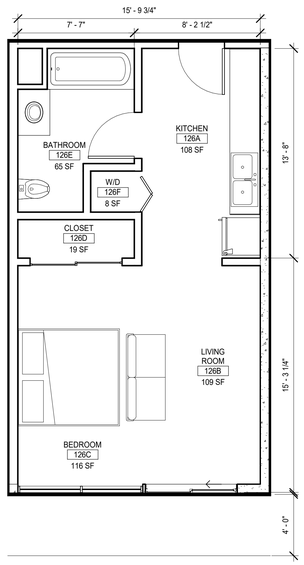
ENLARGED PLAN - TYP. 2-BED CORNER UNIT | SCALE 1/4" = 1'-0" | 7



ENLARGED PLAN - TYP. 1-BED FLOOR PLAN | SCALE 1/4" = 1'-0" | 3



ENLARGED PLAN - TYP. 2-BED FLOOR PLAN | SCALE 1/4" = 1'-0" | 5



ENLARGED PLAN - TYP. STUDIO FLOOR PLAN | SCALE 1/4" = 1'-0" | 1

KEYNOTES

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.

LEGEND

N.I.C.	NOT IN CONTRACT	ALIGN	ALIGN ELEMENTS
	EXISTING MILLWORK	RM NAME #	ROOM NAME AND NUMBER
	NEW MILLWORK	F.E.C.	FIRE EXTINGUISHER CABINET
	EXISTING PARTITION		NEW PLUMBING FIXTURES
	EXISTING DOOR	A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A720
	NEW PARTITION PER PLAN	A-#	FINISH SYMBOL
C#	WALL TAG. REFER TO A700		
7" MAX. 4" TYP.	NEW DOOR		
1001	DOOR NUMBER. REFER TO A710		
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.		
##	WINDOW TAG. REFER TO A710		

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PROJECT:

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

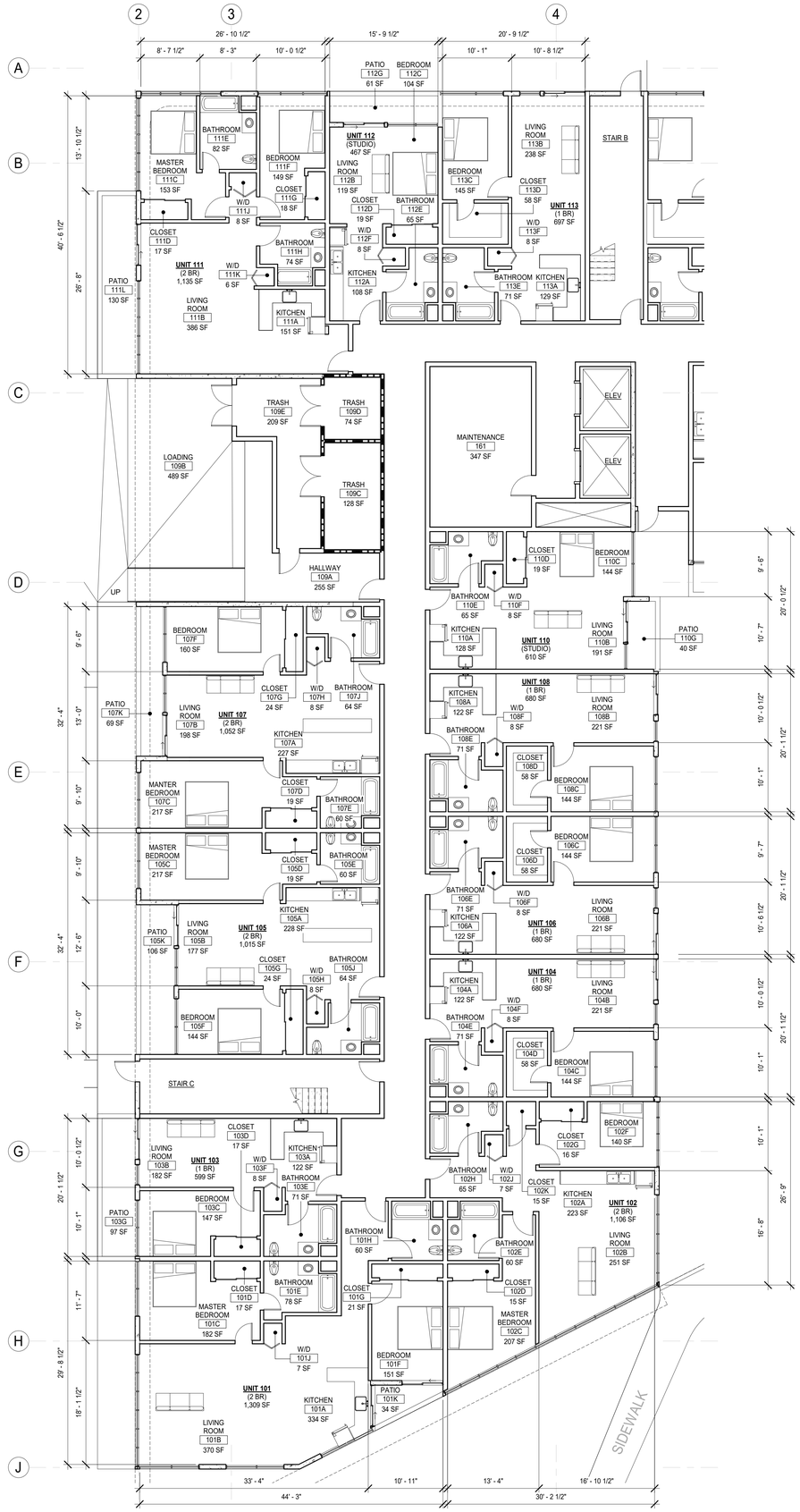
DRAWING TITLE:

ENLARGED PLANS - TYP. UNITS

SHEET NO:

A600

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:16 PM



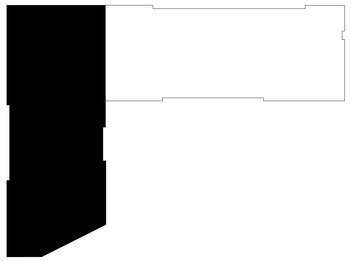
ENLARGED FLOOR PLAN 1ST FLOOR - AREA A

1/8" = 1'-0"

1

KEYNOTES

KEYPLAN AREA A



GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
3. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME BY JURISDICTION HAVING AUTHORITY.
4. IN NO CASE SHALL DIMENSIONS OR OBJECTS OF ANY KIND BE SCALED FROM ANY DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES OR CLARIFICATIONS TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH ANY RELATED WORK.
5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.

LEGEND

- N.I.C. — NOT IN CONTRACT
- ALIGN — ALIGN ELEMENTS
- EXISTING MILLWORK
- RM NAME # — ROOM NAME AND NUMBER
- NEW MILLWORK
- F.E.C. — FIRE EXTINGUISHER CABINET
- EXISTING PARTITION
- NEW PLUMBING FIXTURES
- EXISTING DOOR
- C# — WALL TAG. REFER TO A800
- NEW PARTITION PER PLAN
- 7" MAX. 4" TYP. — NEW DOOR
- 1001 — DOOR NUMBER. REFER TO A700
- ## — WINDOW TAG. REFER TO A700
- NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
- A — NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

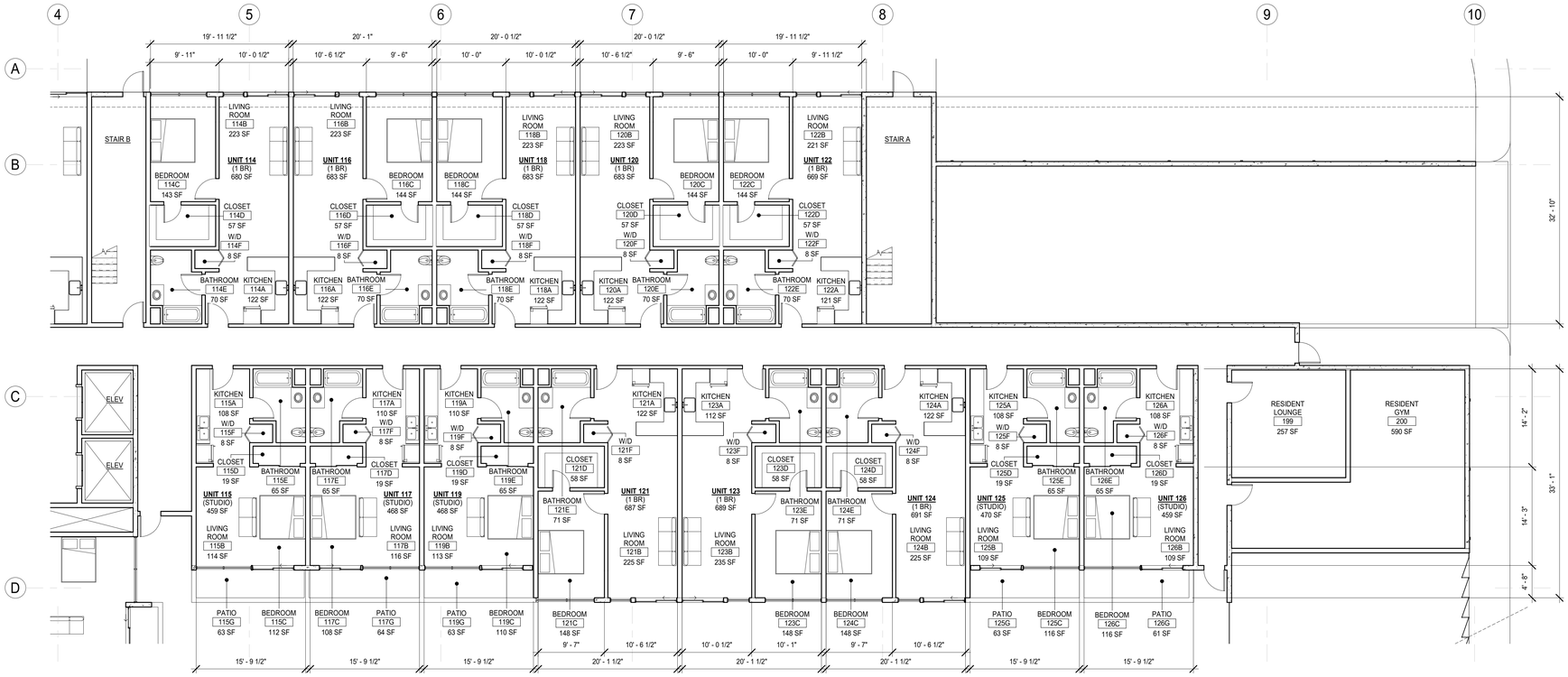
DRAWING TITLE:

ENLARGED PLAN 1ST FLOOR - AREA A

SHEET NO:

A601

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenterResi.rvt
DATE STAMP: 6/22/2022 2:44:16 PM



ENLARGED FLOOR PLAN 1ST FLOOR - AREA B

1/8" = 1'-0"

1

KEYNOTES

KEYPLAN AREA B

GENERAL NOTES

1. SEE SHEETS A003 AND A004 FOR GENERAL NOTES.
2. REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS LEGEND.
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5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
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8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
13. REFER TO SHEET A800 FOR WALL TYPES.
14. REFER TO SHEET A700 FOR DOOR SCHEDULE AND DETAILS AND WINDOW SCHEDULE AND DETAILS.
15. REFER TO SHEET A710 FOR FINISH, LIGHT FIXTURE, APPLIANCE, EQUIPMENT, AND PLUMBING FIXTURE SCHEDULES.

LEGEND

N.I.C.	NOT IN CONTRACT	ALIGN	ALIGN ELEMENTS
	EXISTING MILLWORK	RM NAME #	ROOM NAME AND NUMBER
	NEW MILLWORK	F.E.C.	FIRE EXTINGUISHER CABINET
	EXISTING PARTITION		NEW PLUMBING FIXTURES
	EXISTING DOOR		
C#	WALL TAG. REFER TO A800		
	NEW PARTITION PER PLAN		
4" TYP. 7" MAX.	NEW DOOR		
1001	DOOR NUMBER. REFER TO A700		
##	WINDOW TAG. REFER TO A700		
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.		
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710		

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

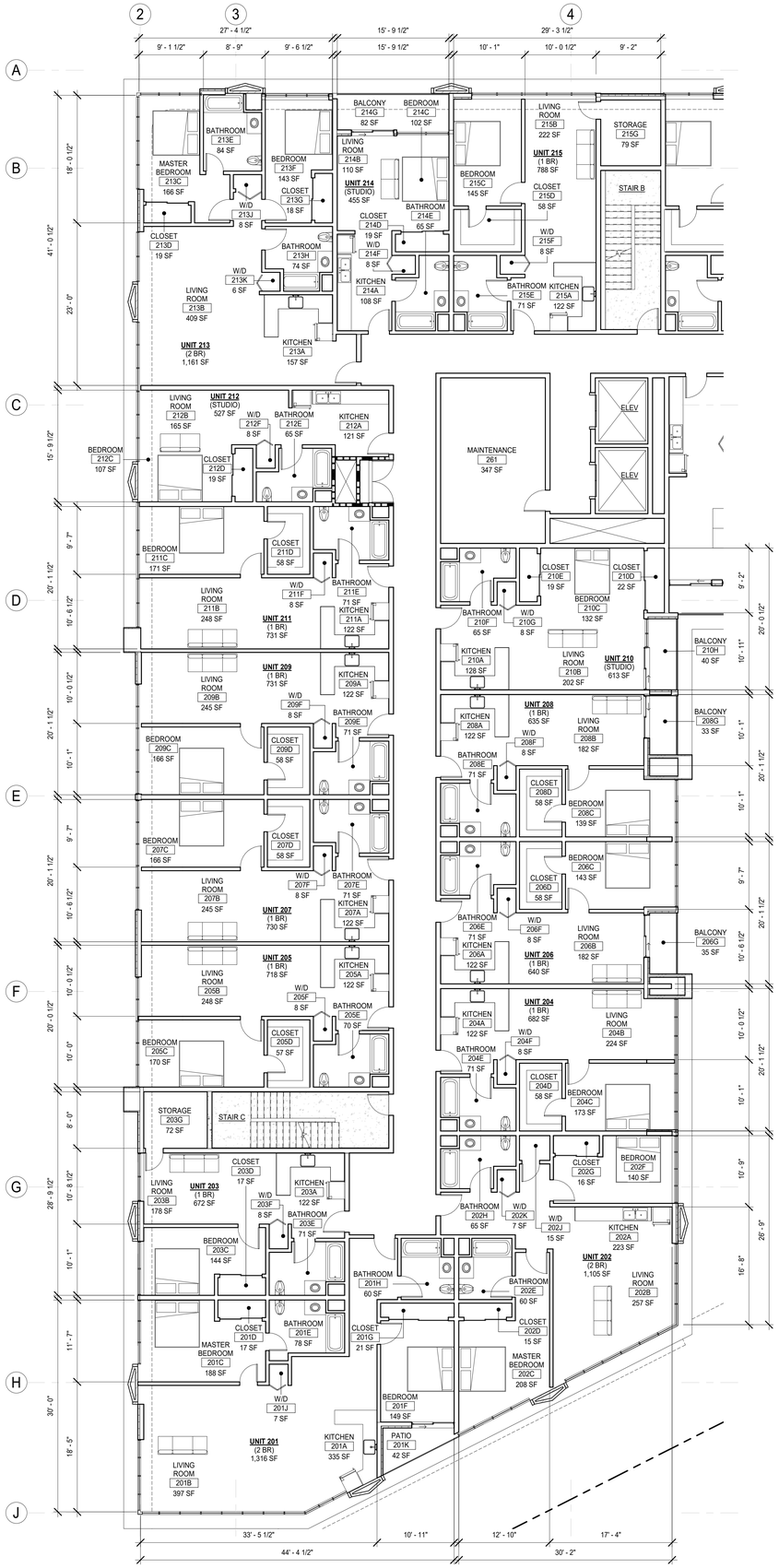
DRAWING TITLE:

ENLARGED PLAN 1ST FLOOR - AREA B

SHEET NO:

A602

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:17 PM



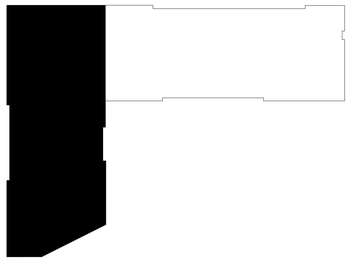
ENLARGED FLOOR PLAN 2ND FLOOR - AREA A

1/8" = 1'-0"

1

KEYNOTES

KEYPLAN AREA A



GENERAL NOTES

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5. ALL DIMENSIONS ARE TO FACE STUD U.O.N. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND/OR TOP OF CONCRETE UNDERLAYMENT U.O.N. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES U.O.N.
6. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED WHEN FINISH MATERIALS ARE INSTALLED.
7. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES, GRAB BARS, MILLWORK.
8. ALL WOOD FRAMING IN EXTERIOR WALLS TO BE FIRE-RETARDANT TREATED WOOD COMPLYING WITH CBC SECTION 2303.2. WOOD FRAMING TO INCLUDE, BUT NOT LIMITED TO: STUDS, BLOCKING, EXTERIOR PLYWOOD SHEATHING, SILL PLATES, TOP PLATES, ETC.
9. ADJUST FRAMING CONFIGURATION AT ALL FAN COIL UNITS WITHIN FLOOR/ CEILING ASSEMBLY AS REQUIRED TO MAINTAIN FIRE-RATED ASSEMBLY. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. ALL WOOD FRAMING IN CONTACT WITH CONCRETE IS TO BE PRESSURE TREATED.
11. ALL FINISH WALL SURFACES TO BE FLUSH U.O.N. PROVIDE FURRING AS REQUIRED.
12. ALL GYPSUM BOARD WALLS AND CEILINGS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.O.N.
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LEGEND

