

1. THE ARCHITECT WILL BE THE INTERPRETER OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE JUDGE OF THE PERFORMANCE THEREUNDER BY BOTH THE CONTRACTOR AND OWNER.
2. THE ARCHITECT'S DECISIONS IN MATTERS RELATING TO THE ARTISTIC EFFECT WILL BE FINAL IF CONSISTENT WITH THE INTENT OF THE CONTRACT DOCUMENTS.
3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE C.B.C., LOCAL CODES, AND AUTHORITIES.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK KNOWING OF AN ERROR, INCONSISTENCY, OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT INSTRUCTION FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT.
5. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.
6. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS.
7. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENGBURMED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
8. ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
9. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH THE SURROUNDING SURFACES.
10. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
11. DIMENSIONS:
A. ALL DIMENSIONS HAVE PREFERENCE OVER SCALE.
B. ALL DIMENSIONS ARE TO THE EDGE OF FINISH UNLESS OTHERWISE NOTED.
C. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FACE OR FINISH CEILING MATERIAL UNLESS OTHERWISE NOTED.
12. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT AND ALL OTHER ITEMS AS REQUIRED.
13. WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE

- FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
14. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODE TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.
15. EACH LITE OF MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL HAVE A PERMANENT LABEL INDICATING SAFETY GLAZING USED FOR THOSE INSTALLATIONS. LABELS FOR TEMPERED GLASS SHALL BE VISIBLE WHEN GLAZED. SPANDREL GLASS MAY HAVE REMOVABLE LABELS.
16. CONSTRUCTION DUST CONTROL - DURING CONSTRUCTION, DUST CONTROL MEASURES SHALL BE REQUIRED. GRADING WILL BE DISCONTINUED DURING FIRST-STAGE SMOG ALERTS AND SUSPENDED DURING PERIODS OF HIGH WINDS (I.E. OVER 15 MILE PER HOUR). ALL HAULING TRUCKS SHALL HAVE LOADS COVERED OR WETTED AND LOADED BELOW THE SIDEBOARDS TO MINIMIZE DUST. (APPLIES TO DEMOLITION, GRADING, AND CONSTRUCTION)
- BUILDING DEPARTMENT NOTES**
- A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, FULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- B. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR: A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 3306. B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.
- C. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". (210-52 NEG)
- D. THE FIRST LIGHT IN THE NEW AND REMODELED BATHROOMS AND KITCHEN SHALL BE AN ENERGY EFFICIENT LIGHT MEETING A MINIMUM OF 40 LUMENS PER WATT (E.G. FLUORESCENT LAMP). (T-24, SEC. 130(B) & 150(K))
- E. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- F. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- G. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- K. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- L. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- J. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- K. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY

- NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- L. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- M. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- N. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2477. (3162B)
- O. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- P. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- Q. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000) EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
- R. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- S. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
- T. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.
- U. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
- V. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANFA VI FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF ANFAVI.
- W. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

APPLICABLE CODES:
2019 CBC, 2019 CPC, 2019 CMC, 2019 CEC, 2019 ENERGY CODE, CITY OF BURBANK MUNICIPAL CODE

ZONING:
ASSESSOR'S PARCEL NO.:
LEGAL DESCRIPTION:

PROJECT ADDRESS:

STORIES:
BUILDING HEIGHT:
STREET - FRONT SETBACK:
STREET-FACING SIDE SETBACK:

REAR SETBACK:
INTERIOR SIDE SETBACK:

BUR1
2471-009-016
TRACT: 15220
LOT 102
818 STEPHEN RD
BURBANK, CA 91504
2
20'-2 1/2"
25.18'
1ST STORY - 10% OF LOT WIDTH (80.6 X 10%) = 8.06'
2ND STORY - 20% OF LOT WIDTH (80.6 X 20%) = 16.12'
15'-0"
10% OF WIDTH (80.6' X 10%) = 8.06'

LOT AREA: 7,719 S.F. (0.18 ACRES)

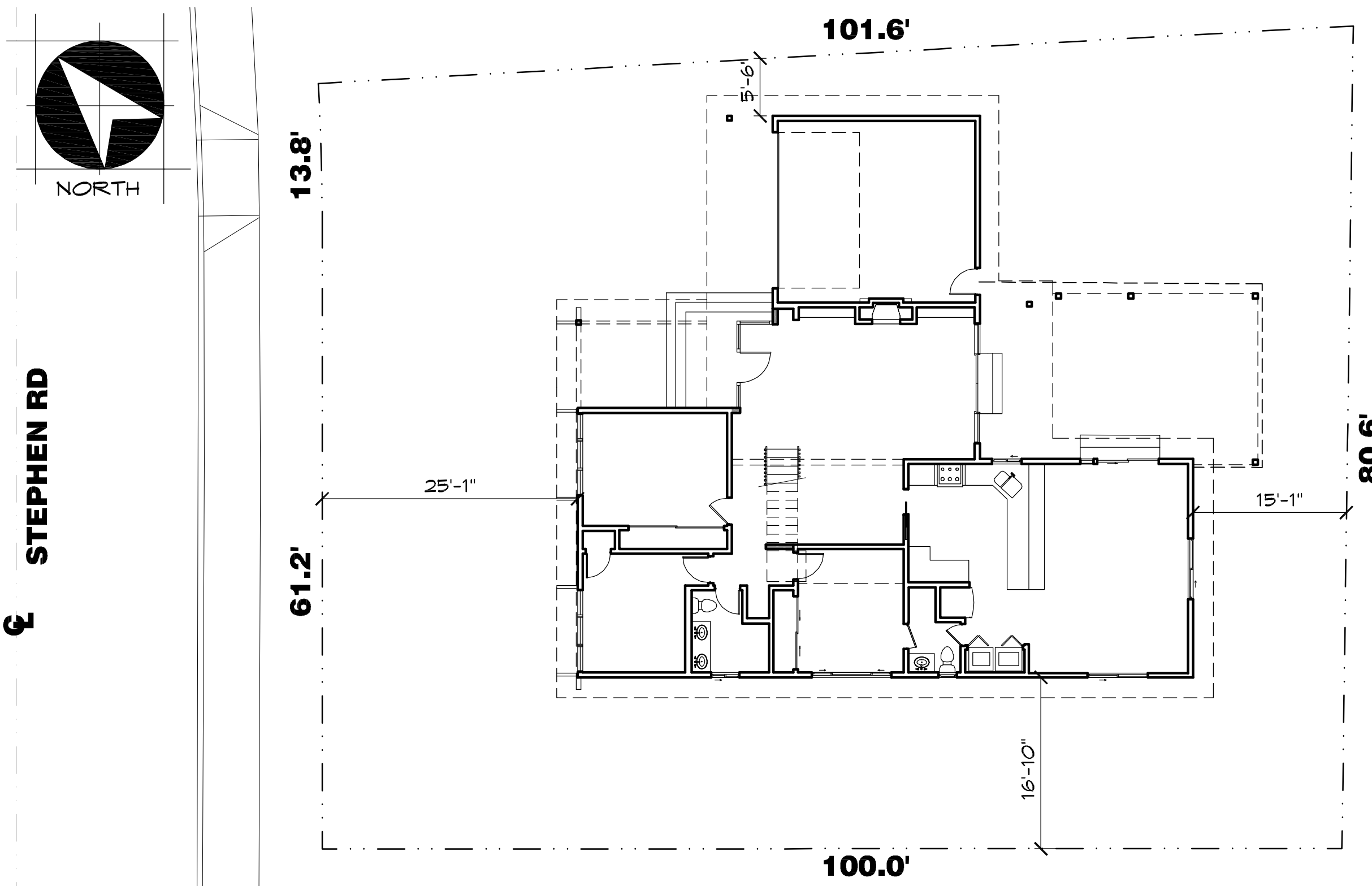
BUILDING AREA: 1,651 S.F. (EXISTING RESIDENCE) +340 S.F. (EXISTING ATTACHED GARAGE) = 1,991 S.F.

FLOOR AREA RATIO: 1,991 S.F. (EXISTING RESIDENCE) + 621 S.F. (NEW 2ND LEVEL RESIDENCE) = 2,612 S.F.

SCOPE OF WORK:
SECOND LEVEL MASTER BEDROOM AND BATHROOM ADDITION.
FRONT WALL AND ENTRANCE REMODEL.

PROJECT DATA

5



PLOT PLAN

SCALE: 3/32" = 1'-0"

