

**SITE PLAN**  
SCALE: 1/8"=1'-0"

- PROPOSED FIRST FLOOR
- PROPOSED 2ND FLOOR
- LANDSCAPED AREA
- HARDSCAPED AREA
- SLOPE DIRECTION

**HERS VERIFICATION REQUIREMENT**  
Firm or individual responsible for the verification:  
Name: \_\_\_\_\_ License No.: \_\_\_\_\_

**APPLICABLE CODE:**  
2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC), 2019 CALIFORNIA GREEN BUILDING CODE (CAL GREEN), 2019 CALIFORNIA ENERGY CODE (TITLE 24, PART 6), 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS, AND CITY OF BURBANK AMENDMENTS.

THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).

THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF THE BACKFILL.

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS.
  - SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
  - ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
  - A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3302.4)
  - WATERS SHALL BE PROVIDED ON SITE AND USED TO CONTROL DUST.
  - TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE (BMC 9-1-1-3305)
  - THE FINISH GRADE SHALL SLOPE A MIN. OF 5% OR 6% TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC R401.3)
  - THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CBC 1808.7.4, CRC R403.1.7.3)

BACKFLOW VALVE REQUIRED ON PROPERTY SEWER PER BMC 8-1-313

**EXISTING NONCOMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENT:**  
SENATE BILL 407 (SB 407) REQUIRES NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS BILL APPLIES TO ALL SINGLE FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS CONSTRUCTED ON OR BEFORE JANUARY 1, 1994. FIXTURES INCLUDE WATER CLOSETS, URINALS, SHOWERHEADS, LAVATORY FAUCETS, AND KITCHEN FAUCETS. NONCOMPLIANT FIXTURES CAN ONLY BE REPLACED BY FIXTURES COMPLYING WITH THE REQUIREMENTS OF CALGREEN AND THE CALIFORNIA PLUMBING CODE.

THE WATER-CONSERVING PLUMBING FIXTURE CERTIFICATE OF COMPLIANCE MUST BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO THE FINAL BUILDING INSPECTION.

**GENERAL REQUIREMENTS**

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOP-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT-OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIDIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SEPARATE PLUMBING PERMIT IS REQUIRED).
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- PROVIDE ULTRA LOW FLOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHOWER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R308) N. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- WATER HEATER MUST BE STRAPPED TO WALL.
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL PC / STR CORR20 (REV. 12/12/2018) DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

**BUILDING DIVISION**  
**Community Development Department**  
**City of Burbank**

**WATER-CONSERVING PLUMBING FIXTURES**  
**CERTIFICATE OF COMPLIANCE**  
(For buildings built on or before Jan. 1, 1994)

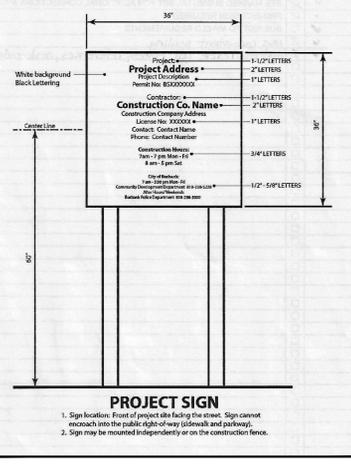
Project Address: 920 E. GRINNELL DR., BURBANK, CA 91501  
Permit No.: BS2205635, BS2205636, BS2205637

Owner's Name: AVETIK MACHKALYAN Date: 05.24.2022  
Owner's Signature: \_\_\_\_\_

Fixture	CALGreen/CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet	1.2 gals/min
Kitchen Faucet	1.8 gals/min

Fixture	CALGreen/CPC
Water Closet	1.28 gals/flush
Urinal	0.5 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet (within units)	1.2 gals/min
Lavatory Faucet (common areas)	0.5 gals/min
Kitchen Faucet	1.8 gals/min



**PERFORMANCE PLATINUM**  
Rheem

**PERFORMANCE PLATINUM® High Efficiency Condensing Tankless Gas Water Heaters are designed to provide continuous hot water.**

**Environmentally Friendly**  
• Energy Efficient: 90% AFUE  
• No Hot Water Storage Tank  
• Compact Design: Fits in tight spaces  
• Quiet Operation: No tank to rattle  
• Long Life: Up to 20 years

**Smart Home Features**  
• Remote Monitoring: Check water heater status from your smartphone  
• Leak Detection: Alerts you to leaks before they become a problem  
• Energy Saver: Adjusts water temperature based on your schedule

**Parts and Accessories**  
• Venting Kit  
• Gas Line Kit  
• Water Filter  
• Anode Rod

920 E. GRINNELL DR., BURBANK, CA 91501  
PERMIT # BS2205635, PERMIT # BS2205636, PERMIT # BS2205637  
ZONING: R-1  
OCCUPANCY GROUP: R3  
CONSTRUCTION TYPE: V-B  
STORIES: 2-STORY  
ASSESSORS ID No.: 2470-017-005  
PROPERTY BOUNDARY DESCRIPTION:  
LEGAL DESCRIPTION 1  
TRACT # 4302 SW 37.5 FT OF LOT 47 AND NE  
LEGAL DESCRIPTION 2  
25 FT OF LOT 48  
REQUIRED 3 PARKING SPACES ;  
PROVIDED 3 PARKING SPACES  
FIRE SPRINKLERS NOT INSTALLED  
BUILDING HEIGHT  
EXISTING SFD - 2,889.0 SQ. FT. TO BE DEMO  
PROJECT SUMMARY:  
LOT AREA = 10,125.625 SQ.FT.  
NEW FIRST FLOOR AREA = 1,891.0 SQ.FT.  
NEW SECOND FLOOR AREA = 1,859.0 SQ.FT.  
NEW COVERED PORCH = 25.0 SQ.FT.  
NEW TRELLEISED PATIO = 738.0 SQ.FT.  
**TOTAL FLOOR AREA = 3,781.0 SQ.FT.**  
40% OF LOT AREA = 7,500 x 0.4 + 2,625.625 x 0.3 = 3,000 + 787.69 = 3,787.69 SQ.FT.  
LOT COVERAGE: 1,891 + 600 + 25 = 2,516.0 SQ.FT.

FRONT LANDSCAPING CALCULATION WITHIN 36.5' X 62.5':  
FRONT YARD AREA: 36.5' X 62.5' = 2,281.25 SQ.FT.  
FRONT LANDSCAPING 234 + 218 + 902 = 1,354.0 / 2,281.25 = 59%  
FRONT HARDSCAPING 2,281-1,354 = 927 / 2,281.25 = 41% < 45%

- SCOPE OF WORK :**
- DEMOLISH (E) 2889 SF SFR, (E) CARPORT & STORAGE AND (E) SWIMMING POOL. (UNDER PERMIT # BS2205635)
  - NEW 2 STORY 3781 SF SFR (UNDER PERMIT # BS2205636)
  - NEW 4' HEIGHT, 62'6" L FENCE WALL WITH 6' IRON ORNAMENTAL GATE (UNDER PERMIT # BS2205637)

**DRAWINGS INDEX**

SHEET No	ARCHITECTURAL		
A-1	SITE PLAN	T.1	TITLE 24 REPORT
A-0.1	DEMO PLAN FENCE WALL ELEVATION	T.2	TITLE 24 REPORT
A-1.1	EXISTING 1ST AND 2ND FLOOR PLANS AND ELEVATIONS	T.3	TITLE 24 REPORT
A-2	PROPOSED FIRST FLOOR PLAN SFD	SHEET No	STRUCTURAL
A-3	DOOR / WINDOW SCHEDULE 1ST AND 2ND FLOORS, GR.1,GR.2	S.1	GENERAL NOTES
A-4	PROPOSED SECOND FLOOR PLAN	S.2	FOUNDATION PLAN
A-4.1	FLOOR AREA DIAGRAM	S.3	2 ND FLOOR FRAMING PLAN
A-5	PROPOSED ROOF PLAN	S.4	ROOF FRAMING PLAN
A-6	PROPOSED ELEVATIONS	S.5	COMMON DETAILS
A-7	PROPOSED ELEVATIONS	S.6	DETAILS
A-8	SECTIONS SFD	S.7	DETAILS
		HFX1	ANCHORAGE DETAILS
		HFX 2	FRAMING DETAILS

**VICINITY MAP**

**PREVALING SETBACK CALCULATION:**  
LOT 1 FRONT SETBACK = 34.5 FT.  
LOT 2 FRONT SETBACK = 35.5 FT.  
LOT 3 FRONT SETBACK = 37.5 FT.  
LOT 4 FRONT SETBACK = 37.5 FT.  
LOT 5 FRONT SETBACK = 37.5 FT.  
**AVERAGE SETBACK:**  
34.5+35.5+37.5+37.5+37.5 = 182.5 / 5 = 36.5 FT.



WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND CONCEPTS ARE THE PROPERTY OF AVETIK MACHKALYAN. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED, COPIED, OR USED IN CONNECTION WITH ANY OTHER WORK DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS SHALL BE LIMITED TO THE ENGINEER'S OFFICE. INSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**AVETIK and INTERIOR DESIGN SERVICES**  
EXTERIOR and INTERIOR DESIGN SERVICES  
635 W COLORADO ST., # 102, GLENDALE CA 91204  
TEL: 818-389-3888 email:avetikdesigns97@gmail.com

**REVISIONS**

#	DATE:
1	
2	

PROJECT TITLE: NEW 2 STORY SFD  
OWNER: AVETIK MACHKALYAN  
JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

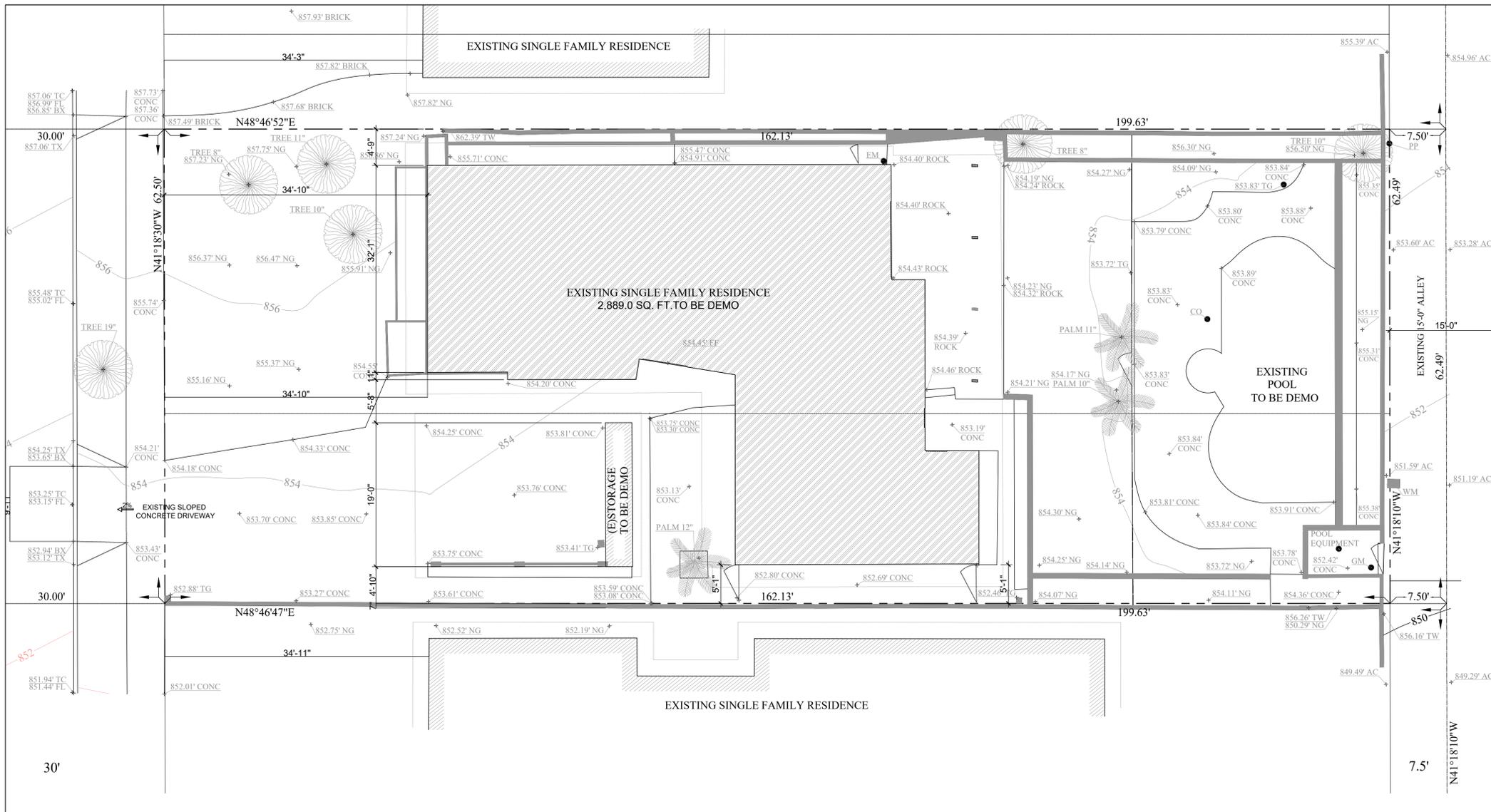
JOB NO.: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: 11-11-2022  
SHEET TITLE: \_\_\_\_\_  
SHEET NUMBER: \_\_\_\_\_

**PROPOSED SITE PLAN**

SCALE: 1/8"=1'-0"

**A-1**

SHEETS 1 OF 15



**920 E. GRINNELL DR.,  
BURBANK, CA 91501**

ZONING.....R-1  
 OCCUPANCY GROUP.....R3  
 TYPE OF CONSTRUCTION.....TYPE V-B  
 STORIES.....1-STORY  
 ASSESSORS ID No. ....2470-017-005

PROPERTY BOUNDARY DESCRIPTION:  
 LEGAL DESCRIPTION 1  
 TRACT # 4302 SW 37.5 FT OF LOT 47 AND NE  
 LEGAL DESCRIPTION 2  
 25 FT OF LOT 48  
 REQUIRED 2 PARKING SPACES ;  
 PROVIDED 3 PARKING SPACES  
 FIRE SPRINKLERS NOT INSTALLED  
 BUILDING HEIGHT  
 EXISTING SFD - 2,889.0 SQ. FT. TO BE DEMO

OWNER:  
**AVETIK MACHKALYAN**  
 920 E. GRINNELL DR.,  
 BURBANK, CA 91501  
 EMAIL: AVOMACH@YAHOO.COM

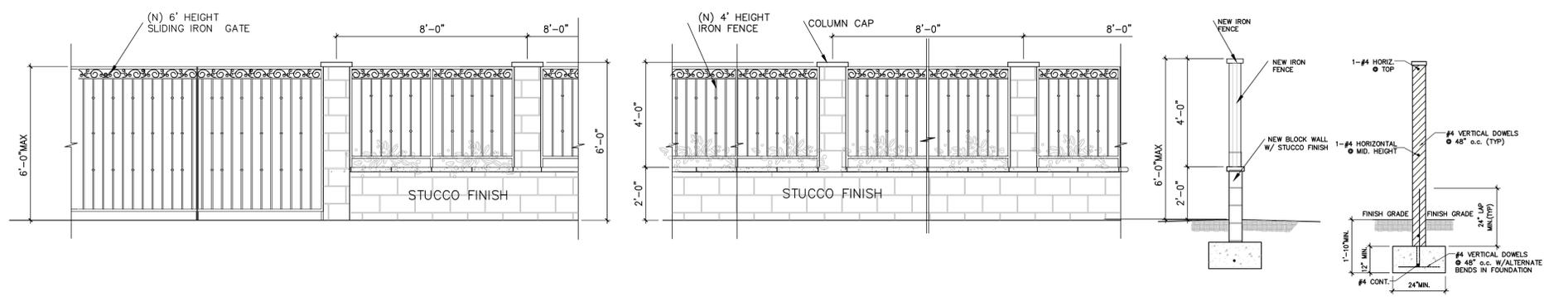
EXISTING SITE PLAN, LANDSCAPING PLAN AND DEMO PLAN

