

JOB ADDRESS : 4007 WEST RIVERSIDE DR. BURBANK CA 91505
OWNER : BAHAR PARSTABAR
TENANT: BAHAR PARSTABAR
PHONE : 818. 861.7777
ASSESSORS # 2485-003-005
TRACT NO 9554 LOT 5
DESIGNER : MEDIYA SHARIFI
TEL: 310.699.4362

Hours of Operation:
11:00 AM - 2:00 PM
The operator will stop
alcohol sales on the patio
by 10:00 pm

ONE STORY
KITCHEN AREA: 286 SF
SITTING AREA: 497 SF
RESTROOM AREA: 112 SF
STORAGE: 433 SF
HALL: 147 SF

TOTAL AREA: 1475 SF (INSIDE DIMENSIONS)

PROJECT DESCRIPTION:

ADDITION OF AN ACCESSIBLE BATHROOM, INCLUDING NEW NONBEARING INTERIOR WALLS, PLUMBING FIXTURE, TOILET ACCESSORY AND FINISHES.

NO NEW SQUARE FOOTAGE, NO CHANGES TO ON-SITE PARKING

- THIS PROJECT SHALL COMPLY WITH 2013 CALIFORNIA BUILDING CODE, ELECTRICAL CODE (CEC), ENERGY (T24 - 6), MECHANICAL CODE (CMC), UPC PLUMBING CODE (CPC), WITH LOCAL AMENDMENTS.
- ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE, LARGE SCALE DRAWING OVER SMALL SCALE AND SPECIFICATIONS OVER DRAWINGS AND CONTRACT AFTER ALL.
- ON SITE REVIEW AND VERIFICATIONS OF ALL DIMENSIONS AND CNDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB-CONTRACTORS. NOTED DIMENSIONS SHALL TAKE PRECEDENT OVER SCALE.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, THE LOCATION OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTINGS ARE ONLY APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR.
- LOCATE EXISTING UTILITY LINES INCLUDING: ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, ETC. IN ADDITION, CAUTION ALL SUBCONTRACTORS THAT THE SITE AND PUBLIC PROPERTY CONTAINS UNDERGROUND UTILITY.
- EXERCISE EXTREME CAUTION DURING ALL PHASES OF WORK TO PROTECT EXISTING UNDERGROUND UTILITIES. RECORD LOCATION OF ALL ACTIVE UTILITIES FOUND. REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT. ABANDONED UTILITIES: DISCONNECT, CAP, REMOVE AS NECESSARY.
- DUCTS PENETRATING STUD WALLS OR SHAFTS WALLS SHALL BE PROVIDED WITH NECESSARY FRAMES, BRACING AND ACOUSTICAL OR FIRE RATED SEALANT AROUND THE OPENING WHERE REQUIRED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF ALL PARTIES ON THE JOB SITE IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
- CONTRACTOR SHALL OBTAIN SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING PERMITS AS REQUIRED.
- ALL HOT WATER PIPES TO BE WRAPPED PER LOCAL CODE REQUIREMENTS.
- PROVIDE ACCESS PANELS AT WALL LOCATIONS FOR ELECTRICAL, PLUMBING AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, SHUTTERS, OR OTHER DEVICES AS REQUIRED BY THE WORK AND APPLICABLE EVEN IF ACCESS PANEL IS NOT SHOWN ON CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING THE EXACT LOCATIONS OF ALL ACCESS PANELS. NO INSTALLATION OF ACCESS PANELS SHALL BE MADE UNTIL.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL CLEAN ALL GLASS SURFACES AND LED THE WORK SITE "BROOM CLEAN".

4007 RIVERSIDE Dr. BURBANK, CA

PROJECT DATA:

LOCATION: 4007 RIVERSIDE DR.
BURBANK, CA
ZONING: COMMERCIAL / INDUSTRIAL
AIN #: 2485-003-005

LOT SIZE: (IRREGULAR) 2800 SQFT.
BLDG. SIZE: 1475 SQFT.

GENERAL NOTES

GENERAL REQUIREMENTS:

All works performed shall comply with local city or county building codes (Current edition). The specifications of these general notes and all applicable local and state laws, codes, ordinances, rules and regulations governing shall be performed, including landlord's criteria and construction guidelines.

All Information shown on the drawing/s relative to existing condition is given as the best knowledge, without guarantee of accuracy. Contractor and all sub-contractors shall verify all conditions and dimensions on the job site and notify owner and/or the designer, if any discrepancies are found prior to starting the work. Do not scale the drawings unless specifically authorized by the designer.

The safety provisions of all applicable laws, building & construction codes shall be observed. Precautions shall be exercised at all times for the protection of persons (including workmen) and property. All works performed by any sub-contractors shall be in total conformance with CAL-OSHA laws as governed. Each sub-contractor shall give their personal attention to the work, be responsible for the layout and correction, and cooperate with each the various traes to obtain a neat, finished and workmanlike job.

FOOD ESTABLISHMENT REQUIREMENTS:

Equipment: All equipments and related fixtures shall meat (N. S. F.) design & installation requirements or its equivalent, and shall be in compliance with local ordinaces and are subject to Health Department approval.

Mechanical & Plumbing : All plumbing and related fixtures shall be installed in compliance with local plumbing ordicances, shall be maintained so as to prevent any contamination, shall be kept clean, be fully operative and in good repair. All liquid wastes shall be disposed of through the plubing system, which discharge into the public sewer system.

Hot & Cold water shall be provided for all of the sinks.
Water Heater to be a minimum of 40,000 BTU.

Walls & Ceiling Finishes : Rooms for kitchen, dishwashing, storage, toilets and dressing shall have walls & ceilings finished with smooth ceramic tile, cement plaster, hard wall gypsum plaster, or other approved durable and washable materials.

Floor Material : The finish surfaces must be smooth, durable, non-absorbent and easily cleaned such as concrete, ceramic tile or terrazzo. The floor of the toilet and all other rooms which are subject to frequent wetting or which require flushing with water, shall be coved at the juncture of the floors and walls and shall extend up to the wall at least 5" inches.

HARDWARE:

Provide hardware, both latching & non-latching, operable with a single effort by lever type hardware, panic bars, push-pull activating bars or other hardware designed to provide passage which does not require wrist action or fine finger manipulation.

Position operating hardware between 32" & 42" inches above the floor. A 36" inches center line is recommended.

Use lever handles or panic harware on all side-hung latched doors.

Handles Shall be mounted at a maximum height of 42" inches. Panic bars to be places 32" incehs above the floor.

Kick plates at least 12" high are recommended for all doors.
Door closer with 4-6 second time delay are recommended.

FIRE DEPARTMENT NOTES:

Exterior & Restroom Doors to be 36" min. require tight fitting and self closing and shall fit to a maximum of 1/4" at the base & sides.

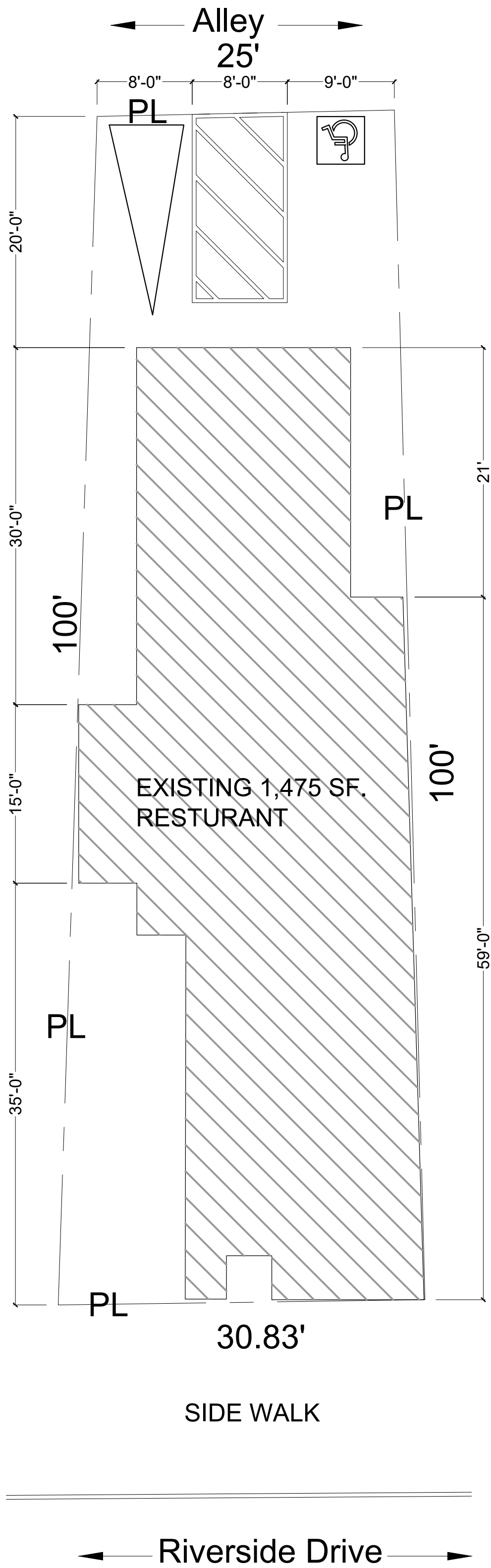
Exit Signs, exit ways, stairs and elevators must be illuminated at any time the building is occupied, and shall be internally or externally illuminated or shall be of an approved self-luminous type.

