

PROJECT INFORMATION	
OCCUPANCY GROUP:	R-2
CONSTRUCTION TYPE:	VB
SPRINKLERED:	YES

ARCHITECTURAL SHEET LIST	
Sheet Number	Sheet Name
A-0.0	COVER SHEET / SITE PLAN
A-0.1	GENERAL NOTES AND SPECIFICATIONS
A-0.2	CALGREEN
A-0.3	CALGREEN
A-0.4	CALGREEN
A-0.5	BURBANK CALGREEN CHECKLIST
A-0.6	ELECTRICAL NOTES
A-0.7	DEMO/EXISTING SITE PLAN
A-1.0	PROPOSED BASEMENT FLOOR PLAN
A-1.1	PROPOSED (MFR) 1ST FLOOR PLAN
A-1.2	PROPOSED (MFR) 2ND FLOOR PLAN
A-2.0	PROPOSED (MFR) ROOF PLAN
A-3.0	PROPOSED (MFR & REAR BUILDING) ELEVATIONS
A-3.1	BUILDING SECTIONS
A-4.0	PROPOSED REAR BUILDING FLOOR PLANS
A-5.0	PROPOSED REAR BUILDING ROOF PLAN
A-6.0	BASEMENT FLOOR REFLECTED CEILING PLAN
A-6.1	MFR 1ST FLOOR REFLECTED CEILING PLAN
A-6.2	MFR 2ND FLOOR REFLECTED CEILING PLAN
A-6.3	REAR BUILDING REFLECTED CEILING PLAN
A-7.0	DETAILS
A-7.1	DETAILS

C-1	COVER SHEET
C-2	SITE PLAN
C-3	BASEMENT GRADING PLAN
C-4	SUMP PUMP DETAILS

STRUCTURAL SHEET LIST	
S-1	GENERAL STRUCTURAL NOTES
S-2	GENERAL STRUCTURAL NOTES
S-3	GENERAL STRUCTURAL NOTES
S-4	CONCRETE DECK FRAMING & FOUNDATION PLAN
S-5	GROUND LEVEL BOLTING HOLD DOWN PLAN
S-6	ROOF & FLOOR FRAMING PLAN
S-7	STRUCTURAL DETAILS
S-8	STRUCTURAL DETAILS
S-9	STRUCTURAL DETAILS
S-10	STRUCTURAL DETAILS
S-11	STRUCTURAL DETAILS
S-12	STRUCTURAL DETAILS
S-13	STRUCTURAL DETAILS
S-14	STRUCTURAL DETAILS
SH.1	TEMPORARY SHORING AND EXCAVATION PLAN

MEP SHEET LIST	
M001	MECHANICAL SPECIFICATIONS
M101	MECHANICAL FIRST FLOOR PLAN
M102	MECHANICAL SECOND FLOOR PLAN
M103	MECHANICAL ROOF PLAN
M201	MECHANICAL SCHEDULES
M301	MECHANICAL DETAILS
E0.1	ELECTRICAL GENERAL NOTES AND SHEET INDEX
E0.2	ELECTRICAL ABBREVIATIONS AND SYMBOLS
E0.3	ELECTRICAL SPECIFICATIONS
E0.4	ELECTRICAL SPECIFICATIONS (CONT.)
E0.5	LIGHTING FIXTURE SCHEDULE
E1.1	SITE PLAN
E2.1	LIGHTING PLAN BASEMENT
E2.2	LIGHTING PLAN FIRST FLOOR
E2.3	LIGHTING PLAN SECOND FLOOR
E3.1	POWER PLAN BASEMENT
E3.2	POWER PLAN FIRST FLOOR
E3.3	POWER PLAN SECOND FLOOR
E3.4	POWER PLAN ROOF
E5.1	SINGLE LINE DIAGRAM AND LOAD CALCULATIONS
E5.2	PANEL SCHEDULES
P001	PLUMBING NOTES
P002	PLUMBING SCHEDULES AND CALCULATION
P003	PLUMBING SITE PLAN
P101	PLUMBING BASEMENT FLOOR PLAN
P102	PLUMBING FIRST FLOOR PLAN
P103	PLUMBING SECOND FLOOR PLAN
P104	PLUMBING ROOF PLAN
P201	PLUMBING SANITARY RISER DIAGRAM
P202	PLUMBING DOMESTIC WATER RISER DIAGRAM
P203	PLUMBING GAS RISER DIAGRAM
P301	PLUMBING DETAILS

LEGAL DESCRIPTION & SCOPE OF WORK	
ADDRESS: 510 E VALENCIA AVE, BURBANK, CA 91501	
*APN:	5621-029-004
TRACT NO: 4007 LOT 15	
PROPERTY USE : MULTI-FAMILY RESIDENTIAL	
ZONING: HIGH DENSITY RESIDENTIAL (R-4)	
(E) BLDG 1 SQ FOOTAGE: 466 S.F.	YEAR BUILT: 1929 / 1946
(E) BLDG 2 SQ FOOTAGE: 912 S.F.	YEAR BUILT: 1923 / 1936
LOT SIZE: 7,977 S.F.	
<u>SCOPE OF WORK:</u>	
1. NEW APARTMENT BUILDING 2-STORY (8 UNITS) 8,116 S.F.	
2. NEW 13 PARKING SPACES AT BASEMENT FLOOR .	

PROJECT GROSS AREA TABULATION	
EXISTING RESIDENCE #1 (TO BE DEMOLISHED UNDER SEPARATE PERMIT)	466 S.F.
EXISTING RESIDENCE #2 (TO BE DEMOLISHED UNDER SEPARATE PERMIT)	912 S.F.
(N) BASEMENT FLOOR AREA	6,565 S.F.
NEW MULTI-FAMILY RESIDENCE:	
(N) MFR 1ST FLOOR AREA	3,867 S.F.
(N) MFR 2ND FLOOR AREA	4,249 S.F.
TOTAL NEW MULTI-FAMILY RESIDENCE FLOOR AREA	8,116 S.F.

LOT COVERAGE	4,133 S.F.
MIN. (25%) OF LOT AREA REQ. LANDSCAPED	1,994.25 S.F.
PROVIDED LANDSCAPED AREA (22.82% OF LOT AREA)	2,484 S.F.
COMMON OPEN SPACE AREA REQUIRED (MIN 150 S.F. FOR EACH UNIT)	1,200 S.F.
PROVIDED COMMON OPEN SPACE AREA	1,440 S.F.

The site plan shows a property with a driveway on the left and a walkway at the top. The driveway is 14'-6" wide and has a maximum slope of 20%. The walkway is 15'-0" wide. The property is divided into several areas: (E) LANDSCAPE, (E) WATER METER SERVICE TO REMAIN, (N) LANDSCAPE 496 S.F., and (N) DRIVEWAY RAMP. The property line is 48.68' long. The driveway ramp is 26'-6" wide and 41'-6" long. The landscaping areas are 7'-0" and 5'-0" wide. The walkway is 15'-0" wide. The property is adjacent to E VALENCIA AVE.

PARKING ANALYSIS			
	1 UNIT 1 BEDROOM	6 UNITS 2 BEDROOM	1 UNIT 3 BEDROOM
REQ. 1.75 SPACES PER 1-BEDROOM UNIT	1.75 SPACES		
REQ. 2 SPACES PER UNIT WITH 2 OR MORE BEDROOMS		12 SPACES	2 SPACES
TOTAL REQ. SPACES		15.75 SPACES	
TOTAL PROVIDED SPACES		13 SPACES	

