



**COMMUNITY
DEVELOPMENT**

July 27, 2026

Souren Grigoryan
4419 Van Nuys Blvd. 410.
Sherman Oaks, CA 91403

VIA EMAIL: souren@sgstudio.org

**RE: Project No. 26-0000888 (Hillside Development Permit) - Approved
Located at 420 South Sunset Canyon Drive**

Dear Mr. Grigoryan,

This letter is to notify you that the Community Development Director has approved your application for a Hillside Development Permit (HDP) allow grading activity (cut 9.3 cubic yards of soil and fill 66.62 cubic yard in soil) to construct a total of 604'-1" linear feet in new retaining walls ranging in heights between 2'-6" to 4'-0" for property address located at 420 South Sunset Canyon Drive. The Project Site is zoned R-1 (Single Family Residential) and is in the hillside area. Enclosed is the HDP approval with the Project's conditions of approval.

Please be advised that the decision of the Community Development Director will become final fifteen (15) days from the date of this letter unless the decision is appealed to the Planning Commission. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing, in accordance with the adopted Citywide 2026-27 Fee Schedule fee, prior to the expiration of the fifteen (15) day appeal period, or 5:00 p.m. on August 11, 2026.

If you have any questions concerning this letter, please contact me by phone at (818) 238-5250 or by email at erendon@burbankca.gov.

Sincerely,

EDUARDO RENDON
Assistant Planner
Community Development Department

Attachments: Exhibit A - View Study
Approved Plans

Community Development Department Director's Decision

DATE: July 27, 2026

PROJECT TITLE: Project No. 26-0000888– Hillside Development Permit

PROJECT ADDRESS: 420 South Sunset Canyon

APPLICANT: Souren Grigoryan

PROJECT DESCRIPTION: The Project proposes grading activity (cut 9.3 cubic yards of soil and fill 66.62 cubic yard in soil) to construct 604'-1" linear feet of new retaining walls with heights ranging between 2'-6" to 4'-0" located on or adjacent to property lines within the front, side, and rear yards of the property in the R-1 (Single Family Residential) and designated Hillside area ("Project Site").

ZONING: R-1

GENERAL PLAN: Low Density Residential

MUNICIPAL CODE CONFORMANCE: The Project was reviewed by staff and determined to be consistent with the R-1 zone development standards and regulations of Burbank Municipal Code (BMC), including BMC Sections 10-1-603, 10-1-606 and 10-1-607.

ENVIRONMENTAL REVIEW: The Project has been determined to be exempt from the California Environmental Quality Act (CEQA) in accordance with Section 15303(e) of the CEQA Guidelines pertaining to new construction of accessory structures such as walls and fences.

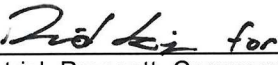
DATE SIGN POSTED ON-SITE: June 17, 2026

DATE PUBLIC NOTICE MAILED: June 17, 2026

DATE OF DIRECTOR'S DECISION: July 27, 2026

END OF APPEAL PERIOD: August 11, 2026

Eduardo Rendon, Assistant Planner
Planning Division (818) 238-5250


Patrick Prescott, Community Development Director

HILLSIDE DEVELOPMENT PERMIT NO. 26-0000888
(420 South Sunset Canyon - Souren Grigoryan, Applicant and Grigor Pogosyan, Property Owner)

Findings for Granting a Hillside Development Permit

The Community Development Director finds the proposed Project satisfies the requisite findings contained in the Burbank Municipal Code (BMC) Section 10-1-607(D)(3) necessary for approval of the Hillside Development Permit, subject to the attached conditions of approval.

-
- a) The vehicle and pedestrian access to the house and other structures do not detrimentally impact traffic circulation and safety or pedestrian circulation and safety and are compatible with existing traffic circulation patterns in the surrounding neighborhood. This includes but is not limited to: driveways and private roadways, access to public streets, safety features such as guardrails and other barriers, garages and other parking areas, and sidewalks and pedestrian paths.*

The Project Site is currently under construction to develop the site with a single-family residence; a driveway and walkway located in the front yard. The Project, as proposed, would affect the existing front and rear yard areas. Specifically, the scope of the Project includes grading activity (cut 9.3 cubic yards of soil and fill 66.62 cubic yard in soil) to construct 604'-1" feet of new retaining walls with heights ranging from 2'-6" to 4'-0". The new retaining walls are located along the southeast side property line, away from the proposed driveway, and along the northwest side property line. The Project would not affect the vehicle or pedestrian circulation on the property. In addition, the Project would not detrimentally impact traffic circulation and safety or pedestrian circulation and safety; and would be compatible with existing traffic circulation patterns in the surrounding neighborhood. Therefore, this finding can be made.

- b) The house and other structures are reasonably consistent with the natural topography of the surrounding hillside.*

The ongoing development to construct a new 2-story Single-Family Dwelling with a 3-car garage has been approved under Hillside Development Permit project number 22-0003275 and was found to be consistent with the natural topography of the surrounding hillside. The house and other structures will not be affected by the Project's scope of work that includes the construction of 604'-1" linear feet of new retaining walls with heights ranging from 2'-6" to 4'-0". Grading is required for the purpose of the new retaining walls within the front, side, and rear yards of the lot. The new retaining wall would comply with the R-1 zone maximum allowable height requirements for retaining walls located in the front, side, and rear yards. Given these conditions, staff have determined that the Project Site will remain consistent with the existing topography that

is like the adjacent neighboring properties' existing improvement of their rear yards. Therefore, this finding can be made.