- N.I.C. — NOT IN CONTRACT
- EXISTING MILLWORK
- NEW MILLWORK
- EXISTING PARTITION
- EXISTING DOOR
- C# — WALL TAG. REFER TO A800
- NEW PARTITION PER PLAN
- 4" TYP. / 7" MAX. — NEW DOOR
- 1001 — DOOR NUMBER. REFER TO A700
- ## — WINDOW TAG. REFER TO A700
- NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
- A — NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710
- ALIGN — ALIGN ELEMENTS
- RM NAME # — ROOM NAME AND NUMBER
- F.E.C. — FIRE EXTINGUISHER CABINET
- NEW PLUMBING FIXTURES

WOLCOTT ARCHITECTURE
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CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

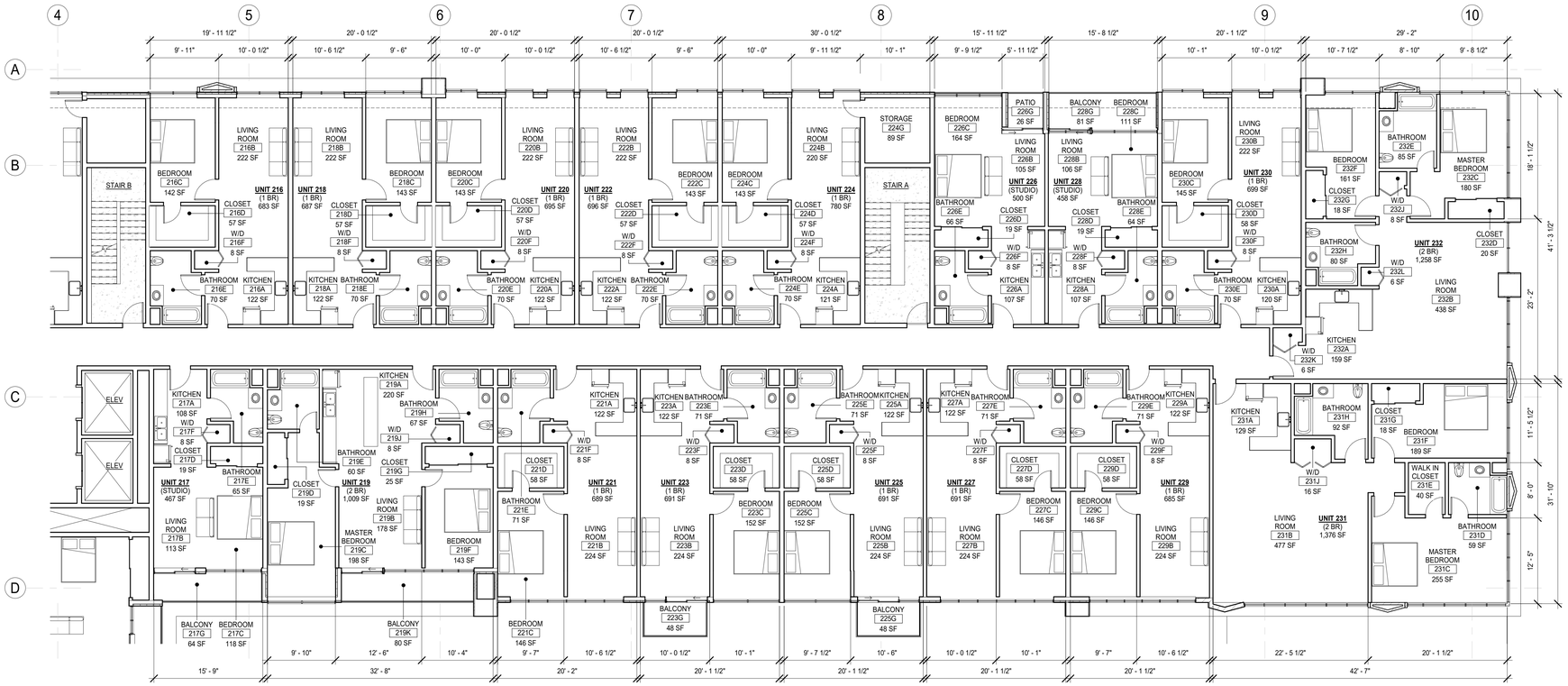
DRAWING TITLE:

ENLARGED PLAN 2ND FLOOR - AREA A

SHEET NO:

A603

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:17 PM



ENLARGED FLOOR PLAN 2ND FLOOR - AREA B

1/8" = 1'-0"

1

KEYNOTES

KEYPLAN AREA B

[redacted]

GENERAL NOTES

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LEGEND

N.I.C.	NOT IN CONTRACT	ALIGN	ALIGN ELEMENTS
	EXISTING MILLWORK	RM NAME #	ROOM NAME AND NUMBER
	NEW MILLWORK	F.E.C.	FIRE EXTINGUISHER CABINET
	EXISTING PARTITION		NEW PLUMBING FIXTURES
	EXISTING DOOR		
C#	WALL TAG. REFER TO A800		
	NEW PARTITION PER PLAN		
4" TYP. 7" MAX.	NEW DOOR		
1001	DOOR NUMBER. REFER TO A700		
##	WINDOW TAG. REFER TO A700		
	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.		
A	NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710		

WOLCOTT ARCHITECTURE
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CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

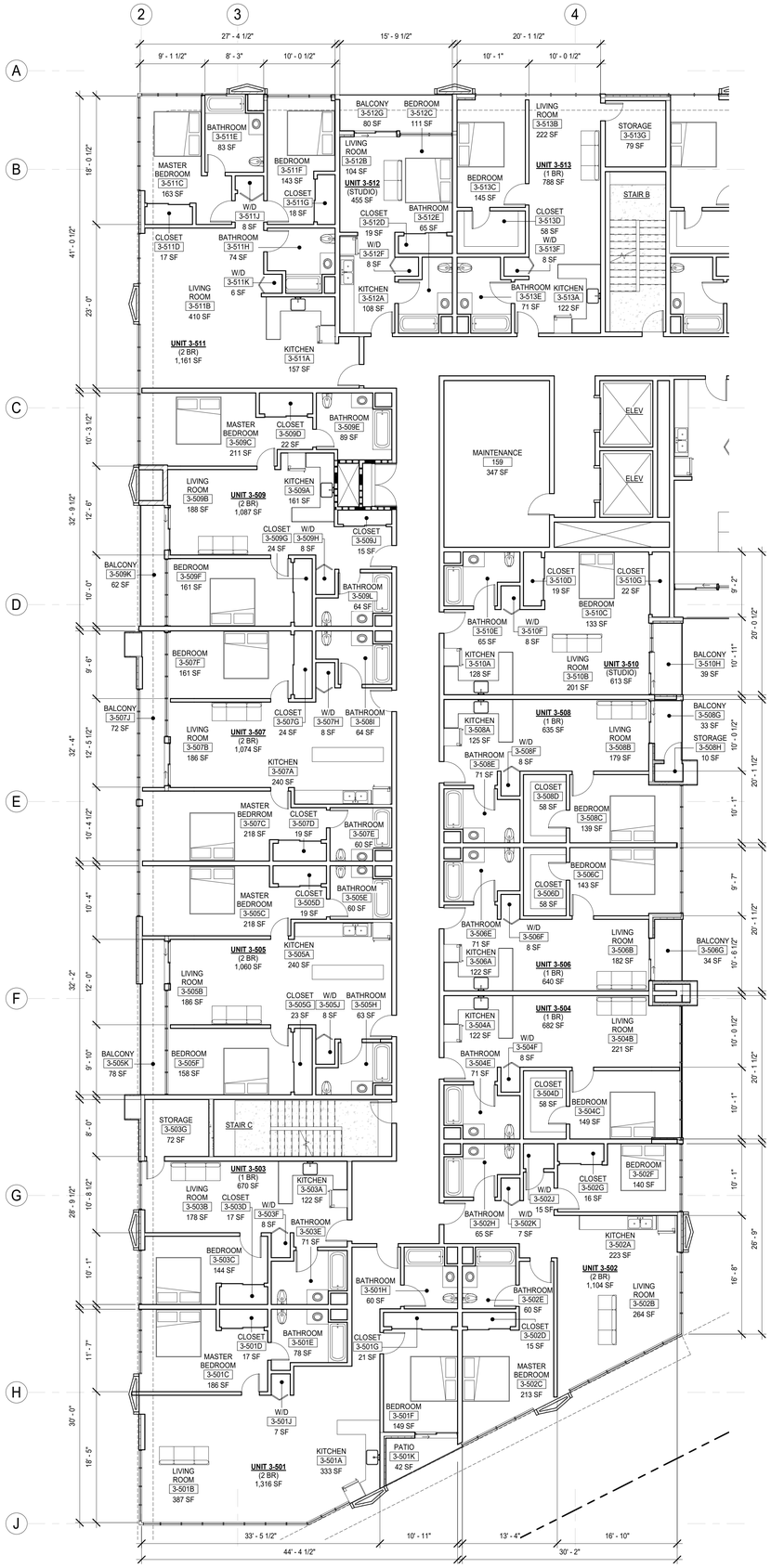
DRAWING TITLE:

ENLARGED PLAN 2ND FLOOR- AREA B

SHEET NO:

A604

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:18 PM



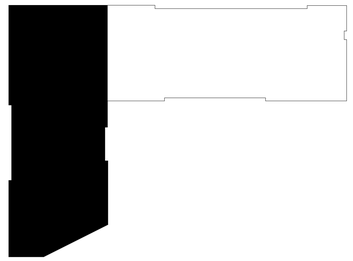
ENLARGED FLOOR PLAN 3RD-5TH FLOORS - AREA A

1/8" = 1'-0"

1

KEYNOTES

KEYPLAN AREA A



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LEGEND

- N.I.C. — NOT IN CONTRACT
- EXISTING MILLWORK
- NEW MILLWORK
- EXISTING PARTITION
- EXISTING DOOR
- C# — WALL TAG. REFER TO A800
- NEW PARTITION PER PLAN
- 4" TYP. / 7" MAX. — NEW DOOR
- 1001 — DOOR NUMBER. REFER TO A700
- ## — WINDOW TAG. REFER TO A700
- NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.
- A — NEW PLUMBING FIXTURE, APPLIANCE, OR EQUIPMENT. REFER TO A710
- ALIGN — ALIGN ELEMENTS
- RM NAME / # — ROOM NAME AND NUMBER
- F.E.C. — FIRE EXTINGUISHER CABINET
- NEW PLUMBING FIXTURES

WOLCOTT ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
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CONSULTANT:

CERTIFICATION:

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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

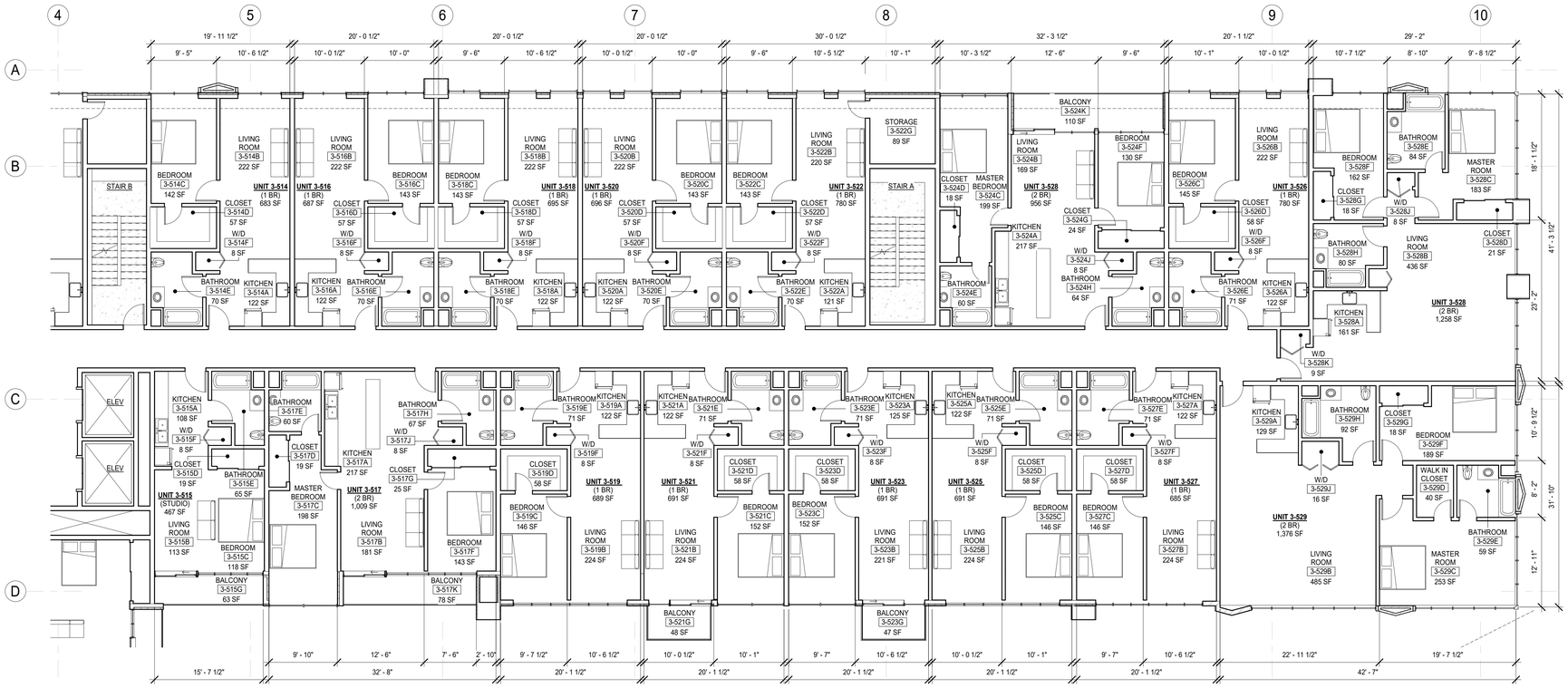
DRAWING TITLE:

ENLARGED PLAN
3RD-5TH FLOORS - A

SHEET NO:

A605

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenterResi.rvt
DATE STAMP: 6/22/2022 2:44:18 PM



KEYNOTES

KEYPLAN AREA B

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LEGEND

N.I.C.	NOT IN CONTRACT	ALIGN	ALIGN ELEMENTS
	EXISTING MILLWORK	RM NAME #	ROOM NAME AND NUMBER
	NEW MILLWORK	F.E.C.	FIRE EXTINGUISHER CABINET
	EXISTING PARTITION		NEW PLUMBING FIXTURES
	EXISTING DOOR		
C#	WALL TAG. REFER TO A800		
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4" TYP. 7" MAX.	NEW DOOR		
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	NEW GLAZING OR STOREFRONT SYSTEM PER SCHEDULE.		
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ENLARGED FLOOR PLAN 3RD-5TH FLOORS - AREA B

1/8" = 1'-0"

1

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DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

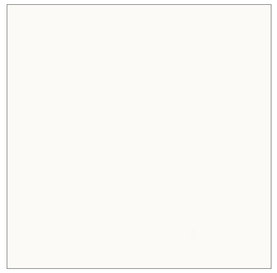
DRAWING TITLE:

ENLARGED PLAN
3RD-5TH FLOORS - B

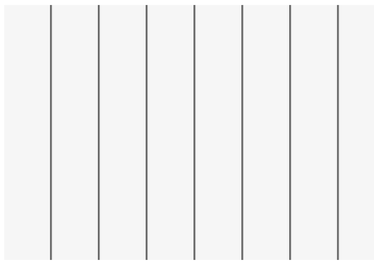
SHEET NO:

A606

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:19 PM



PT-1 (PAINT, EIFS) | SCALE N.T.S. | 4



MP-2 (FLAT-SEAM METAL PANEL TLC-1) | SCALE N.T.S. | 3

WD-1 (WOOD PANEL-TRESPA) | SCALE N.T.S. | 6

MP-1 (METAL PANEL) | SCALE N.T.S. | 2

PT-2 (PAINT, STEEL) | SCALE N.T.S. | 5

CN-1 (BOARD-FORMED CONCRETE) | SCALE N.T.S. | 1

FINISH SCHEDULE

FINISH NO.	DESCRIPTION	MANUFACTURER	SPECIFICATION	LOCATION	NOTES
CN-1	CONCRETE	-	BOARD-FORMED CONCRETE	SEE FINISH ELEVATION	DAVIS COLORS, DARK GREY (CARBON) 8084
MP-1	METAL PANEL	ALUMABOARD	ALUMABOARD FW-10: CHARCOAL	SEE FINISH ELEVATION	-
MP-2	METAL PANEL	METAL SALES	TLC-1, 22 GA. FLAT SEAM METAL PANEL	SEE FINISH ELEVATION	COLOR TO MATCH PT-1
ST-1	STEEL	-	STEEL BARSTOCK HANDRAIL	SEE FINISH ELEVATION	COLOR TO MATCH PT-2
WD-1	WOOD COMPOSITE PANEL	TRESPA	METEON-LOFT BROWN	SEE FINISH ELEVATION	-
WF-1	WALL FINISH	EIFS	EIFS, PAINTED	SEE FINISH ELEVATION	PAINTED PT-1

WOLCOTT
ARCHITECTURE
527 W. 7TH ST., STE 1304, LOS ANGELES, CA 90014
310.204.2290 | WWW.WOLCOTTAI.COM

CONSULTANT:

CERTIFICATION:

NOT FOR CONSTRUCTION. DRAWINGS ARE FOR CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO REVIEW AND APPROVAL FROM LOCAL JURISDICTION.

PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
	06.22.22	PLANNING DEVELOPMENT STANDARDS SUBMITTAL

CLIENT SIGNATURE:

SIGNATURE: DATE: -

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PROJECT NO: 21-2779-1

DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: 1 1/2" = 1'-0"

SHEET SIZE: 30X42

DRAWING TITLE:

SCHEDULE - FINISH AND FIXTURE

SHEET NO:

A710

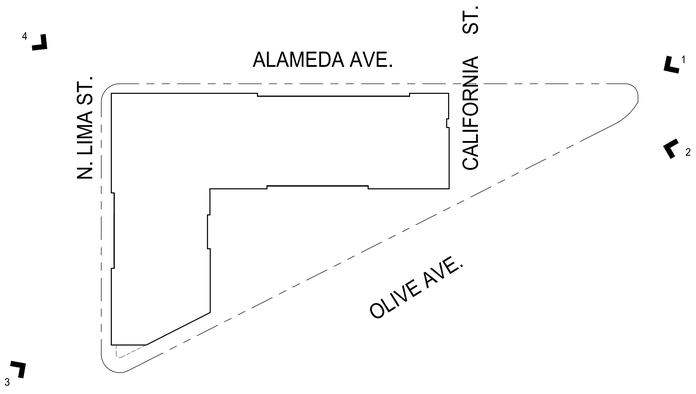
FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:19 PM

ALAMEDA & LIMA | SCALE 12" = 1'-0" | 4

OLIVE AND LIMA | SCALE 12" = 1'-0" | 3

OLIVE & ALAMEDA | SCALE 12" = 1'-0" | 2

ALAMEDA & OLIVE | SCALE 12" = 1'-0" | 1



KEYPLAN - VIEWS - PHOTOS | SCALE 1" = 50'-0" | 9

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
DATE STAMP: 6/22/2022 2:44:19 PM

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DRAWN BY: RM, CS, GD CHECKED BY: SL

PROJECT MANAGER: CC

DRAWING SCALE: As indicated

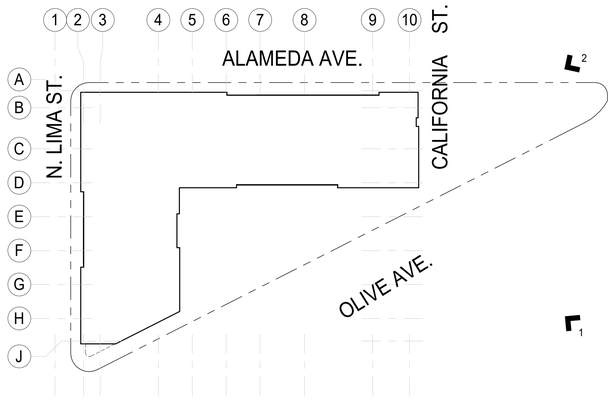
SHEET SIZE: 30X42

DRAWING TITLE:
SITE CONTEXT PHOTOS

SHEET NO: A900

BOB HOPE PARK | SCALE N.T.S. | 3

AERIAL RENDER | SCALE N.T.S. | 1



KEYPLAN - VIEWS | SCALE N.T.S. | 9

FILE NAME: BIM 360://21-2779-1 Bob Hope Center/21-2779-1 BobHopeCenter-Resi.rvt
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WOLCOTT
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PROJECT:

BOB HOPE CENTER - RESIDENTIAL

3201 W OLIVE AVE.
BURBANK, CA 91505

FLOOR/LEVEL:

ISSUE OR REVISION NOTES:

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PROJECT MANAGER: CC

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:
VIEWS AND IMAGES

SHEET NO: A901

13 NORTHSIDE GARDEN

14 COMMUNAL SEATING AREA

15 CIRCULAR PLAZAS

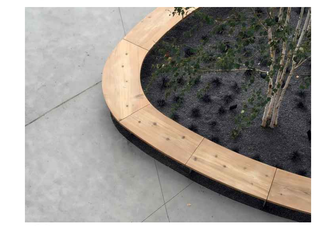
16 SEATING WITH FLAGSTONE STONE

17 SCULPTURE AREA

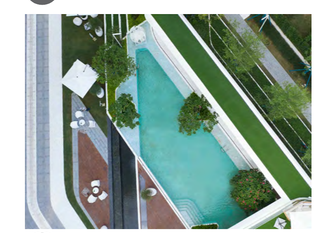
18 PARK ENTRY GARDEN

1 RESIDENTAIL ENTRANCE

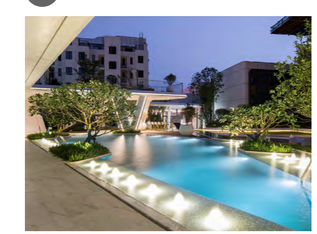
2 RAISED PLANTING AREA



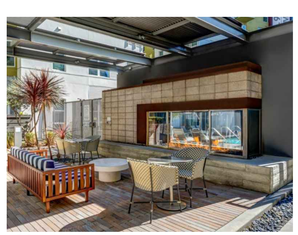
3 BANQUETTE SEATING



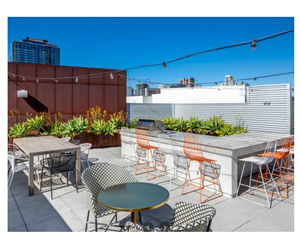
4 POOL



5 POOL WITH BAJA SHELF



12 FIREPLACE WITH SEATING AND DECK AREA

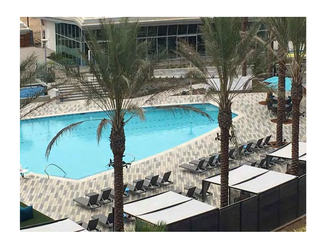


11 BUILT-IN BBQ AREA

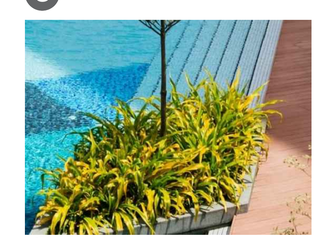
10 POOL WOOD DECK WITH LOUNGE SEATING

9 LID PLANTER

8 ENTRY PLANTERS



7 POOL DECK LINEAR PAVERS



6 POOL ACCENT PLANTERS

1 OVERALL LANDSCAPE CONCEPT PLAN

SCALE: 1" = 20'-0"

Original sheet size: 24"x36"

glb landscape studio

Los Angeles, California

Project Name:

The Bob Hope Center Residential Project

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	PLANNING DEVELOPMENT STANDARDS SUBMITTAL	06-22-2022

Sheet Title:

OVERALL LANDSCAPE CONCEPT PLAN

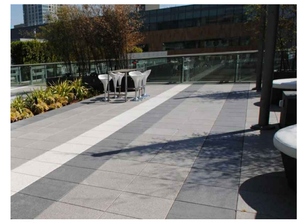
Date: 06-22-2022

Scale: AS NOTED

Sheet Number:

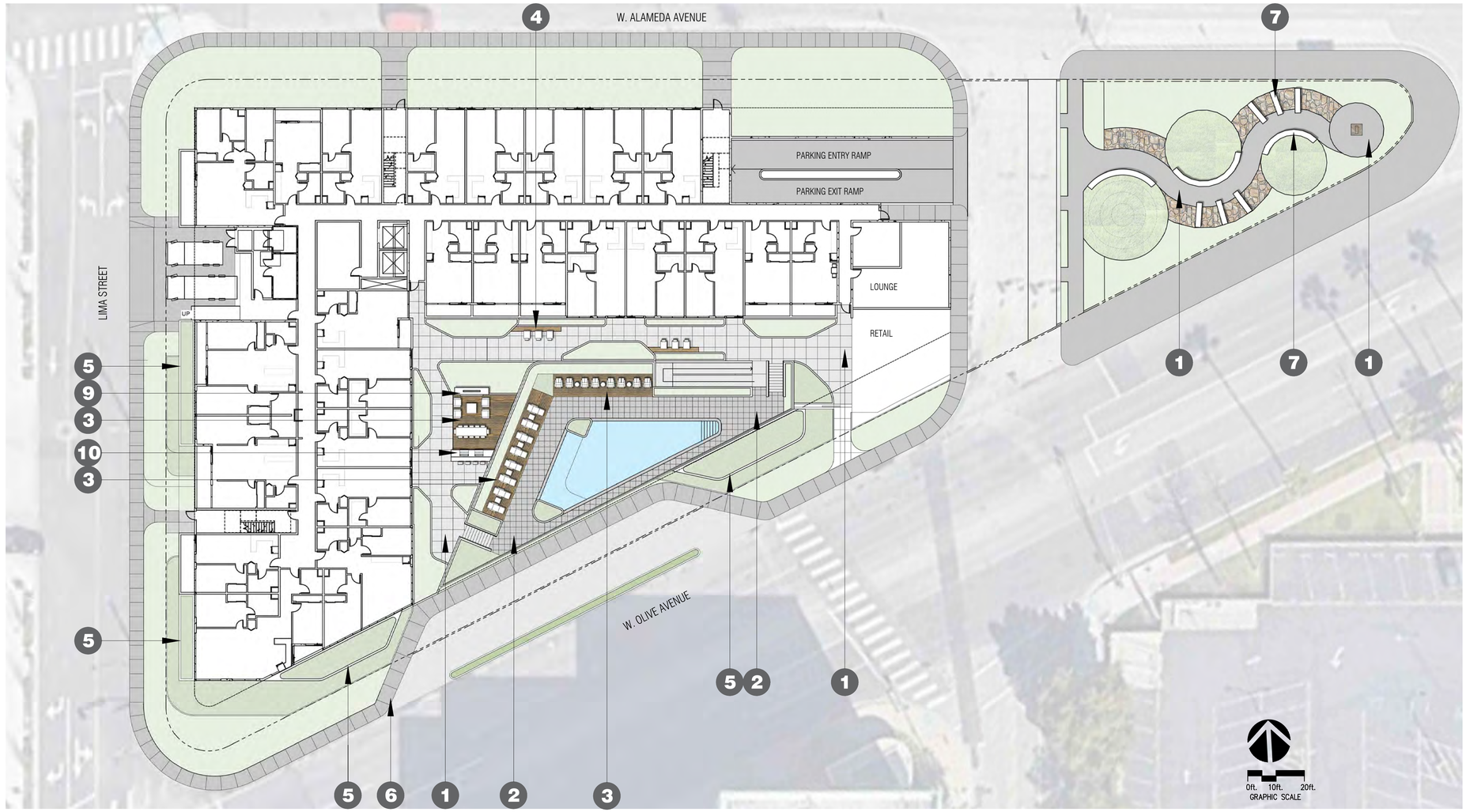
L1.0

1 CAST-IN-PLACE CONCRETE W/ LITHOCRETE FINISH

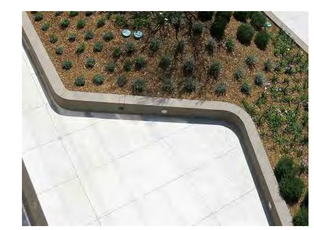


2 PORCELAIN PAVERS W/ HEX TRAY AND ADJUSTABLE PEDESTAL SYSTEM

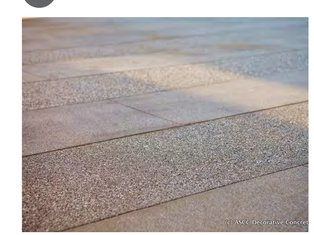
3 COMPOSITE OR HARDWOOD DECKING

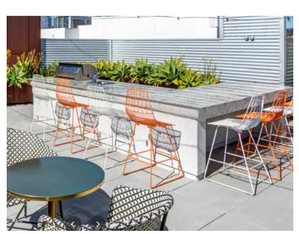


4 COMPOSITE OR HARDWOOD DECKING BENCH



5 CAST-IN-PLACE CONCRETE WALLS W/ LITHOCRETE FINISH

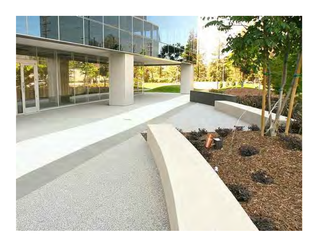




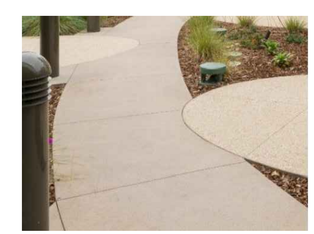
10 BUILT-IN BBQ COUNTER

9 BUILT-IN FIREPLACE

8 FLAGSTONE PAVING



7 CAST-IN-PLACE CONCRETE SEATWALLS W/ LITHOCRETE FINISH



6 CAST-IN-PLACE CONCRETE SIDEWALK W/ TOPCAST FINISH

1 HARDSCAPE CONCEPT PLAN

SCALE: 1" = 20'-0"

Original sheet size: 24"x36"

glb landscape studio

Los Angeles, California

Project Name:

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	PLANNING DEVELOPMENT STANDARDS SUBMITTAL	06-22-2022

Sheet Title:

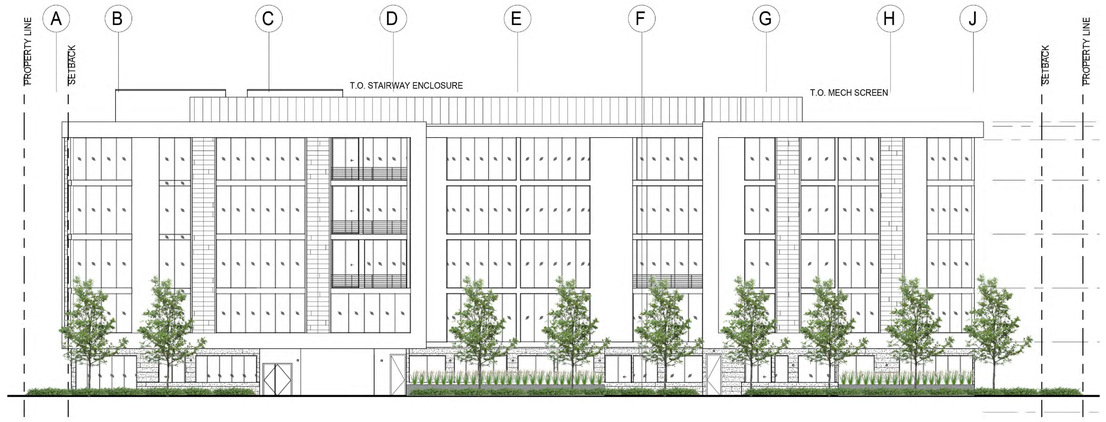
HARDSCAPE CONCEPT PLAN

Date: 06-22-2022

Scale: AS NOTED

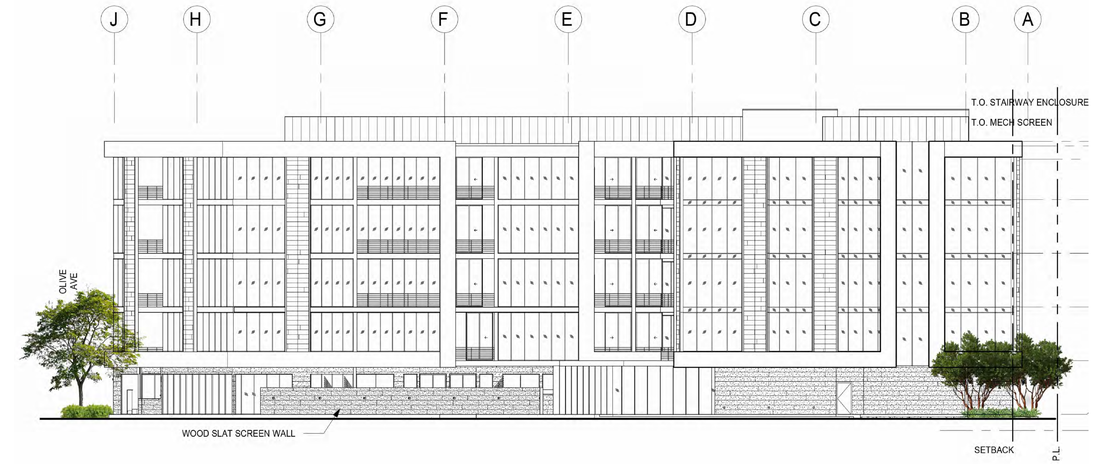
Sheet Number:

L1.1



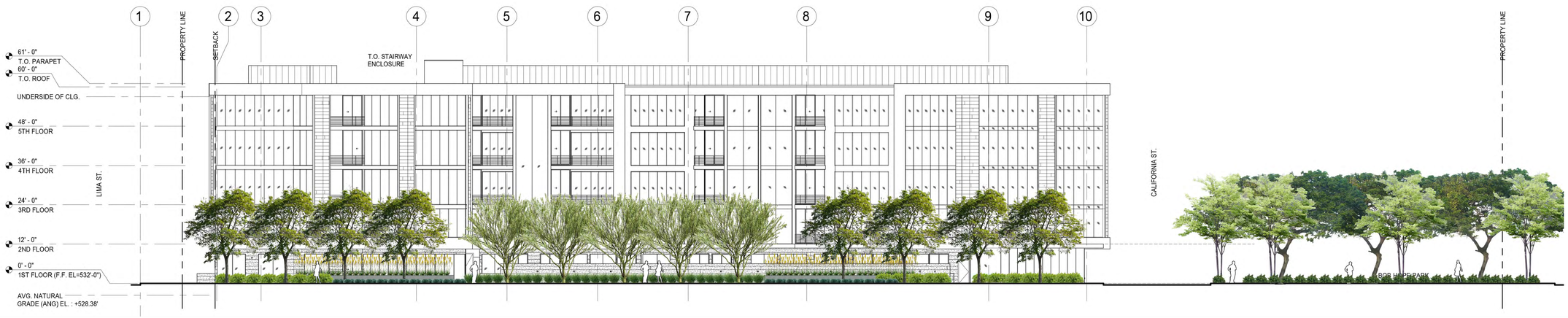
4 WEST ELEVATION - LIMA STREET

SCALE: 1/16" = 1'-0"