SCALE: 1/8"=1'-0" 1

**SITE PLAN NOTES**

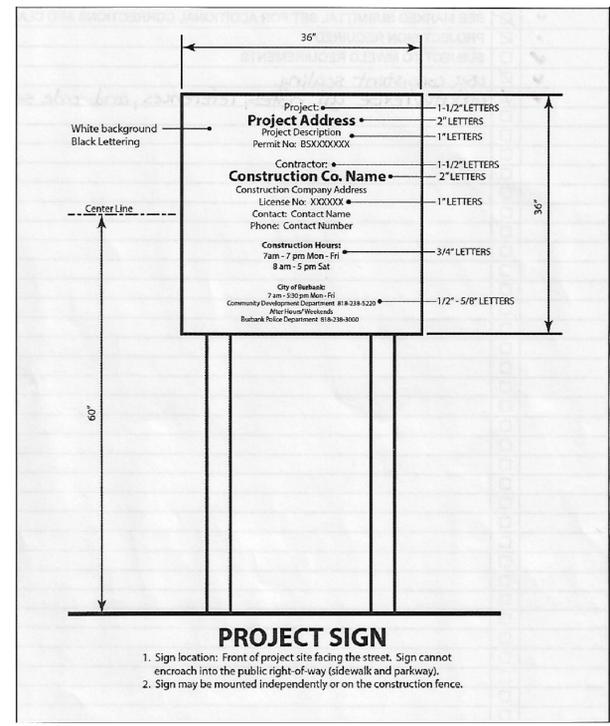
1. SCAQMD RULE 1403 REQUIRES THE CONTRACTOR TO FILE A DEMOLITION NOTIFICATION WITH THE SCAQMD 10 DAYS PRIOR TO ISSUANCE OF A DEMOLITION PERMIT.
2. A PERMANENT SOURCE OF WATER ON SITE MUST BE AVAILABLE THAT WILL ALLOW DUST CONTROL. RECYCLED WATER SHALL BE USED FOR THIS PURPOSE.
3. APPROPRIATE FENCING AND/OR CONSTRUCTION GUARDS RELATED TO DEMOLITION WORK SHALL BE IN PLACE
4. THE REQUIRED CONSTRUCTION SIGN SHALL BE POSTED ON SITE WITH CONTACT INFORMATION OF THE CONTRACTOR AND PROJECT MANAGE.
5. BEST MANAGEMENT PRACTICES AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IN PLACE DURING AND AFTER DEMOLITION WORK.
6. A LIST OF EXISTING LIVE UTILITIES SHALL BE PROVIDED WITH CONFIRMATION OF DISCONNECT/ABANDONMENT OF THESE UTILITIES. THIS IS TO BE COORDINATED FOR CONTINUED ONSITE WATER FOR DUST CONTROL.
7. OBTAIN THE DEMOLITION PERMIT FROM AN APPROPRIATE CLASSIFIED CALIFORNIA LICENSED CONTRACTOR AUTHORED TO PERFORM DEMOLITION WORK BY THE CALIFORNIA CONSTRUCTOR STATE LICENSED BOARD. ALL REQUIRED DOCUMENTS AND FEES SHALL BE PRESENT FOR THE ISSUANCE OF THE DEMOLITION PERMIT. FEES MAY BE APPLICABLE FROM PROJECT CONDITIONS OF APPROVAL.
8. FOLLOWING THE ISSUANCE OF THE DEMOLITION PERMIT BUT PRIOR TO START OF DEMOLITION WORK, AN ONSITE PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEMOLITION CONTRACTOR AND CITY BUILDING INSPECTOR.
9. RODENT AND INSECT ABATEMENT HAS BEEN PERFORMED MUST BE PRESENTED TO THE BUILDING INSPECTOR PRIOR TO START OF DEMOLITION
10. THE VENDOR OR FACILITY THAT THE APPLICANT PROPOSES TO USE TO COLLECT OR RECEIVE THAT MATERIAL

**S.F.D. DEMOLITION NOTES**



FENCE WALL ELEVATION

SCALE: 3/8"=1'-0" 2



- PROJECT SIGN**
1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
  2. Sign may be mounted independently or on the construction fence.

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND CONCEPTS ARE THE PROPERTY OF THE ENGINEER AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY OTHER WORK DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS DOES NOT CONSTITUTE ACCEPTANCE OF THESE RESTRICTIONS.

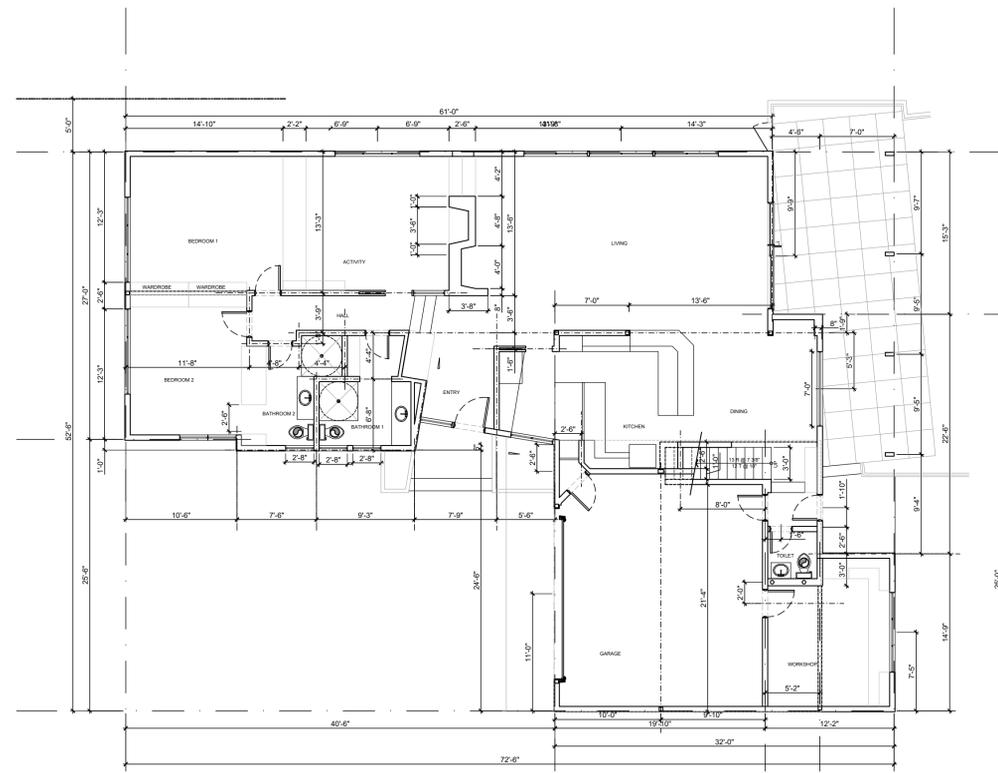
**Art and Interior Design Services**  
 EXTERIOR and INTERIOR DESIGN SERVICES  
 635 W COLORADO ST., # 102, GLENDALE CA 91204  
 TEL: 818-389-3888 email:artdesigns97@gmail.com