3

GENERAL NOTES

C	CENTERLINE	DIA	DIAMETER	F.R.A	FIRE	MET	METAL	REIN	REINFORCED	T.V	TELEVISION
AND	ANGLE	DIR	DIRECTION		RETARDANT	MFR	MANUFACTURER	REQ	REQUIRED	T.W	TOP OF WALL
AT	DISP.	DN.	DOWN	F.S.	TREATED	MH.	MANHOLE	RESIL.	RESILIENT	TY.	TYPICAL
(E)	EXISTING				FULL SIZE	MIN.	MINIMUM	REM.	REMODELED		
A.	ABOVE	D.O.	DOOR OPENING	FT.	FOOT OR FEET	MIR.	MIRROR	RM.	ROOM	UNF.	UNFINISHED
A.B.	ANCHOR BOLT	D.R.	DOOR	FTG.	FOOTING	MISC.	MISCELLANEOUS	R.O.	ROUGH OPENING	U.N.S.	UNLESS NOTED
ABV.	ABOVE	DWR.	DRAWER	FURN.	FURNACE	M.O.	MASONRY	RND.	REDWOOD		OTHERWISE
A.C	AIR	D.S.	DOWNSPOUT	FUT.	FUTURE					UR.	URINAL
	CONDITIONER	DWG.	DRAWING			MTD.	MOUNTED	S.	SOUTH	VERT.	VERTICAL
A.D.	AREA DRAIN			GA.	GAUGE	MTL.	MATERIAL	S.C.	SOLID CORE	VEST.	VESTIBULE
ADD'L	ADDITIONAL	E.	EAST	GA.	GALVANIZED	MUL.	MULLION	SCHED	SCHEDULE		
ADJ.	ADJUSTABLE	EA.	EACH	G.D.	GRAB BAR			SECT.	SECTION		
AGGR.	AGGREGATE	E.J.	EXPANSION	GL.	GLASS	N.	NORTH	S.F.	STOREFRONT	W.	WEST
ALUM.	ALUMINUM			GND.	GROUND	N.I.A.	NOT IN	SH.	SHELL	W.	WITH
ASPH.	ASPHALT	EL.	ELEVATION	GR.	GRADE	CONTRACT	CONTRACT	SHR.	SHOWER	W.C.	WATER CLOSET
		ELEC.	ELECTRICAL	GYP.	GYPSUM	NO.	NUMBER	SHT.	SHEET	WD.	WOOD
BD.	BOARD	ELEV.	ELEVATOR			NOM.	NOMINAL	SIM.	SIMILAR	W.H.	WATER HEATER
BLDG.	BUILDING	EMER.	EMERGENCY	H.B.	HOSE BIB			SL.	SLIDER	W.L.C.	WALK IN CLOSET
BLK.	BLOCK	ENCL.	ENCLOSURE	H.C.	HOLLOW CORE	O/	OVER	S.M.	SHEET METAL	W/O	WITHOUT
BLKS.	BLOCKING	ENL.	ENLARGED	HD	HOLD DOWN	O.A.	OVERALL	SP.	SPACE	W.P.	WATERPROOF
BM.	BEAM	EQ.	EQUAL	HDWD	HARDWOOD	OBS.	OBSCURE	SPEC.	SPECIFICATION	W.SCT.	WAINSCOT
BOT.	BOTTOM	EQFT.	EQUIPMENT	HDWE.	HARDWARE	O.C.	ON CENTER	SPF	SPRAY	WT.	WEIGHT
		EACH WAY	EXISTING	HDWE.	HARDWARE	O.D.	OUTSIDE		FOAM	WTR.	WATER
CAB.	CABINET	EX.	EXISTING	HDWE.	HARDWARE	OFF.	OFFICE	SQ.	SQUARE	W.W.F.	WELDED WIRE
CAS.	CASEMENT	EXP.	EXPANSION	HR.	HORIZONTAL	O.H.	OPPOSITE HAND	SQT.	STAINLESS		FABRIC
C.A.	COLUMN BASE	EXT.	EXTERIOR	HGT.	HEIGHT	OPNG.	OPENING	STA.	STEEL		
CEM.	CEMENT			HTR.	HEATER	OPP.	OPPOSITE	S.S.K.	SERVICE SINK		
CER.	CERAMIC	F.A.	FIRE ALARM					STA.	STATION		
C.I.	CAST IRON	F.B.	FLAT BAR	I.D.	INSIDE	PEN.	PENETRATION	STD.	STANDARD		
CLG.	CEILING	F.C.	FAN COIL	INSUL.	INSULATION	P.H.	PANIC	STL.	STEEL		
CLKS.	CAULKING	F.D.	FLOOR DRAIN	INT.	INTERIOR	PRCST.	PRECAST	STOR.	STORAGE		
CLO.	CLOSET	F.DN.	FOUNDATION			PLAS.	PLASTER	STR.	STRUCTURAL		
CLR.	CLEAR	F.A.	FIRE	JAN.	JANITOR	PLYWD.	PLYWOOD	SUSP.	SUSPENDED		
COL.	COLUMN	EXTINGUISHER		JT.	JOINT	PLYWD.	PLYWOOD	SYM.	SYMMETRICAL		
CONC.	CONCRETE	F.F.	FINISH FLOOR			FR.	PAIR	S.Y.M.	SYMMETRICAL		
CONN.	CONNECTION	FIN.	FINISH	KIT.	KITCHEN	PT.	POINT	T.	TREAD		
CONSTR.	CONSTRUCTION	FL.	FLOOR	K.P.	KING POST	P.T.	PRESSURE	T.	TREAD		
		FLASH.	FLASHING	LAB.	LABORATORY	PTN.	TREATED	T.G.	TOP OF CURB		
CONT.	CONTINUOUS	FLUOR.	FLUORESCENT	LAM.	LAMINATE		PARTITION	TEL.	TELEPHONE		
CORR.	CORRIDOR	F.O.C.	FACE OF FINISH GRADE	LAV.	LAVATORY	Q.T.	QUARRY TILE	TER.	TERRAZZO		
CTSK.	COUNTERSUNK	F.O.C.	FACE OF FINISH GRADE	LK.	LOCKER	R.	RISER	T.KG.	TONGUE AND GROOVE		
CNTR.	COUNTER	F.O.F.	FACE OF FINISH	L.T.	LIGHT	RAD.	RADIUS	T.O.	TOP OF		
CTR.	CENTER	F.O.M.	FACE OF FINISH	L.W.	LIGHT WEIGHT	R.A.L.	ROOF ACCESS	T.O.C.	TOP OF		
C.B.	CURTAIN WALL	MASONRY		MA.	MASTER	R.D.	ROOF DRAIN	T.O.P.	TOP OF		
		F.O.S.	FACE OF STUD	MAX.	MAXIMUM	REF.	REFERENCE	T.P.	TOP OF		
DBL.	DOUBLE	FIREPROOF		MECH.	MECHANICAL	REFR.	REFRIGERATOR		PARAPET		
DEPT.	DEPARTMENT	F.R.	FIRE RISER	MEMB.	MEMBRANE	R.GTR.	REGISTER		PAVEMENT		
D.F.	DRINKING										
FOUNT.	FOUNTAIN										
DET.	DETAIL										

ABBREVIATIONS

16

SYMBOLS

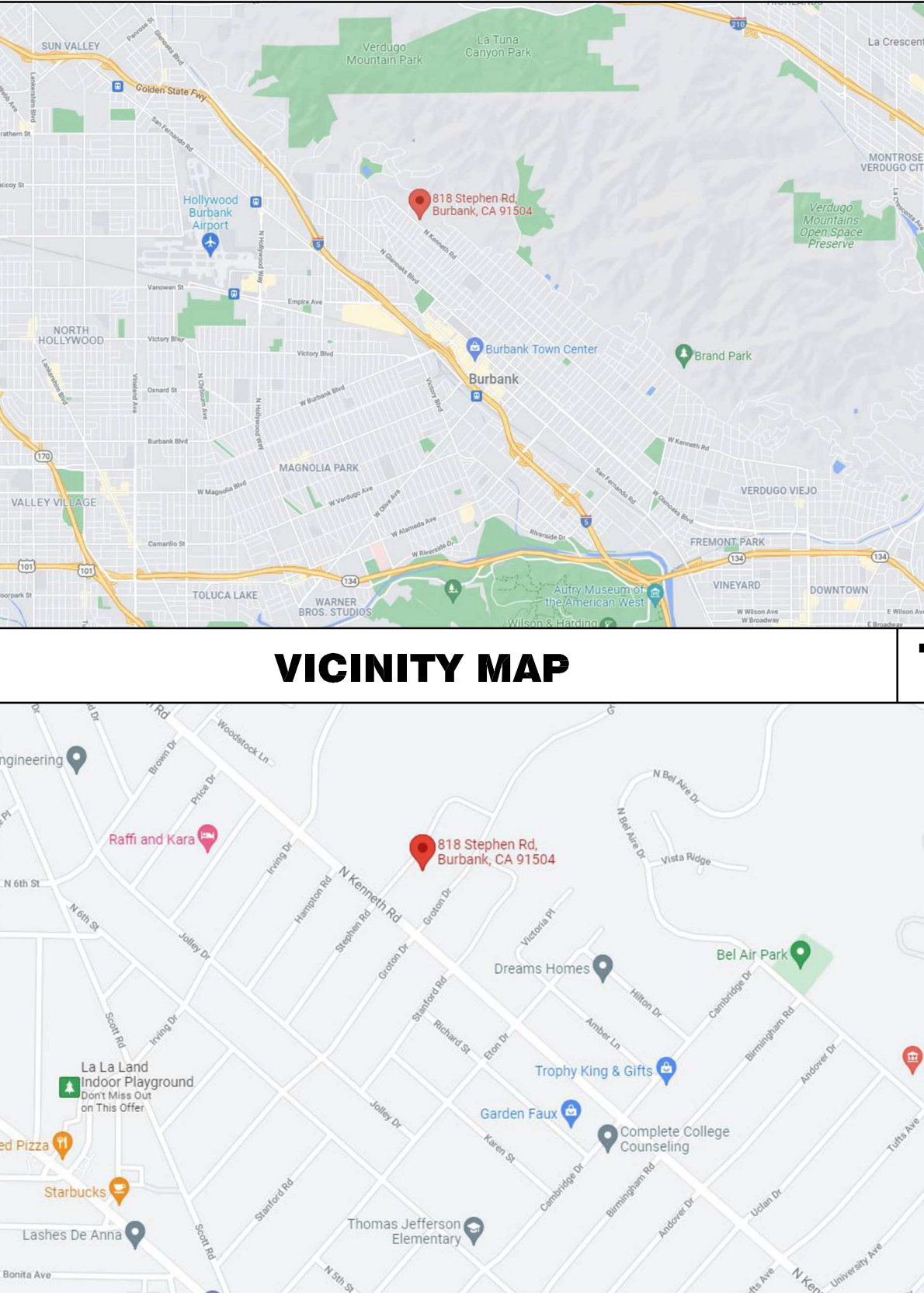
11

LOCATION MAP

6

SHEET INDEX

1



VICINITY MAP

7

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LOS ANGELES, CA 90031
TEL: (323) 275-1340
FAX: (323) 275-1341
CONTACT: DANIEL ZIESE, AIA, NCARB

PROJECT DIRECTORY

2

- ARCHITECTURAL
G.01 GENERAL INFORMATION, SITE PLAN
A1.0 EXISTING SITE PLAN
A1.1 PROPOSED SITE PLAN
A1.2 SCHEDULES
A2.1 DEMO PLAN 1
A2.2 FLOOR PLAN 1
A2.3 FLOOR PLAN 2
A2.4 REFLECTED CEILING PLAN 1
A2.5 REFLECTED CEILING PLAN 2
A2.6 DEMO ROOF PLAN
A2.7 ROOF PLAN
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A4.1 SECTIONS
A5.1 ENLARGED PLANS
AD.1 DETAILS

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DANIEL J. ZIESE
C-32234
STATE OF CALIFORNIA

CONSULTANT STAMP

HURT RESIDENCE
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BURBANK, CA 91504

GENERAL INFORMATION & SITE PLAN

REVISIONS

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G0.1

							
FRONT YARD	20	FRONT YARD	15	ATTACHED GARAGE	10	SIDE YARD - WEST	5
							
SIDE YARD - WEST	19	BACK YARD	14	BACK YARD	9	BACK YARD	4
							
BACK YARD	18	BACK YARD	13				
							
BACK YARD	17	SIDE YARD - EAST	12				
				EXISTING SITE PLAN			
SIDE YARD - EAST	16	SIDE YARD - EAST	11	SCALE: 3/32"=1'-0"			
				1			