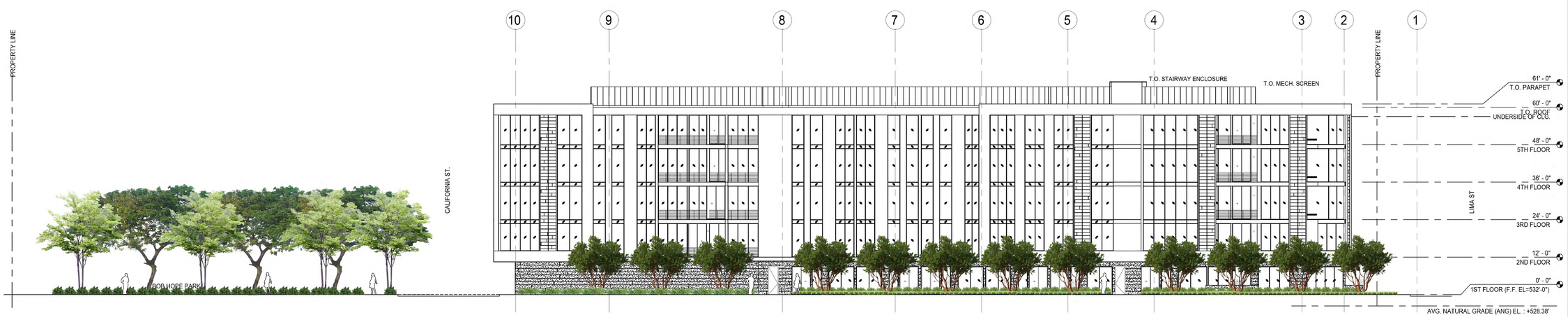
3 EAST ELEVATION - CALIFORNIA STREET

SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION - W. OLIVE AVENUE

SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION - W. ALAMEDA AVENUE

SCALE: 1/16" = 1'-0"

Original sheet size: 24"x36"

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Los Angeles, California

Project Name:

The Bob Hope Center Residential Project

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Sheet Title:

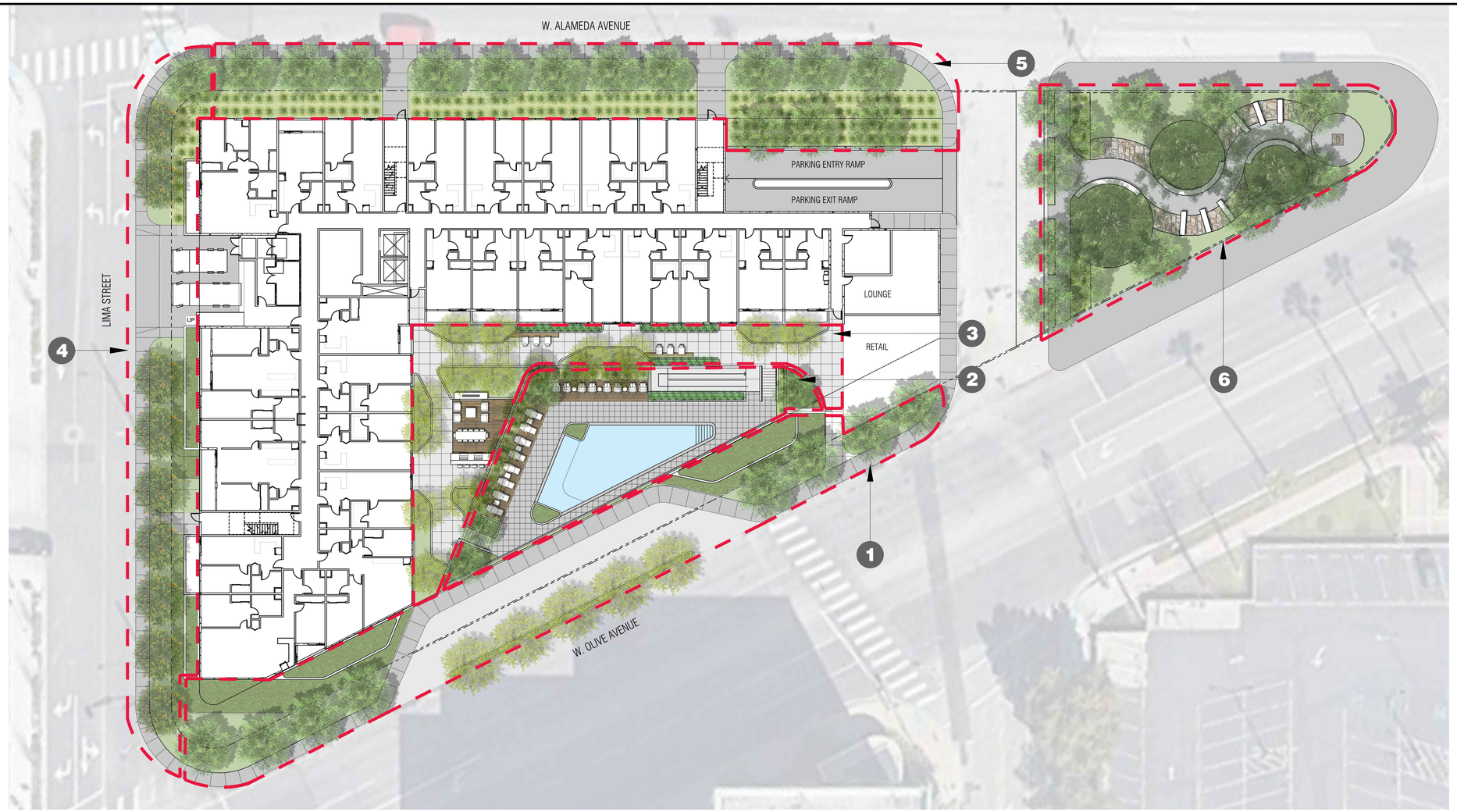
LANDSCAPE ELEVATIONS

Date: 06-22-2022

Scale: AS NOTED

Sheet Number:

L1.2



1 OLIVE AVENUE FRONTAGE

TREE SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
OLEA EUROPAEA 'MUSONI'	FRUITLESS EUROPEAN OLIVE	8
CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	5
PROSOPIS CHILENSIS	CHILEAN MESQUITE	

SHRUB SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
ACACIA COGNATA 'COUSIN ITT'	COUSIN ITT ACACIA	47
AEONIUM 'SUNBURST'	SUNBURST AOENIUM	96
ANIGOZANTHOS 'HARMONY'	RED-YELLOW KANGAROO PAW	96
BULBINE FRUTESCENS	STALKED BULBINE	63
CALANDRINIA SPECTABILIS	ROCK PURSLANE	246
COPROSMA KIRKII	KIRK'S COPROSMA	37
DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	246
FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE GRASS	878
FURCRAEA FEOTIDA 'MEDIOPICTA'	NCN	12
HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	68
OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE	60
PORTULICARIA AFRA 'VARIEGATA'	ELEPHANT BUSH	24
ROSMARINUS OFFICINIALIS 'PROSTRATATUS'	CREEPING ROSEMARY	
VERBENA LILACINA 'DE LA MINA'	PURPLE CEDROS ISLAND VERBENA	63

2 POOL DECK

TREE SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
BAUHINIA X BLAKEANA	HONG KONG ORCHID TREE	3
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	6

SHRUB SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
ALOE 'HERCULES'	HERCULES ALOE	2
ALPINIA ZERUMBET 'VARIEGATA'	VARIEGATED SHELL GINGER	22
ASPARAGUS DENSIFLORUS 'MYERSII'	FOXTAIL FERN	14
LOMANDRA CONFERTIFOLIA 'SHORTY'	DWARF MAT RUSH	136
LOTUS BERTHELOTII	PARROT'S BEAK	18
TRADESCANTIA SPATHACEA	MOSES IN THE CRADLE	37
ZAMIA FURFURACEA	SAGO CYCAS	92

3 RESIDENTIAL DECK

TREE SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	14

SHRUB SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
ABELIA GRANDIFLORA 'RADIANCE'	RADIANCE ABELIA	86
BOUGAINVILLEA 'LA JOLLA'	NCN	21
LANTANA CAMARA 'SPREADING SUNSET'	SPREADING SUNSET LANTANA	
LOTUS BERTHELOTII	PARROT'S BEAK	85
NANDINA DOMESTICA 'LEMON LIME'	HEAVENLY BAMBOO	53
PITTOSPORUM CRASSIFOLIUM 'NANA'	DWARF KARO	36
POLYGALA FRUTICOSA 'PETITE BUTTERFLIES'	SWEET PEA SHRUB	

4 LIMA STREET FRONTAGE AND LID PLANTER

TREE SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
MAYTENUS BOARIA	MAYTEN TREE	9
PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR	

SHRUB SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
ACHILLEA 'MOON SHINE'	YARROW	181
ALOGYNE HUEGLII	BLUE HIBISCUS	12
BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	18
CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	45
LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	45
LOMANDRA HYSTRIX 'TROPIC BELLE'	TROPIC BELLE MAT RUSH	79
ZEPHRANTHUS CANDIDA	RAIN LILY	181

5 ALAMEDA AVENUE NORTH SIDE PLANTING

TREE SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
ARBUTUS 'MARINA'	STRAWBERRY TREE	6
RHUS LANCEA	AFRICAN SUMAC	11

SHRUB SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
CAREX DIVULSA	EUROPEAN GREY SEDGE	1,230
CARISSA MACROCARPA 'GREEN CARPET'	NATAL PLUM	75
DIETES VEGETA 'VARIEGATA'	VARIEGATED FORTNIGHT LILY	310
MUHLENBERGIA LINDHEIMERI	LINDHEIMER'S MUHLY	128
PENNISETUM SPATHIOLATUM	SLENDER VELDT GRASS	1,230
WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	128