#	REVISIONS	DATE:
1		
2		

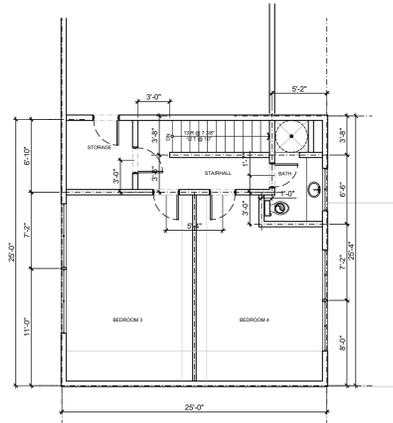
PROJECT TITLE: DEMOLITION PLAN  
 OWNER: AVETIK MACHKALYAN  
 JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.:	A-
DRAWN BY:	M.S.
CHECKED BY:	A.L.
DATE:	11-11-22
SHEET TITLE:	
SHEET NUMBER:	

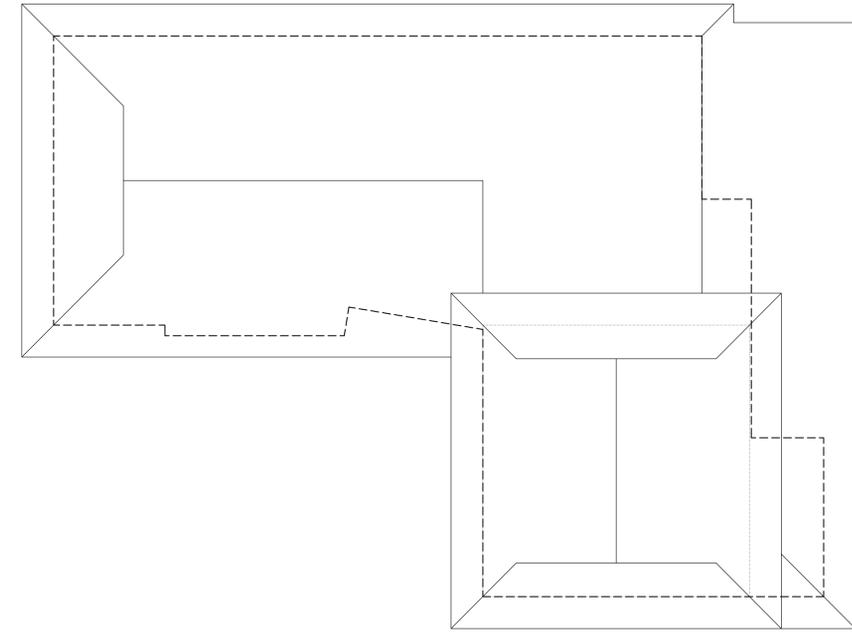
**A-0.1**  
 SHEETS 0.1 OF 15



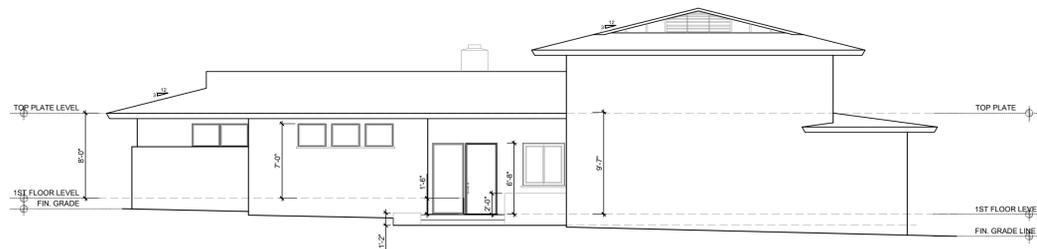
EXISTING FIRST FL. PLAN  
SCALE: 1/8" = 1'-0"



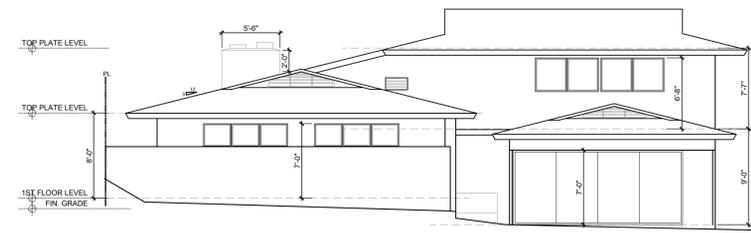
EXISTING SECOND FL. PLAN  
SCALE: 1/8" = 1'-0"



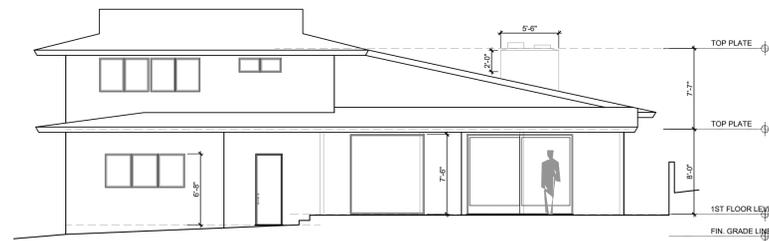
EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"



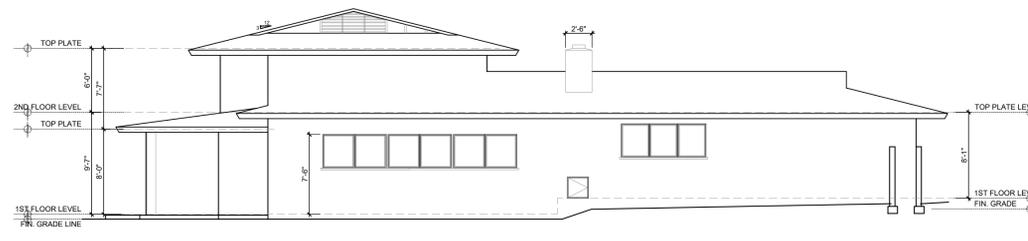
EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF AVETIK MACHKALYAN AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**AVETIK and INTERIOR DESIGN SERVICES**  
655 W COLORADO ST., ST. 112, GLENDALE, CA 91204  
TEL.: 818-388-3888

PROJECT TITLE: NEW 2 STORY SINGLE FAMILY RESIDENCE  
OWNER: AVETIK MACHKALYAN  
JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.:	A-
DRAWN BY:	M.S.
CHECKED BY:	A.L.
DATE:	11-11-2022
SHEET TITLE:	