- c) *The house and other structures are designed to reasonably incorporate or avoid altering natural topographic features.*

The house and other structures will not be affected by the Project's scope of work that includes 604'-1" linear feet of new retaining walls with heights ranging from 2'-6" to 4'-0". Grading activity is required to construct the retaining walls (cut 9.3 cubic yards of soil and fill 66.62 cubic yards in soil). The proposed grading would not affect the natural topographic features of the Project Site and surrounding properties. Therefore, this finding can be made.

- d) *The house and other structures will not unnecessarily or unreasonably encroach upon the scenic views from neighboring properties, including both downslope and upslope views.*

The Project will not have an unreasonable impact on surrounding upslope or downslope views of properties in the surrounding neighborhood. As identified in the View Study prepared for this project, the proposed retaining walls will not unnecessarily or unreasonably encroach on the scenic views from the neighboring properties. As part of the View Study, staff analyzed view impacts using photographs, site plan, elevation drawings, and topographic elevation contours. Staff also conducted a site visit on June 10, 2026, as part of the View Study analysis. Therefore, this finding can be made.

- e) *For the purpose of evaluating required finding (e) above, a view study must be submitted with all Hillside Development Permit applications documenting the impacts of the proposed structure(s) on views from adjacent properties. The view study must be prepared in a manner approved by the Director or his/her designee and contain all information and documentation deemed necessary by the Director for the purpose of analyzing view impacts and establishing setback lines for view determination to Section 10-1-606(E). This study is separate from the Ridgeline setback analysis required by Section 10-1-606(D).*

As a part of the View Study, a site visit was conducted on the property on June 10, 2026, to analyze the potential view impacts of the proposed retaining walls on adjacent properties. Pictures of the property were captured from various angles to assess the potential impacts of the development on the views from the neighboring properties. The View Study concluded that the Project would not affect the existing views from surrounding properties. Therefore, this finding can be made.

- f) *The view impact of the proposed project must be considered by the Director, or Planning Board or City Council if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required finding:*

The Project potential impacts on views were analyzed by staff using photographs, site plan, elevation drawings, topographic elevation contours, and a site visit that occurred on June 10, 2026. Staff have determined that the project would not affect the existing views of the neighboring properties. Therefore, this finding can be made.

HILLSIDE DEVELOPMENT PERMIT NO. 26-0000888
(420 South Sunset Canyon - Souren Grigoryan, Applicant and Grigor Pogosyan,
Property Owner)

CONDITIONS OF APPROVAL

PLANNING DIVISION

1. Project No. 26-0000888, a Hillside Development Permit, approves a proposal to construct 604'-1" linear feet of new retaining walls with heights ranging between 2'-6" to 4'-0" in the front, side, and rear yards of the property located at 420 South Sunset Canyon Drive. Grading activity is required for the purpose of the new retaining walls. The Project Site is zoned R-1 (Single Family Residential) and is in the hillside area. The property is also currently under construction (BS#2309748) to develop a new 7,037 square foot single family dwelling with an attached two car garage on an approximate 24,000 square foot lot.
2. The retaining walls shall use decorative material (ex. slump stone) that is consistent with the architectural style of the house.
3. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (July 27, 2027) unless the Property Owner has diligently developed the proposed Project as shown by the issuance of grading, foundation, or building permit and the construction of substantial improvements.
4. The operation/construction on the site shall remain in substantial conformance with the Project plans stamped approved on July 27, 2026, and placed on file in the office of the Planning Division.
5. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Applicant, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside, void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the applicant fails or refuses to enter into the

indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.

6. The permittee shall comply with all federal, state, and local laws. Violation or conviction of any of those laws in connection with the use will be cause for revocation of this permit.
7. This permit may be modified or revoked by the City should the determination be made that the structure or conditions under which it was permitted present detrimental impacts on neighboring properties.
8. The permittee shall list these conditions of approval in all construction plans submitted to the Building Division for a building permit and shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the building permit plan set for all City Division/Department conditions enclosed and provide the same number of copies as building plan sets submitted for Building Plan Check.
9. By signing and/or using this Hillside Development Permit, the permittee acknowledges all the conditions imposed and accepts this permit subject to those conditions and with full awareness of the provisions of the Burbank Municipal Code. Failure of the permittee or property owners to sign these conditions does not affect their enforceability by the City or other responsible entity. These conditions are binding upon all future property owners and occupants of the subject property.
10. The exterior materials and designs used during construction shall match those depicted on the approved set of plans stamped on July 27, 2026. Any modifications to the exterior materials must be reviewed and approved by the Planning Division prior to installation.

BUILDING DIVISION

11. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the **2025 edition of the California Building Code**, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Cycles.
12. Plans and reports submitted for Plan Check Review are to be submitted electronically. For more information about the online submittal process, please contact the Building Division at 818-238-5220 or via email at eplancheck@burbankca.gov.

13. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
14. All Departments that have provide Conditions of Approval are to review drawings and provide final approval via online electronic review, prior to issuance of Building Permit.
15. Separate Permits will be required for the following: (BMC 9-1-1-105)
 - a. Demolition
 - b. Grading & Shoring
 - c. Pool, Spa, & Equipment
 - d. Accessory Dwelling Unit
 - e. Mechanical
 - f. Plumbing
 - g. Electrical
16. Project lies within the City of Burbank Mountain Fire Zone.
 - a. All construction is required to meet Burbank Municipal Code 9-1-1-701A.1.1
17. A Civil plan is required showing the proposed changes to the site grading to accommodate the garage and driveway. Topographical contour lines are to be indicated, showing existing and proposed contours.
18. Grading and drainage plans may be required, and a separate Grading & Shoring Permit may be required. Geotechnical report to be submitted along with Grading & Shoring Permit Application.
19. The foundation shall comply with California Building Code Section 1808.7, for foundations on or adjacent to slopes. A soils report will be required.
20. A stamped setback certification by a Licensed Surveyor will be required to certify the location of the new construction in relation to the setbacks prior to the first foundation inspection.
21. New or Addition/Alteration construction projects within the City of Burbank are subject to MWELo review.
 - a. Full structure demolition and new construction are required to provide a full MWELo plan check set for review.
22. New or replacement landscape areas for residential and non-residential projects between 500 (new) and 2,500 (replacement) square feet requiring a building or landscape permit, plan check, or design review will be required to complete, either a Performance or Prescriptive Compliance Method. Full house demolition will require MWELo review, either prescriptive or performance, no exceptions.
23. A CF1R energy report will be required, and design team is required to review and coordinate all values with those shown on Plans, Elevations, Sections, and

Window Schedules.

24. The California Division of Mines and Geology Active Fault Near-Source Zones Map for Burbank indicates the city is within 2 km - 5 km of the Verdugo and Hollywood Faults. Structural design of construction projects must address the impact of the Near-Fault Zones.
25. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit.
26. The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 65% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work.
27. Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC:
 - Wood-framed, single-family dwellings not more than two stories in height;
 - Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
 - Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
 - Non-structural or non-seismic storefronts, interior alterations or additions.
28. A Building Permit may be issued to the Property Owner provided that the work is limited to:
 - A single-family dwelling of wood frame construction not more than two stories and a basement in height.
 - Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
 - Nonstructural or non-seismic alterations or additions.
29. Approved hours of construction are:

Monday – Friday	7:00 am to 7:00 pm
Saturday	8:00 am to 5:00 pm

No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.

WATER AND POWER – ELECTRIC

30. Prior to permit issuance, the applicant shall ensure that the proposed retaining wall design maintains adequate working space on the side of the property where the

new 400A single meter panel is proposed. Sufficient clearance must also be maintained for BWP's underground conduit route from the existing pull box located within the public utility easement. While the service is currently proposed as underground, it is possible that the configuration may change to overhead; therefore, necessary clearances and access must be preserved for either service option.

31. The retaining wall must not impede access to any BWP facilities or interfere with the installation, maintenance, or operation of existing or proposed electrical infrastructure. The wall shall not disturb any existing underground utility lines or the wing pole located at the front of the property.
32. Based on preliminary review, the retaining wall is acceptable provided these access and clearance requirements are satisfied. BWP will provide further comments once updated plans are submitted showing the retaining wall layout in relation to all existing and proposed electrical facilities.
33. If the applicant elects to upgrade the service, a permit plan review or meter-spot field visit will be required to determine the new configuration through a Confirmation of Electric Service. Any requested electrical service upgrade will incur On-Site and Off-Site Aid in Construction Charges (AIC) based on the latest BWP Rules and Regulations and the latest city-wide fee schedule.
34. An electric load schedule and a complete secondary electric service schematic for the entire property will be required for plan approval. BWP will provide full comments once the electrical sheets are submitted. A meeting should be scheduled between the developer, project architect, electrical engineer, and BWP Electrical Engineering at (818) 238-3647 to review the service configuration and facility locations.

EXHIBIT A

VIEW STUDY FOR HILLSIDE DEVELOPMENT PERMIT PROJECT NO. 26-0000888 Located at 420 South Sunset Canyon Drive, Burbank CA 91501

Purpose:

Per Burbank Municipal Code Section 10-1-607(D)(3)(e), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. A project is considered to have a view impact if it unnecessarily or unreasonably encroaches upon the scenic views from the neighboring properties. A complete or nearly complete obstruction of a primary or secondary view is regarded as a significant view impact. In addition, pursuant to Section 10-1-607(D)(3)(f), these view impacts must be considered as a basis for making a decision. The view impacts of the proposed Project must be considered by the Director, or Planning Commission if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required findings.

Intent:

To determine the primary and secondary view of a subject property, staff first identified the front and rear yard setback lines. According to BMC Section 10-1-606(E)(1), when the primary view is from the front yard, rear yard, or both, a setback line is established in the yard(s) with the primary view. This line is drawn from the nearest front or rear corner of existing homes on adjacent lots, as illustrated in Diagram 10-1-606(E) below.