GENERAL NOTES

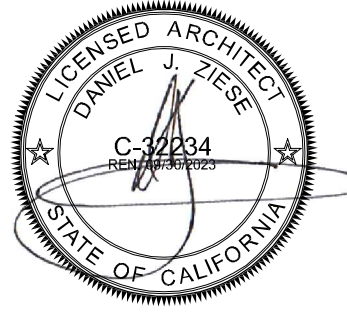
LEGEND

- — — — — PROPERTY LINE
- ⑬ DIRECTIONAL FLAG

KEYNOTES

ZIESE
Architecture, Inc.
1111 MULLEN AVE. SUITE 101 LOS ANGELES CA 90001

ARCHITECT STAMP



CONSULTANT STAMP

HURT RESIDENCE
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SITE
PHOTOS

REVISIONS

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G.03



SW 7015

Repose Gray

Interior / Exterior

Location Number: 244-C1

244

Repose Gray

COORDINATING COLORS

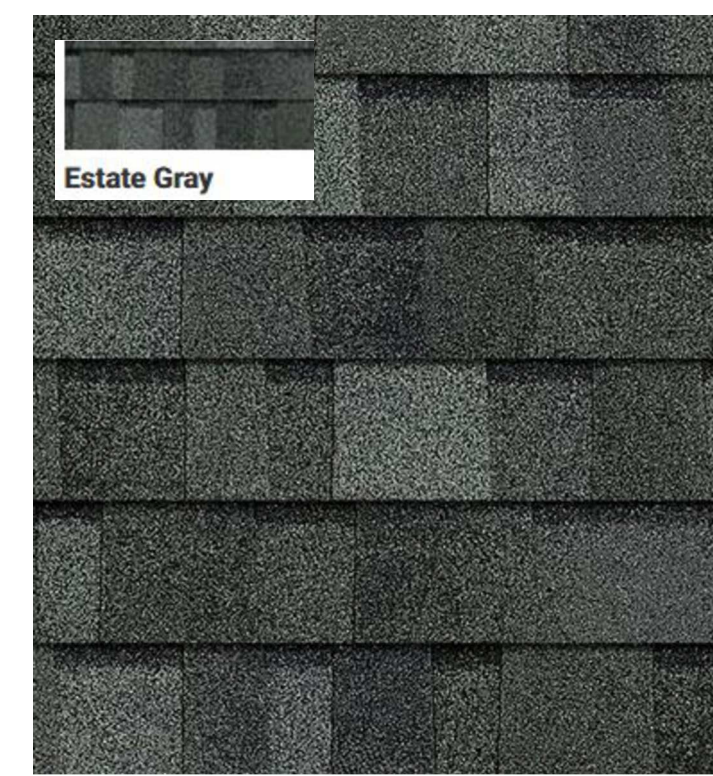
SIMILAR COLORS

DETAILS

[View All Neutral Paint Colors →](#)

R:204 G:201 B:192 Hex Value: #ccc9c0 LRV:58

Color Collections: Senior Living Cool Foundations, Dreamer, Pottery Barn, Living Well - Inspire, Top 50 Colors




GENERAL NOTES

ZIESE

Architecture, Inc.

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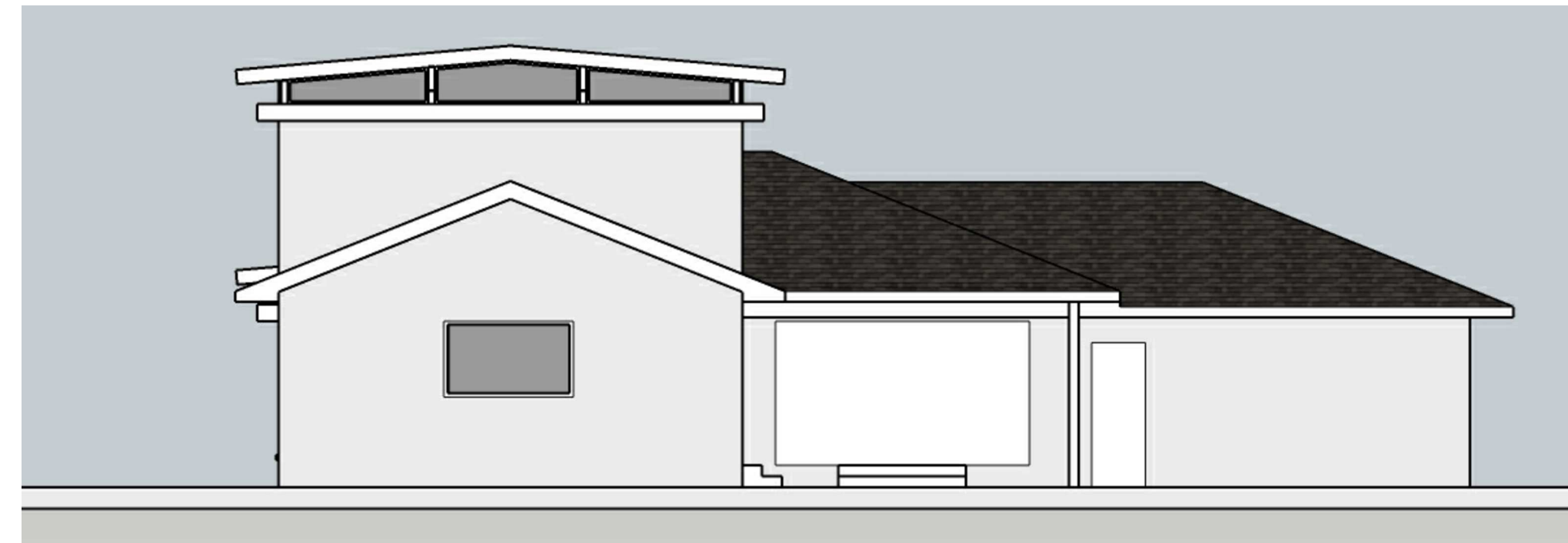
ARCHITECT STAMP



A circular professional seal for Daniel J. Ziese, a Licensed Architect in the State of California. The seal features the text "LICENSED ARCHITECT" at the top, "DANIEL J. ZIESE" in the center, and "C-37234" with "EXPIRES 12/31/2000" below it. The outer ring of the seal reads "STATE OF CALIFORNIA". There are two stars on the left and right sides of the seal. A stylized signature is written across the center of the seal.

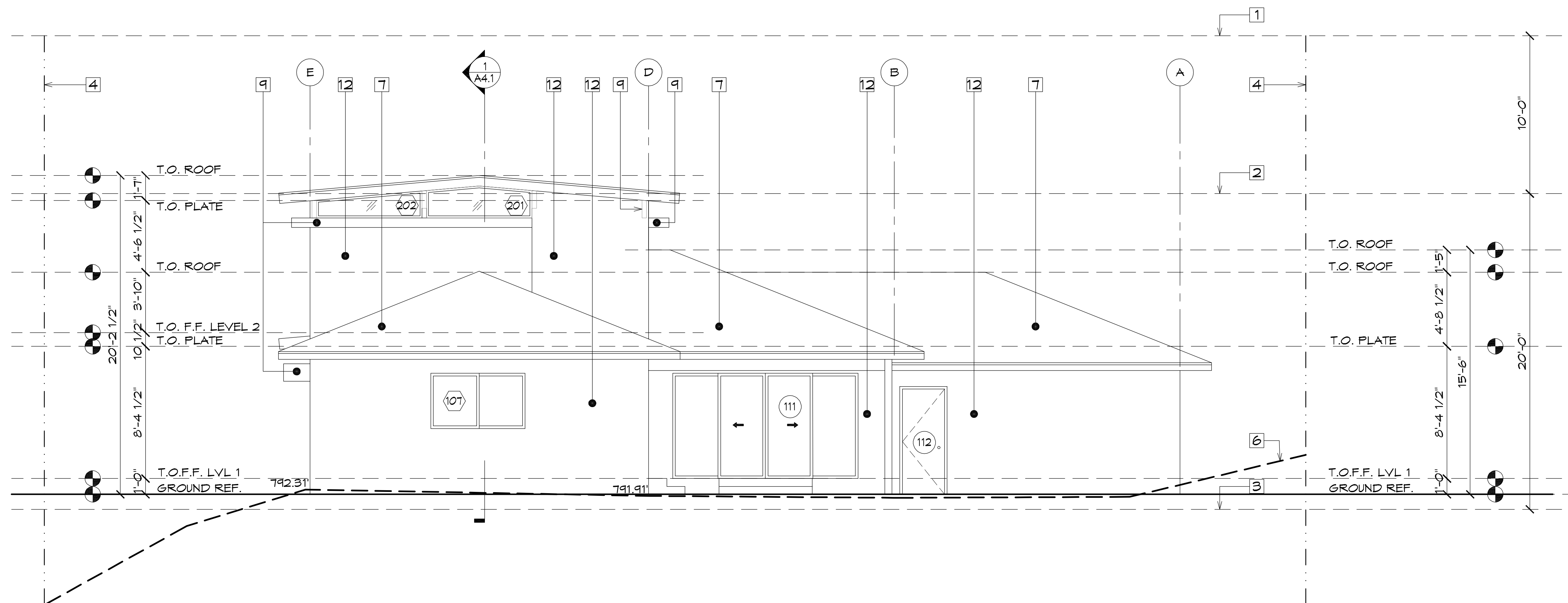
CONSULTANT STAMP

SHERWIN - WILLIAMS PAINT	25 SHERWIN - WILLIAMS PAINT	20 SHERWIN - WILLIAMS PAINT	15 SHERWIN - WILLIAMS PAINT	10 OWENS CORNING - SHINGLES	5
---------------------------------	------------------------------------	------------------------------------	------------------------------------	------------------------------------	----------



LEGEND

MATERIALS BOARD



KEYNOTES

- 1 MAXIMUM ALLOWABLE HEIGHT
- 2 MAXIMUM HEIGHT TO TOP PLATE
- 3 ELEVATION DATUM
- 4 PROPERTY LINE
- 5 2ND STORY SETBACK
- 6 NATURAL GRADE
- 7 ROOF SHINGLES, OWENS
CORNING - ESTATE GRAY
- 8 EXT. PAINTED STUCCO,
SHERWIN-WILLIAMS -
ALABASTER
- 9 PROTRUDING PAINTED LUMBER
BEAM, SHERWIN-WILLIAMS -
ALABASTER
- 10 COLUMN
- 11 WINDOW MULLION
- 12 EXT. PAINTED STUCCO,
SHERWIN-WILLIAMS - REPOSE
GRAY
- 13 EXT. PAINTED STUCCO,
SHERWIN-WILLIAMS - DORIAN
GRAY