Corridors, shall have a minimum width of 4 4" incehs and a minimum ceiling height of 7' feet.

Hood fire protection system, is required. System shall be installed by a licenced hood fire protection contractor who will provide plans within 30 days of issuance of building permit.

Provide plumbing plans, indicating the **grease interceptor**, and all floor drains in kitchen.

Submit, separete plans for **sprinklers** /spinkler modification within 30 days of building permit, prior to work on system. Provide **2A-10BC** fire extinguisher in recessed or semi-recessed cabinet at 48" from finished floor to the top.



SITE PLAN

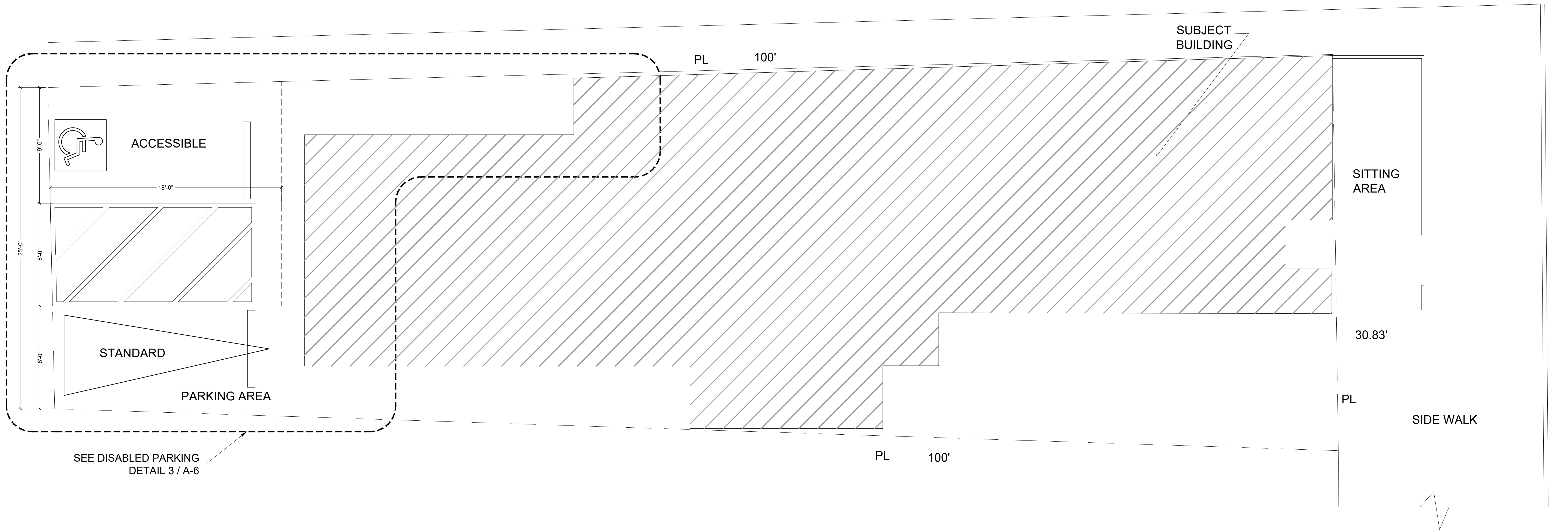
SCALE:1/8"=1'-0"

The Young Fella

The Young Fella
Restaurant
4007 W Riverside dr.
Burbank, CA

PROJECT: THE YOUNG FELLA RESTAURANT
LOCATION: 4007 WEST RIVERSIDE DR. BURBANK CA
CLIENT: BAHAR PARSTABAR
CONTACT: BAHAR PARSTABAR
DATE: 2016.03.10

A-1



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TRACT NO 9554 LOT 5

CONTRACTOR:
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ONE STORY

KITCHEN AREA: 286 SF
SITTING AREA: 497 SF
RESTROOM AREA: 112 SF
STORAGE: 489 SF
HALL: 147 SF

TOTAL AREA: 1475 SF (INSIDE DIMENSION)

PLUMBING FIXTURES

TOTAL AREA 1475 / 30 = 49.1 = 50 / 2 = 25

PER TABLE 422.1 ON 2013 CPC, ONE MAIL AND ONE FEMAIL WATER CLOSET REQUIRED.



SITE PLAN

SCALE:1/4"=1'-0"

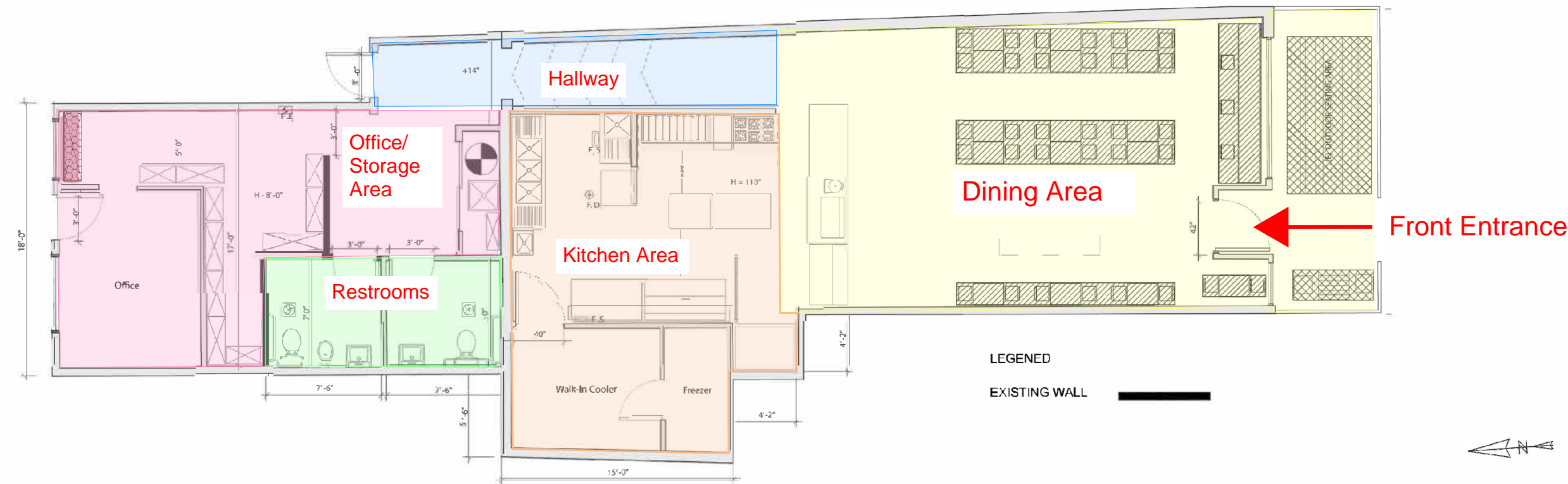
PROJECT: THE YOUNG FELLA RESTAURANT
LOCATION: 4007 WEST RIVERSIDE DR. BURBANK CA
CONTACT:
DATE: 2016.03.10

A-2

NOTE:
85% of the gross sales revenue must be from food sales, the sales records accounting for food and any other business records pertaining to the sales of food and alcohol shall be open for inspection by the Chief of Police or his or her designee during regular business hours of the restaurant upon 72 hours prior written notice. In addition, Restaurants with incidental alcohol shall retain separate sales records for food and alcohol sales (Per Section 10.1.1.116 of BMC).