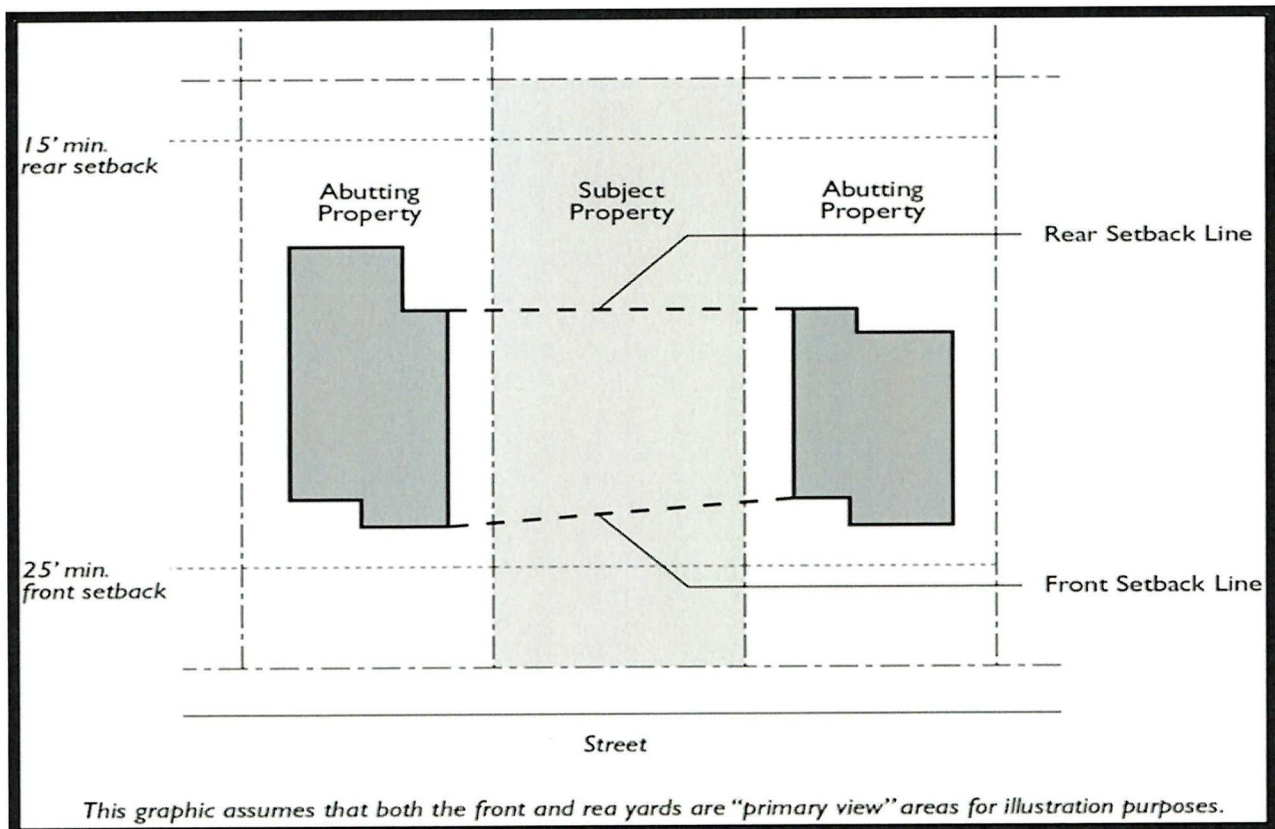


Figure 1: Front and Rear Setbacks for View Determination in the Hillside Area

Once staff establishes the setback lines and identifies the primary view, the Project is evaluated to ensure it does not unnecessarily or unreasonably encroach upon scenic views from neighboring properties.

Methodology:

As a part of the view study, a site visit was conducted on the property on June 10, 2026, to analyze the potential view impact of the proposed new retaining walls, ranging in height between 2'-6" to 4'-0".



Figure 2: Location of the proposed Project with respect to the neighboring properties. Identified in red is the subject property.

Project Description:

The Project proposes to construct 561 feet of new retaining walls ranging from 2'-6" to 4'-0" in height. Figures 3 and 4 below, provide the proposed improvements to the Project. Also, a 3'-0" concrete wall will be constructed above the new 4'-0" retaining walls outside of the front yard area.