TADROS NEW APARTMENT BUILDING

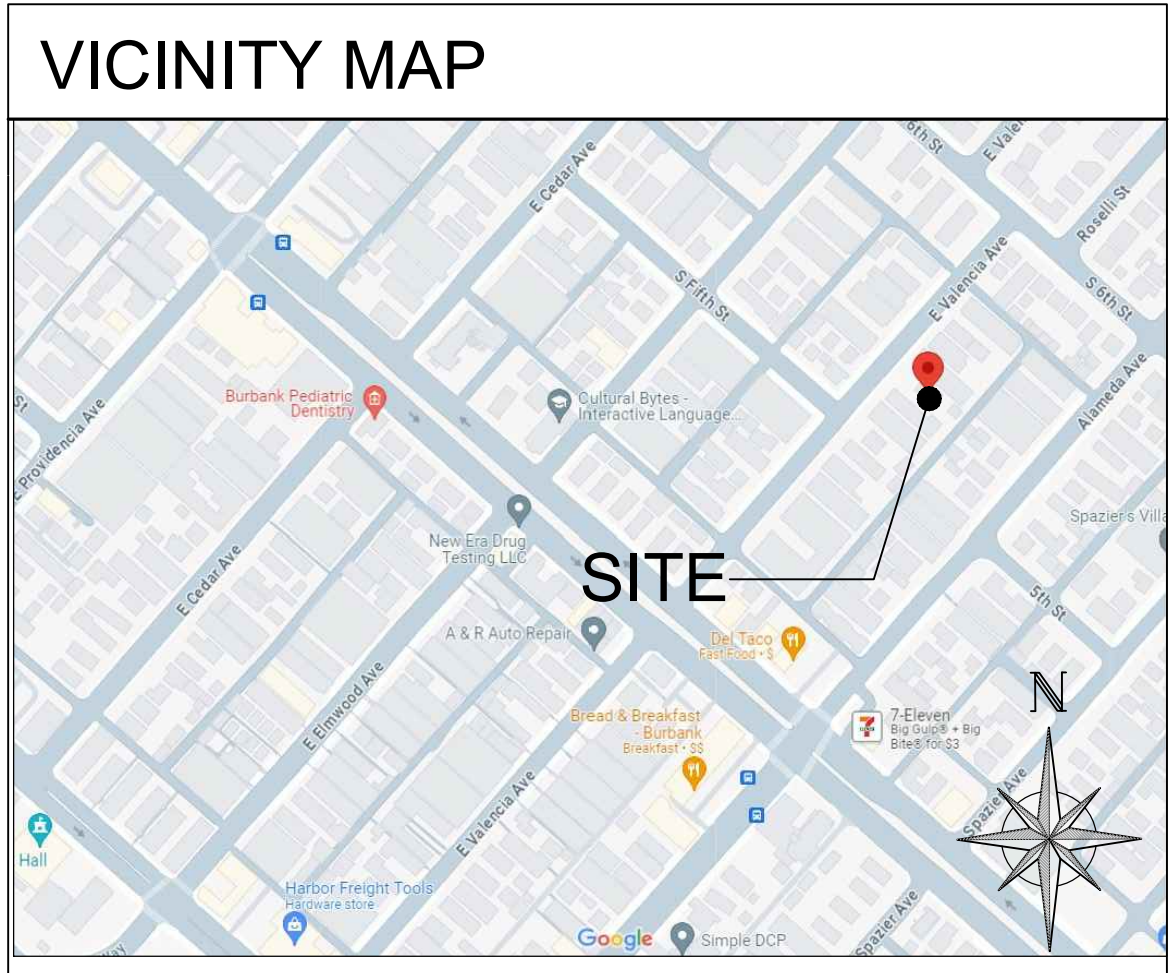
510 E VALENCIA, BURBANK, CA 91501

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF THE CRC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA
5. EROSION CONTROL SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING (BMC9.1-1.3302.4)
6. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
7. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9.1-1.3305)
8. THE FINISH GRADE SHALL SLOPE A MINIMUM OF 5% OR 6" TO A POINT 10 FEET FROM FINISH FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC R403.1.3)
9. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2" (CRC R403.1.7.3)

THE PROJECT SHALL COMPLY WILL
THE REQUIREMENTS OF:

THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC)



THE SIGN IS TO BE ERECTED ON THE PROJECT SITE WITHIN 30 DAYS OF APPLYING FOR A PLAN CHECK (I.E., PAYMENT OF PLAN CHECK FEES). THE SIGN SHALL BE MAINTAINED FOR THE ENTIRE DURATION OF THE PLAN CHECK PROCESS AND IS TO BE REMOVED AFTER THE ISSUANCE OF THE BUILDING PERMIT.

GREEN BUILDING CODE REQUIREMENTS:

1. Storm Water Drainage and Retention During Construction: Indicate proposed measures implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. (CALGreen Section 4.106.2)
2. Grading and Paving: plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings.
Exception: Additions and alterations not altering the drainage path. (CALGreen Section 4.106.3)

APPLICABLE CODES, STANDARDS AND GUIDELINES.

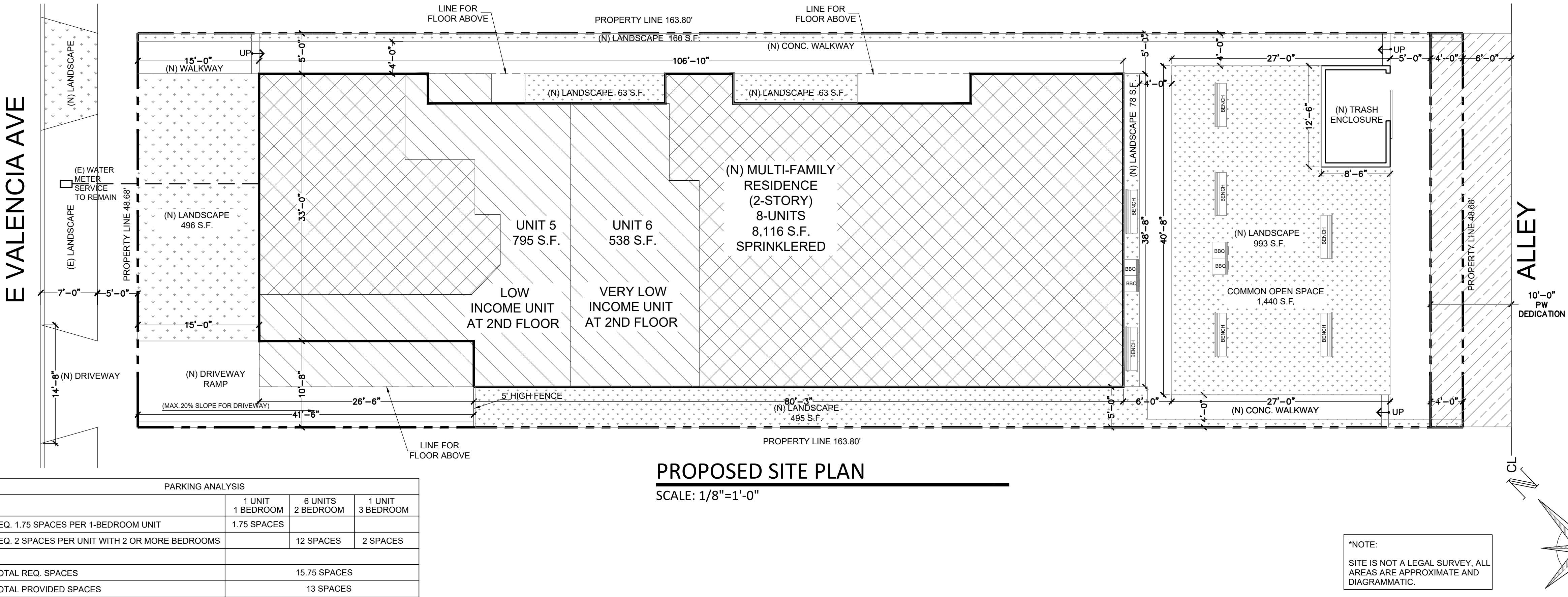
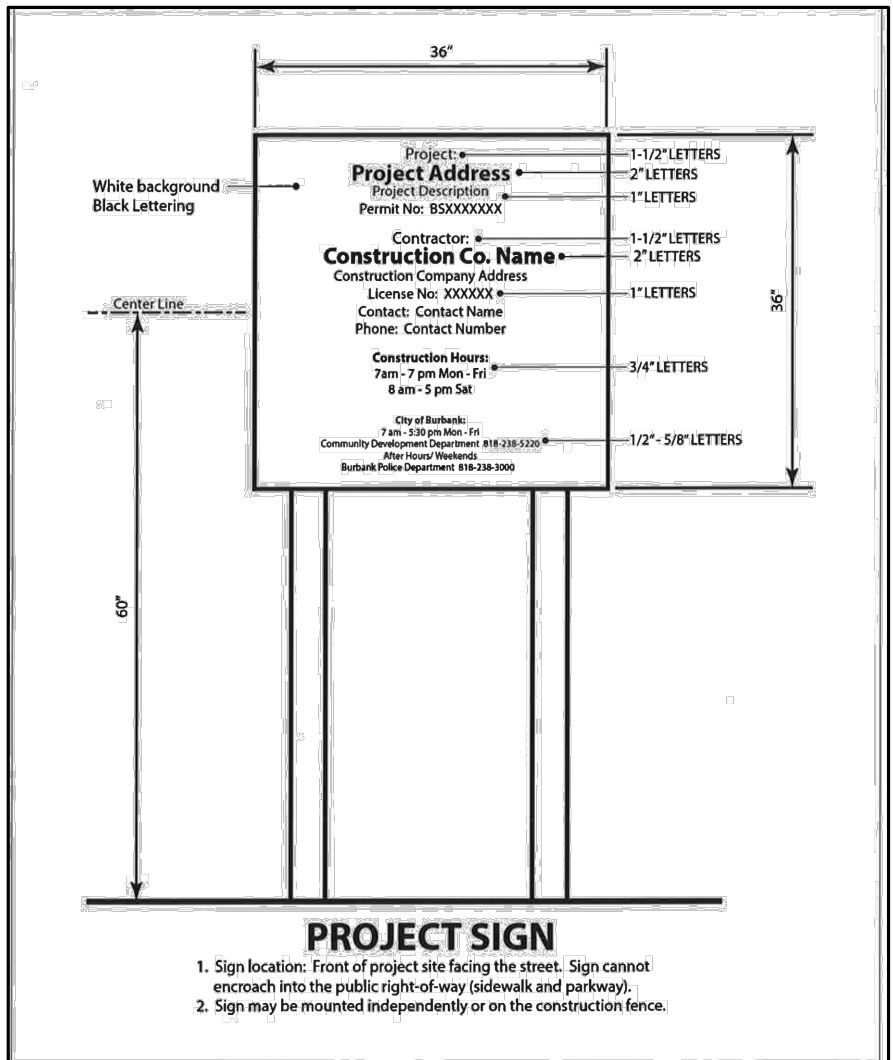
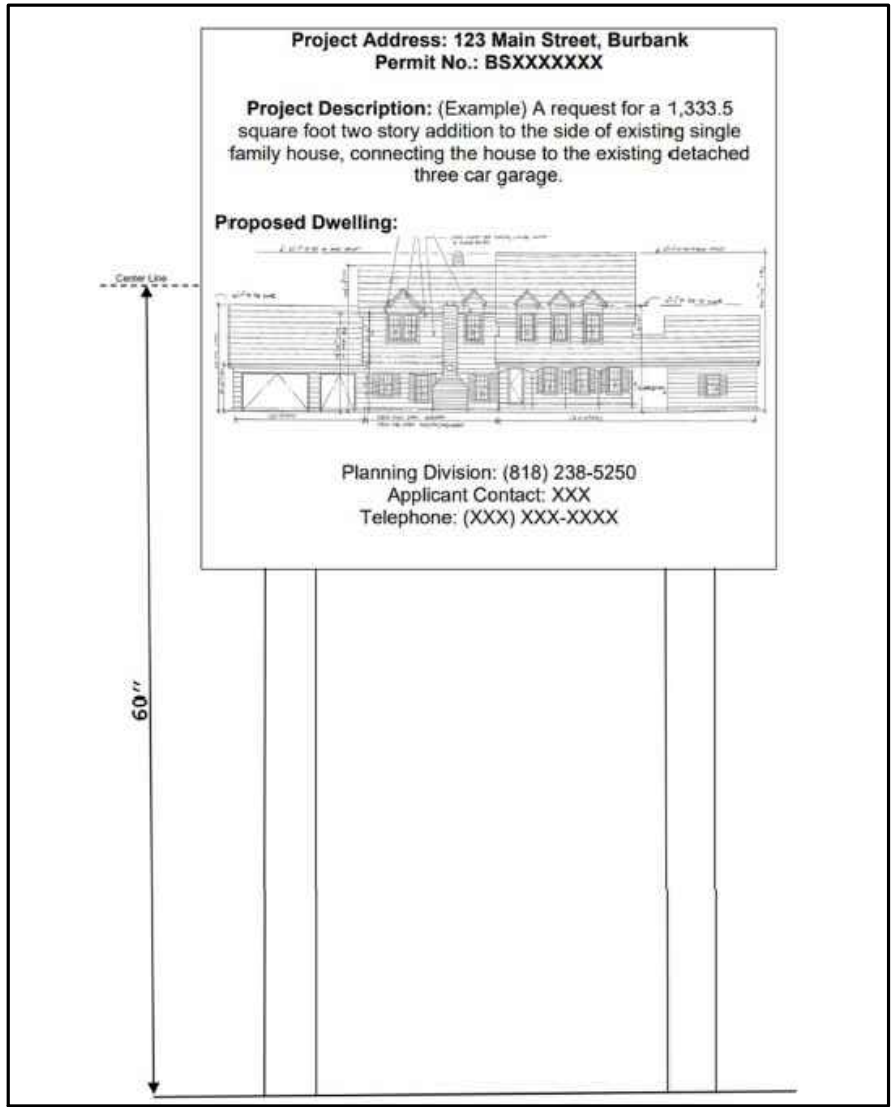
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA GREEN BUILDING CODE (CALGREEN)

