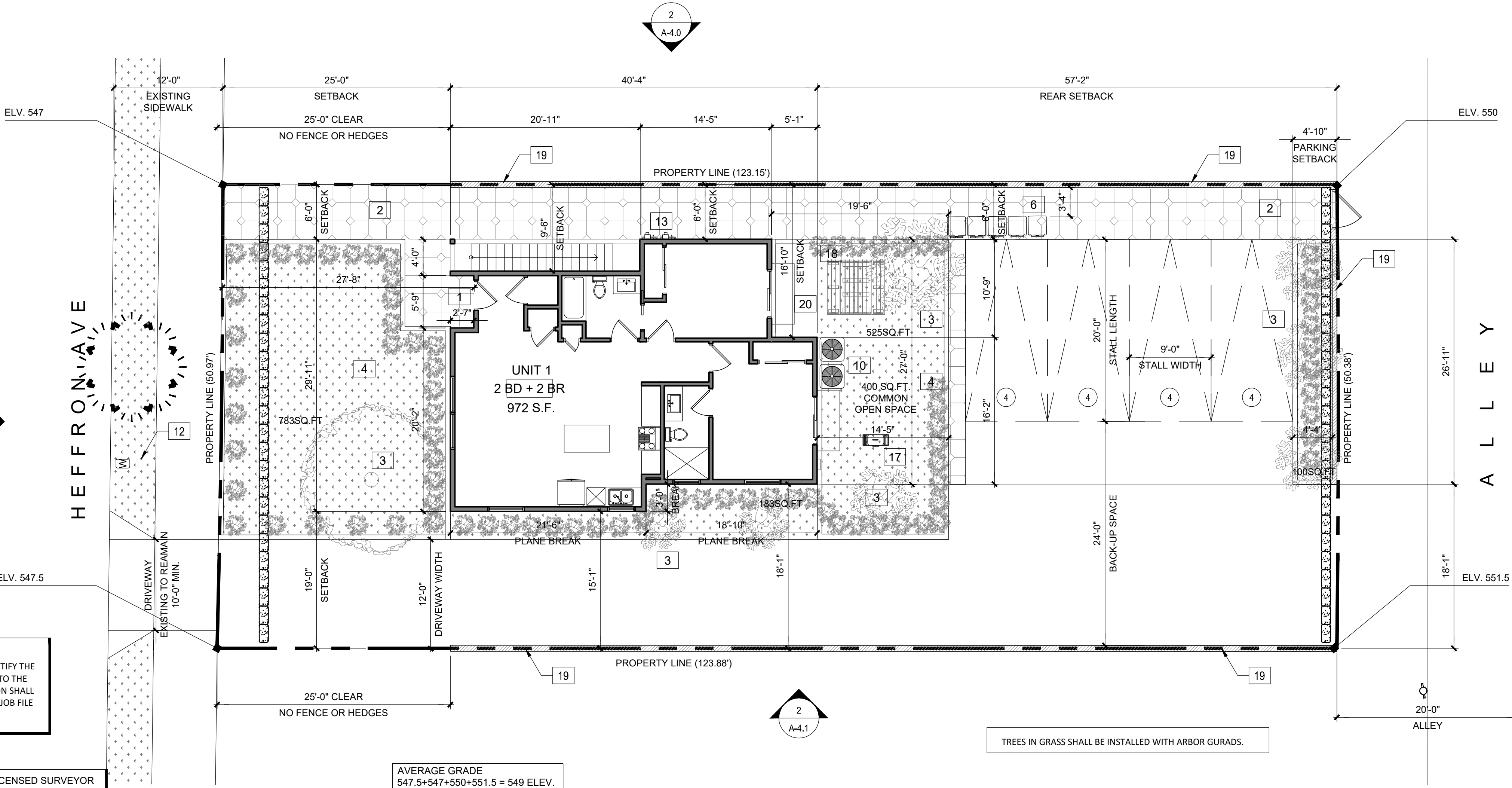


ALL LANDSCAPE AREAS MUST INCLUDE A PERMANENT FULLY AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEMS MUST UTILIZE WATER CONSERVATION DESIGN CONCEPTS INCLUDING BUT NOT LIMITED TO LOW-FLOW SPRINKLER HEADS AND BUBBLERS. DRIP SYSTEMS, ZONE SEPARATION, MICROCLIMATE CONSIDERATIONS, AND MOISTURE SENSORS. IRRIGATION SYSTEMS MAY OPERATE ONLY BETWEEN THE HOURS OF 9 P.M. AND 6 A.M.

ALL LANDSCAPING, AS PLANTED PURSUANT TO THE APPROVED LANDSCAPING PLANS, AND RELATED IRRIGATION SYSTEMS, MUST BE PROPERLY MAINTAINED IN REASONABLY GOOD CONDITION, AND ANY WEEDS OR DECAYED OR DEAD VEGETATION SHALL BE REMOVED. THIS REQUIREMENT APPLIES AT ALL TIMES DURING THE LIFE OF THE PROJECT, AND IT SHALL BE UNLAWFUL FOR ANY LANDOWNER, AND PERSON HAVING LEAVING, OCCUPYING OR HAVING CHARGE OR POSSESSION OF ANY PROPERTY TO VIOLATE THIS PROVISION.

ALL LANDSCAPING MUST BE DESIGNED AND INSTALLED SO AS TO REACH MATURITY WITHIN FIVE (5) YEARS OF THE PLANTING DATE.



- MELALEUCA QUINQUENERVIA 48" BOX (1)
- ARBUTUS 'MARINA' (STRAWBERRY MADRONE) 24" BOX (4)
- CISTUS X SKANBERGII (PINK ROCKROSE) (81)

LOT SIZE : 6,260 SQ. FT.
25% TO BE LANDSCAPED : 1,562 SQ. FT.
LANDSCAPE PROVIDED: 1,591 SQ. FT.