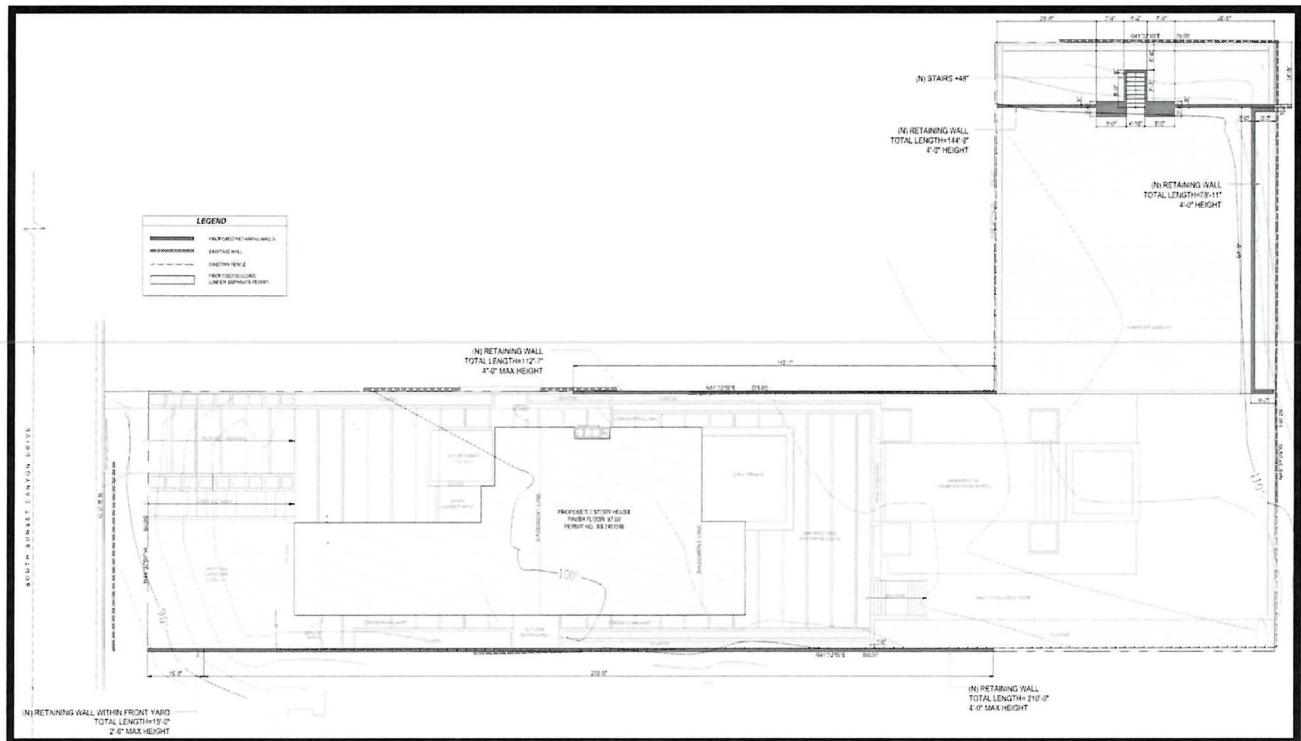


Figure 3: Site plan of the proposed Project, which includes the new retaining walls ranging in height of 2'-6" to 4'-0".

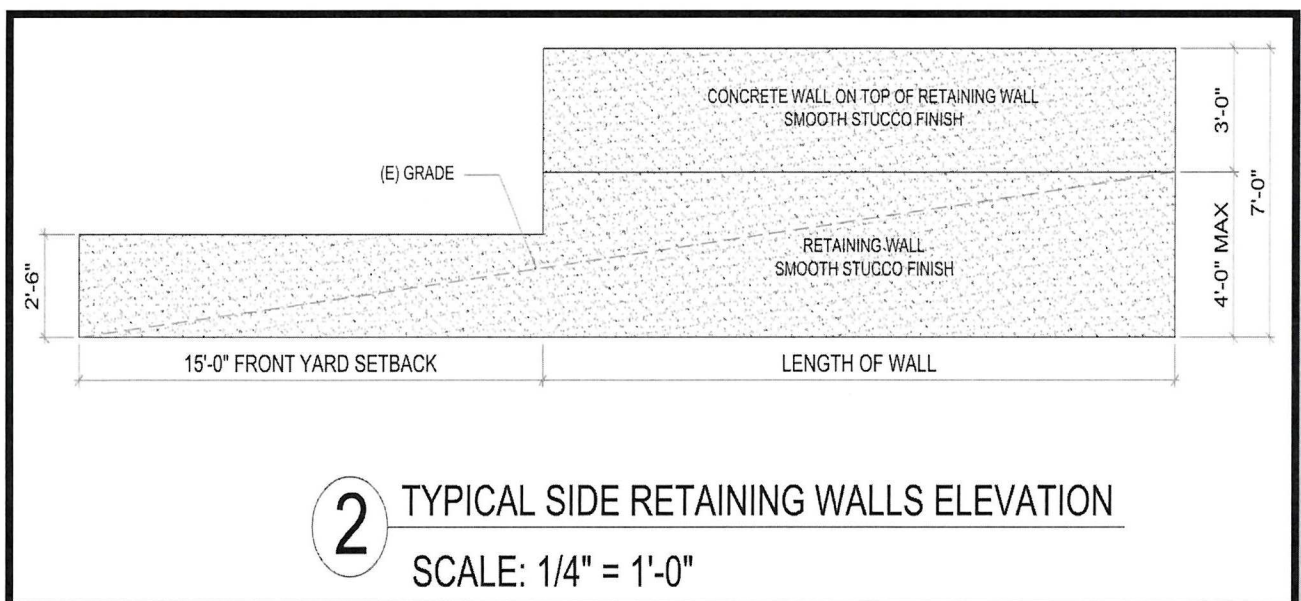


Figure 4: Section plans of the proposed retaining walls.

Analysis:

Photos of the property were captured from various angles to assess the potential impact of the development on the views from the neighboring properties. On June 10, 2026, staff conducted a site visit. Staff also analyzed the topographic map and photos taken from various angles of the Project site to assess the potential impact of the Project on the views from the neighboring properties.