CPC/BWP WATER DIV. CONDITIONS OF APPROVAL

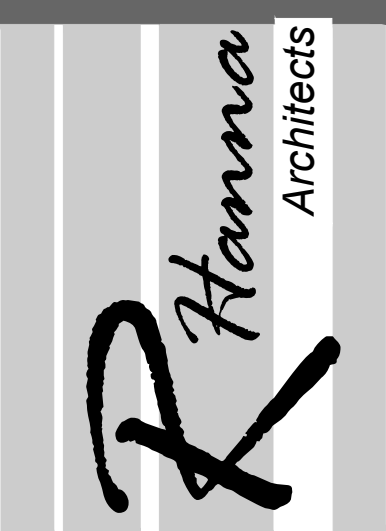
1. EXISTING 5/8" X 3/4" WATER METER TO BE REPLACED WITH A 3/4" X 3/4" WATER METER BY CITY.
2. OWNER OR CONTRACTOR SHALL INSTALL CUSTOMER SHUTOFF VALVE AT THE WATER METER OUTLET COUPLING IN THE WATER METER BOX IN ACCORDANCE WITH BWP STANDARD DWG. BWP-625.
3. OWNER OR CONTRACTOR SHALL INSTALL A 1" BUILDING SUPPLY LINE.

SETBACK CERTIFICATION REQUIREMENT:

A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection.
A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection.



*NOTE:
SITE IS NOT A LEGAL SURVEY, ALL
AREAS ARE APPROXIMATE AND
DIAGRAMMATIC.



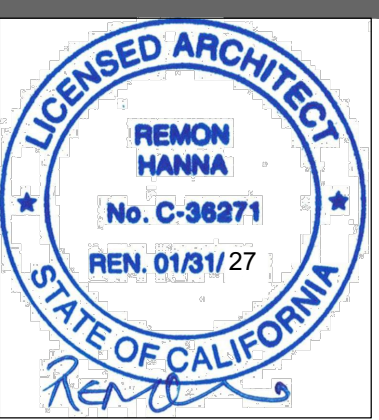
26030 Sandburg Pl
Stevenson Ranch, CA 91381
818.671.7477
rhanna@rhannaarchitects.com

**TADROS NEW APARTMENT
BUILDING**
510 E VALENCIA AVE,
BURBANK, CA 91501

Project Title:

No.	Description	Date
1		

COVER SHEET SITE PLAN



Project NO:

Date 03-21-2025

Drawn By RH

Sheet :

A-0.0

Scale: As indicated

DEMOLITION NOTES:

1. FOLLOW ALL CURRENT BUILDING ELECTRICAL, PLUMBING, AND MECHANICAL CODES.
2. CONTRACTOR TO PROVIDE ALL REQUIRED SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION.
3. CONTRACTOR TO PROVIDE ALL REQUIRED WATER PROTECTION FROM THE ELEMENTS PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. PROVIDE PROTECTION OF ADJACENT FINISH SURFACES AND ADJOINING SPACES DURING CONSTRUCTION. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION.
4. ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY CONFLICTS BETWEEN THE DEMOLITION PLAN AND THE NEW/REMODELED WORK OF THE DOCUMENTS HEREWITH CONTAINED. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY AND ALL DEMOLITION WHICH IS IN CONFLICT AND HAS NOT BEEN BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO DEMOLITION.
6. ALL REMOVED BUILDING MATERIALS AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER AND REMOVE WITH CARE.
7. ALL EXISTING FLOORING AND SUBFLOORING SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. FLOORS SHALL BE LEFT CLEAN AND DEBRIS FREE.
8. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A DUST-FREE BARRIER BETWEEN ALL WORK AREAS AS REQUIRED TO PROTECT FINISH WORK. THESE BARRIERS SHALL BE LEFT UP DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR SHALL REDIRECT/RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND/OR SPRINKLER LINES WHICH MAY BE DISTURBED BY DEMOLITION, AND CAP ALL ABANDONED LINES.
10. EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
11. EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
12. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY COUNTY OF LOS ANGELES BUILDING CODE CHAPTER 33.

DEMOLITION DEBRIS NOTE :

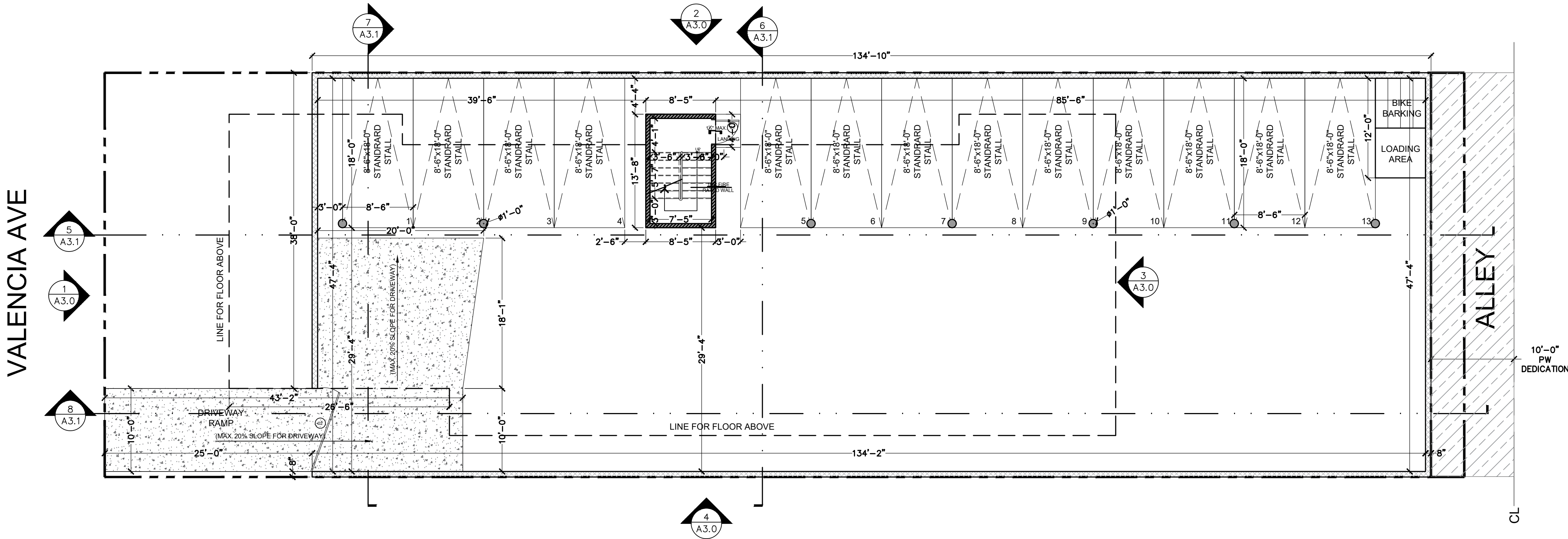
DIVERSION OF CAD DEBRIS:
A MINIMUM 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$60.05 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-11-1012).