SETBACK CERTIFICATION REQUIREMENT:
A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION. [BMC 9-1-1-107].

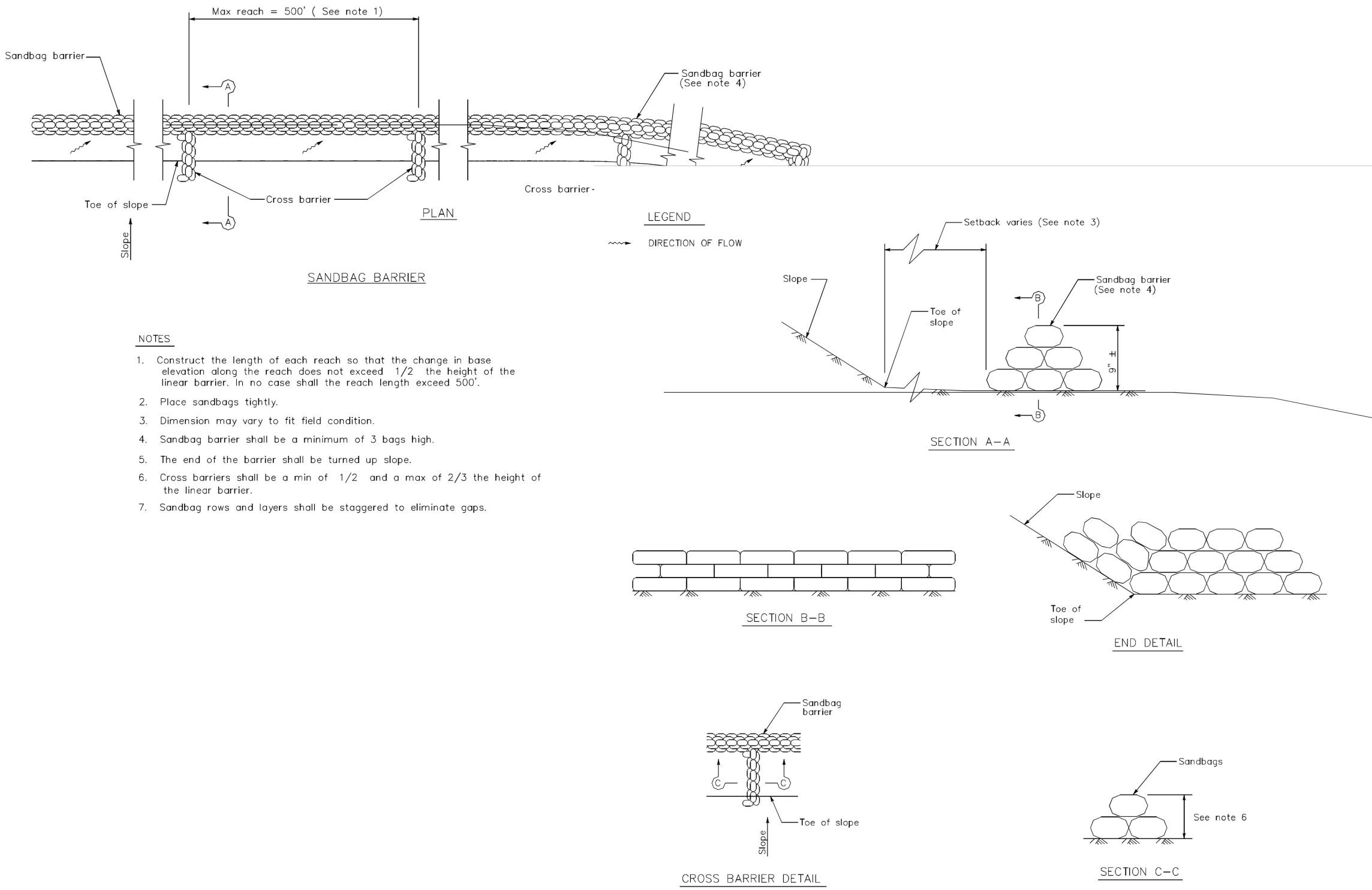
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AVERAGE GRADE
547.5+547+550+551.5 = 549 ELEV.

TREES IN GRASS SHALL BE INSTALLED WITH ARBOR GURADS.

SITE PLAN
SCALE: 1/8" = 1'-0"

1



FIRST AND 2ND FLOOR
NORTH AVERAGE SETBACKS (FRONT YARD)
(25'x 20.17')+(27.67'x 5.75')+(45.92'x 4') = 847.03' = 28'.31" AVERAGE
29.92'

EAST AVERAGE SETBACKS (SIDE YARD)
(9.5'x 20.92')+(6'x 14.42')+(16.83'x 5.08') = 370.76' = 9'.19" AVERAGE
40.33'

WEST AVERAGE SETBACKS (SIDE YARD DRIVEWAY)
(15.08'x 21.5')+(18.08'x 18.83') = 664.67' = 16'.48" AVERAGE
40.33'

SOUTH AVERAGE SETBACKS (REAR YARD)
(57.17'x 16.17')+(62.25'x 10.75') = 1593.63' = 59'.20" AVERAGE
26.92'

SETBACK AVERAGE

FRONT = $\frac{2.58+20.92}{2} = 23.5 = 11.75$	FRONT = $\frac{4+5.75}{2} = 9.75 = 32\%$
EAST = $\frac{3.5+10.75}{2} = 14.25 = 7.13$	EAST = $\frac{20.92+5.08}{2} = 26 = 64\%$
WEST = $\frac{3}{1} = 3$	WEST = $\frac{18.83}{40.33} = 47\%$
REAR = $\frac{5.08}{1} = 5.08$	REAR = $\frac{10.75}{26.92} = 40\%$

PLANE BREAKS

PLANE AVERAGE

ALL LANDSCAPE AREAS MUST PROVIDE MINIMUM SOIL DEPTHS AS FOLLOWS:

- 12" FOR AREAS PLANTED WITH TURF OR GROUND COVER
- 18" FOR PLANTERS AND AREAS PLANTED WITH SHRUBS AND SIMILAR VEGETATION
- 3' FOR PLANTERS OR AREAS PLANTED WITH TREES.