AREA FOR STORAGE OR DISPLAY OF ALCOHOL, BEVERAGES - 2 TIER SHELF 10 SQ. FT.

15% OF TOTAL TENANT SPACE
1,475 SQ. FT. x 0.15 = 221.25 SQ. FT.
10 SQ. FT. < 221.25 SQ. FT.



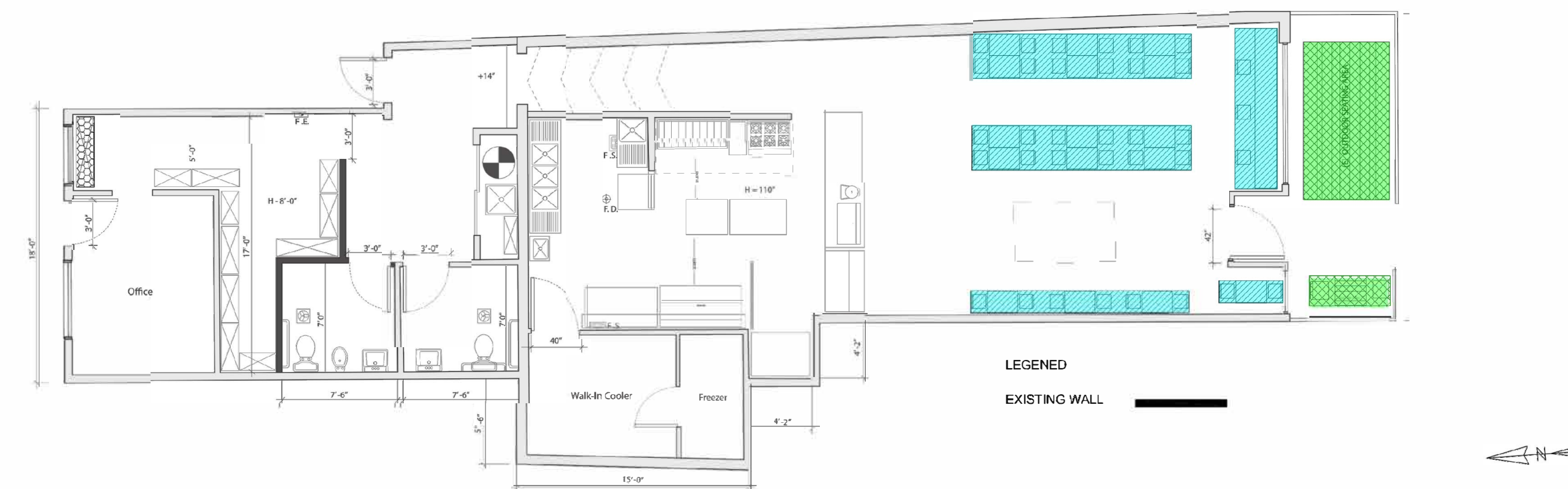
STORAGE OF ALCOHOL

NOTE:
ONLY 15 PERCENT OF THE FLOOR AREA OF THE TENANT SPACE CAN BE DEVOTED TO THE SALES OR CONSUMPTION OF ALCOHOL.

INDOOR AREA DEVOTED TO SALES OR CONSUMPTION OF ALCOHOL 137.7 SQ. FT.

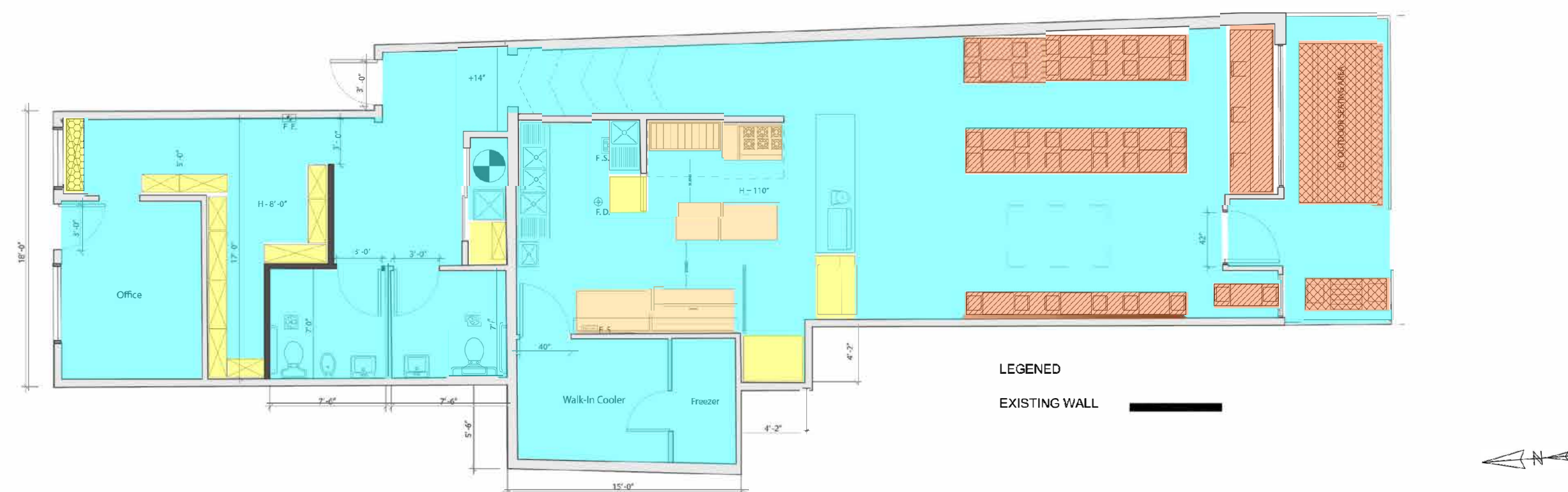
OUTDOOR AREA DEVOTED TO SALES OR CONSUMPTION OF ALCOHOL 87 SQ. FT.

137.7 SQ. FT. + 87 SQ. FT. = 224.7 SQ. FT.
15% OF TOTAL TENANT SPACE
1,475 SQ. FT. x 0.15 = 221.25 SQ. FT.
224.7 SQ. FT. < 221.25 SQ. FT.