RESIDENTIAL DEMOLITION NOTE:

Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.

PLAN LEGEND

PROPOSED WALLS	
1-HR FIRE RATED WALL	
PROPOSED CONC. RETAINING WALL	
PROPOSED WINDOWS	
PROPOSED DOOR	



PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/8"=1'-0"



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TADROS NEW APARTMENT
BUILDING
510 E VALENCIA AVE,
BURBANK, CA 91501

Project Title:

No.	Description	Date
1		

PROPOSED
BASEMENT
FLOOR PLAN



Project NO:

Date 03-21-2025

Drawn By RH

Sheet :

A-1.0

Scale: As indicated

MEP NOTES / LEGEND:

- ☼ HARDWIRE SMOKE DETECTORS W/ BATTERY BACK UP, UL 217 RATED SMOKE ALARMS AND INTERCONNECTED, SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- ☼ CARBON MONOXIDE ALARM UL 2034 / 2075 RATED INTERCONNECTED HARDWIRED W/BATTERY BACKUP.
- ☼ ENTILATION FAN PROVIDING VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING. EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.

CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14 FEET WITH 2 ELBOWS. THIS SHALL BE REDUCED 2 FEET FOR EVERY ELBOW EXCESS OF 2. MIN. 4 INCH SMOOTH METAL DUCT.

A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED [CMC 504.4.2.2]

OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS ARE TO BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.G.3)

IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

ARC-FAULT CIRCUIT INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN 210.52, ALL NON LOCKING-TYPE 12-VOLT, 15-AND 20 AMPERE RECEPTACLES SHALL BE LISTED

ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENING IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.

PLAN LEGEND

PROPOSED WALLS	
1-HR FIRE RATED WALL	
PROPOSED CONC. RETAINING WALL	
PROPOSED WINDOWS	
PROPOSED DOOR	

SMOKE DETECTORS NOTE:

1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
4. Smoke detectors shall be "hard wired" and shall be equipped with battery backup.

CARBON MONOXIDE NOTE:

1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling.
2. CO alarms shall be "hard wired" and shall be equipped with battery backup.
3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 720.
4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes.

NOTE:
Temperature, pressure, and vacuum relief devices or combinations thereof, and automatic gas shutoff devices shall be installed in accordance with the manufacturer's instructions.

DOOR SCHEDULE

MARK	COUNT	SIZE (W x H)	OPERATION	FINISH	REMARKS
01	1	3'-0" x 7'-0"	SWING	WD	STAIRS DOOR 20 MIN. FIRE RATED
02	1	10'-0" x 6'-0"	SWING	STEEL	GARAGE DOOR
03	8	3'-0" x 7'-0"	SWING	WD	UNITS ENTRY
04	16	2'-10" x 7'-0"	SWING	WD	BEDROOM
05	16	2'-8" x 7'-0"	SWING	WD	BATH & WALK-IN CLOSET
06	14	5'-6" x 7'-0"	SLIDING	WD	CLOSET
07	9	3'-0" x 7'-0"	BI-FOLD	WD	STKBL. LAUNDRY
08	9	3'-0" x 7'-0"	SWING	VINYL / GL	BALCONY (TEMPERED)
09	1	6'-0" x 7'-0"	SWING	VINYL / GL	1ST FLOOR STAIRS (TEMPERED)

WINDOW SCHEDULE

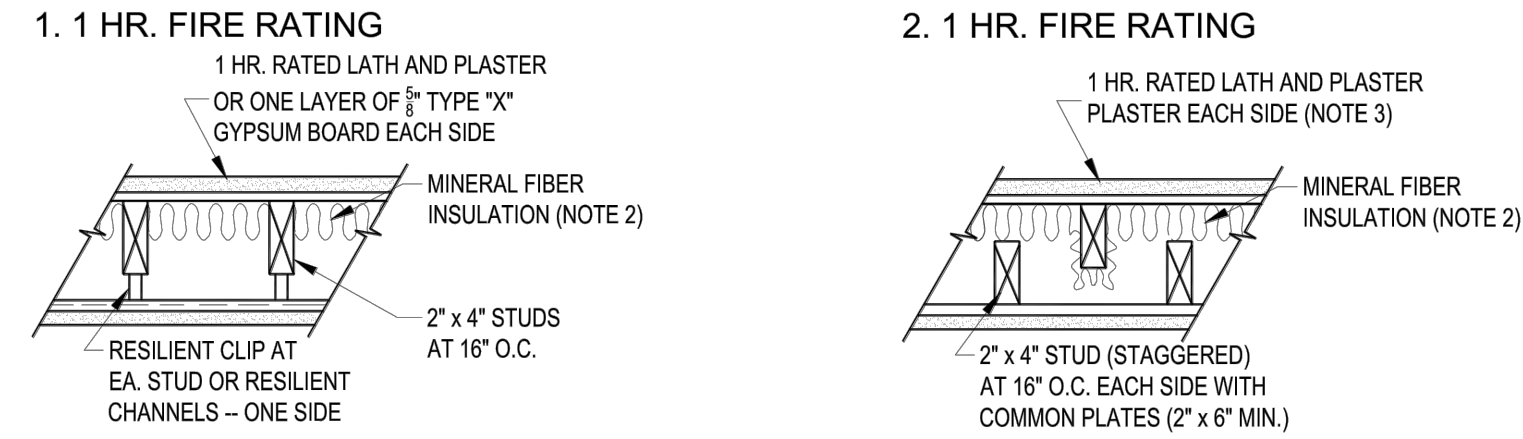
MARK	COUNT	SIZE (W x H)	HEAD	OPERATION	FINISH	U-FACTOR	SHGC	REMARK
A	2	7'-0" x 18'-0"	21'-0"	FIXED	VINYL / GL	0.32	0.23	TEMPERED
B	6	7'-0" x 4'-0"	7'-8"	SLIDING	VINYL / GL	0.32	0.23	TEMPERED
C	1	4'-0" x 4'-0"	7'-8"	SLIDING	VINYL / GL	0.32	0.23	TEMPERED
D	19	5'-0" x 4'-0"	7'-8"	SLIDING	VINYL / GL	0.32	0.23	TEMPERED & EGRESS @ BEDROOM
*NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.								