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EXTERIOR ELEVATION - EAST

SCALE: 1/4"=1'-0"

1

HURT RESIDENCE
818 STEPHEN RD
BURBANK, CA 91504

EXTERIOR ELEVATIONS

G.05

SW 2802
Rookwood Red
Interior / Exterior

COORDINATING COLORS

SIMILAR COLORS

DETAILS

[View All Historic Color Paint Colors →](#)
R:98 G:47 B:45 Hex Value:#6222d LRV:5
Color Collections:Historic Exterior Color Wall, Victorian (1830s-1910s)

SW 7017
Dorian Gray
Interior / Exterior
Location Number: 244-C3

COORDINATING COLORS

SIMILAR COLORS

DETAILS

R:172 G:167 B:158 Hex Value:#aca79e LRV:39
Color Collections:Senior Living Cool Foundations, Acute Care Cool Foundations, Living Well - Renew, Top 50 Colors

SW 7015
Repose Gray
Interior / Exterior
Location Number: 244-C1

COORDINATING COLORS

SIMILAR COLORS

DETAILS

[View All Neutral Paint Colors →](#)
R:204 G:201 B:192 Hex Value:#ccc9c0 LRV:58
Color Collections:Senior Living Cool Foundations, Dreamer, Pottery Barn, Living Well - Inspire, Top 50 Colors

SW 7008
Alabaster
Interior / Exterior
Location Number: 255-C2

COORDINATING COLORS

SIMILAR COLORS

DETAILS

[View All White & Pastel Paint Colors →](#)
R:237 G:234 B:224 Hex Value:#deae0 LRV:82
Color Collections:Nurture, Living Well - Unplug, Timeless White, 2016 Pura Vida, Senior Living Cool Foundations, 2022 Ephemera, Pottery Barn, Top 50 Colors, 2021 Encounter, Finest Whites

Estate Gray

SHERWIN - WILLIAMS PAINT25

SHERWIN - WILLIAMS PAINT20

SHERWIN - WILLIAMS PAINT15

SHERWIN - WILLIAMS PAINT10

OWENS CORNING - SHINGLES5

24

19

14

COLORED RENDERING - SOUTH ELEVATION4

MATERIALS BOARD

EXTERIOR ELEVATION - SOUTH

SCALE: 1/4"=1'-0"

GENERAL NOTES

LEGEND

KEYNOTES

1

2

3

4

5

6

7

8

9

10

11

12

13

MAXIMUM ALLOWABLE HEIGHT

MAXIMUM HEIGHT TO TOP PLATE

ELEVATION DATUM

PROPERTY LINE

2ND STORY SETBACK

NATURAL GRADE

ROOF SHINGLES, OWENS CORNING - ESTATE GRAY

EXT. PAINTED STUCCO, SHERWIN-WILLIAMS - ALABASTER

PROTRUDING PAINTED LUMBER BEAM, SHERWIN-WILLIAMS - ALABASTER

COLUMN

WINDOW MULLION

EXT. PAINTED STUCCO, SHERWIN-WILLIAMS - REPOSE GRAY

EXT. PAINTED STUCCO, SHERWIN-WILLIAMS - DORIAN GRAY

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LICENSED ARCHITECT
DANIEL J. ZIESE
C-32234
STATE OF CALIFORNIA

CONSULTANT STAMP

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BURBANK, CA 91504

EXTERIOR
ELEVATIONS

REVISIONS

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G.06

[View All Historic Color Paint Colors →](#)

R:98 G:47 B:45 Hex Value:#622f2d LRV:5

Color Collections: Historic Exterior Color Wall, Victorian (1830s-1910s)

R:172 G:167 B:158 Hex Value:#aca79e LRV:39

Color Collections: Senior Living Cool Foundations, Acute

Care Cool Foundations, Living Well - Renew, Top 50 Colors

[View All Neutral Paint Colors –](#)

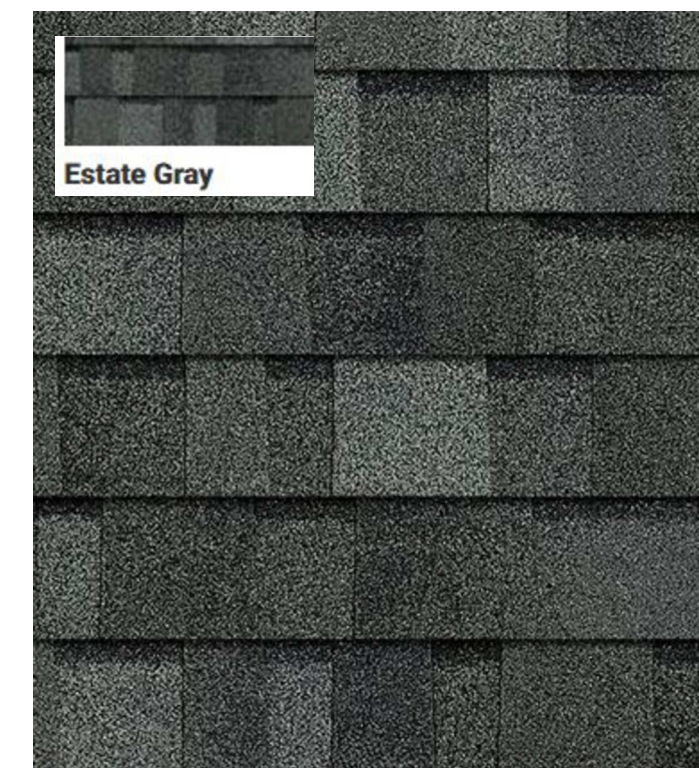
R:204 G:201 B:192 Hex Value:#ccc9c0 LRV:58

Color Collections: Senior Living Cool Foundations, Dreamer, Pottery Barn, Living Well - Inspire, Top 50 Colors

[View All White & Pastel Paint Colors —](#)

R:237 G:234 B:224 Hex Value:#edeae0 LRV:82

Color Collections:Nurterer, Living Well - Unplug, Timeless White, 2016 Pura Vida, Senior Living Cool Foundations, 2022 Ephemera, Pottery Barn, Top 50 Colors, 2021 Encounter, Finest Whites



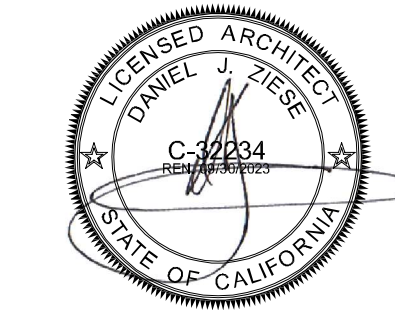
GENERAL NOTES

LEGEND

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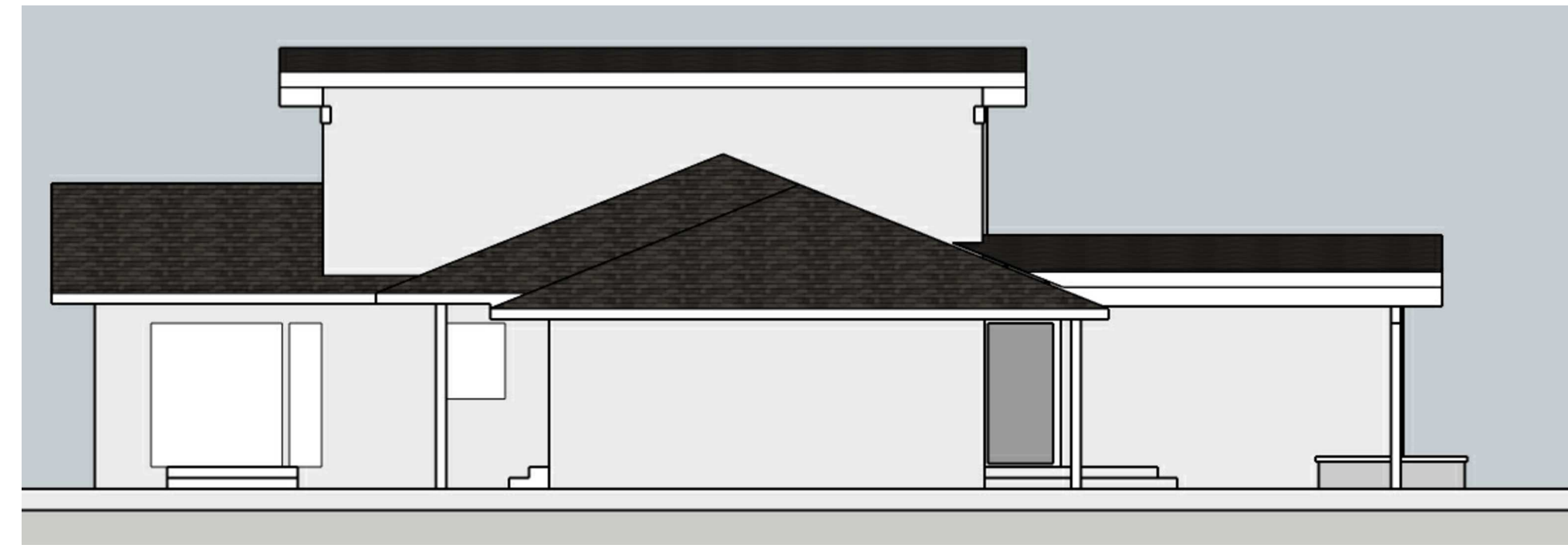
612 MOULTON AVE., SUITE #7, LOS ANGELES, CA 90001