- PROPERTY LINE
- EXISTING BUILDING WALL
- NEW BUILDING WALL
- EXISTING WOOD FENCE
- SLOPE 2% SLOPE SITE DRAINAGE DIRECTION
- AREA OF WORK
- SAND BAG BARRIER (ESC-52)
- SILT FENCE 5'-11"

LEGEND

LOT COVERAGE PER SEC. 10-1-628(C):

1,032 / 6,190 (LOT) = 16.7%

COMMON OPEN SPACE PER SEC. 10-1-628 (K):
150 S.F PER UNIT = 300 S.F REQUIRED
140 SF + 193 S.F. = 333 S.F. PROVIDED

LANDSCAPE AREA CALC PER SEC. 10-1-1-628(N):
REQUIRED: 25% MINIMUM 1,548 S.F.
PROVIDED: 1,591 S.F.

PROPOSED AMMENITIES PER SEC. 10-1-628(L)
• BBQ
• PERMANENT SEATING

- FRONT ENTRY
- PERMEABLE PAVERS
- TREE, MINIMUM 24" BOX SIZE.
- LANDSCAPE
- HARDSCAPE
- NON-COVERED TRASH CANS
- NOT USED
- LANDING WITH 1/2" TRANSITION AT DOOR
- TANKLESS WATER HEATER. SEE SPEC ON A-0.01
- AIR CONDITIONING UNIT. SEE SPEC ON A-0.01
- FURNACE UNIT. SEE SPEC ON A-0.01
- WATER METER
- GAS METER LOCATIONS
- OUTLINE OF FLOOR ABOVE
- ELECTRICAL METER
- COMMON OPEN SPACE
- BBQ
- PERMANENT SEATING AMENITY
- CMU WALL 6'-0"H
- PRIVATE OPEN SPACE 50 SQ. FT. MIN.

SANDBAG BARRIER

LANDSCAPE NOTES

LOT CALCULATIONS

KEYNOTES

LR/A
LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

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BLD'G. DEPT:	12/16/22	PLANNING SUBMITTAL
BID SET:		

RELEASES:	DATE	DESCRIPTION
NO.		
1		
2		
3		

ARCH/CONSULTANT:



PROJECT

NEW DUPLEX
3915 HEFFRON DR
BURBANK, CA 91505

CLIENT

DAVID GASBARRO
3915 HEFFRON DRIVE
BURBANK, CA 91505

REVISIONS

ISSUE	DATE	REVISION
1		
2		
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DRAWN CHECKED

STAFF WR/ RM

CAD FILE

21604 A-1.0 Site Plan.dwg

JOB NO.

21.604.00

DATE

08/09/2023

SCALE

AS SHOWN

TITLE

SITE PLAN

SHEET

A-1.0

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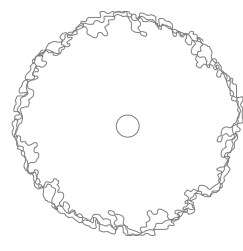
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(1)



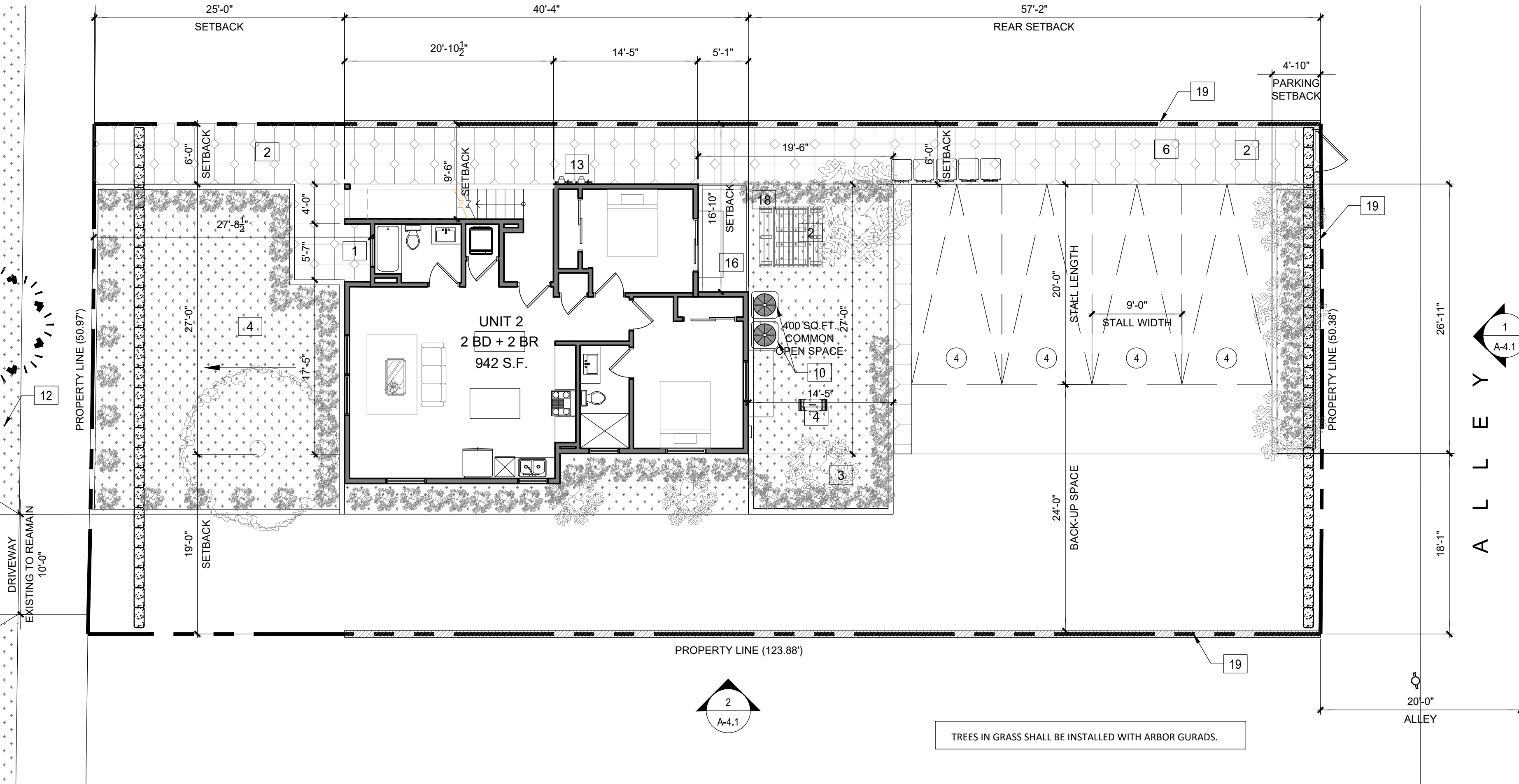
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HEFFRON AVE