*NOTE:
ALL GLAZING MUST BE DUAL PANED
W/ ONE PANE MIN. TEMPERED

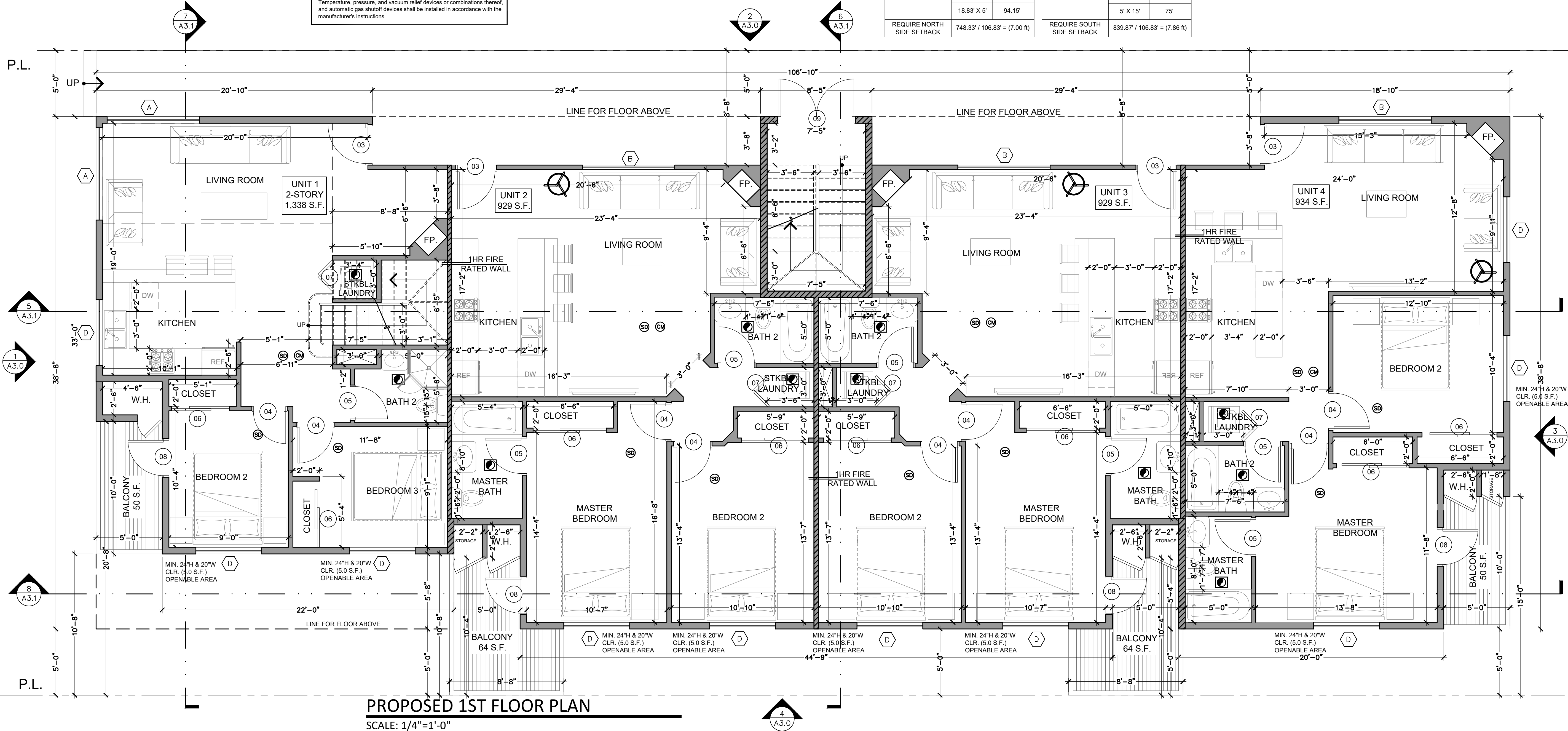
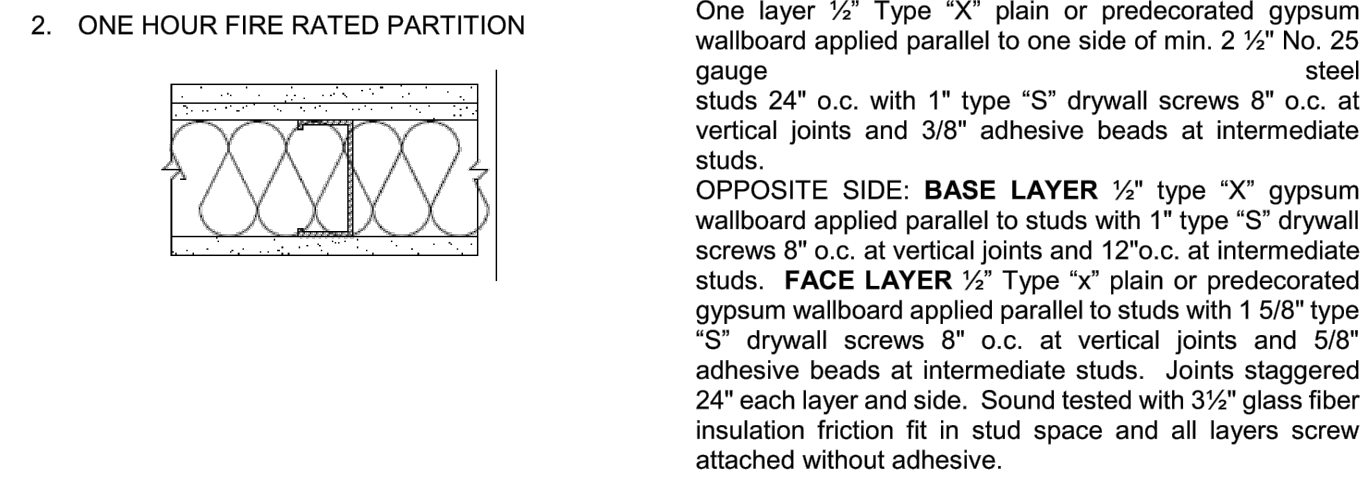
SIDE SETBACK CALCULATIONS AT 1ST FLOOR:

NORTHERN FACADE			SOUTHERN FACADE		
	20.83' X 5'	104.15'		5' X 20.66'	103.3'
	29.33' X 8.66'	253.99'		22' X 10.66'	234.52'
	8.41' X 5'	42.05'		5' X 10.33'	51.65'
	29.33' X 8.66'	253.99'		44.75' X 5'	223.75'
	18.83' X 5'	94.15'		5' X 10.33'	51.65'
				20' X 5'	100'
				5' X 15'	75'
REQUIRE NORTH SIDE SETBACK	748.33' / 106.83' = (7.00 R)		REQUIRE SOUTH SIDE SETBACK	839.87' / 106.83' = (7.86 R)	

STANDARD SOUND RATED PARTITION ASEMBLIES
STC 50 – FIRE RATING AS SHOWN



FIRE RATED FLOOR-CEILING ASSEMBLIES USING METAL FRAMING
STC 50 - IIC 50 FIRE RATING AS SHOWN



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

No.	Description	Date
1		

MEP NOTES / LEGEND:

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IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ.FT. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

ARC-FAULT CIRCUIT INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN 210.52. ALL NON LOOKING-TYPE 12-VOLT; 15-AND 20 AMPERE RECEPTACLES SHALL BE LISTED

TAMPER RESISTANT RECEPTACLES.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES,CONDUITS OR OTHER OPENING IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.

PLAN LEGEND

PROPOSED WALLS	
1-HR FIRE RATED WALL	
PROPOSED CONC. RETAINING WALL	
PROPOSED WINDOWS	
PROPOSED DOOR	

SMOKE DETECTORS NOTE:

1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
4. Smoke detectors shall be "hard wired" and shall be equipped with battery backup.

CARBON MONOXIDE NOTE:

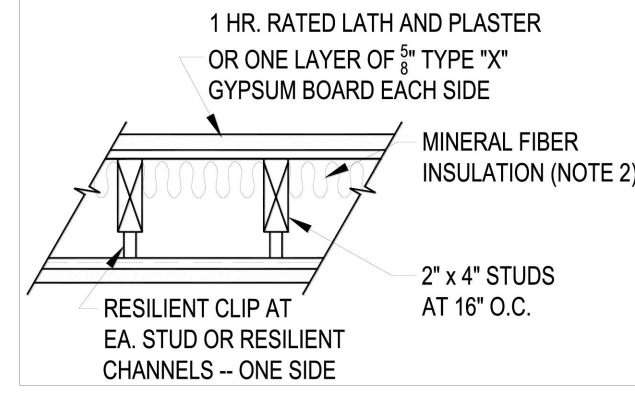
1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling.
2. CO alarms shall be "hard wired" and shall be equipped with battery backup.
3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 720.
4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes.

NOTE:

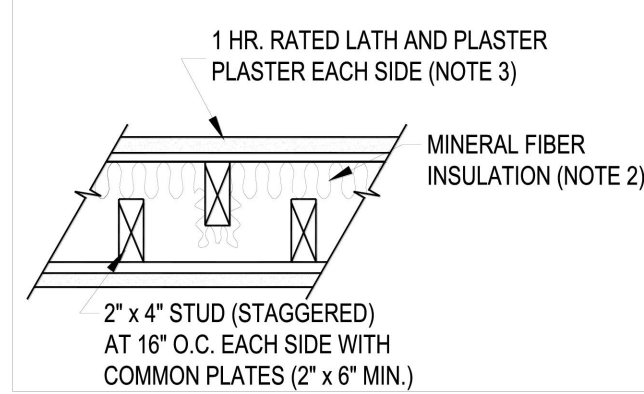
Temperature, pressure, and vacuum relief devices or combinations thereof, and automatic gas shutoff devices shall be installed in accordance with the manufacturer's instructions.