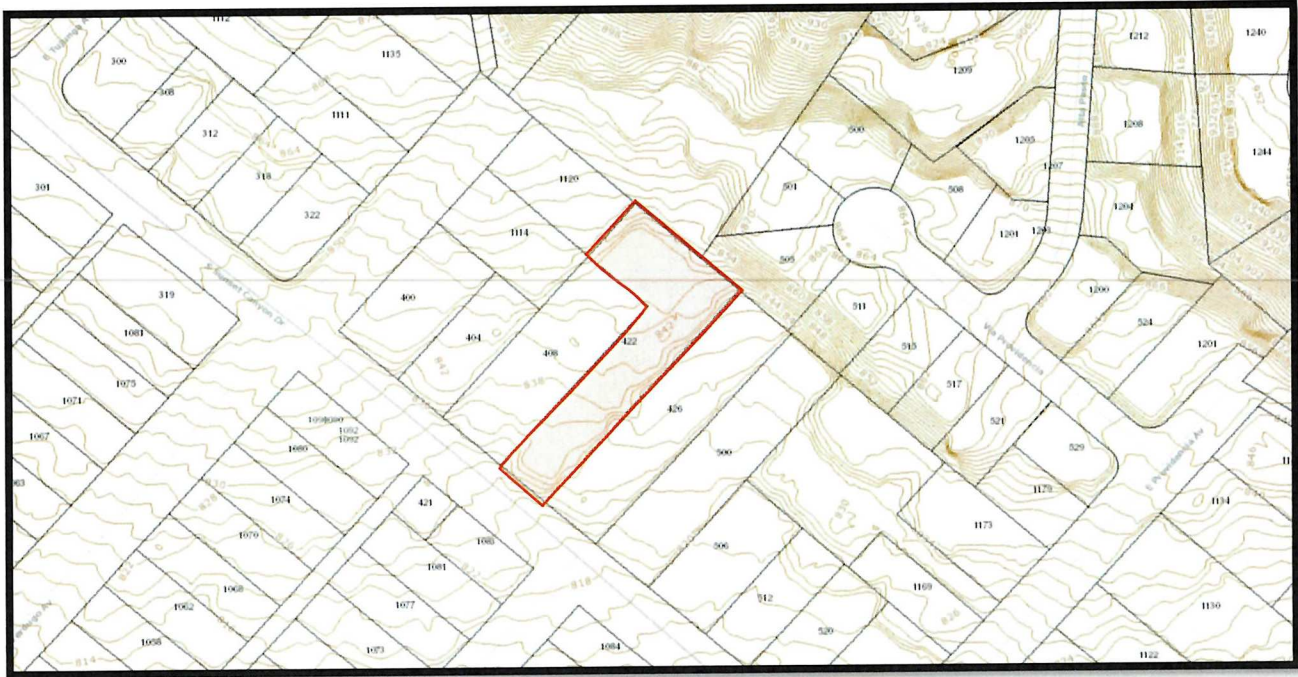


Figure 5: The topographic map of the subject property and vicinity.



Figure 6: View of the current conditions at Project Site from S. Sunset Canyon Drive looking northeast.



Figure 7: View of the current conditions of the lot facing north.



Figure 8: View of the proposed new retaining wall located in the front yard area with a proposed maximum height of 2'-6". The photo is looking southeast towards neighboring property 426 S. Sunset Canyon Drive.



Figure 9: The photo is looking southeast towards neighboring property 426 S. Sunset Canyon Drive. Proposing a ne retaining wall with a maximum height of 4'-0" and 3'-0" wall on top of the retaining wall.



Figure 10: View looking west at the new proposed rear retaining walls located at the rear property line looking towards property 1120 E. Verdugo Avenue & 501 Via Providencia from the rear yard of the Project site property.



Figure 11: View of the location for a new proposed side yard retaining wall located at the westside property line looking west towards property 408 South Sunset Canyon Drive.

The Project site is currently under construction to build a new single-family dwelling and garage. Portions of structures have been constructed on the site as shown in figure 7. The new single-family dwelling was approved separately for a Hillside Development Permit to demolish an existing single-family dwelling and garage and construct a new two-story, 7,037 square-foot single family residence with swimming pool, spa, and rear trellis located in the R-1 (Hillside) zone.

The proposed retaining walls located on the Project site complies with the development standards of BMC Section 10-1-603(H)(3), in regards to maximum height requirements for retaining walls. The proposed new retaining walls is 2'-6" tall in the front yard area and 4'-0" outside of the front yard area.

The new proposed retaining wall located on the front yard area on the southeastern property line abutting property 426 S. Sunset Canyon Drive, as shown in Figure 8, is proposed to be 36'-0" in length and will not exceed 2'-6" in height within the front yard area.

The new proposed retaining wall along the front yard area continues 189'-0" north along the southeastern property line abutting property 426 S. Sunset Canyon Drive, as shown in Figure 9. The height of this retaining wall will not exceed 4'-0" in height and a new proposed 3'-0" concrete wall will be placed on top of the new retaining wall with an overall maximum height of 7'-0" tall.

The new proposed retaining walls at the rear of the property line looking towards property 1120 E. Verdugo Avenue & 501 Via Providencia are proposed to be 220'-5" in length and will not exceed 4'-0" in height, as shown in Figure 10.

The new proposed retaining wall located on the northwest interior property line abutting property 408 S. Sunset Canyon Drive is proposed to be 112'-7" in length and 4'-0" in height and a new proposed 3'-0" concrete wall will be placed on top of the new retaining wall with an overall maximum height of 7'-0" tall as shown in Figure 11. In accordance with the R-1 zone retaining wall standards, walls may be constructed on top of retaining walls, which are located outside the front yard area. The overall height of the retaining wall plus the block wall on top of the retaining wall also complies with the height standard for standalone block wall located outside the front yard.

Conclusion:

Based on staff review and analysis of the submitted site plan, architectural drawings, topographic information, site photographs, and the site visit conducted on June 10, 2026, staff determined that the proposed Project will not result in any unreasonable obstruction of primary or secondary views for properties within the surrounding neighborhood.

The views of the adjacent properties that were analyzed in the view study would not be impacted by the new retaining walls at the front, side, and rear of the lot. In addition, as proposed, the new retaining walls would comply with the retaining wall standards of BMC Sections 10-1-603(H) and 10-1-606(F).

The proposed retaining wall requires a hillside development permit in accordance with Burbank Municipal Code Section 10-1-606(H), because retaining walls involves grading activity for structures.