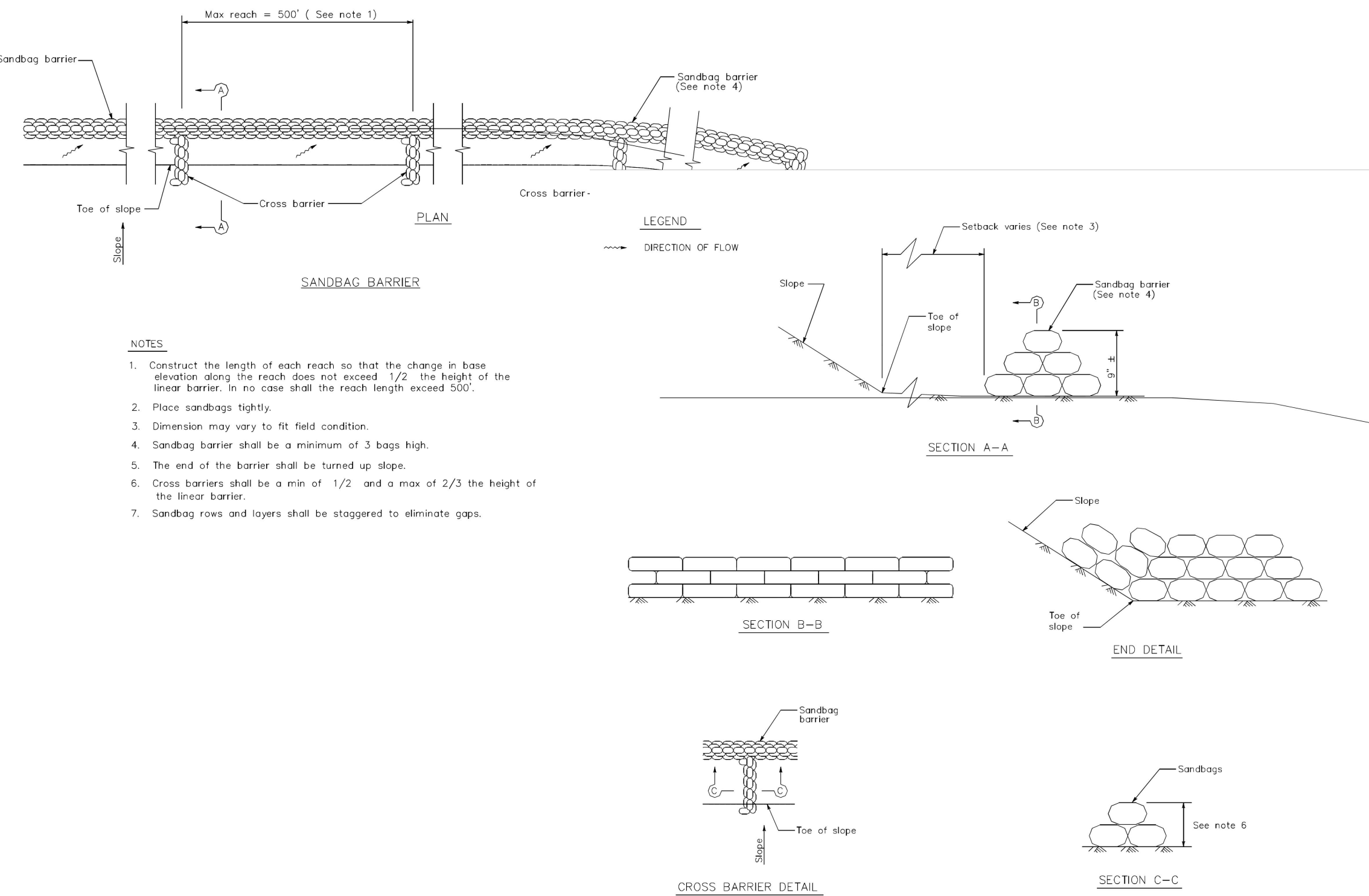


TREES IN GRASS SHALL BE INSTALLED WITH ARBOR GURADS.