6 BOB HOPE PARK

TREE SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
CINNAMOMUM CAMPHORA	CAMPHOR TREE	2
TIPUANA TIPU	TIPU TREE	
SPATHODEA CAMPANULATA	AFRICAN TULIP TREE	6

SHRUB SCHEDULE

DESCRIPTION/BOTANICAL NAME	COMMON NAME	QTY
COREOPSIS LANCEOLATA 'EARLY SUNRISE'	DOUBLE FLOWERED YELLOW TICKSEED	180
DIETES BICOLOR	FORTNIGHT LILY	72
LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY MAT RUSH	
HEBE 'GIBBY'	GIBBY HEBE	45
OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE	
FESTUCA RUBRA 'MOLATE'	CREEPING RED FESCUE GRASS	1,816 S.F. FLATS

1 CONCEPTUAL PLANTING PLAN

SCALE: 1" = 20'-0"

Original sheet size: 24"x36"

glb landscape studio
Los Angeles, California

Project Name:

The Bob Hope Center Residential Project

BURBANK CA

Revisions:

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Sheet Title:

CONCEPTUAL PLANTING PLAN

Date: 06-22-2022

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1 OLIVE AVENUE FRONTAGE

CERCIDIUM 'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE

OLEA EUROPAEA 'WILSONII'
FRUITLESS EUROPEAN OLIVE

PROSOPIS CHILENSIS
THORNLESS CHILEAN MESQUITE

ACACIA COGNATA 'COUSIN ITT'
COUSIN ITT ACACIA

AEONIUM 'SUNBURST'
SUNBURST AOENIUM

ANIGOZANTHOS 'HARMONY'
RED-YELLOW KANGAROO PAW

BULBINE FRUTESCENS
STALKED BULBINE

CALANDRINIA SPECTABILIS
ROCK PURSLANE

COPROSMA KIRKII
KIRK'S COPROSMA

DIANELLA REVOLUTA 'LITTLE REV'
LITTLE REV FLAX LILY

FESTUCA GLAUCA 'ELIJAH BLUE'
BLUE FESCUE GRASS

1 OLIVE AVE CONTINUED

FURCRAEA FOETIDA 'MEDIOPICTA'
NCN

HESPERALOE PARVIFLORA 'YELLOW'
YELLOW YUCCA

OLEA EUROPAEA 'MONTRA'
LITTLE OLLIE

PORTULICARIA AFRA 'VARIEGATA'
ELEPHANT BUSH

ROSMARINUS OFFICINALIS 'PROSTRATUS'
CREEPING ROSEMARY

VERBENA LILACINA 'DE LA MINA'
PURPLE CEDROS ISLAND VERBENA

2 POOL DECK

BAUHINIA X BLAKEANA
HONG KONG ORCHID TREE

CASSIA LEPTOPHYLLA
GOLD MEDALLION TREE

ALOE 'HERCULES'
HERCULES ALOE

ALPINIA ZERUMBET 'VARIEGATA'
VARIEGATED SHELL GINGER

ASPARAGUS DENSIFLORUS 'MYERSII'
FOXTAIL FERN

LOMANDRA CONFERTIFOLIA 'SHORTY'
DWARF MAT RUSH

LOTUS BERTHELOTII
PARROT'S BEAK

TRADESCANTIA SPATHACEA
MOSES IN THE CRADLE

ZAMIA FURFURACEA
SAGO CYCAS

3 RESIDENTIAL DECK

KOELREUTERIA BIPINNATA
CHINESE FLAME TREE

ABELIA GRANDIFLORA 'RADIANCE'
RADIANCE ABELIA

BOUGAINVILLEA 'LA JOLLA'
NCN

LANTANA CAMARA 'SPREADING SUNSET
SPREADING SUNSET LANTANA

LOTUS BERTHELOTII
PARROT'S BEAK

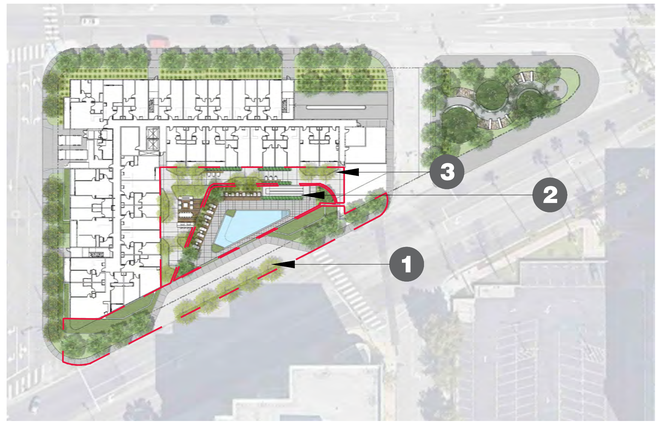
NANDINA DOMESTICA 'LEMON LIME'
HEAVENLY BAMBOO

PITTOSPORUM CRASSIFOLIUM 'NANA'
DWARF KARO

POLYGALA FRUTICOSA 'PETITE BUTTERFLIES'
SWEET PEA SHRUB

RHAPHIOLEPIS UMBELLATA 'MINOR'
DWARF YEDDO HAWTHORN

KEY MAP



1 PLANT IMAGES

Original sheet size: 24"x36"

glb landscape studio
Los Angeles, California

Project Name:

The Bob Hope Center Residential Project
BURBANK CA

Revisions:

No.	Description	Date
	PLANNING DEVELOPMENT STANDARDS SUBMITTAL	06-22-2022

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4 LIMA STREET FRONTAGE AND LID PLANTERS

MAYTENUS BOARIA
MAYTEN TREE

PYRUS CALLERYANA 'BRADFORD'
BRADFORD PEAR

ACHILLEA 'MOON SHINE'
YARROW

ALOGYNE HUEGLII
BLUE HIBISCUS

BACCHARIS PILULARIS 'PIGEON POINT'
DWARF COYOTE BRUSH

CHONDROPETALUM TECTORUM
SMALL CAPE RUSH

LEYMUS CONDENSATUS 'CANYON PRINCE'
CANYON PRINCE WILD RYE

LOMANDRA HYSTRIX 'TROPIC BELLE'
TOPIC BELLE MAT RUSH

ZEPHRANTHUS CANDIDA
RAIN LILY

5 ALAMEDA AVE NORTH SIDE

ARBUTUS 'MARINA'
STRAWBERRY TREE

RHUS LANCEA
AFRICAN SUMAC

5 ALAMEDA AVENUE CONTINUED

CAREX DIVULSA
EUROPEAN GREY SEDGE

CARISSA MACROCARPA 'GREEN CARPET'
NATAL PLUM

DIETES VEGETA 'VARIEGATA'
VARIEGATED FORTNIGHT LILY

MUHLENBERGIA LINDHEIMERI
LINDHEIMER'S MUHLY

PENNISETUM SPATHIOLATUM
SLENDER VELDT GRASS

WESTRINGIA FRUTICOSA 'MORNING LIGHT'
COAST ROSEMARY

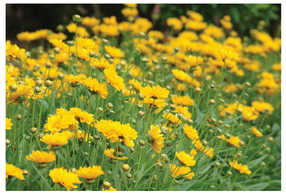
6 BOB HOPE PARK

CINNAMOMUM CAMPHORA
CAMPHOR TREE

SPATHODEA CAMPANULATA
AFRICAN TULIP TREE

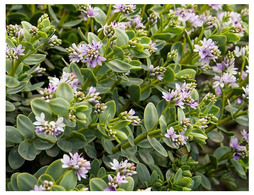
TIPUANA TIPU
TIPU TREE

6 BOB HOPE PARK, CONTINUED


COREOPSIS LANCEOLATA 'EARLY SUNRISE'
DOUBLE FLOWERED YELLOW TICKSEED

DIETES BICOLOR
FORTNIGHT LILY

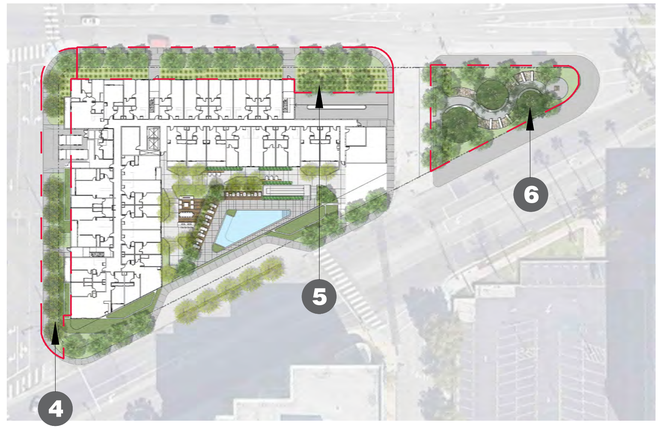
FESTUCA RUBRA 'MOLATE'
CREEPING RED FESCUE GRASS


HEBE 'GIBBY'
GIBBY HEBE

OLEA EUROPAEA 'MONTRA'
LITTLE OLLIE

LOMANDRA 'PLATINUM BEAUTY'
PLATINUM BEAUTY MAT RUSH

KEY MAP



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