Staff have determined that the proposed improvements as requested through this hillside development permit application can be supported without impacting on neighboring properties views.

420 S SUNSET CANYON DR. BURBANK, CA 91501

No.	DESCRIPTION	DATE
1	INITIAL DESIGN	02/06/2026

PROJECT No. 2023-019

WARNING: THIS DRAWING MAY BE USED FOR CONSTRUCTION WITHOUT THE ASSISTANCE OF A PROFESSIONAL ENGINEER. ANY MODIFICATION OR ALTERATION TO THIS DRAWING WITHOUT THE ASSISTANCE OF A PROFESSIONAL ENGINEER IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY THAT MAY OCCUR ONLY BE PERFORMED UNDER THE DIRECT SUPERVISION OF SG STUDIOS.

JOB ADDRESS:
420 S SUNSET CANYON DR.
BURBANK, CA 91501
PREPARED FOR:
GRIGOR POGOSYAN



COVER SHEET

A-0

SHEET NUMBER

A. PROJECT INFORMATION

PROJECT DATA
420 S SUNSET CANYON DR. BURBANK, CA 91501
OWNER: GRIGOR POGOSYAN
ARCHITECTURAL PREPARED BY
SG DESIGN STUDIO INC.
SOUREN GRIGORYAN M.S. P.E.
4419 VAN NUYS BLVD. #410, SHERMAN OAKS, CA 91403

ENGINEER OF RECORD
SG DESIGN STUDIO INC.
SOUREN GRIGORYAN M.S. P.E.
4419 VAN NUYS BLVD. #410, SHERMAN OAKS, CA 91403

LEGAL LOT DESCRIPTION
ASSESSOR PARCEL No. (APN) 5608-030-018
VILLA LOTS IN BURBANK SE 60 FT AND NE 75 FT OF HW 90
FT OF LOT 11

AREA SUMMARY
LOT/PARCEL AREA: 21,000 SF
- (N) S.F.D.: 7,037 SF

SCOPE OF WORK
- NEW 60'-1" TOTAL L.F. 2'-6" MIN. TO 4'-0" MAX. HIGH
RETAINING WALLS
- 9.30 C.Y. CUT AND 66.62 C.Y. FILL

BUILDING CODE DATA LEGEND
OCCUPANCY: R-1
ZONING: BUR-1
DESCRIPTION OF USE: S.F.D.
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: 2
HEIGHT OF (N) S.F.D.: 26'-2"
SPRINKLERS: NONE
YEAR SFD BUILT: 1941

B. SHEET INDEX

SHEET NAME	SHEET #
COVER SHEET	A-0
SITE PLAN	A-1
GRADING COVER SHEET AND NOTES	C-0
GRADING PLAN	C-1
STRUCTURAL NOTES	S-0
STRUCTURAL SCHEDULES	S-1
TYPICAL DETAILS	S-2
KEY SITE PLAN	S-3
FOUNDATION PLAN	S-4
FOUNDATION PLAN	S-5
STRUCTURAL DETAILS	S-6



D. VICINITY MAP



E. ASSESSOR MAP



C. PROJECT IMAGE

F. NOTES ON PLAN

- OBTAIN PERMITS FROM PUBLIC PRIOR TO CONSTRUCTION FOR:
A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY CBC SECTION 3306.1
B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.
- IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48"
OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHEN SHALL HAVE A MAXIMUM SPACING OF 48"
- MINIMUM OF 40 LUMENS PER WATT (E.G. FLUORESCENT LAMP)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH U.L. 325.
- ISRI ICC ELECTRICAL TEST LAB RESEARCH REPORT IS REQUIRED TO USE AN ELECTRO-MECHANICAL LIFT FOR PROVIDED PARKING SPACES.
- A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLE AND/OR SALVAGE FOR REUSE IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.4.
- FINISH MATERIAL, INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VIOLATE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARD CODE, CHAPTER 4 DIVISION 4.5.
- WHEN A VAPOR RETARDED IS REQUIRED, A CAPILLARY BREAK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.5.
- ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER, DIVISION 4.4.