STANDARD SOUND RATED PARTITION ASEMBLIES
STC 50 – FIRE RATING AS SHOWN

1. 1 HR. FIRE RATING



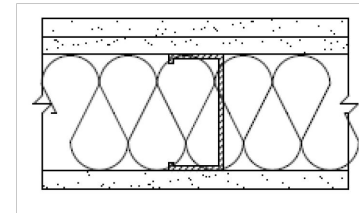
2. 1 HR. FIRE RATING



1HR FIRE RATED WALL

FIRE RATED FLOOR-CEILING ASSEMBLIES USING METAL FRAMING
STC 50 - IIC 50 FIRE RATING AS SHOWN

2. ONE HOUR FIRE RATED PARTITION

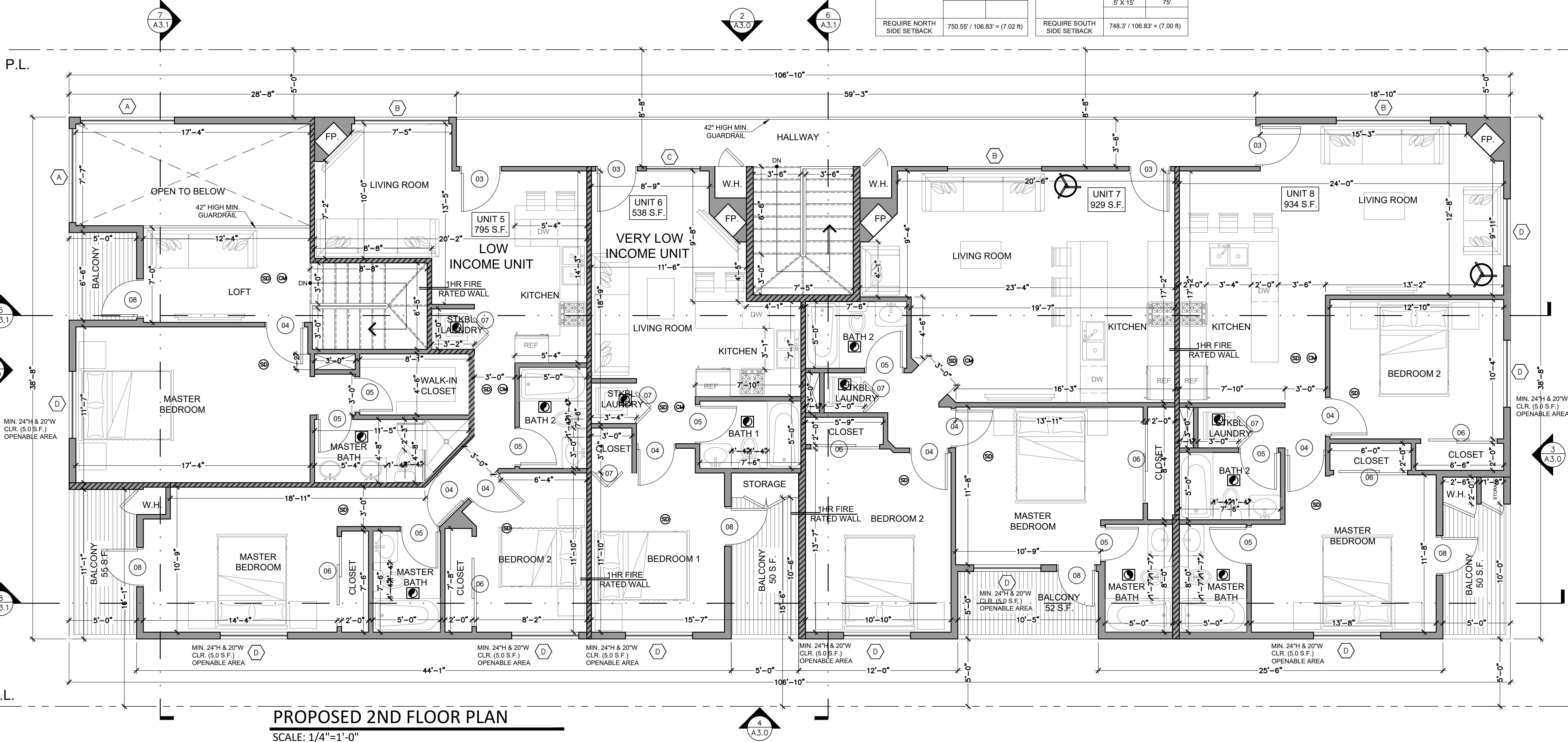


One layer 1/2" Type "X" plain or predecorated gypsum wallboard applied parallel to one side of min. 2 1/2" No. 25 gauge steel studs 24" o.c. with 1" type "S" drywall screws 8" o.c. at vertical joints and 3/8" adhesive beads at intermediate studs.

OPPOSITE SIDE: **BASE LAYER** 1/2" type "X" gypsum wallboard applied parallel to studs with 1" type "S" drywall screws 8" o.c. at vertical joints and 1/2" o.c. at intermediate studs. **FACE LAYER** 1/2" Type "x" plain or predecorated gypsum wallboard applied parallel to studs with 1 5/8" type "S" drywall screws 8" o.c. at vertical joints and 5/8" adhesive beads at intermediate studs. Joints staggered 24" each layer and side. Sound tested with 3 1/2" glass fiber insulation friction fit in stud space and all layers screw attached without adhesive.

SIDE SETBACK CALCULATIONS AT 2ND FLOOR:

NORTHERN FACADE			SOUTHERN FACADE		
	28.66' X 5'	143.3'		5' X 16.28'	81.4'
	44.28' X 5'	221.4'		44.28' X 5'	221.4'
	59.25' X 8.66'	513.105'		5' X 15.6'	78'
	18.83' X 5'	94.15'		12' X 5'	60'
				10.5' X 10'	105'
				25.5' X 5'	127.5'
				5' X 15'	75'
REQUIRE NORTH SIDE SETBACK	750.55' / 106.83' = (7.02 ft)		REQUIRE SOUTH SIDE SETBACK	748.3' / 106.83' = (7.00 ft)	



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"

TADROS NEW APARTMENT
BUILDING

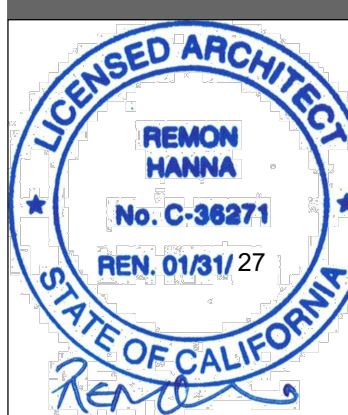
510 E VALENCIA AVE,
BURBANK, CA 91501

Project Title:

No.	Description	Date
1		

PROPOSED
MFR

2ND
FLOOR PLAN



Project NO:

Date 03-21-2025

Drawn By RH

Sheet:

A-1.2

Scale: As indicated

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Architects

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GENERAL VENTILATION NOTE:

CONTRACTOR MAY SUBSTITUTE VENTILATOR TYPE OR MANUFACTURER AS LONG AS IT MEETS VENTILATION CODE REQUIREMENTS. CONTRACTOR SHALL VERIFY WITH CLIENT DESIRED VENTILATOR. PROVIDE WRITTEN SPEC TO DESIGNER FOR APPROVAL PRIOR TO SUBSTITUTION.

A MIN. 1-INCH AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

ATTIC SPACE SHALL BE VENTILATED W/ 1 SQ.FT. PER 150 SQ.FT. OF ATTIC AREA. PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES.

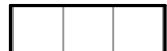
NEW ROOF VENT CALCULATION:

VENTILATION RATE 1:150
10 SQ. IN FOR EACH 10 S.F. OF ATTIC AREA
ATTIC AREA = 4,731 S.F./ 150= 31.54 S.F.
REQUIRED
PROVIDE (32) MASTER FLOW HIGH CAPACITY DOME VENT

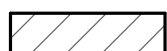
PROVIDE INTAKE PER MANUF.
VENT OPENINGS TO BE ½" MAX. AND ⅛" MIN.