SHEET NUMBER

**A-1.1**

EXISTING FLOOR PLANS AND ELEVATIONS

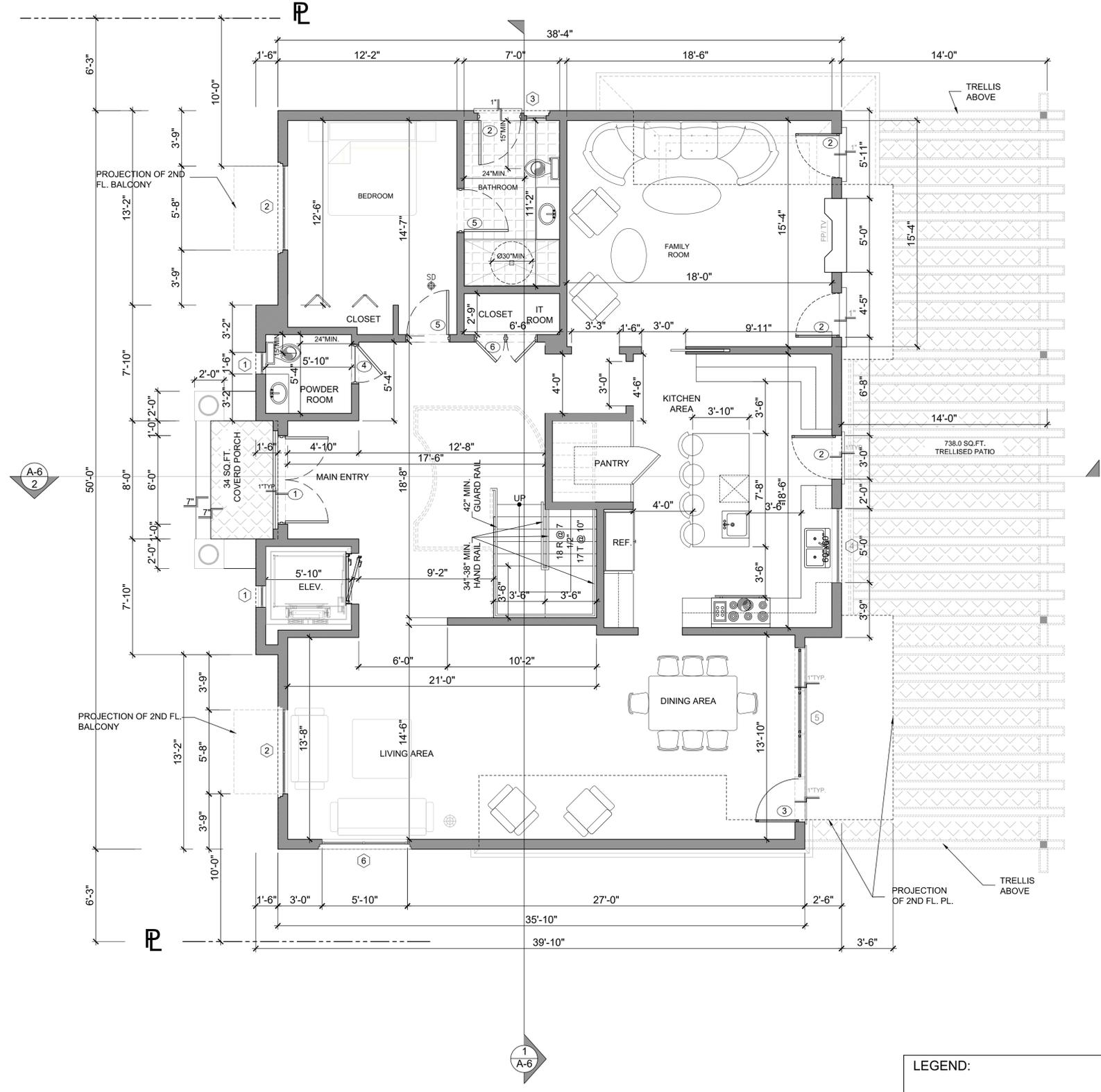
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1/8" = 1'-0"

1

SHEETS 1.1 OF 15

**PLAN NOTES:**

- PROVIDE LOW WATER CONSUMPTION AND CONSERVING PLUMBING FIXTURES AND FITTINGS PER CHAPTER 4 OF CAL GREEN BUILDING STANDARD CODE (CGBC 4.303.3) SHALL COMPLY WITH THE FOLLOWING:
  - SHOWERHEADS 1.8 GPM @ 80 PSI
  - LAVATORY FAUCETS, RESIDENTIAL 1.2 GPM @ 60 PSI
  - KITCHEN FAUCET 1.8 GPM @ 60 PSI
  - ALL TYPE OF WATER CLOSETS 1.28 GALLON PER FLUSH
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUB WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- SHOWER DOORS SHALL SWING OUT, NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024 SQ. INCH OF FLOOR AREA, AND ENCOMPASS 30-INCH DIAMETER CIRCLE. (CPC 408.6)
- WATER AND WASTE CONNECTION TO EVERY BATHTUB SHALL BE PROVIDED WITH 12"x12" MINIMUM ACCESS DOOR OR PANEL.
- DIMENSION ON THE PLANS THE 30 INCH CLEAR WIDTH FOR WATER CLOSET AND 24 INCH CLEARANCE IN FRONT OF WATER CLOSET FOR BATHROOM. (PC 407.5)
- PROVIDE SOAP DISH AT TUB AND SHOWER, TWO TOWEL BARS AND ONE PAPER HOLDER AT EACH BATHROOM. MIRROR TOP AT 6'-8" ABOVE FINISH FLOOR. RECESSED MEDICINE CABINET WITH MIRROR.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MINIMUM GLAZING AREA OF 3-SQ. FT. ONE-HALF OF WHICH IS OPENABLE. THE GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS VENTILATION ARE PROVIDED. (R303.3)
- PROVIDE EXHAUST CEILING FAN WITH 50 AIR CHANGES PER HOUR IN ALL INTERIOR BATHROOMS, POWDER ROOMS, LAUNDRY ROOMS. FAN EXHAUST SYSTEM TO BE OPERABLE FROM LIGHT SWITCH. PROVIDE BACKDRAFT DAMPER AND SEPARATE SWITCH.
- WATER SUPPLY TO FIXTURES: PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER.
- INSTALL GFCI AND AFCI OUTLETS IN BATHROOMS.
- EXHAUST FANS WITH HUMIDITY CONTROL: EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSE OF HUMIDITY CONTROL IN ACCORDANCE WITH CMC, CHAPTER 4. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGE OF < 50% TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
- SMOKE ALARMS: PROVIDE INTERCONNECTED HARD-WIRED "SMOKE ALARM" WITH BATTERY BACKUP IN THE FOLLOWING: (R314)
  - IN EACH SLEEPING ROOM
  - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- PROVIDE A NOT "E" SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED. SMOKE ALARMS INSTALLED IN ONE- AND TWO- FAMILY DWELLINGS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT, OR IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED. (R314.3.3) CONVENTIONAL IONIZATION SMOKE ALARMS: ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE SILENCE FEATURE.
- CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACKUP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES, OR THER IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1). DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS.
- CLOTHES DRYER: A MINIMUM 4" IN DIAMETER MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.1). A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6' AND CANNOT BE CONCEALED (CMC 504.3.1). DRYER EXHAUST DUCT MUST BE 4" IN DIAMETER AND CANNOT EXCEED 14' WITH A MAXIMUM OF TWO 90° ELBOWS (CMC 504.3.1.2). THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF TWO. WASHER / DRYER SPACE: ROUGH-IN PLUMBING FOR HOT / COLD WATER AND WASTE. VENTILATE DRYER TO OUTSIDE AIR. PROVIDE 120V AND 220V ELECTRICAL OUTLET AND FUEL GAS OUTLET.
- 30" x 30" MINIMUM ATTIC ACCESS AT 30" MINIMUM CLEAR HEADROOM.
- KITCHEN CABINETS, APPLIANCES AND FIXTURES PER OWNER INSTRUCTIONS PROVIDE DOUBLE SINKS WITH GARBAGE DISPOSAL, AT REFRIGERATOR SPACE - PROVIDE COPPER TUBE WATER LINE FOR ICE MAKER.
- LANDINGS AT EXTERIOR DOORS: THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET AND ONLY ACCESSIBLE FROM A DOOR ARE PERMITTED TO HAVE A LANDING LESS THAN 36" INCHES.
- ENTREE / EXIT DOORS MUST BE OPEN OVER A LANDING NOT MORE THAN 12" BELOW THE THRESHOLD, FOR SLIDING DOORS NOT HIGHER THAN 3/4" BELOW THRESHOLD.
- DOORS: NONCOMBUSTIBLE EXTERIOR DOORS OR IGNITION RESISTANT, 1-1/2" SOLID CORE WOOD, OR HAVE FIRE-PROTECTION RATINGS OF NOT LESS THAN 20 MINUTES. (708A.3) WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL COMPLY WITH 708A.2.1, 716.6.7.3. EXCEPTION: GARAGE DOORS AND VEHICLE ACCESS DOORS PROVIDED THE INTERIOR OF THE GARAGE IS SHEATHED WITH 5/8" TYPE 'X' GYPSUM WALLBOARD.
- GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4):
  - IN OPERABLE PANELS OF DOORS.
  - WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE.
  - IN AN INDIVIDUAL PANE LARGER THAN 9 SF, WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE DOOR, WHEN THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND WHEN WITHIN 36" OF A WALKING SURFACE AS MEASURED HORIZONTALLY AND IN A STRAIGHT LINE.
  - IN RAILINGS.
  - WITHIN 60" OF TUB OR SHOWER FLOOR.
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.
  - WITHIN 60" OF STAIRS AND STAIR LANDINGS.
- BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7SF WHEN ABOVE THE GRADE FLOOR AND 5 SF ON THE GRADE FLOOR. A MINIMUM NET HEIGHT: 24" AND MINIMUM NET WIDTH: 20", AND THE SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- SHOW THE FOLLOWING STAIRWAY DETAILS ON PLANS:
  - 7 3/4" MAXIMUM RISE AND MINIMUM 10" RUN (R311.7.5)
  - MINIMUM 6'-8" HEADROOM CLEARANCE (R311.7.2)
  - MINIMUM 36" CLEAR WIDTH (311.7.1)
  - HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
  - HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS (R311.7.7.3)
  - MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS (R312.1.3)
  - ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (1 lux) (R303.6)
- FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND COATINGS, CARPET SYSTEMS, CARPET CUSHIONS, CARPET ADHESIVES, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE (VOC) EMISSION LIMITS PER CHAPTER 4 OF LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.