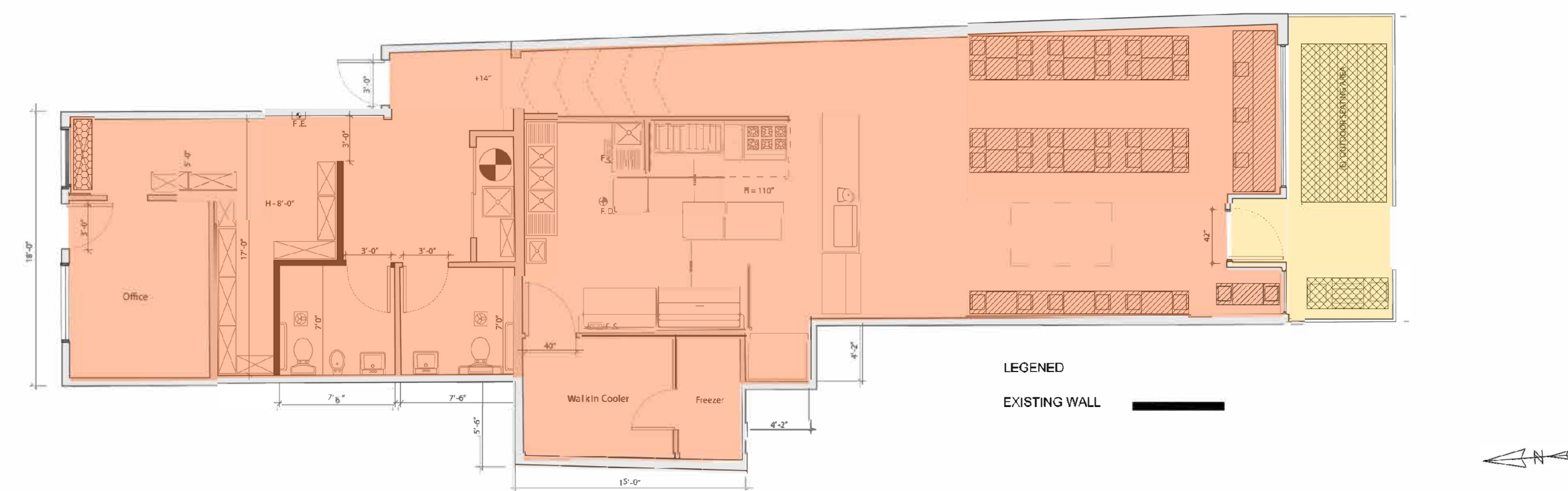
AREA OF SALES OR CONSUMPTION

SEATING AREA 497 SQ. FT. COOKING AREA 286 SQ. FT. SERVICE AREA 497 SQ. FT. STORAGE AREA 433 SQ. FT.



TYPES OF AREAS

INDOOR TENANT SPACE 1,475 SQ. FT. OUTDOOR TENANT SPACE 155 SQ. FT.



TENANT SPACE

TOTAL TENANT SPACE
1,475 SQ. FT.
+ 155 SQ. FT.
1,630 SQ. FT.

TENANT SPACE

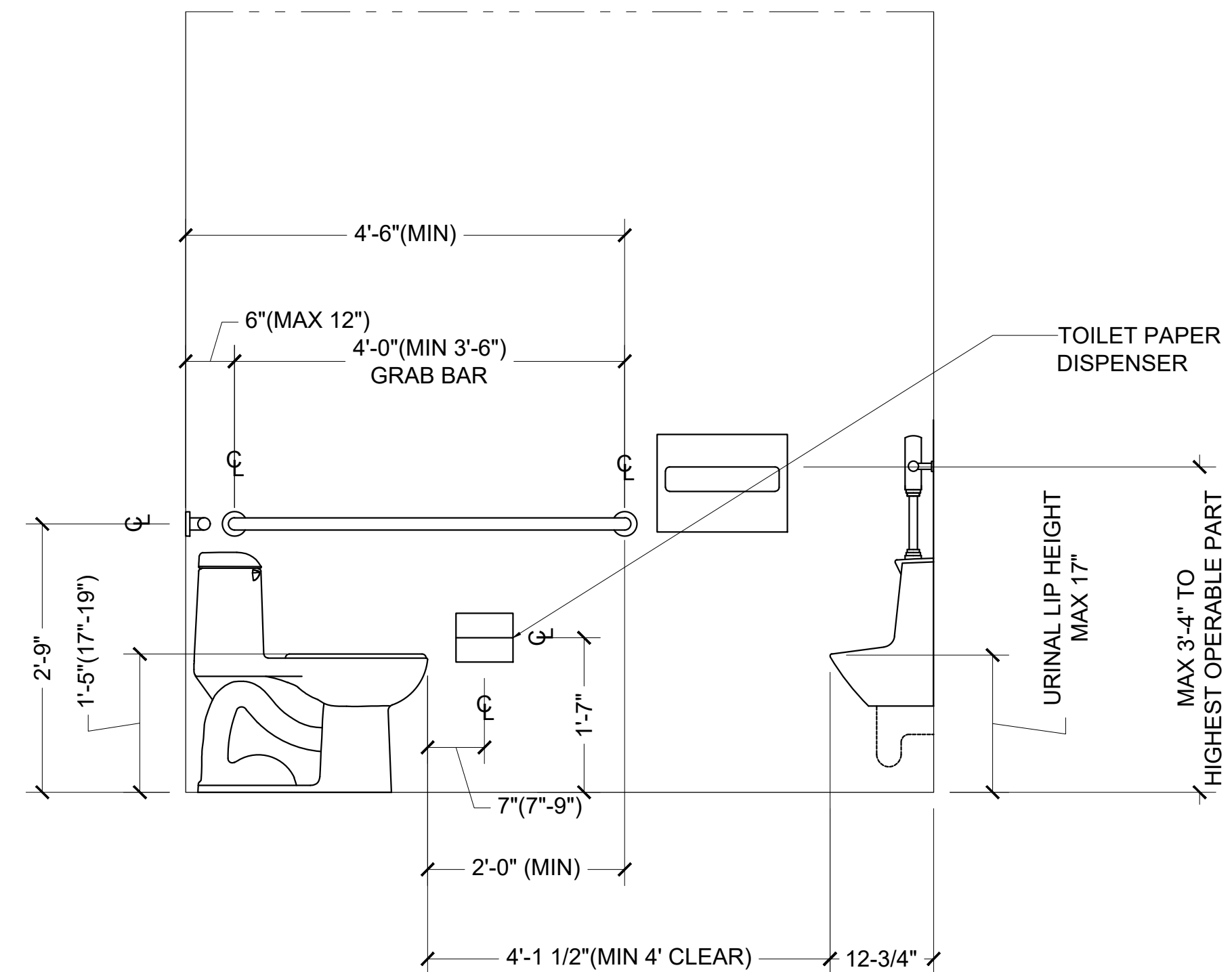
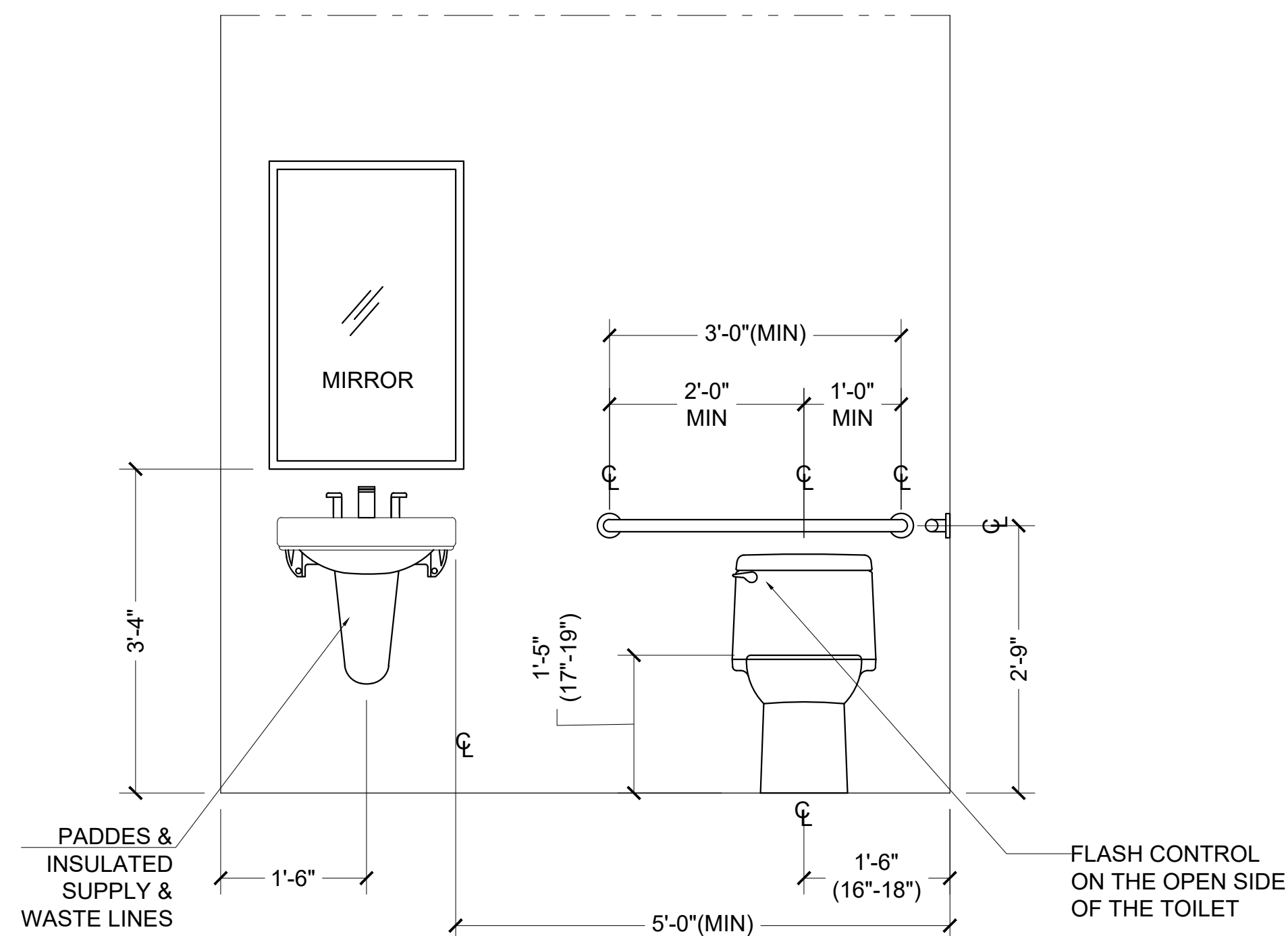
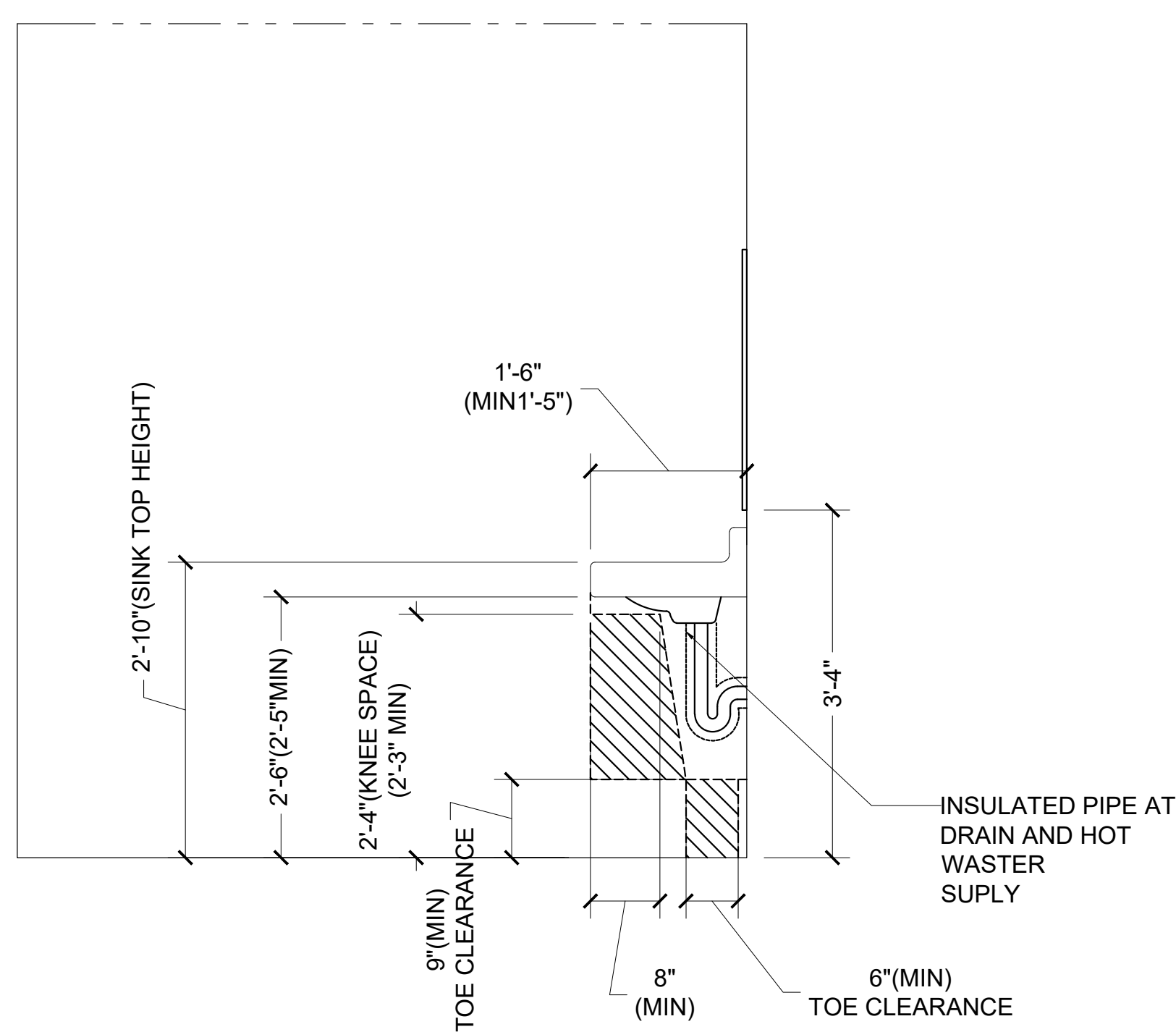
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PROPOSED FLOOR PLAN SCALE: 1/4"=1'-0"