ROOF LEGEND

NEW FLAT ROOF

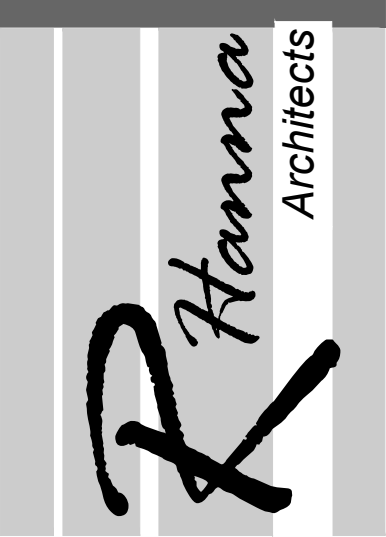
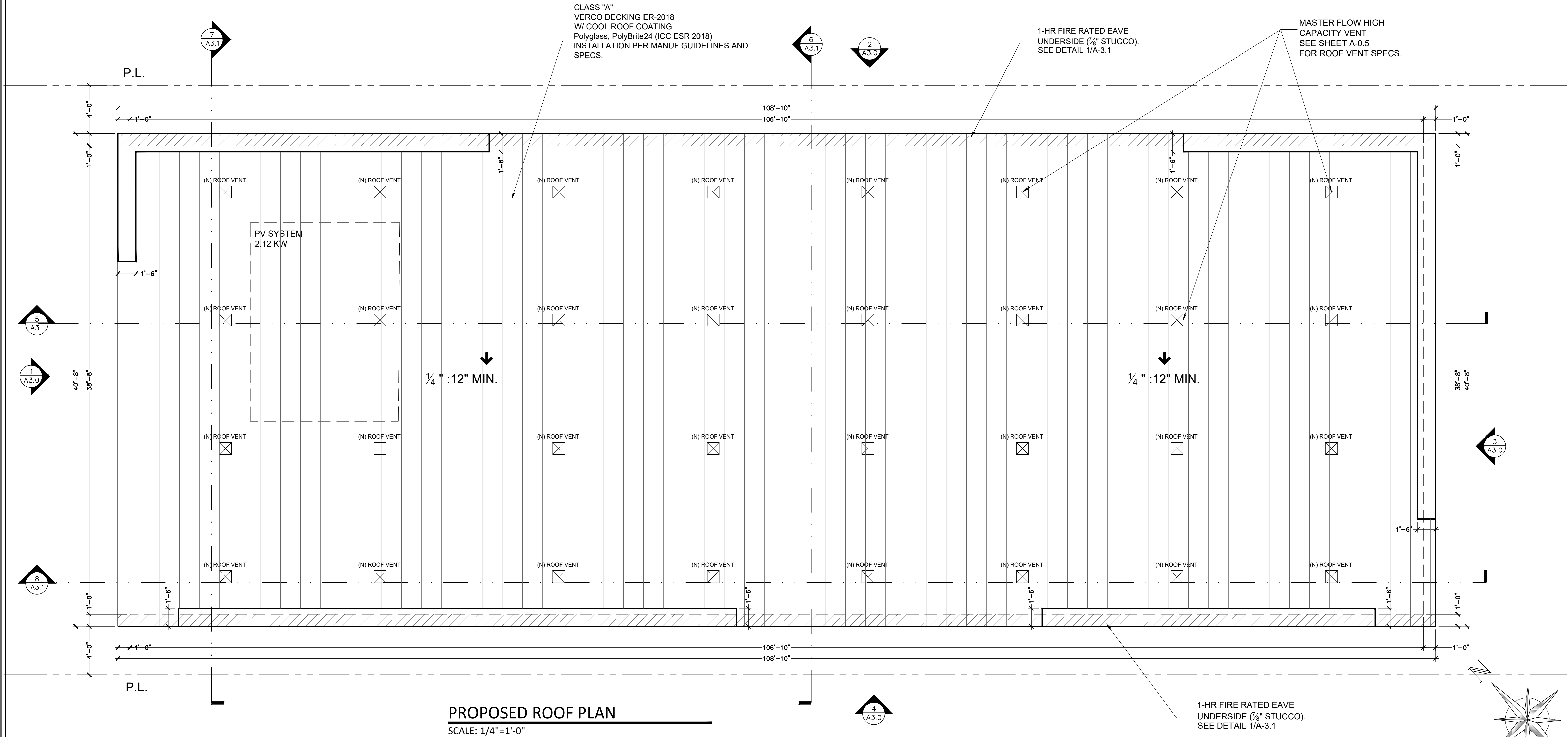
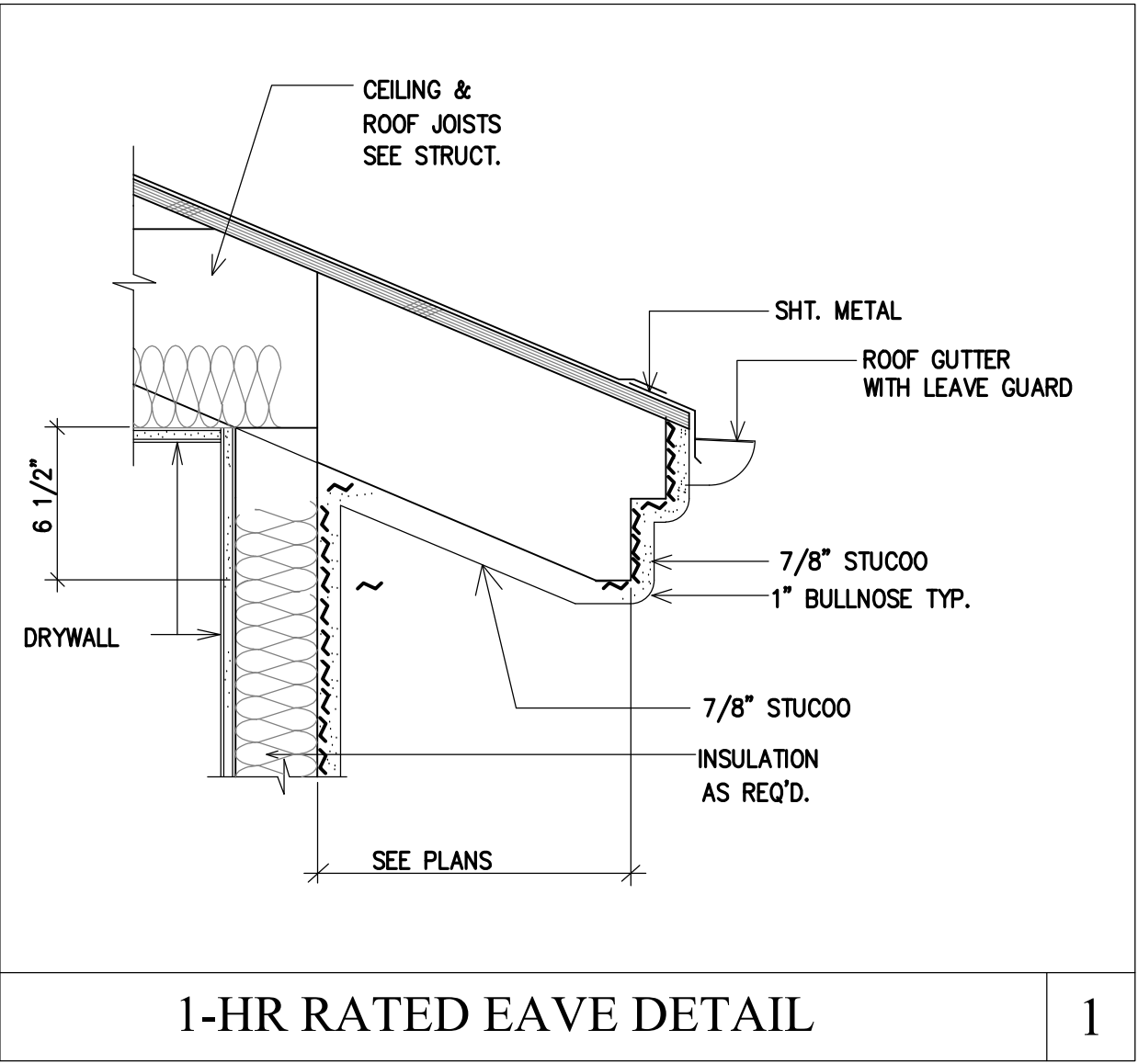


1-HR FIRE RATED EAVE UNDERSIDE



COOL ROOF COATING PRODUCT PER CRRC

CRRC PROD ID.	MANUFACTURER	BRAND AND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	
					INITIAL	3 YEAR	INITIAL	3 YEAR	INITIAL	3 YEAR
0616-0012 (smooth)	Polyglass USA, Inc.	Polyglass PolyBrite 24	Coating	Bright White	0.83	0.70	0.88	0.88	104	85



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TADROS NEW APARTMENT
BUILDING
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Project Title:

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PROPOSED
MFR
ROOF PLAN



Project NO:

Date 03-21-2025

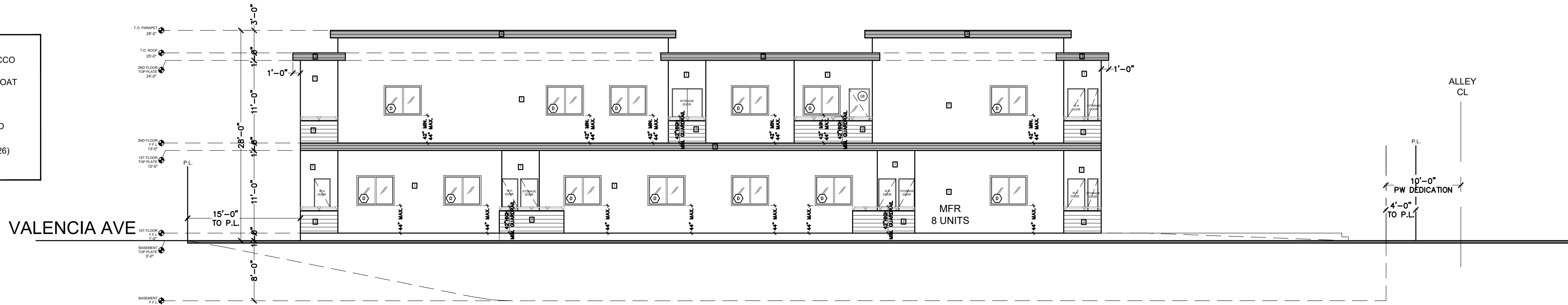
Drawn By RH

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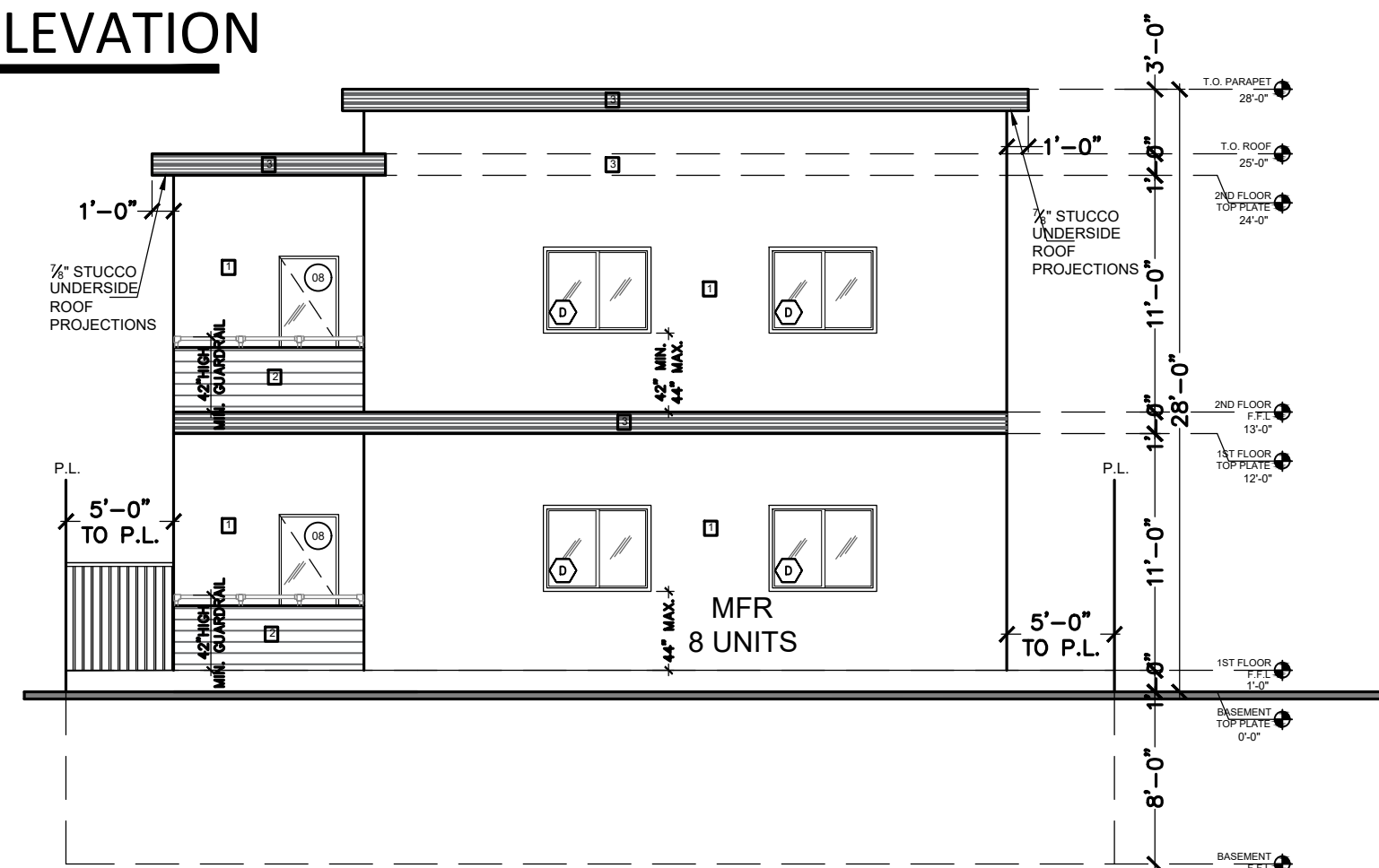
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Scale: As indicated

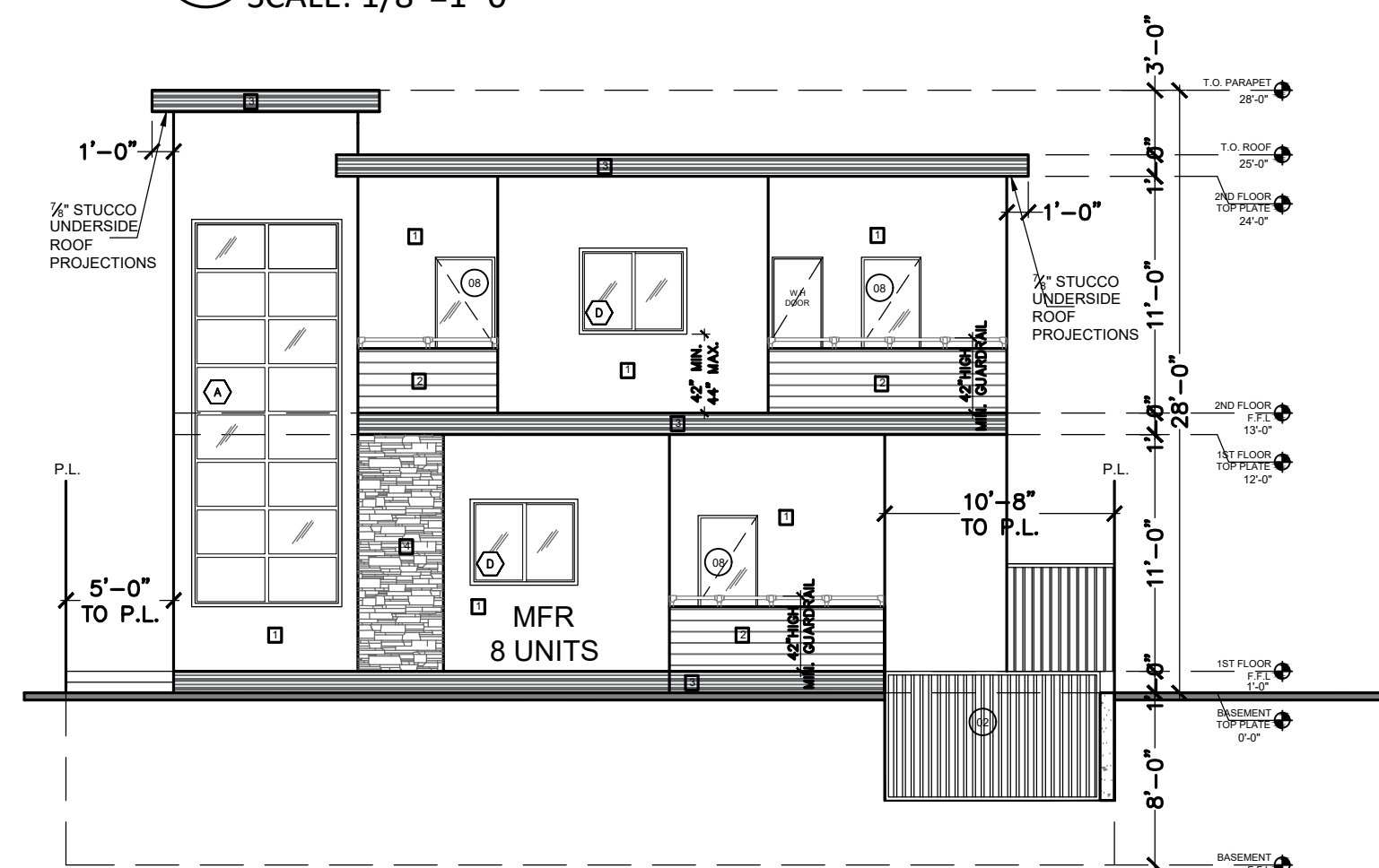
- MATERIALS AND FINISH LEGEND
- OMEGA DIAMOND WALL EXTERIOR STUCCO SYSTEMS (ICC-ESR 1194)
- 1 10 OMEGA WHITE MEDIUM SAND FLOAT
- 2 9228 STONE AGE WET GROOVED
- 3 9247 COBBLE STONE PATH COMBED
- STONE CRAFT INDUSTRIES (ICC-ESR 2826)
- 4 HAMILTON HERITAGE



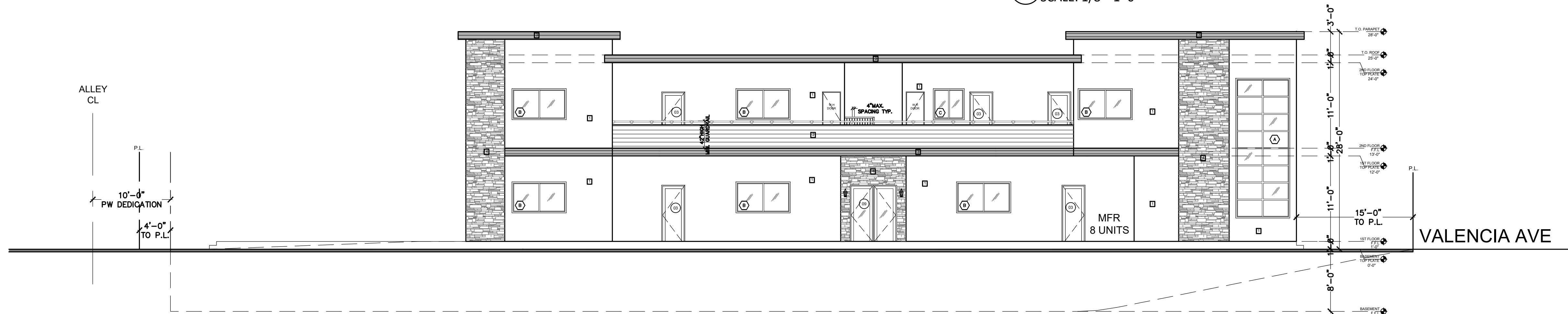
4 PROPOSED - SOUTH WEST ELEVATION
SCALE: 1/8"=1'-0"



3 PROPOSED - SOUTH EAST ELEVATION
SCALE: 1/8"=1'-0"



1 PROPOSED - NORTH WEST ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED - NORTH EAST ELEVATION
SCALE: 1/8"=1'-0"



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Project Title:

No.	Description	Date
1		

PROPOSED
MFR BUILDING
ELEVATIONS



Project NO:

Date 03-21-2025

Drawn By RH

Sheet:

A-3.0

Scale: As indicated