SITE PLAN 2nd FLOOR

SCALE: 1/8" = 1'-0"

1



FIRST AND 2ND FLOOR
NORTH AVERAGE SETBACKS (FRONT YARD)
 $(25' \times 20.17') + (27.67' \times 5.75') + (45.92' \times 4') = 847.03' = 28'.31"$ AVERAGE
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LANDSCAPE NOTES

- PROPERTY LINE
- EXISTING BUILDING WALL
- NEW BUILDING WALL
- EXISTING WOOD FENCE
- SLOPE 2% SLOPE SITE DRAINAGE DIRECTION
- AREA OF WORK
- SUSMP SANDBAG BARRIER

LEGEND

PROVIDE LOT COVERAGE PER SEC. 10-1-628(C):

PRIVATE AND COMMON OPEN SPACE PER SEC. 10-1-628 (K):

LANDSCAPE AREA CALC PER SEC. 10-1-1-628(N):

PROPOSED AMMENITIES PER SEC. 10-1-628(L)

- 1 FRONT ENTRY
- 2 PERMEABLE PAVERS
- 3 TREE, MINIMUM 24" BOX SIZE.
- 4 LANDSCAPE
- 5 HARDSCAPE
- 6 CMU FENCE
- 7 NOT USED
- 8 LANDING WITH 1/2" TRANSITION AT DOOR
- 9 TANKLESS WATER HEATER. SEE SPEC ON A-0.01
- 10 AIR CONDITIONING UNIT. SEE SPEC ON A-0.01
- 11 FURNACE UNIT. SEE SPEC ON A-0.01
- 12 WATER METER
- 13 GAS METER LOCATIONS
- 14 OUTLINE OF FLOOR ABOVE
- 15 ELECTRICAL METER
- 16 BALCONY 50 SQ.FT. MIN.

SANDBAG BARRIER

LOT CALCULATIONS

KEYNOTES

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LR/ARCHITECTURE

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Interior Design

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ARCH/CONSULTANT:



PROJECT

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3915 HEFFRON DR
BURBANK, CA 91505

CLIENT

DAVID GASBARRO
3915 HEFFRON DRIVE
BURBANK, CA 91505

REVISIONS

ISSUE	DATE	REVISION
△		
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DRAWN _____ CHECKED _____

STAFF _____ WR/ RM

CAD FILE

21604 A-1.1 Site Plan 2nd Floor.dwg

JOB NO.

21.604.00

DATE

08/09/2023

SCALE

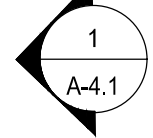
AS SHOWN

TITLE

SITE PLAN
2nd FLOOR

SHEET

A-1.1



- ## KEYNOTES

1. VERIFY IN-FIELD ACCURACY OF GRIDLINES. REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITION.
2. SEE SHEET A-0.0 FOR SYMBOLS & ABBREVIATIONS.
3. WHEN PROVIDED, SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
4. ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, INCLUDING FURRED SPACES, AT 10' INTERVALS BOTH VERTICALLY AND HORIZONTALLY.
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- A. SIZE AND LOCATION OF FRAMING AND PLYWOOD SHEATHING
- B. SPECIAL NAILING AND BLOCKING REQUIREMENTS
9. PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
10. FOR DOOR & WINDOW SCHEDULE - SEE SHEET A-7.0 AND A-7.01
11. GREEN NOTES:
NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED
12. THE HEATING AND AIR-CONDITIONING SYSTEM SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2011, ANSI/ACCA 29-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 3 MANUAL S-2014. (4.507.2)
13. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
14. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
15. THE LANDINGS OR FINISHED FLOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD EXCEPT THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR (CRC 311.3.1, CBC 1010.1.7)

SCALE: 1/4" = 1'-0"

PLAN NOTES

- | | |
|---|--|
|  | COMPACT FLOURESCENT RECESSED DOWNLIGHT - VIF |
|  | PENDANT LIGHT |
|  | ENERGY STAR W/ HUMIDISTAT EXHAUST FAN 50 CFM TO OUTSIDE |
|  | ELECTRICAL DUPLEX OUTLET |
|  | GFI ELECTRICAL DUPLEX OUTLET |
|  | SWITCH LOCATION |
|  | JUNCTION BOX |
|  | EXTERIOR WALL LIGHTS |
|  | HOSE BIB |
|  | SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP, TYP |
|  | CARBON MONOXIDE ALARM |
|  | DOOR TAG |
|  | WINDOW TAG |

2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. 7/8" STUCCO

2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD

 2x6 PLUM WALL W/ GREEN B.D. ON INSIDE

INSULATION

- ROOF R-38
- WALLS R-15
- FLOOR R-19
- R-6 DUCT INSULATION

PROVIDE DUCT SEALING AND REFRIGERANT
CHARGE MEASUREMENT

SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH
INSTALLED SHOWER HEAD SHALL BE FINISHED WITH A
PACKAGE UNIT OR A SPLIT SYSTEM.

INSULATION

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PLAN NOTES

GENERAL NOTES & NOTE BLOCKS

GENERAL NOTES

LEGEND

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BID SET:	.	.

RELEASER

NO.	DATE	DESCRIPTION
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○		
○		
○		

ARCH/CONSULTANT:



PROJECT

NEW DUPLEX
3915 HEFFRON DR
BURBANK, CA 91505

CLIENT

DAVID GASBARRO
3915 HEFFRON DRIVE
BURBANK, CA 91505

REVISIONS

[illegible]

DRAWN _____ CHECKED _____

STAFF WR/ RM

CAD FILE

21604 A-2.0 First Floor Plan.dwg

JOB NO.

21.604,00

DATE _____

08/09/2023

SCALE

AS SHOWN

TITLE

FIRST FLOOR PLAN

SHEET

A-2.0



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SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH
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PACKAGE UNIT OR A SPLIT SYSTEM.