G. BMP REQUIRED NOTES

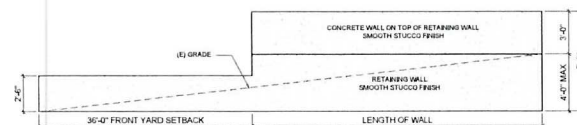
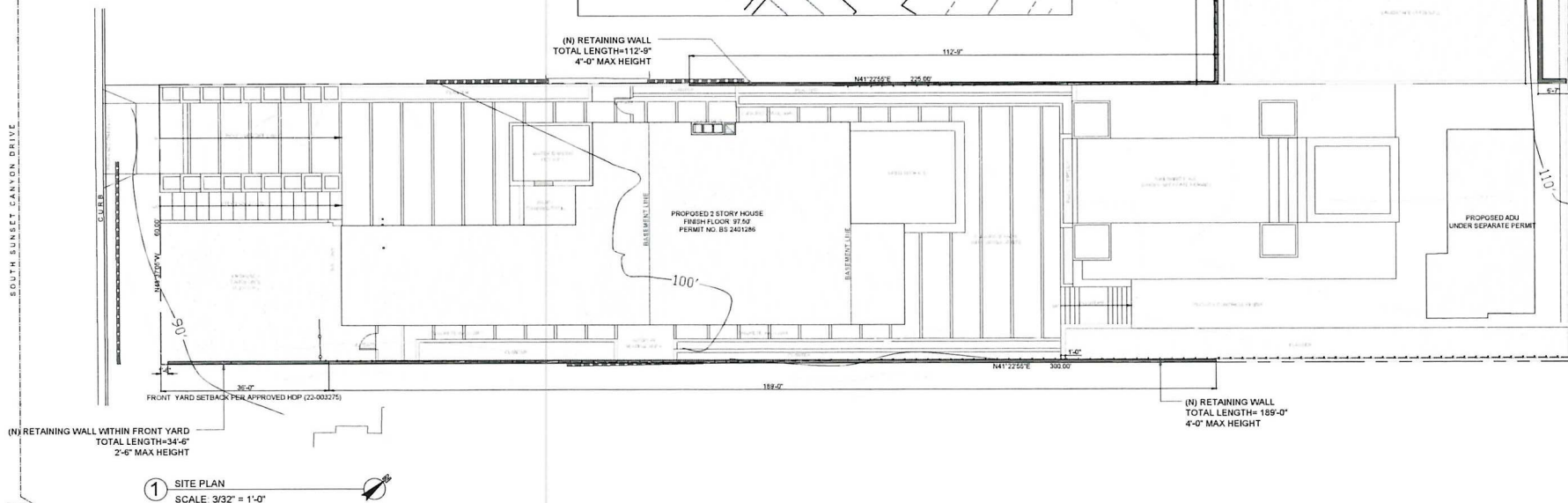
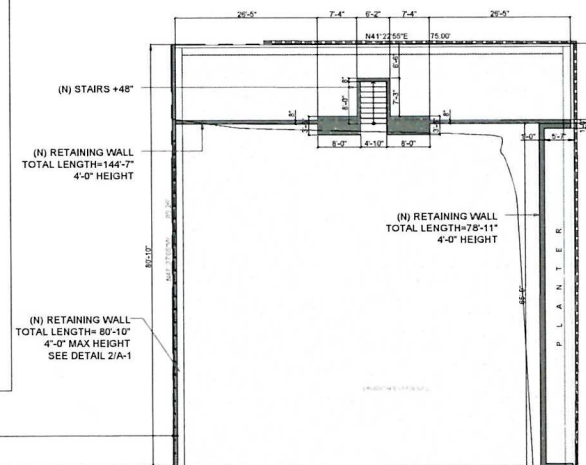
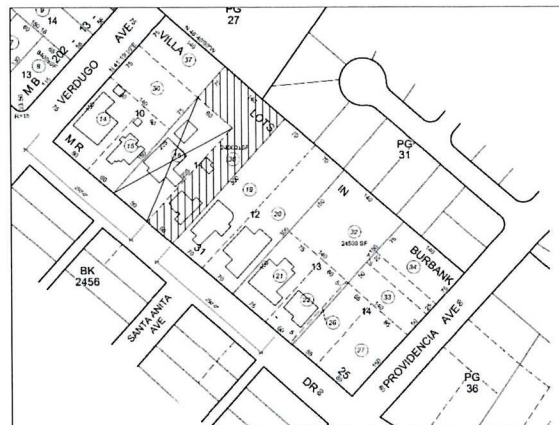
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OR EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND AND WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTABLES TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FORM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP TO IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPE WITH DISTURBED SOILS OR DENuded VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTIONS.

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
By: EDUARDO RENDON
Project No. 26-000088
Date: July 27, 2026

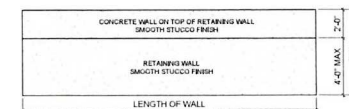
H. CONSTRUCTION NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNTOWN SIDE OF THE UTILITY METER AND BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN, SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALK SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED) (R308.6.9).
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC 507.3. LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) No. 2977 (3162B).
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH U.L. 325. (R308.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED (R315.2.)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

THE AVERAGE FRONT YARD SETBACK SHALL BE DETERMINED FROM LOTS ON THE SAME BLOCK THAT ARE 100 FEET OR GREATER FROM THE SUBJECT PROPERTY. IN CALCULATING THE AVERAGE SETBACK MEASUREMENT THAT APPLY FROM THE AVERAGE OF MORE THAN FIFTY PERCENT SHALL NOT BE USED TO AVERAGE THE AVERAGE.



2 TYPICAL SIDE RETAINING WALLS ELEVATION
SCALE: 1/4" = 1'-0"



3 TYPICAL REAR RETAINING WALLS ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED

By: **EDUARDO RENDON**
Project No. 26-0000888



Eduardo Ruelas
Date: July 27, 2026

No.	DESCRIPTION	DATE
1	INITIAL DESIGN	02/06/2026

PROJECT No. 2023-019

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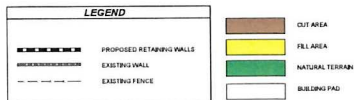
JOB ADDRESS:
420 S SUNSET CANYON DR.
BURBANK, CA 91501
PREPARED FOR:
GRIGOR POGOSYAN



SITE PLAN

A-1

SHEET NUMBER



No.	DESCRIPTION	DATE
1	INITIAL DESIGN	04/15/2026

PROJECT No.2023-019

DESIGNED BY: SG

CHECKED BY: SG

JOB ADDRESS:
420 S SUNSET CANYON DR.
BURBANK, CA 91501

GRADING PLAN



C-1

SHEET NUMBER