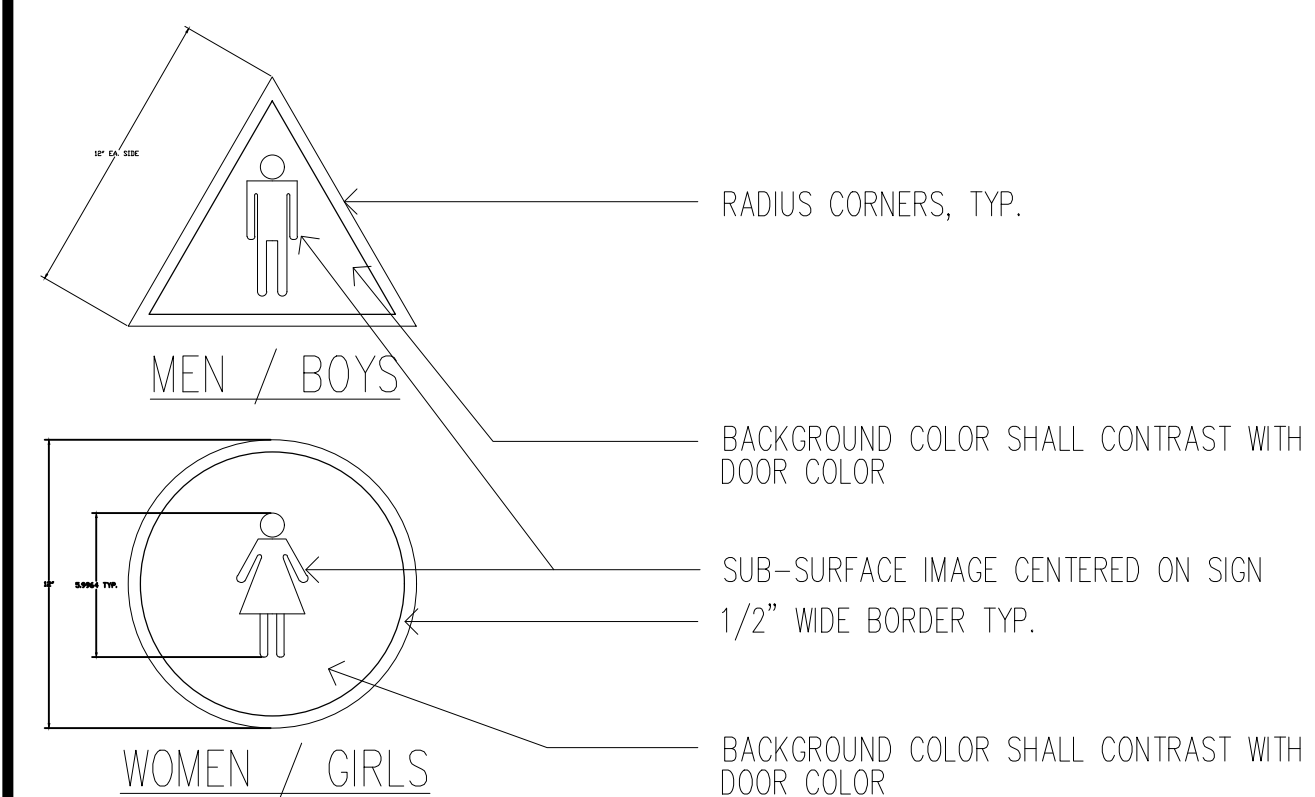
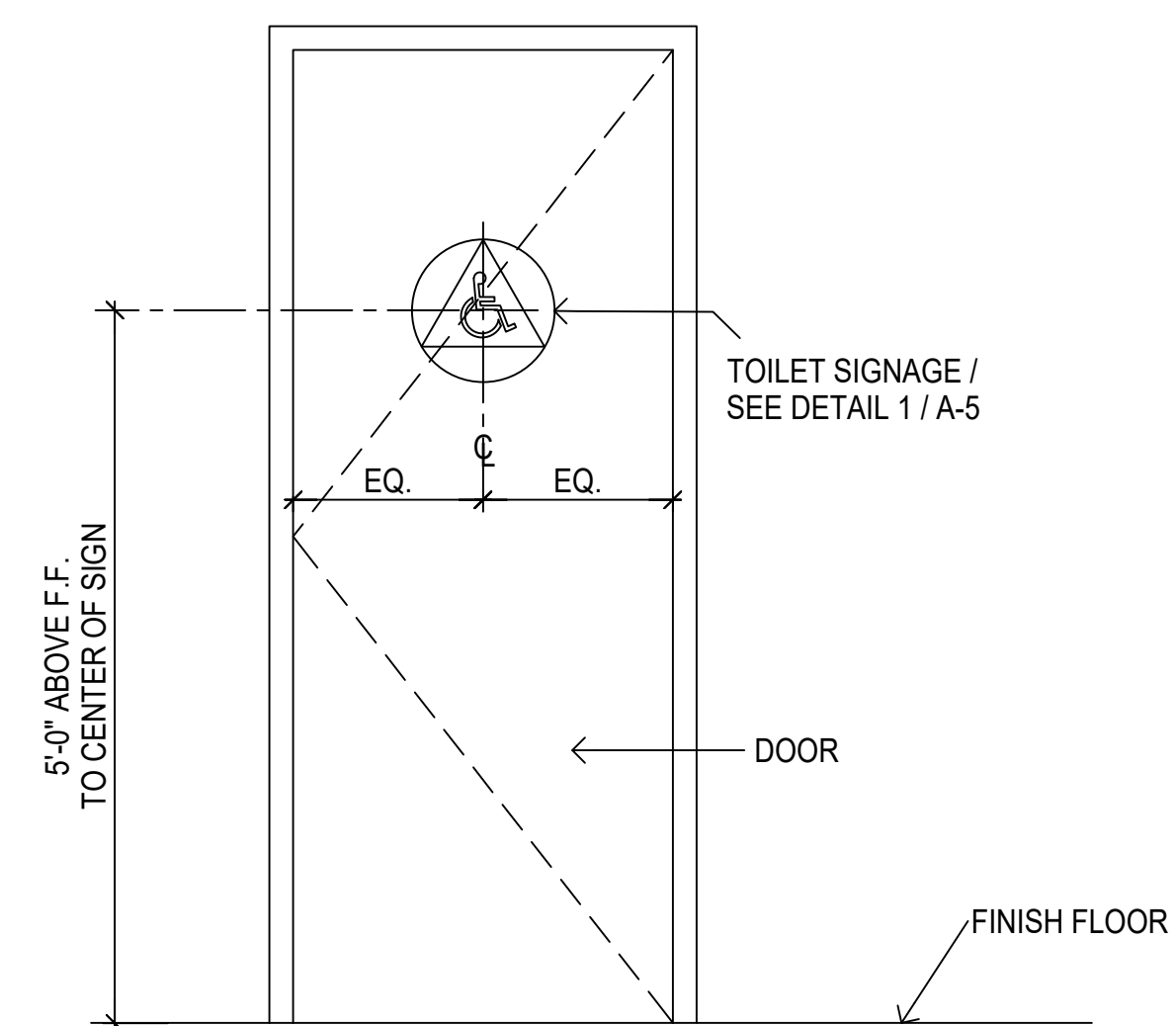