ARCHITECT STAMP



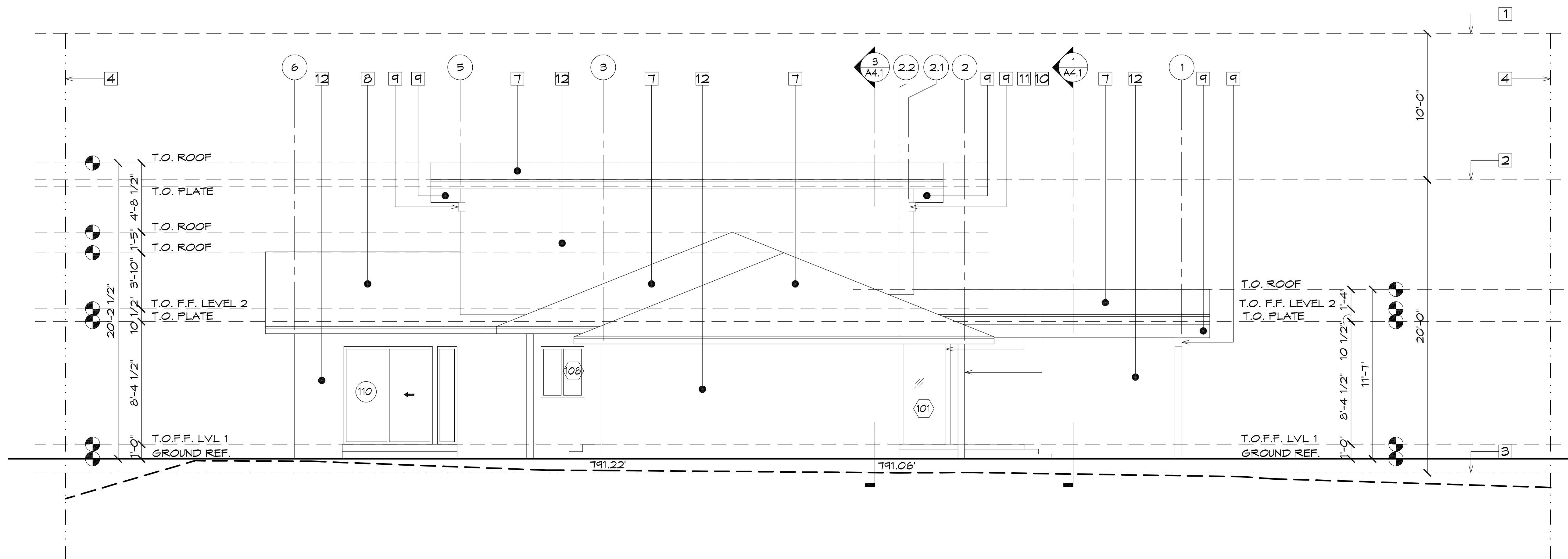
CONSULTANT STAMP

SHERWIN - WILLIAMS PAINT	25 SHERWIN - WILLIAMS PAINT	20 SHERWIN - WILLIAMS PAINT	15 SHERWIN - WILLIAMS PAINT	10 OWENS CORNING - SHINGLES	5
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	24	19	14	COLORED RENDERING - NORTH ELEVATION	4
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MATERIALS BOARD



KEYNOTES

- 1 MAXIMUM ALLOWABLE HEIGHT
- 2 MAXIMUM HEIGHT TO TOP PLATE
- 3 ELEVATION DATUM
- 4 PROPERTY LINE
- 5 2ND STORY SETBACK
- 6 NATURAL GRADE
- 7 ROOF SHINGLES, OWENS
CORNING - ESTATE GRAY
- 8 EXT. PAINTED STUCCO,
SHERWIN-WILLIAMS -
ALABASTER
- 9 PROTRUDING PAINTED LUMBER
BEAM, SHERWIN-WILLIAMS -
ALABASTER
- 10 COLUMN
- 11 WINDOW MULLION
- 12 EXT. PAINTED STUCCO,
SHERWIN-WILLIAMS - REPOSE
GRAY
- 13 EXT. PAINTED STUCCO,
SHERWIN-WILLIAMS - DORIAN
GRAY

SHEET NAME

SHEET NAME

EXTERIOR

ELEVATIONS

REVISIONS

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EXTERIOR ELEVATION - NORTH

SCALE: 1/4"=1'-0" **1**

HURT RESIDENCE
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BURBANK, CA 91504

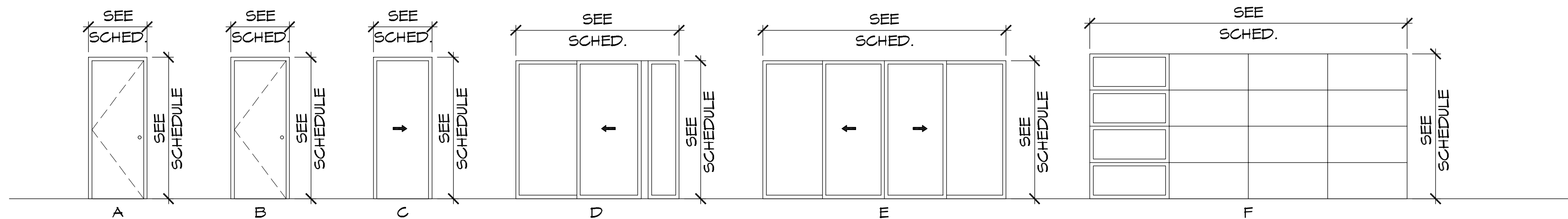
SHEET NAME

EXTERIOR

ELEVATIONS

G.07

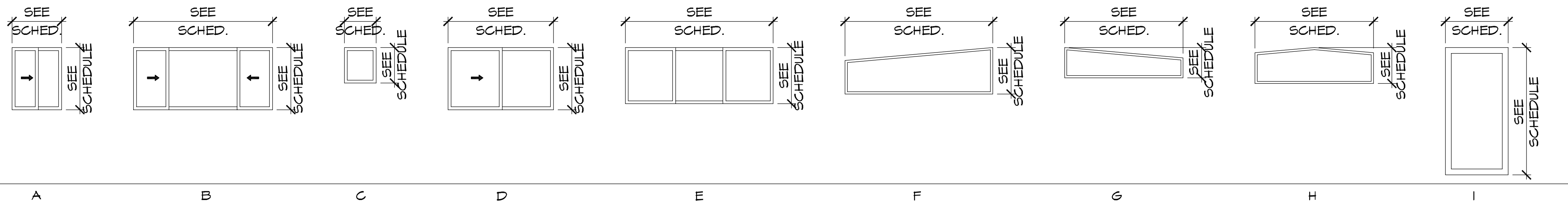
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DOOR TYPES

SCALE: 1/4"=1'-0"

5



WINDOW TYPES

SCALE: 1/4"=1'-0"

4

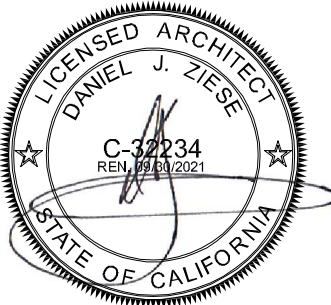
FINISHES

WINDOWS

DOORS

[illegible]

GENERAL NOTES



LEGEND

T TEMPERED GLASS

FINISH LEGEND

FLOORS
F1 HARDWOOD, FINISHED
F2 NOT USED
F3 CERAMIC TILE

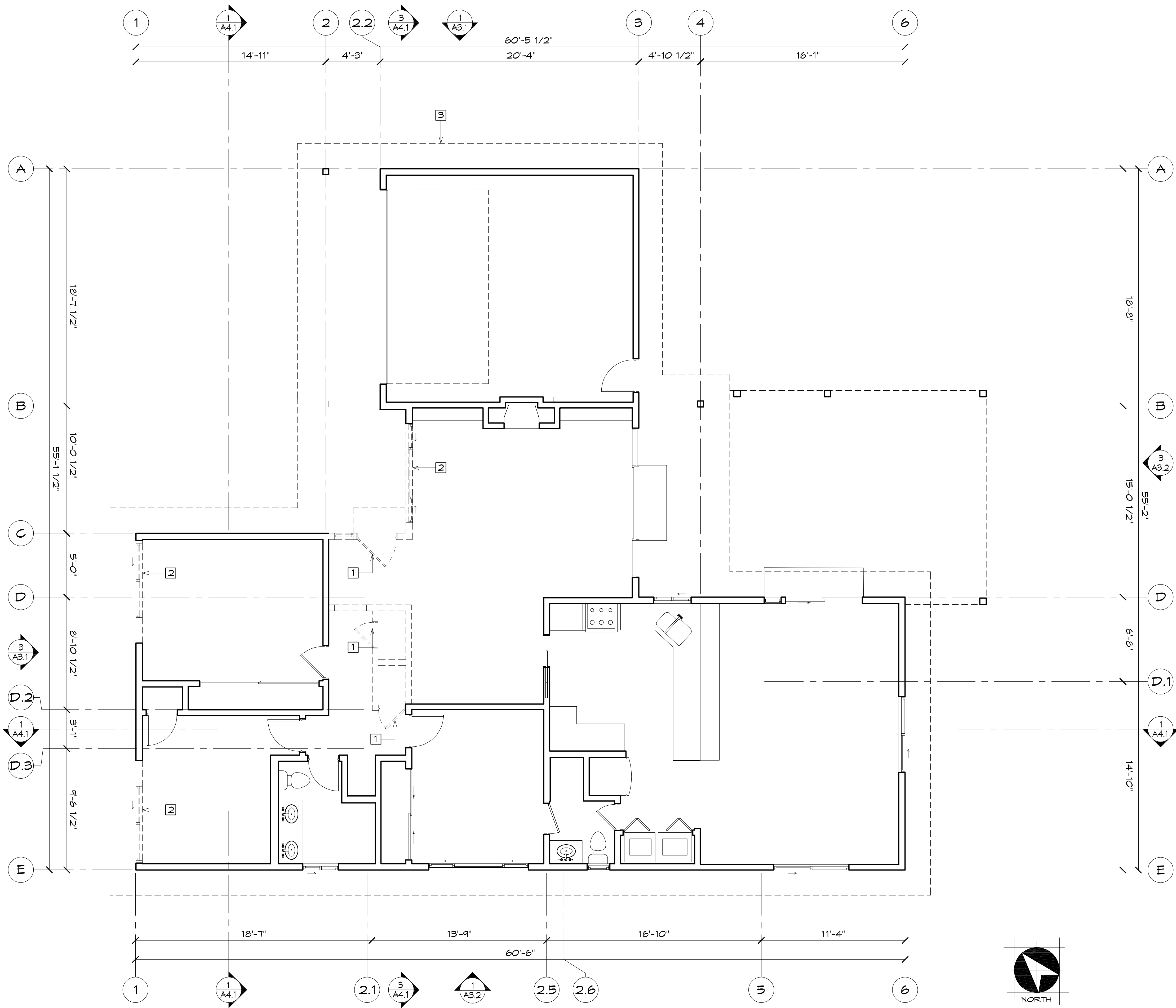
BASE
B1 WOOD BASE
B2 CERAMIC TILE BASE
B3 CONCRETE