**PROPOSED FIRST FLOOR PLAN**  
1891 SQ.FT.

**PROPOSED FIRST FLOOR PLAN**

**LEGEND:**

- NEW 2x STUD WALL @16" O.C.
- WATERPROOF SYSTEM ESR-2785
- G.F.I. OUTLET
- ENERGY STAR rated EXHAUST CEILING FAN "Controlled by humidistat."
- SMOKE and CARBON MONOXIDE detector.
- # SEE PLAN NOTES ON THIS SHEET
- # SEE DOOR SCHEDULE ON THIS SHEET
- # SEE WINDOW SCHEDULE ON THIS SHEET

NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON ALL WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

SCALE: 1/4"=1'-0"

**A-2**

SHEETS 2 OF 11

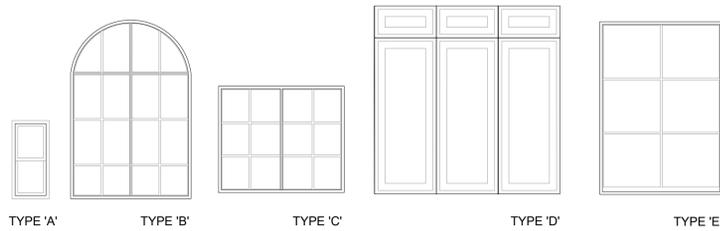
WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF AVETIK MACHKALYAN AND NO PART THEREOF SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**AVETIK and INTERIOR DESIGN SERVICES**  
 655 W COLORADO ST. ST. 112, GLENDALE, CA 91204  
 TEL.: 818-398-3888

PROJECT TITLE: NEW 2 STORY SINGLE FAMILY RESIDENCE  
 OWNER: AVETIK MACHKALYAN  
 JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

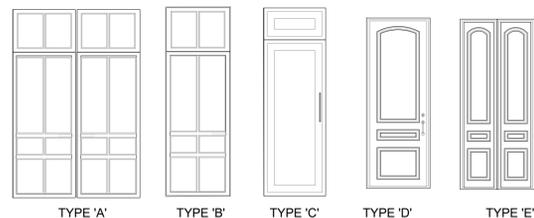
JOB NO.:	A-
DRAWN BY:	M.S.
CHECKED BY:	AL
DATE:	11-11-2022
SHEET TITLE:	
SHEET NUMBER:	

FIRST FLOOR WINDOW SCHEDULE



WINDOW NO. ☉	TYPE	QUANTITY	WIDE X HEIGHT	COLOR & MATERIAL	TYPE OF OPERATION	VISIBLE FROM STREET ? Y/N	BEDROOM ? Y/N	ENERGY EFFICIENT ? Y/N	TEMPERED GLASS ? Y/N	FIRE HAZARD ZONE ? Y/N	REMARKS		
											FIRE-RATE	U-FACTOR	SHGC
1	A	01	18"x41"	VINYL	CASEMENT	YES	YES	YES	AT LEAST ONE PANE	NO	-	-	-
2	B	02	68"x101"	VINYL	CASEMENT	YES	YES	YES	AT LEAST ONE PANE	NO			
3	A	02	16"x41"	VINYL	CASEMENT	NO	NO	YES	AT LEAST ONE PANE	NO			
4	C	01	60"x60"	VINYL	CASEMENT	NO	YES	YES	AT LEAST ONE PANE	NO			
5	D	01	105"x105"	VINYL	CASEMENT	NO	NO	YES	AT LEAST ONE PANE	NO			
6	E	01	70"x97"	VINYL	CASEMENT	NO	NO	YES	AT LEAST ONE PANE	NO			

FIRST FLOOR DOOR SCHEDULE

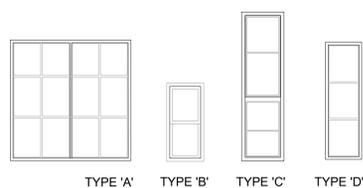


DOOR NO. ☉	TYPE	QUANTITY	WIDE X HEIGHT	COLOR & MATERIAL	THICKNESS	TYPE OF OPERATION	ENERGY EFFICIENT ? Y/N	TEMPERED GLASS ? Y/N	FIRE HAZARD ZONE ? Y/N	REMARKS
2	B	03	36"x107"	VINYL GLASS	1 3/4"	SWING	YES	YES	NO	EXTERIOR DOOR WITH TEMPERED GLASS
3	C	01	35"x106"	VINYL GLASS	1 3/4"	SWING	YES	YES	NO	EXTERIOR DOOR WITH TEMPERED GLASS
4	D	01	35"x96"	VINYL	1 3/4"	SWING	YES	NO	NO	INTERIOR DOOR
5	D	02	36"x96"	VINYL	1 3/4"	SWING	YES	NO	NO	INTERIOR DOOR
6	C	01	51"x96"	VINYL	1 3/4"	SWING	YES	NO	NO	INTERIOR DOUBLE DOOR

DOOR WINDOW SCHEDULE 1 ST FLOOR

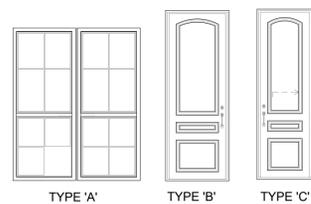
SCALE: 1/4"=1'-0" 1

WINDOW SCHEDULE



WINDOW NO. ☉	TYPE	QUANTITY	WIDE X HEIGHT	COLOR & MATERIAL	TYPE OF OPERATION	VISIBLE FROM STREET ? Y/N	BEDROOM ? Y/N	ENERGY EFFICIENT ? Y/N	TEMPERED GLASS ? Y/N	FIRE HAZARD ZONE ? Y/N	REMARKS		
											FIRE-RATE	U-FACTOR	SHGC
1	A	02	68"x68"	VINYL	CASEMENT	YES	YES	YES	AT LEAST ONE PANE	NO	-	-	-
2	B	02	18"x41"	VINYL	CASEMENT	YES	YES	YES	AT LEAST ONE PANE	NO			
3	C	02	24"x84"	VINYL	CASEMENT	NO	NO	YES	AT LEAST ONE PANE	NO			
4	B	03	24"x51"	VINYL	CASEMENT	NO	YES	YES	AT LEAST ONE PANE	NO			
5	D	02	21"x66"	VINYL	CASEMENT	NO	NO	YES	AT LEAST ONE PANE	NO			

DOOR SCHEDULE



DOOR NO. ☉	TYPE	QUANTITY	WIDE X HEIGHT	COLOR & MATERIAL	THICKNESS	TYPE OF OPERATION	ENERGY EFFICIENT ? Y/N	TEMPERED GLASS ? Y/N	FIRE HAZARD ZONE ? Y/N	REMARKS
2	A	01	72"x84"	WOOD GLASS	1 3/4"	SWING	YES	YES	NO	EXTERIOR ENTRY DOUBLE DOOR WITH TEMPERED GLASS
3	B	07	36"x96"	VINYL	1 3/4"	SWING	YES	NO	NO	INTERIOR DOOR
4	C	02	32"x96"	VINYL	1 3/4"	SLIDING	YES	NO	NO	INTERIOR DOOR