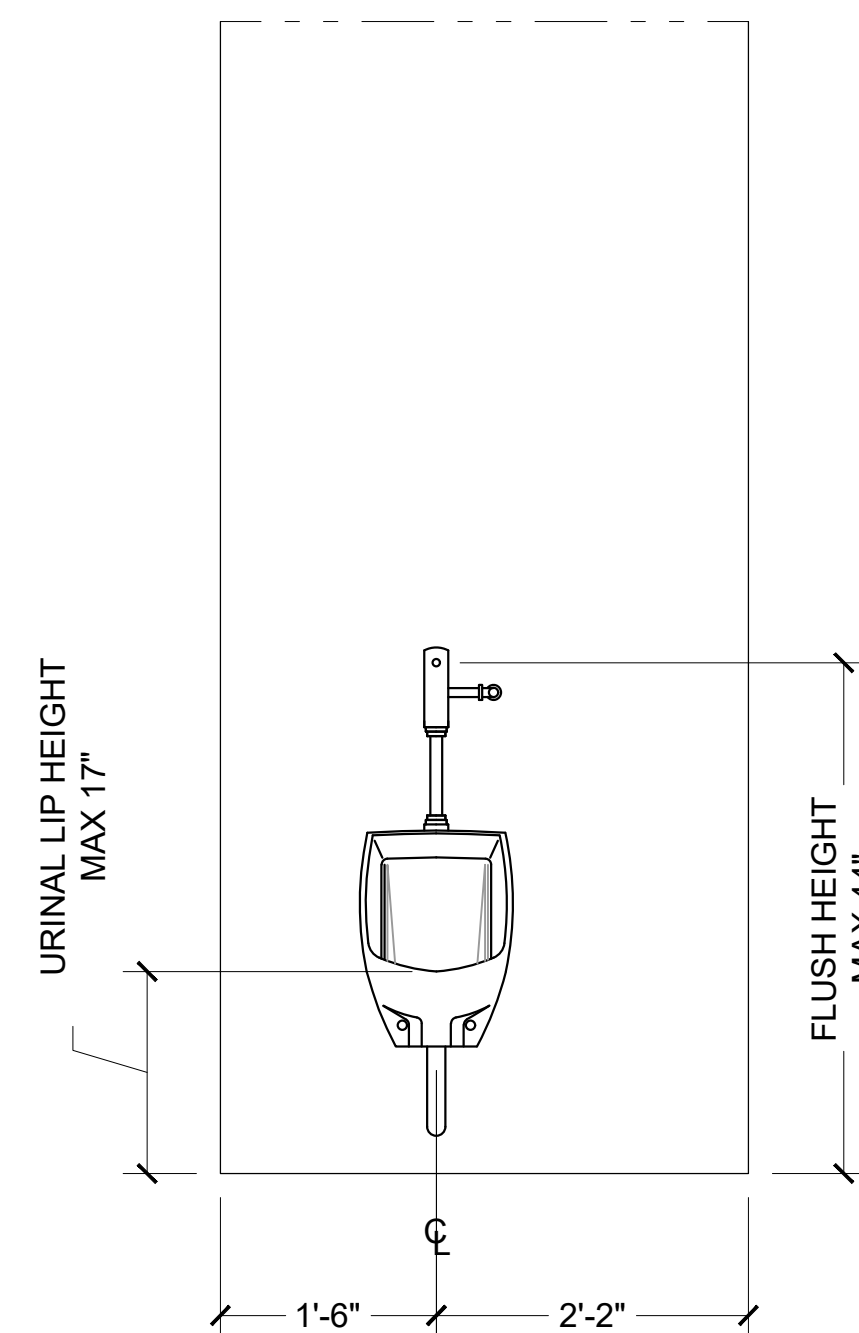
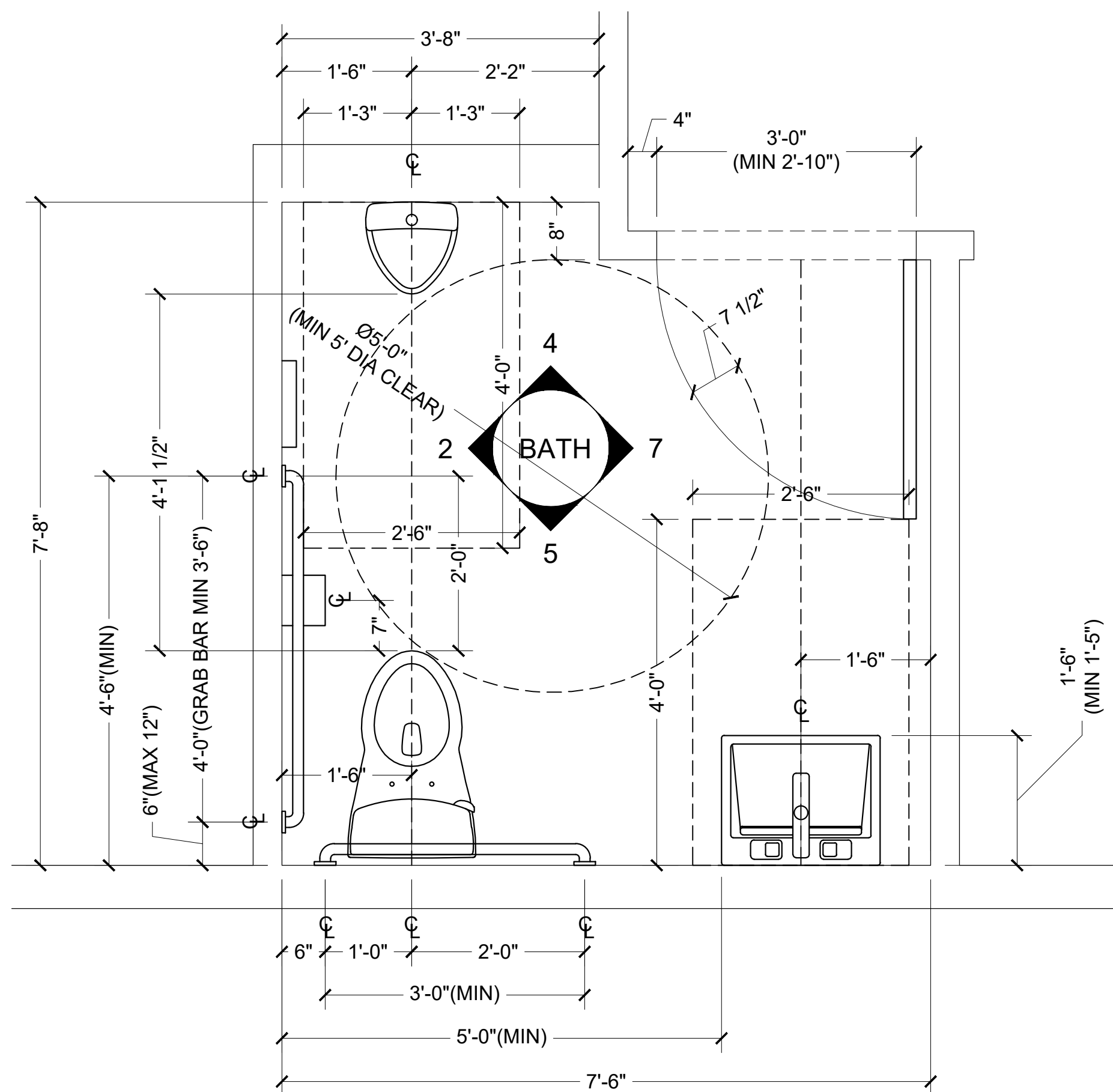
A-4