WALLS
W1 GYP. BOARD
W2 CERAMIC TILE

CEILING
C1 GYP. BOARD
C2 WOOD T&G PLANKING

PAINT
P1 PAINT - SEMI-GLOSS
P2 PAINT - EGGSHELL

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GENERAL NOTES

LEGEND

- WALL TO BE DEMOLISHED
- === EXISTING WALL TO REMAIN

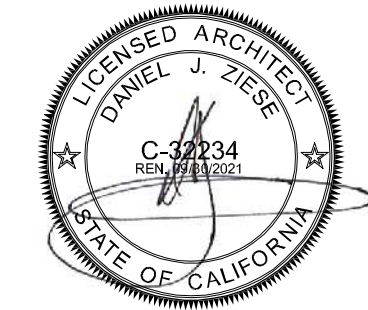
KEYNOTES

- 1 (E) DOOR TO BE REMOVED
- 2 (E) WINDOW TO BE REMOVED
- 3 ROOF ABOVE

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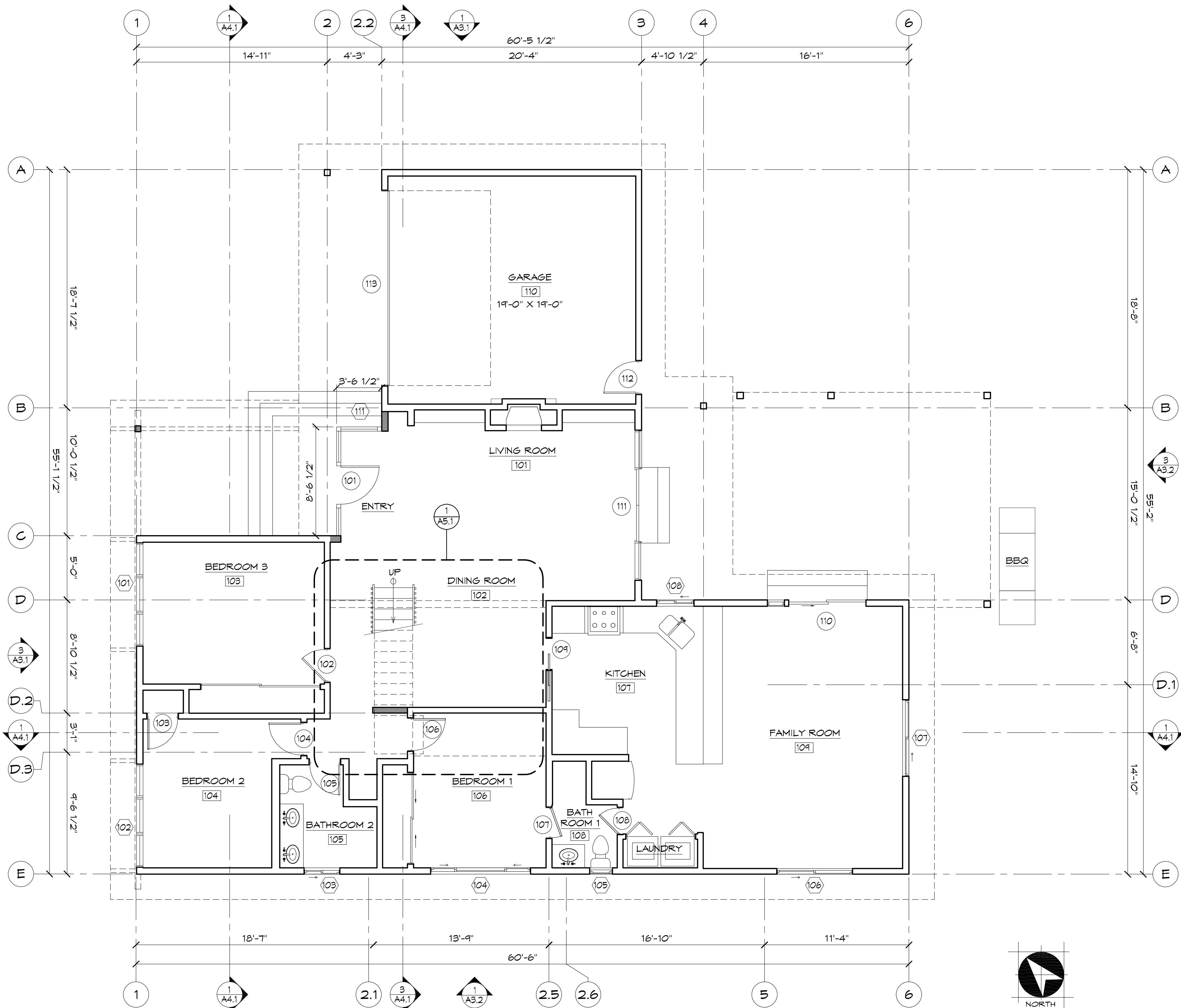
DEMOLITION
PLAN 1

REVISIONS

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A2.1



GENERAL NOTES

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL

KEYNOTES

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FLOOR
PLAN 1

REVISIONS

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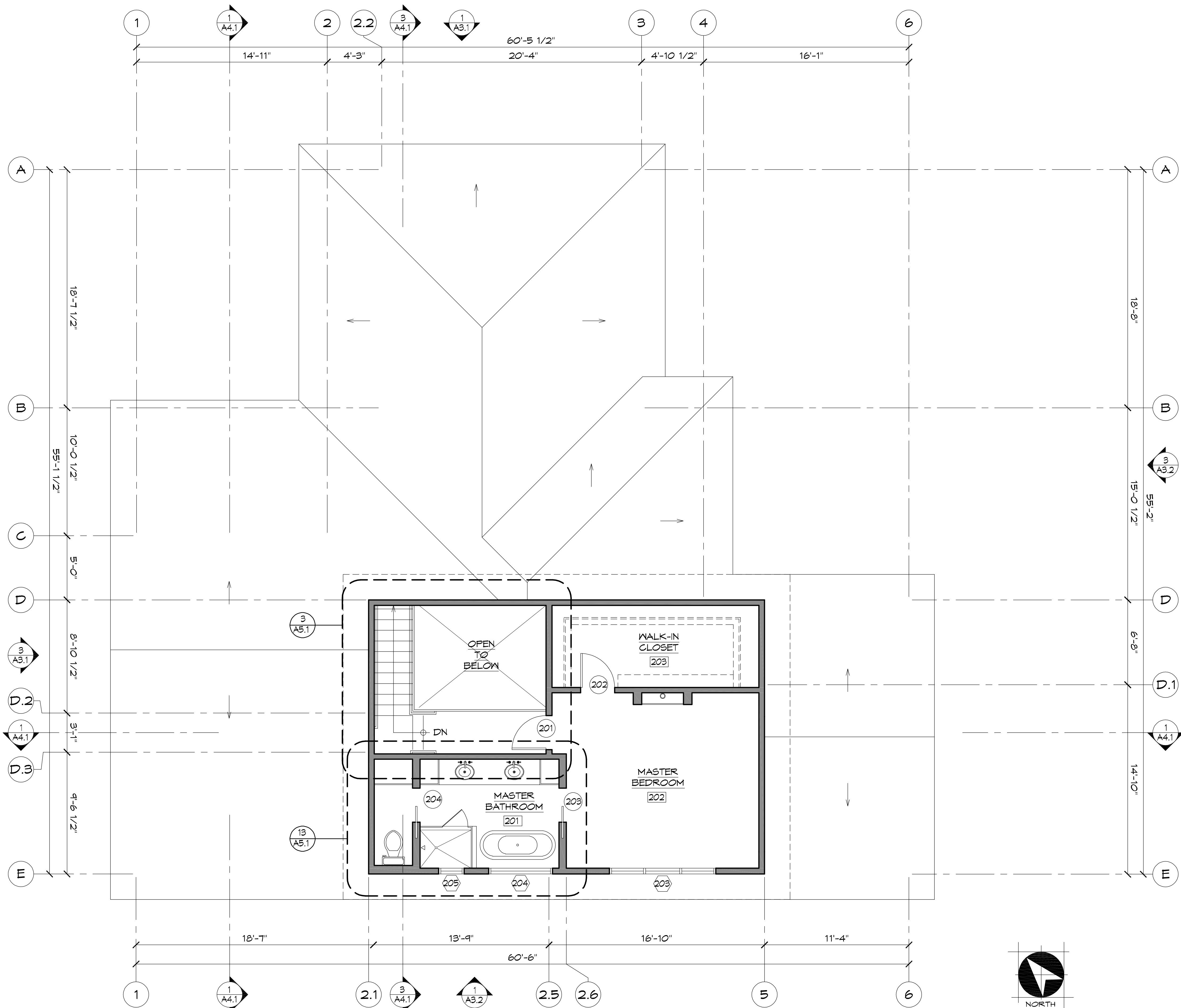
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A2.2

FLOOR PLAN 1

SCALE: 1/4"=1'-0"