SCALE: 1/4" = 1'-0"

1

NOTE ON LUMINAIRES:		
X10% of the luminaires in a kitchen must be high efficiency.		
In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.		
Bedrooms, living rooms, family rooms, and other rooms used for living and sleeping must have high efficiency lighting, and may include one or more of the following: fluorescent, LED, or dimmers.		
Title 24 requires that high efficiency a photocell and motion sensor may be combined.		
TITLE 24 RESIDENTIAL LIGHTING STANDARDS		
The following table provides the minimum lighting levels and/or hardwired controls for electric power must comply with the mandatory energy requirements summarized below:		
	% HIGH EFFICIENCY ¹	OPTIONS
KITCHEN	100% ²	
CABINET LIGHTING	100%	Under-cabinet lighting shall be switched separately from other lighting.
BATHROOM	100%	Vacancy Sensor ³
CLOSET	100%	Vacancy Sensor ³
LAUNDRY ROOM	100%	Vacancy Sensor ³
LIVING ROOMS	100%	Vacancy Sensor ³
CLOSETS - 70 SQ. FT.	100%	Vacancy Sensor ³
ALL OTHER ROOMS ⁴	100%	Vacancy Sensor ³
		Vacancy Sensor ³ or Dimmer
		Controlled by manual on/off switch and one of the following: motion sensor (photo control) and automatic time switch control, external time clock.
EXTERIOR ⁵	100%	

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THE CITY OF BURBANK LOCAL AMENDMENTS.
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4)
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1)
7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 180.4.4, CRC R401.3)
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CBC 180.8.7.4, CRC R403.1.7.3)

2. A CATEGORY III OR IV, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE TERMINATION AND THE WATER HEATER.
3. A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF WATER HEATER FOR NATURAL DRAINING.
4. A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 BTU/HR

SMOKE ALARM REQUIREMENTS:

1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$10000.
2. SMOKE ALARMS SHALL BE INTERCONNECTED IN EXISTING BUILDINGS.
3. WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS TO WIRING.
4. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT.
5. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

1. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000.
2. CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
3. CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL 217, UL 2075, AND MAINTAINED PER NFPA 720.
4. CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL FO A DWELLING UNIT INCLUDING BASEMENT.
5. CO ALARM SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT.
6. IN AN INDIVIDUAL DWELLING UNIT, CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES.

A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6'-0" AND CANNOT BE CONCEALED

- ROOF R-38
- WALLS R-15
- FLOOR R-19
- R-6 DUCT INSULATION

PROVIDE DUCT SEALING AND REFRIGERANT CHARGE MEASUREMENT

LEGEND

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-834

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NEW DUPLEX
3915 HEFFRON DR
BURBANK, CA 91505

DAVID GASBARRO
3915 HEFFRON DRIVE
BURBANK, CA 91505

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DRAWN _____ CHECKED _____

STAFF WR/ RM

CAD FILE

21604 A-2.1 Second Floor Plan.dwg

JOB NO.