7	INTERIOR ELEVATION	SCALE:3/4"=1'-0"
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5	INTERIOR ELEVATION	SCALE:3/4"=1'-0"
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2	INTERIOR ELEVATION	SCALE:3/4"=1'-0"
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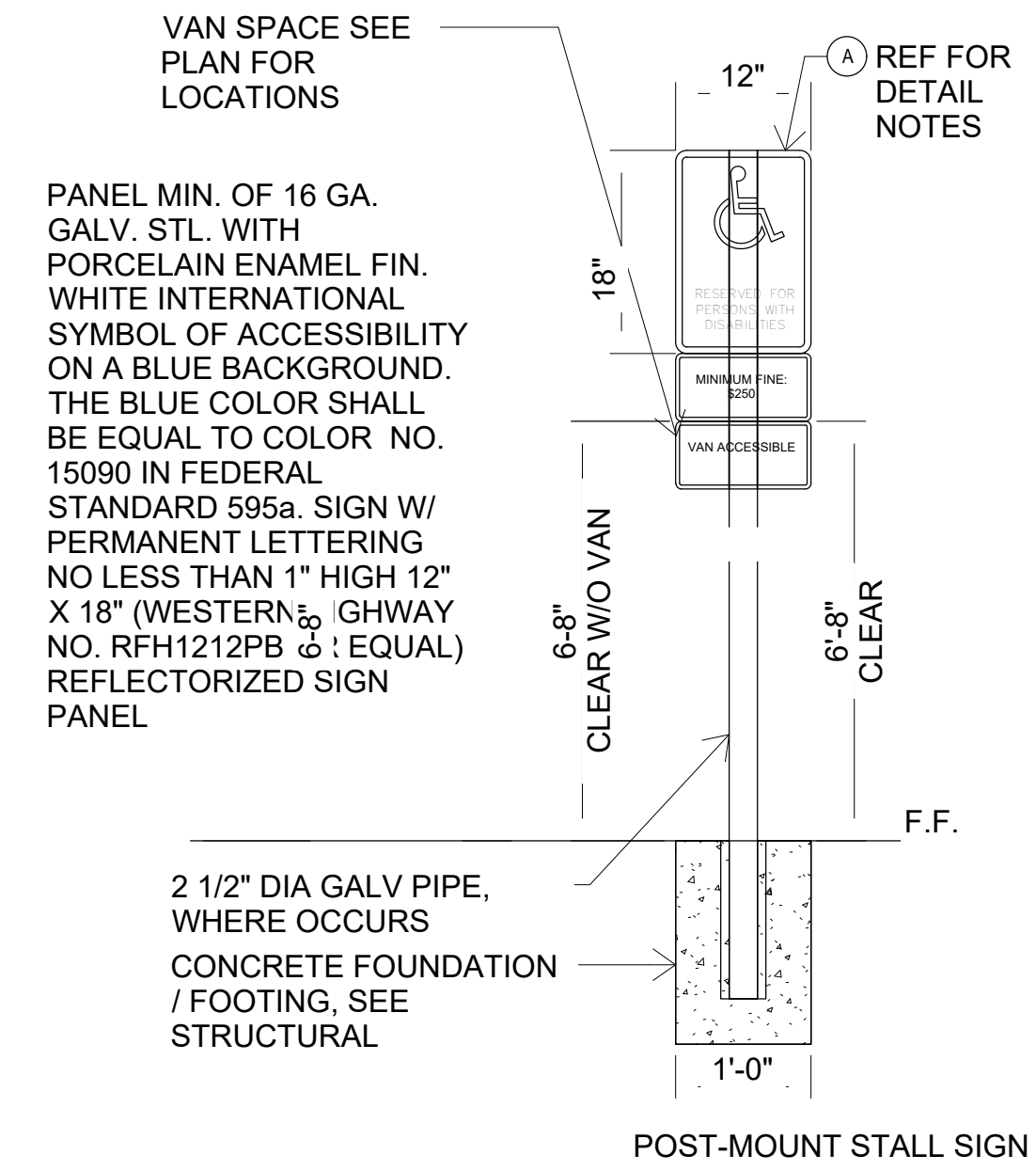
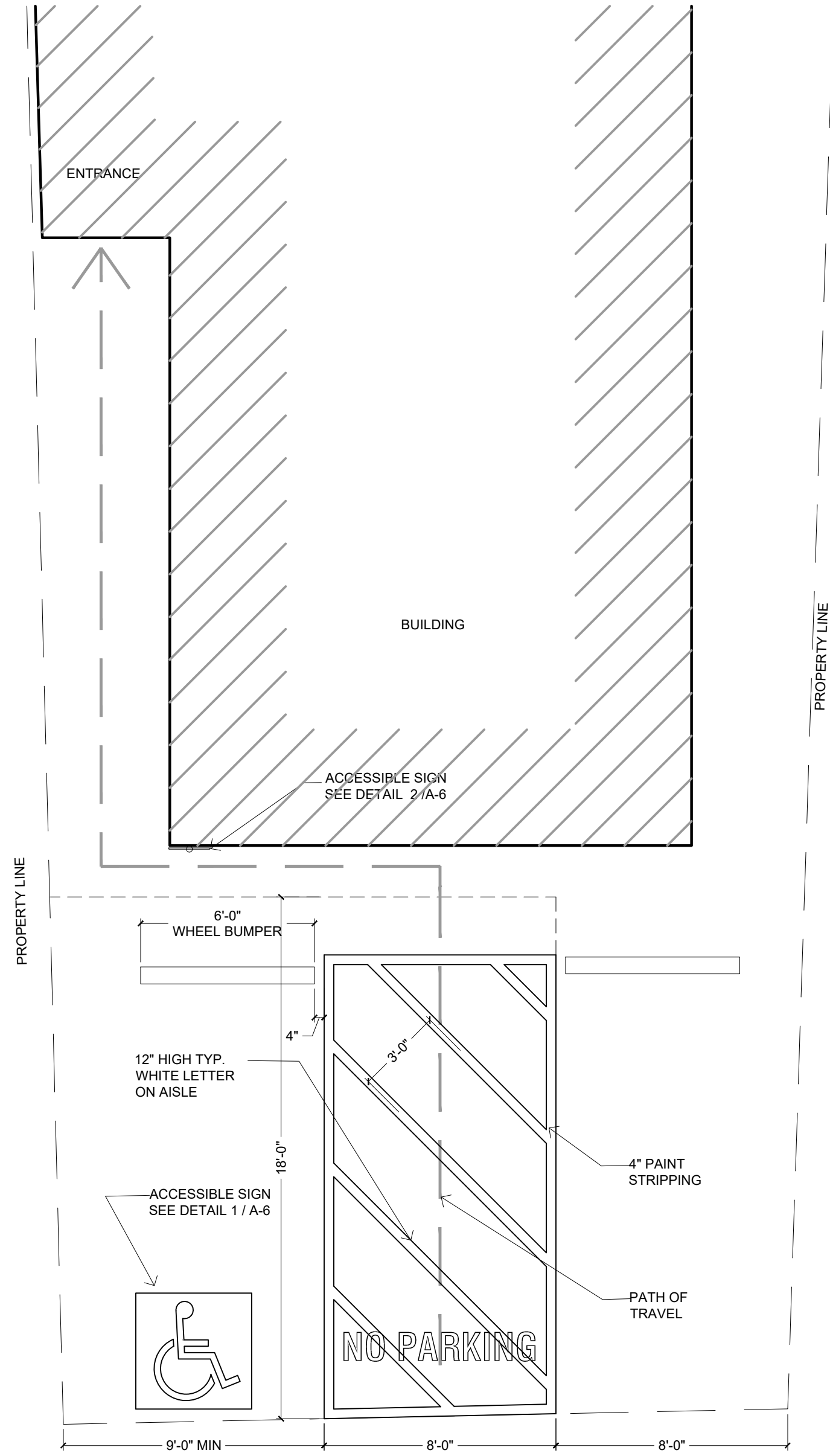