1



FLOOR PLAN 2

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- DIRECTION OF SLOPE

KEYNOTES

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BURBANK, CA 91504

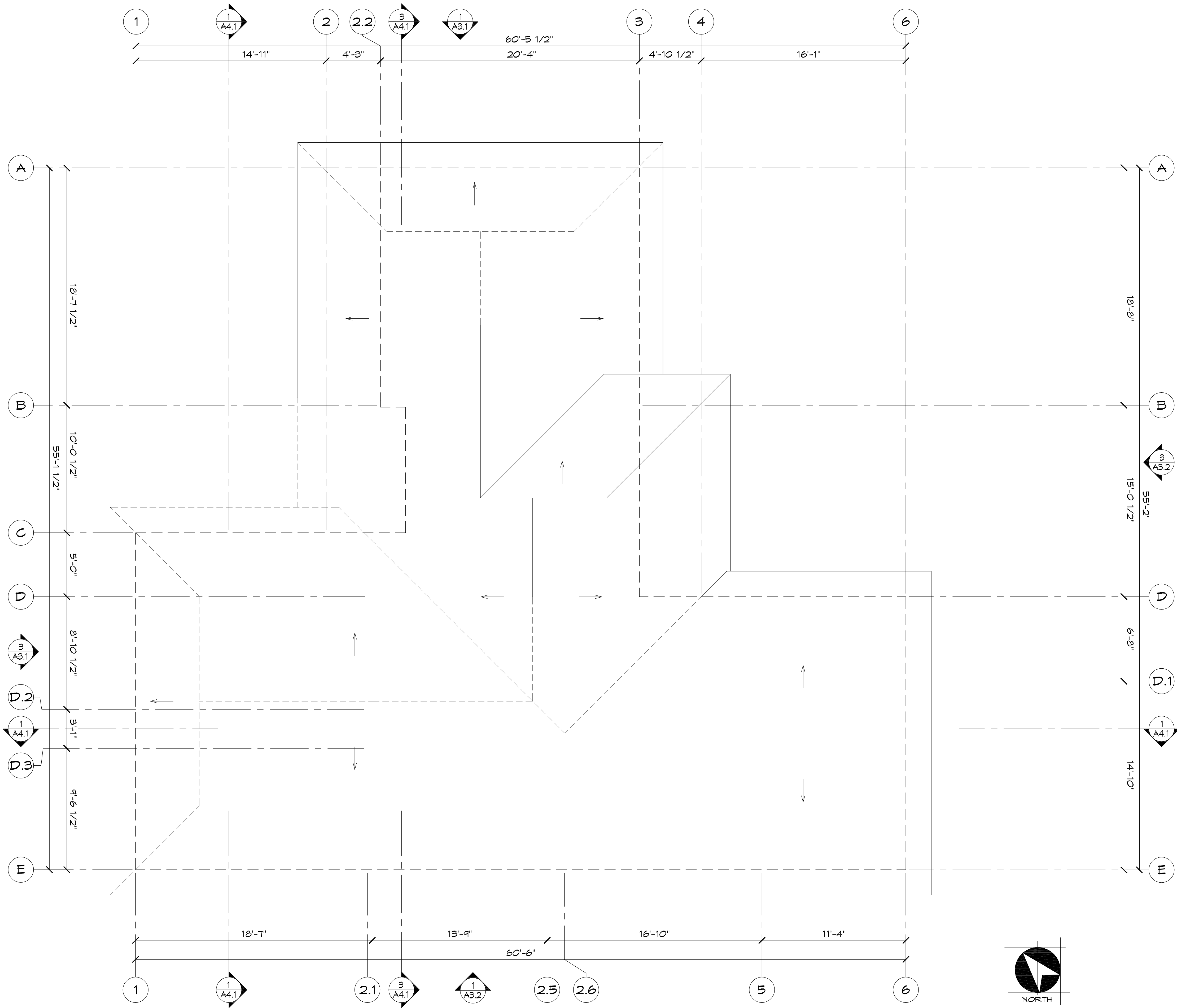
FLOOR
PLAN 2

REVISIONS

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A2.3



DEMOLITION ROOF PLAN

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

LEGEND

- TO BE DEMOLISHED
- WALL BELOW
- > DIRECTION OF SLOPE

KEYNOTES

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DEMOLITION ROOF
PLAN

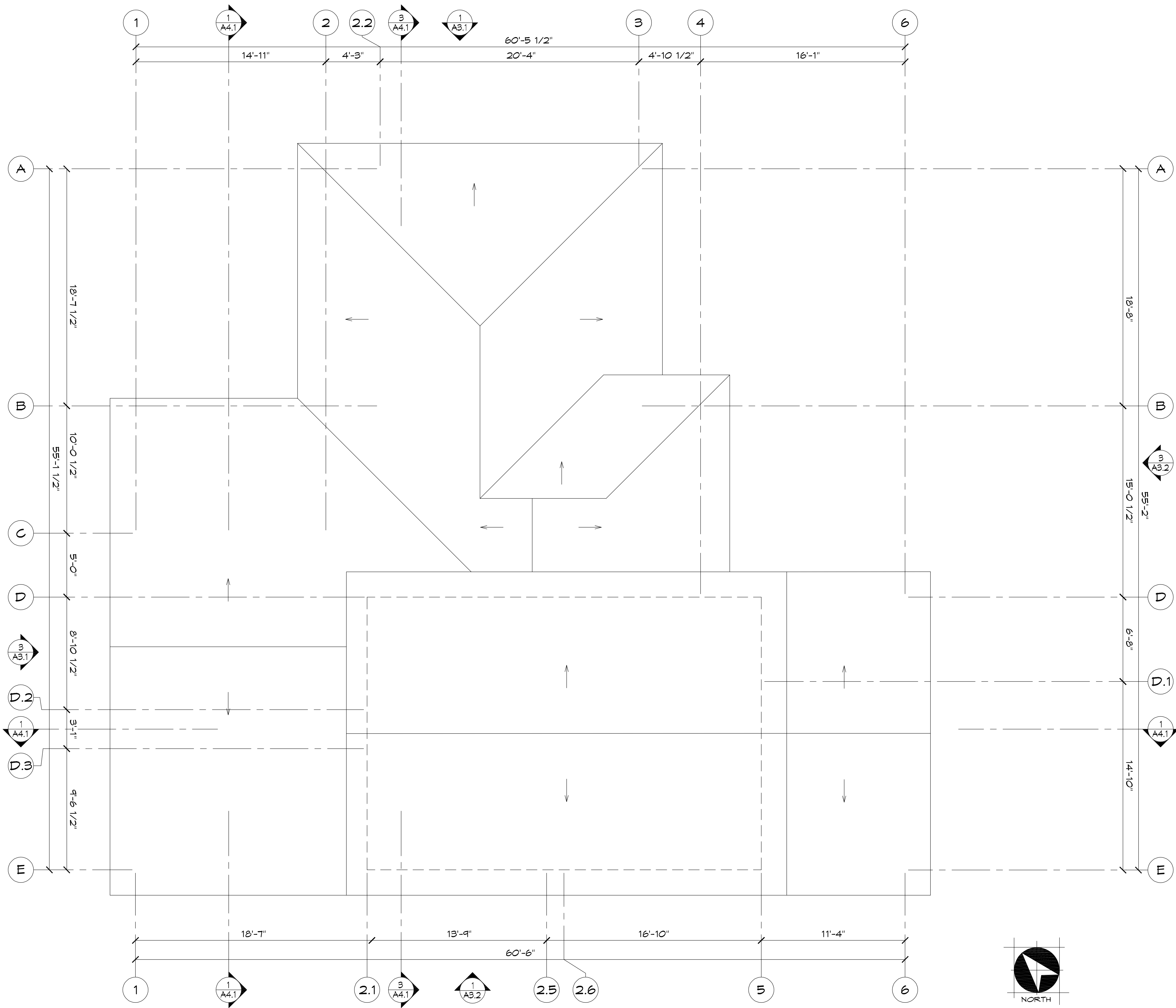
SHEET NAME

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A2.6



GENERAL NOTES

LEGEND

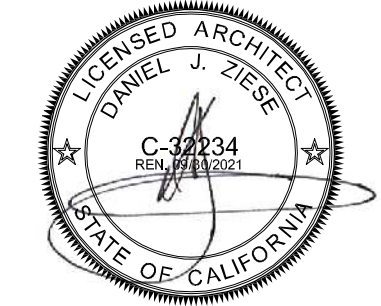
- WALL BELOW
- ➔ DIRECTION OF SLOPE

KEYNOTES

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ROOF
PLAN

REVISIONS

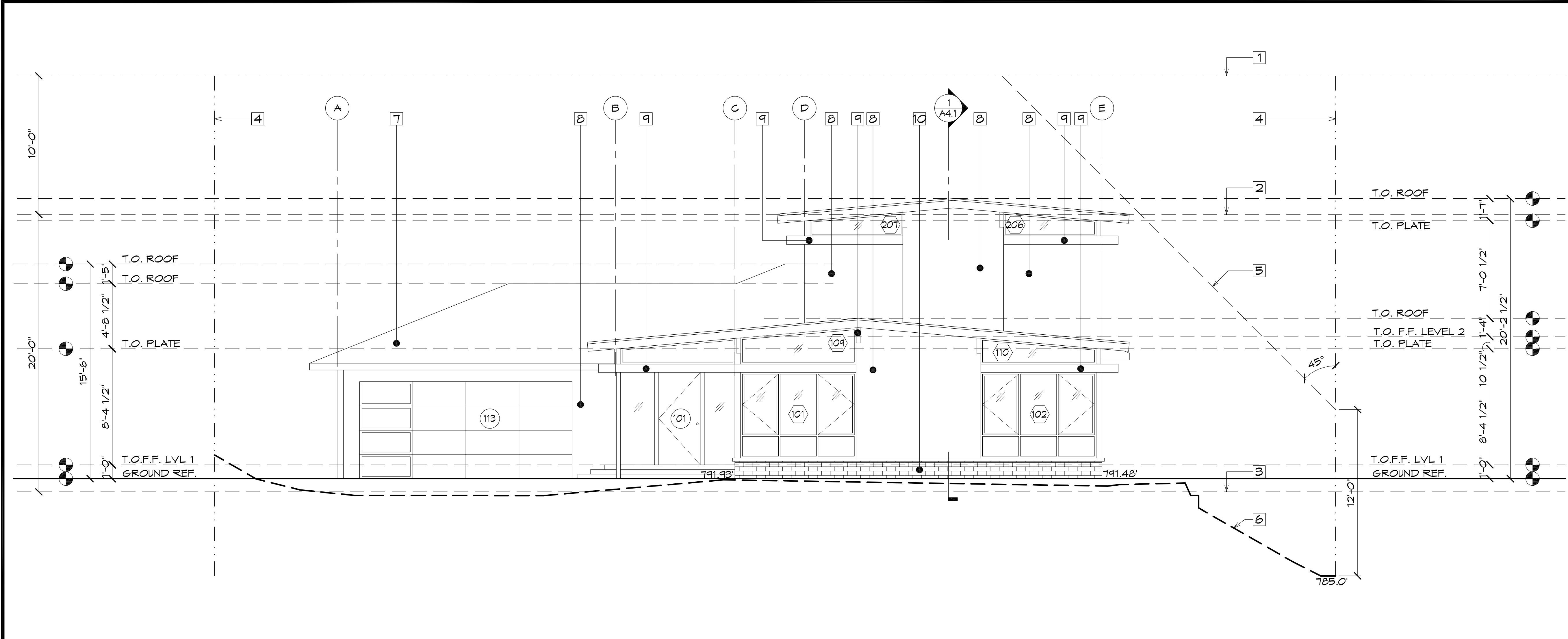
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A2.7