21.604.00

DATE _____

08/09/2023

SCALE

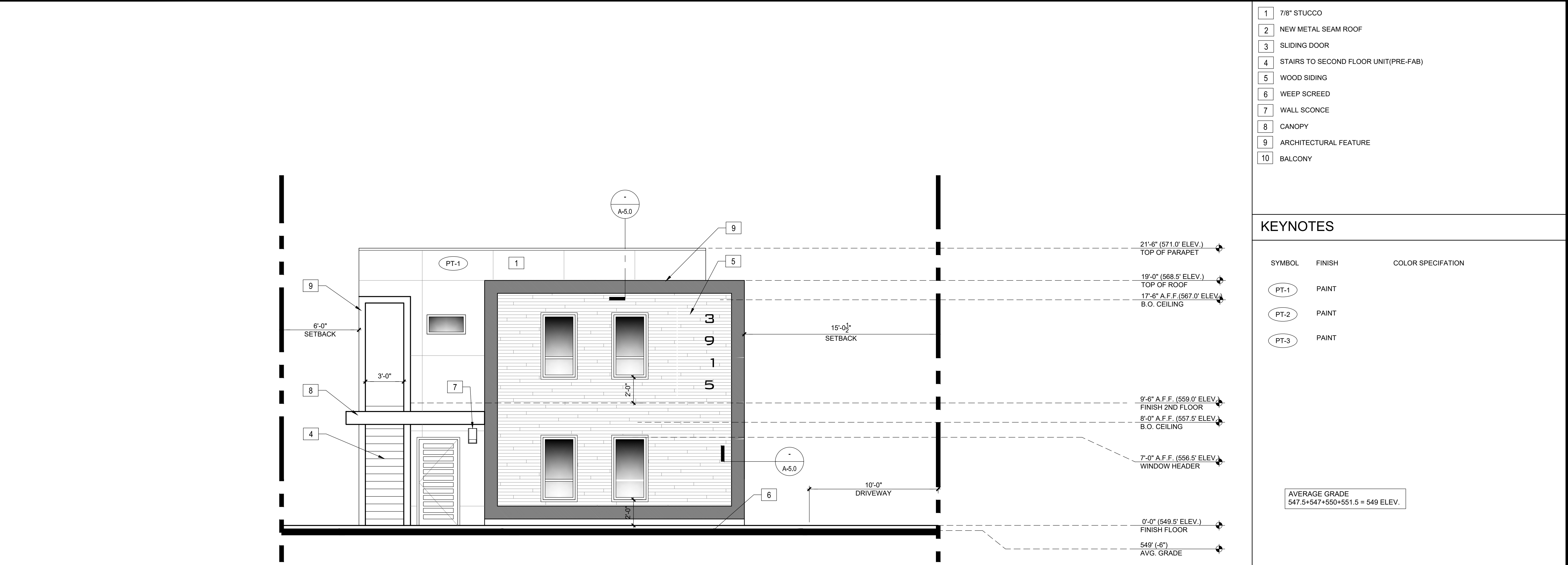
AS SHOWN

TITLE

SECOND FLOOR PLAN

SHEET

A-2.1



NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

2

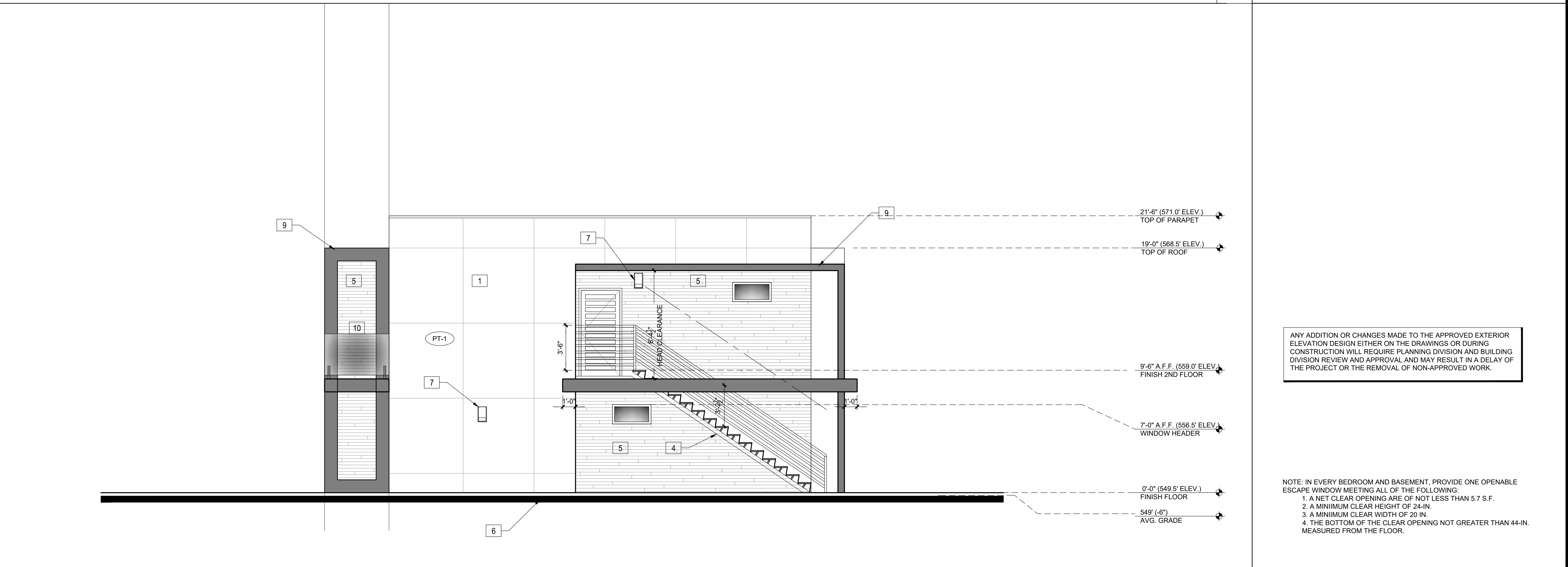
MATERIAL

- 1 7/8" STUCCO
- 2 NEW METAL SEAM ROOF
- 3 SLIDING DOOR
- 4 STAIRS TO SECOND FLOOR UNIT(PRE-FAB)
- 5 WOOD SIDING
- 6 WEEP SCREED
- 7 WALL SCONCE
- 8 CANOPY
- 9 ARCHITECTURAL FEATURE
- 10 BALCONY

KEYNOTES

SYMBOL	FINISH	COLOR SPECIFICATION
PT-1	PAINT	
PT-2	PAINT	
PT-3	PAINT	

AVERAGE GRADE
547.5+547+550+551.5 = 549 ELEV.



EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

NOTES

NOTE: IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
1. A NET CLEAR OPENING ARE OF NOT LESS THAN 5.7 S.F.
2. A MINIMUM CLEAR HEIGHT OF 24-IN.
3. A MINIMUM CLEAR WIDTH OF 20 IN.
4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN. MEASURED FROM THE FLOOR.

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

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ARCH/CONSULTANT:



PROJECT

NEW DUPLEX
3915 HEFFRON DR
BURBANK, CA 91505

CLIENT

DAVID GASBARRO
3915 HEFFRON DRIVE
BURBANK, CA 91505

REVISIONS	ISSUE	DATE	REVISION
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STAFF	WR/ RM
CAD FILE	

JOB NO.
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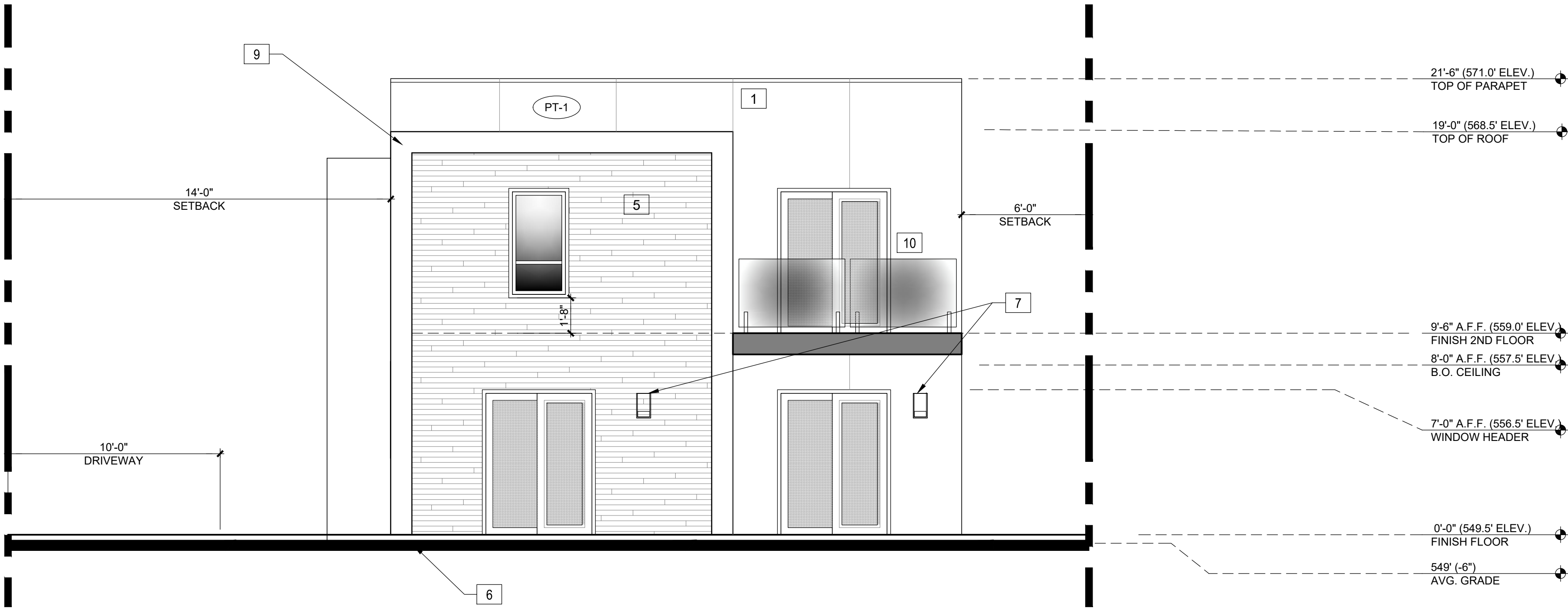
DATE
08/09/2023

SCALE
AS SHOWN

TITLE
EXTERIOR
ELEVATIONS

SHEET

A-4.0



SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

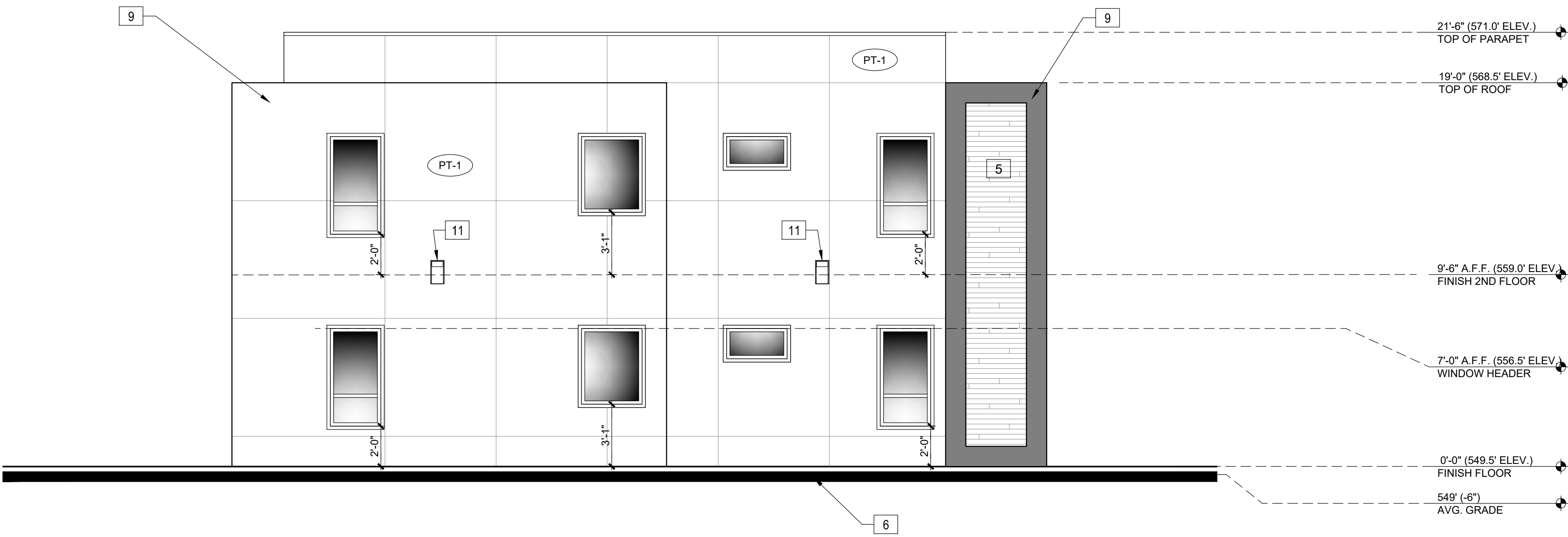
2

MATERIAL

- 1 7/8" STUCCO
- 2 NEW METAL SEAM ROOF
- 3 OPENABLE ESCAPE WINDOW
- 4 BALCONY
- 5 WOOD SIDING
- 6 WEEP SCREED
- 7 WALL SCONCE
- 8 CANOPY
- 9 ARCHITECTURAL FEATURE
- 10 BALCONY
- 11 WALL RACK

KEYNOTES

SYMBOL	FINISH	COLOR SPECIFICATION
PT-1	PAINT	
PT-2	PAINT	
PT-3	PAINT	



WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

NOTES

ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.

NOTE: IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
1. A NET CLEAR OPENING ARE-OF NOT LESS THAN 5.7 S.F.
2. A MINIMUM CLEAR HEIGHT OF 24-IN.
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4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN. MEASURED FROM THE FLOOR.

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DRAWN

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STAFF

WR/ RM

CAD FILE

JOB NO.

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DATE

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SCALE

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TITLE

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SHEET

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