6	NEW HANDICAP BATHROOM PLAN	SCALE:3/4"=1'-0"
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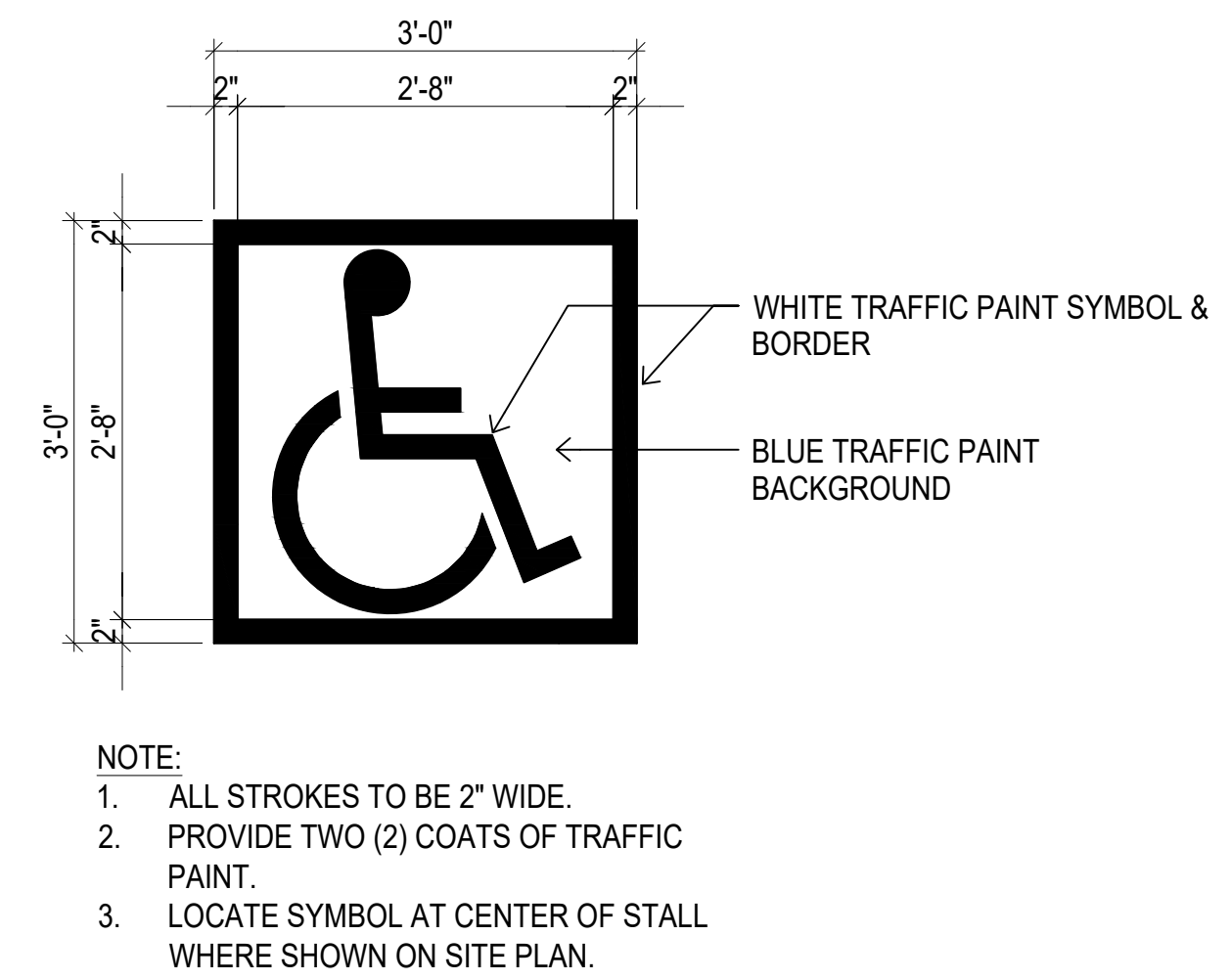
4	INTERIOR ELEVATION	SCALE:3/4"=1'-0"
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3	DOOR SIGN MOUNTING LOCATION	SC: 3/4"=1'-0"
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1	RESTROOM DOOR SINAGE	SCALE:1 1/2"=1'-0"
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2 ACCESSIBLE PARKING SINAGE SCALE:3/4"=1'-0"



1 ADA SYMBOL SCALE:3/4"=1'-0"

3 DISABLED PARKING STRIPPING

SCALE:1/4"=1'-0"