ROOF PLAN

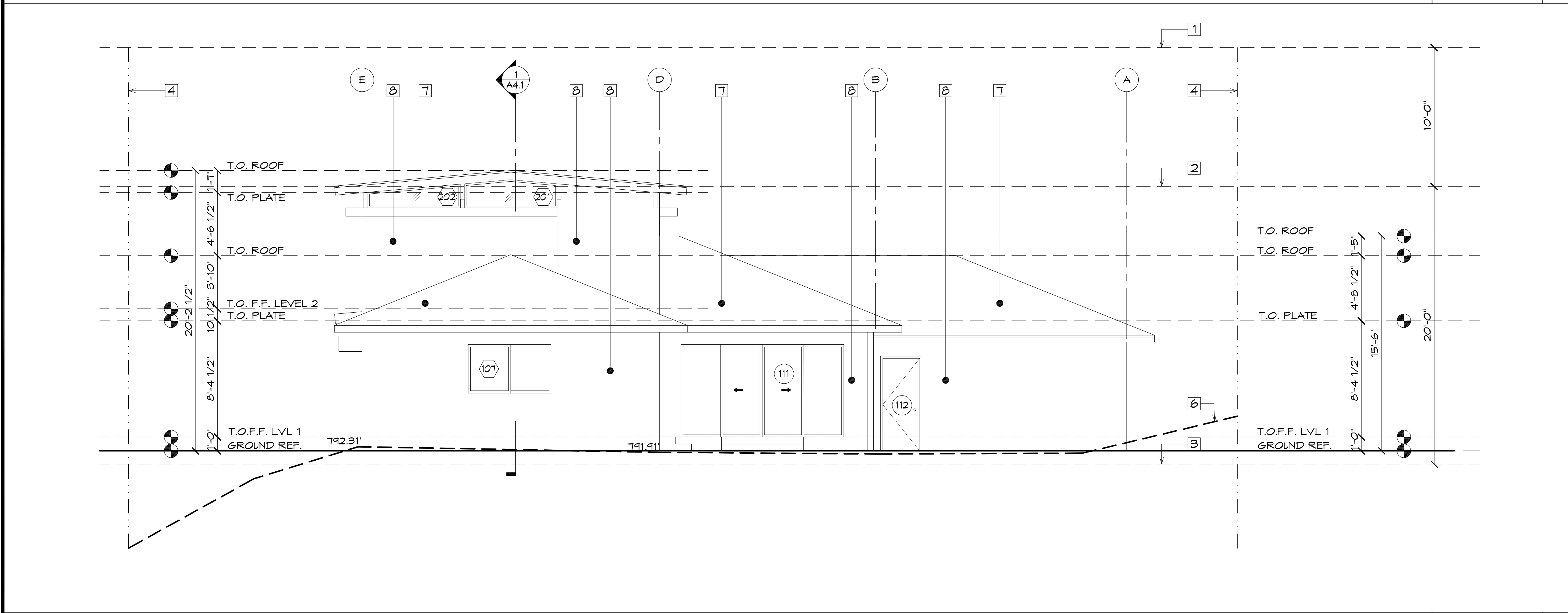
SCALE: 1/4"=1'-0"



EXTERIOR ELEVATION - WEST

SCALE: 1/4"=1'-0"

3



EXTERIOR ELEVATION - NORTH

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

LEGEND

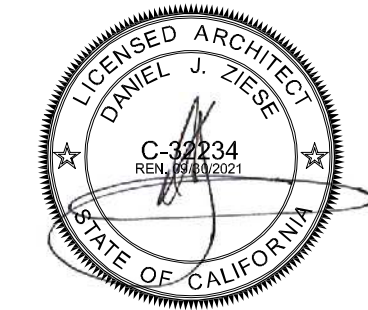
KEYNOTES

- 1 MAXIMUM ALLOWABLE HEIGHT
- 2 MAXIMUM HEIGHT TO TOP PLATE
- 3 ELEVATION DATUM
- 4 PROPERTY LINE
- 5 2ND STORY SETBACK
- 6 NATURAL GRADE
- 7 ROOF SHINGLES
- 8 EXT. PAINTED STUCCO
- 9 PROTRUDING PAINTED LUMBER BEAM
- 10 BRICK PLANTER

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EXTERIOR
ELEVATIONS

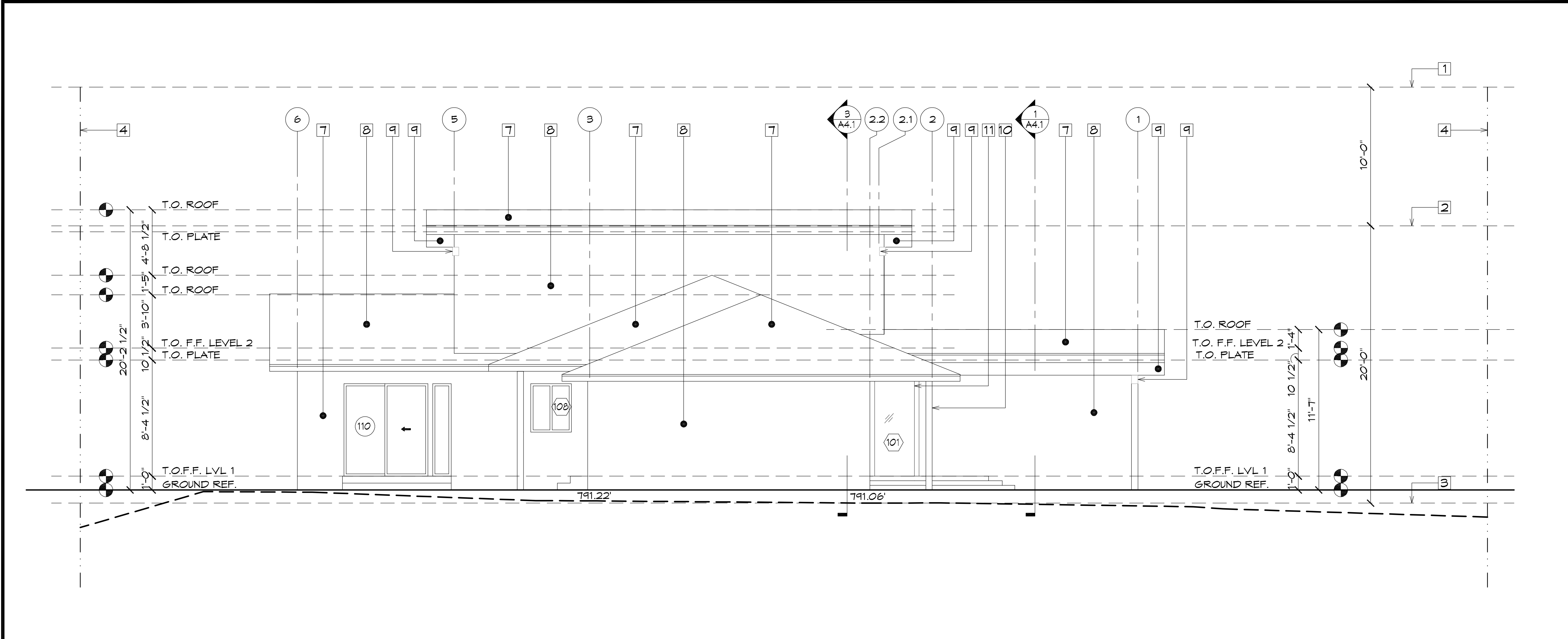
SHEET NAME

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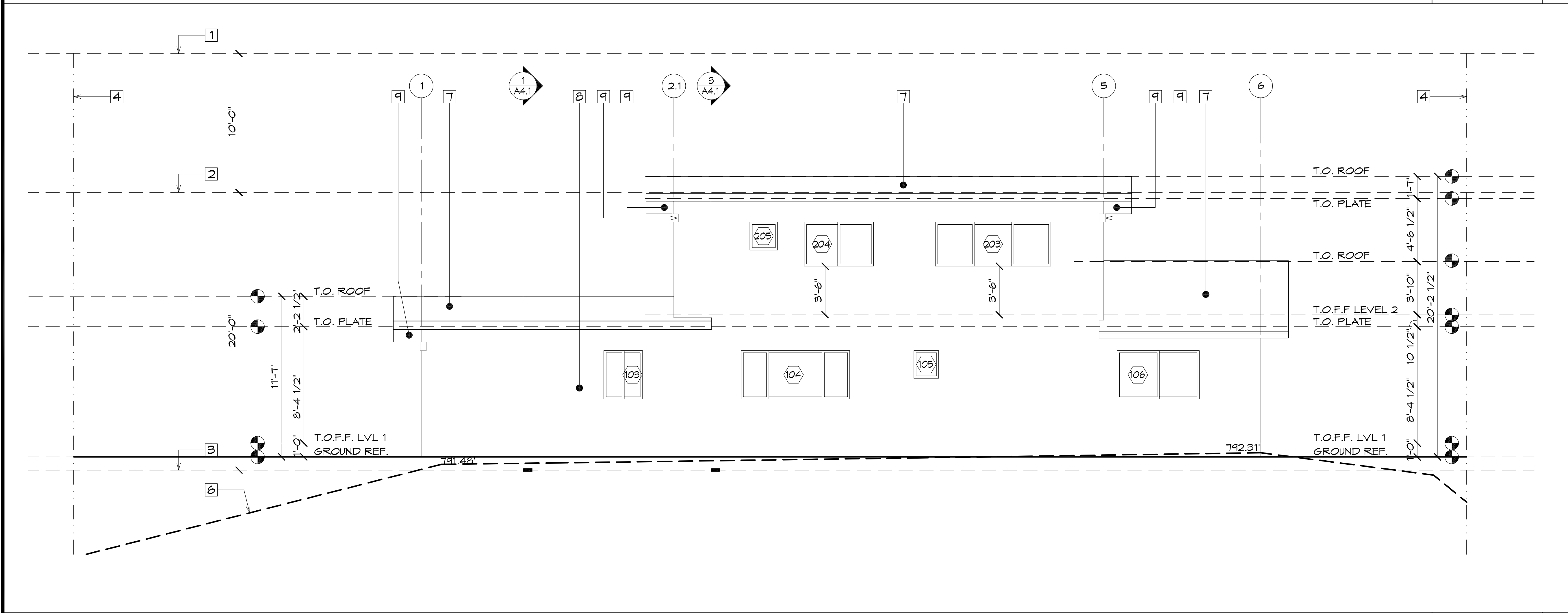
A3.1



EXTERIOR ELEVATION - EAST

SCALE: 1/4"=1'-0"

3



EXTERIOR ELEVATION - SOUTH

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

LEGEND

KEYNOTES

- 1 MAXIMUM ALLOWABLE HEIGHT
- 2 MAXIMUM HEIGHT TO TOP PLATE
- 3 ELEVATION DATUM
- 4 PROPERTY LINE
- 5 2ND STORY SETBACK
- 6 NATURAL GRADE
- 7 ROOF SHINGLES
- 8 EXT. PAINTED STUCCO
- 9 PROTRUDING PAINTED LUMBER BEAM
- 10 COLUMN
- 11 WINDOW MULLION

ZIESE
Architecture, Inc.

1110 MOLITOR AVE. SUITE 101 LOS ANGELES CA 90001

ARCHITECT STAMP



CONSULTANT STAMP

HURT RESIDENCE
818 STEPHEN RD
BURBANK, CA 91504

EXTERIOR
ELEVATIONS

SHEET NAME

REVISIONS

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