DOOR WINDOW SCHEDULE 2ND FLOOR

SCALE: 1/4"=1'-0" 2

2019 CalGREEN Residential Mandatory Measure Notes		
SECTION	MEASURE	REQUIREMENTS
<b>ENVIRONMENTAL QUALITY (Pollutant Control)</b>		
4.504.1	Covering of Duct Openings & Protection of Mech. Equipment During Construction	Duct openings and other related air distribution component openings shall be covered during construction.
4.504.2.1	Adhesives, Sealants and Caulks	Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
4.504.2.2	Paints and Coatings	Paints, stains and other coatings shall be compliant with VOC limits.
4.504.2.3	Aerosol Paints and Coatings	Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.
4.504.2.4	Verification	Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
4.504.3	Carpet Systems	Carpet and carpet systems shall be compliant with VOC limits.
4.504.4	Resilient Flooring Systems	80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.
4.504.5	Composite Wood Products	Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low formaldehyde emission standards.
<b>ENVIRONMENTAL QUALITY (Interior Moisture Control)</b>		
4.505.2	Concrete Slab Foundations	Vapor retarder and capillary break is installed at slab-on-grade foundations.
4.505.3	Moisture Content of Building Materials	Moisture content of building materials used in wall and floor framing is checked before enclosure.
<b>ENVIRONMENTAL QUALITY (Indoor Air Quality &amp; Exhaust)</b>		
4.506.1	Bathroom Exhaust Fans	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of 5-60 percent to a maximum of 60 percent.
<b>ENVIRONMENTAL QUALITY (Environmental Comfort)</b>		
4.507.2	Heating and Air Conditioning System Design	Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.
<b>INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS (Qualifications, Verifications)</b>		
702.1	Installer Training	HVAC system installers are trained and certified in the proper installation of HVAC systems.
702.2	Special Inspection	Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.
703.1	Documentation	Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial performance.
Note: This check list is intended only as an aid to the user and may not contain complete code language. Refer to 2016 CalGreen Chapter 4 for complete code language.		

2019 CalGREEN Residential Mandatory Measure Notes																		
SECTION	MEASURE	REQUIREMENTS																
<b>ENERGY EFFICIENCY</b>																		
4.201.1	General	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.																
<b>WATER EFFICIENCY AND CONSERVATION (Indoor Water Use)</b>																		
4.303.1	Water Conserving Plumbing Fixtures and Fittings	Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4: <b>Plumbing fixtures &amp; fittings</b> <table border="1"> <tr> <th>Water closets</th> <th>Maximum</th> </tr> <tr> <td>Urinals</td> <td>1.28 gallons/flush</td> </tr> <tr> <td>Showerheads</td> <td>0.125 gallons/flush for wall-mounted type and 0.5 gallons/flush for floor-mounted type or other type</td> </tr> <tr> <td>Residential lavatory faucets</td> <td>1.2 gpm @ 60 psi max.</td> </tr> <tr> <td>Lavatory faucets in common &amp; public use areas</td> <td>0.8 gpm @ 20 psi min.</td> </tr> <tr> <td>Metering faucets</td> <td>0.5 gpm @ 60 psi</td> </tr> <tr> <td>Kitchen faucets</td> <td>0.2 gallons/cycle</td> </tr> <tr> <td></td> <td>1.8 gpm @ 60 psi</td> </tr> </table>	Water closets	Maximum	Urinals	1.28 gallons/flush	Showerheads	0.125 gallons/flush for wall-mounted type and 0.5 gallons/flush for floor-mounted type or other type	Residential lavatory faucets	1.2 gpm @ 60 psi max.	Lavatory faucets in common & public use areas	0.8 gpm @ 20 psi min.	Metering faucets	0.5 gpm @ 60 psi	Kitchen faucets	0.2 gallons/cycle		1.8 gpm @ 60 psi
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4.303.2	Standards for Plumbing Fixtures and Fittings	Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.																
4.303.1.4.3	Metering Faucets	Metering faucets in residential building shall not deliver more than 0.2 gallons per cycle																
<b>WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)</b>																		
4.304.1	Outdoor potable water use in landscape areas	Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including a water budget calculator, are available at: <a href="https://www.water.ca.gov/">https://www.water.ca.gov/</a>																
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY (Enhanced Durability &amp; Reduced Maintenance)</b>																		
4.406.1	Rodent proofing	Annular spaces around pipes, electric cables, conduits, or other openings in subbottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.																
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal &amp; Recycling)</b>																		
4.408.1	Construction Waste Management	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.																
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY (Building Maintenance &amp; Operation)</b>																		
4.410.1	Operation and Maintenance Manual	An operation and maintenance manual shall be provided to the building occupant or owner.																
4.410.2	Recycling by Occupants	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.02(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.																
<b>ENVIRONMENTAL QUALITY (Fireplaces)</b>																		
4.503.1	Fireplaces	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.																

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF AVETIK MACHKALYAN AND NO PART THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

AVETIK and INTERIOR DESIGN SERVICES  
635 W. COLORADO ST., ST. 112, GLENDALE, CA 91204  
TEL.: 818-398-3888

PROJECT TITLE: NEW 2 STORY SPD  
OWNER: AVETIK MACHKALYAN  
JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.: A-  
DRAWN BY: M.S.  
CHECKED BY: A.L.  
DATE: 08-16-2022  
SHEET TITLE:

SHEET NUMBER

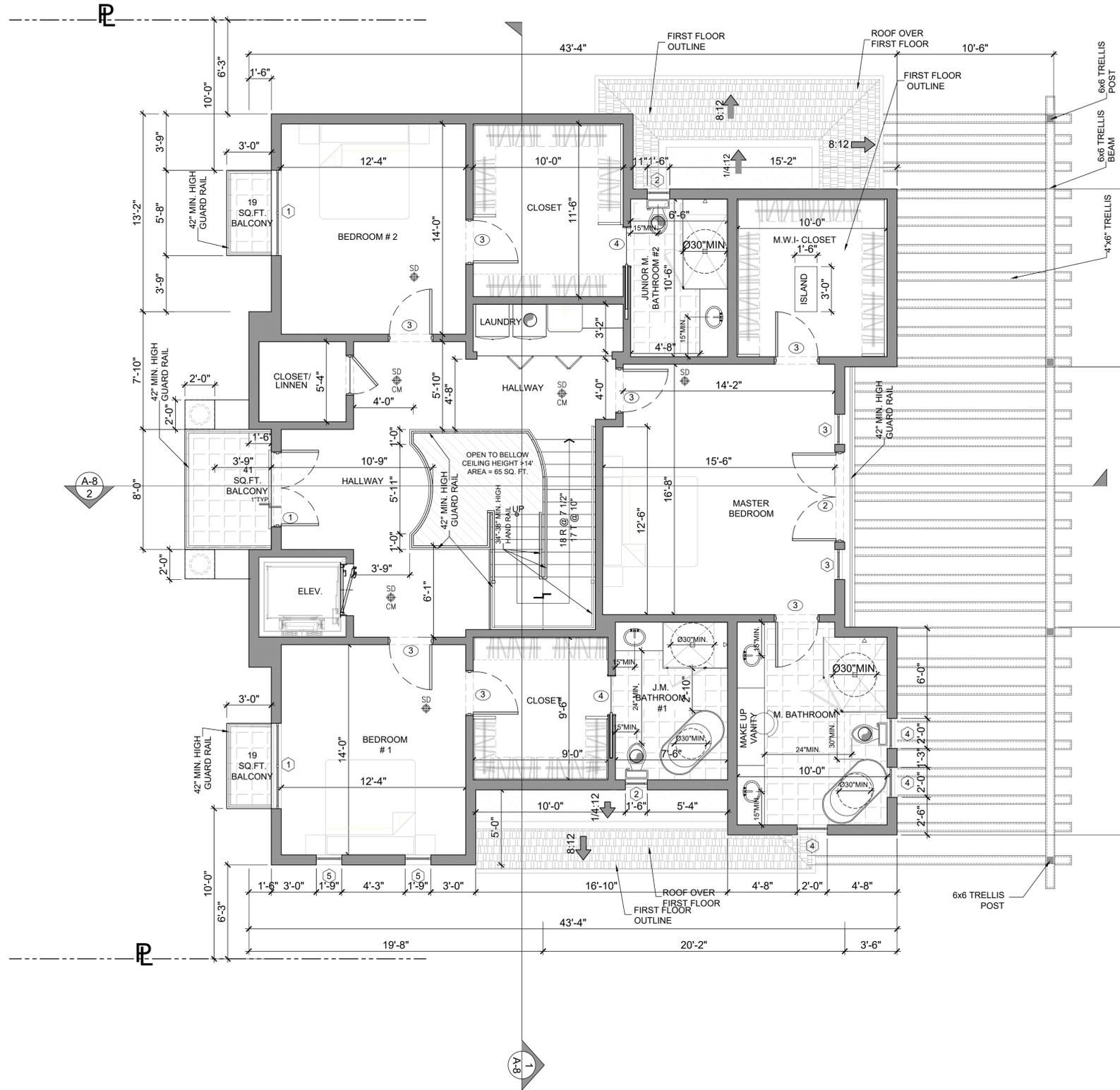
A-3

SCALE: 1/4"=1'-0" 3

2019 Cal Green Residential Mandatory Measure Notes

**PLAN NOTES:**

- PROVIDE LOW WATER CONSUMPTION AND CONSERVING PLUMBING FIXTURES AND FITTINGS PER CHAPTER 4 OF CAL GREEN BUILDING STANDARD CODE (CGBSC 4.303.3) SHALL COMPLY WITH THE FOLLOWING:
  - SHOWERHEADS 1.8 GPM @ 80 PSI
  - LAVATORY FAUCETS, RESIDENTIAL 1.2 GPM @ 60 PSI
  - KITCHEN FAUCET 1.8 GPM @ 60 PSI
  - ALL TYPE OF WATER CLOSETS 1.28 GALLON PER FLUSH
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUB WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- SHOWER DOORS SHALL SWING OUT, NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 SQ. INCH OF FLOOR AREA, AND ENCOMPASS 30-INCH DIAMETER CIRCLE. (CPC 408.6)
- WATER AND WASTE CONNECTION TO EVERY BATHTUB SHALL BE PROVIDED WITH 12"x12" MINIMUM ACCESS DOOR OR PANEL.
- DIMENSION ON THE PLANS THE 30 INCH CLEAR WIDTH FOR WATER CLOSET AND 24 INCH CLEARANCE IN FRONT OF WATER CLOSET FOR BATHROOM. (PC 407.5)
- PROVIDE SOAP DISH AT TUB AND SHOWER, TWO TOWEL BARS AND ONE PAPER HOLDER AT EACH BATHROOM, MIRROR TOP AT 6'-8" ABOVE FINISH FLOOR, RECESSED MEDICINE CABINET WITH MIRROR.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MINIMUM GLAZING AREA OF 3-SQ. FT. ONE-HALF OF WHICH IS OPENABLE. THE GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS VENTILATION ARE PROVIDED. (R303.3)
- PROVIDE EXHAUST CEILING FAN WITH 50 AIR CHANGES PER HOUR IN ALL INTERIOR BATHROOMS, POWDER ROOMS, LAUNDRY ROOMS, FAN EXHAUST SYSTEM TO BE OPERABLE FROM LIGHT SWITCH, PROVIDE BACKDRAFT DAMPER AND SEPARATE SWITCH.
- WATER SUPPLY TO FIXTURES, PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER.
- INSTALL GFCI AND AFCI OUTLETS IN BATHROOMS.
- EXHAUST FANS WITH HUMIDITY CONTROL: EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB-SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSE OF HUMIDITY CONTROL IN ACCORDANCE WITH CMC, CHAPTER 4. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGE OF < 50% TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
- SMOKE ALARMS: PROVIDE INTERCONNECTED HARD-WIRED "SMOKE ALARM" WITH BATTERY BACKUP IN THE FOLLOWING: (R314)
  - IN EACH SLEEPING ROOM
  - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- PROVIDE A NOTE: "SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP." SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT, OR IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED (R314.3.3) CONVENTIONAL IONIZATION SMOKE ALARMS: ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE SILENCE FEATURE.
- CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACKUP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1). DETECTORS SHALL MEET U.L. 2034 AND IOR NFPA 720 STANDARDS.
- CLOTHES DRYER: A MINIMUM 4" IN DIAMETER MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.1). A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6' AND CANNOT BE CONCEALED (CMC 504.3.1.1). DRYER EXHAUST DUCT MUST BE 4" IN DIAMETER AND CANNOT EXCEED 14' WITH A MAXIMUM OF TWO 90° ELBOWS (CMC 504.3.1.2). THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF TWO. WASHER / DRYER SPACE: ROUGH-IN PLUMBING FOR HOT / COLD WATER AND WASTE. VENTILATE DRYER TO OUTSIDE AIR. PROVIDE 120V AND 220V ELECTRICAL OUTLET AND FUEL GAS OUTLET.
- 30" x 30" MINIMUM ATTIC ACCESS AT 30" MINIMUM CLEAR HEADROOM.
- KITCHEN CABINETS, APPLIANCES AND FIXTURES PER OWNER INSTRUCTIONS PROVIDE DOUBLE SINKS WITH GARBAGE DISPOSAL, AT REFRIGERATOR SPACE - PROVIDE COPPER TUBE WATER LINE FOR ICE MAKER.
- LANDINGS AT EXTERIOR DOORS: THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET AND ONLY ACCESSIBLE FROM A DOOR ARE PERMITTED TO HAVE A LANDING LESS THAN 36" INCHES.
- ENTREE / EXIT DOORS MUST BE OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD, FOR SLIDING DOORS NOT HIGHER THAN 3/4" BELOW THRESHOLD.
- DOORS: NONCOMBUSTIBLE EXTERIOR DOORS OR IGNITION RESISTANT, 1-1/3" SOLID CORE WOOD, OR HAVE FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. (708A.3) WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL COMPLY WITH 708A.2.1, 716.6.7.3. EXCEPTION: GARAGE DOORS AND VEHICLE ACCESS DOORS PROVIDED THE INTERIOR OF THE GARAGE IS SHEATHED WITH 5/8" TYPE 'X' GYPSUM WALLBOARD.
- GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4):
  - IN OPERABLE PANELS OF DOORS.
  - WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE.
  - IN AN INDIVIDUAL PANE LARGER THAN 9 SF, WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE DOOR, WHEN THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND WHEN WITHIN 36" OF A WALKING SURFACE AS MEASURED HORIZONTALLY AND IN A STRAIGHT LINE.
  - IN RAILINGS.
  - WITHIN 60" OF TUB OR SHOWER FLOOR.
- GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.
- WITHIN 60" OF STAIRS AND STAIR LANDINGS.
- BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7SF WHEN ABOVE THE GRADE FLOOR AND 5 SF ON THE GRADE FLOOR, A MINIMUM NET HEIGHT: 24" AND MINIMUM NET WIDTH: 20", AND THE SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- SHOW THE FOLLOWING STAIRWAY DETAILS ON PLANS:
  - 7 3/4" MAXIMUM RISE AND MINIMUM 10" RUN (R311.7.5)
  - MINIMUM 6'-8" HEADROOM CLEARANCE (R311.7.2)
  - MINIMUM 36" CLEAR WIDTH (311.7.1)
  - HANDRAIL 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
  - HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS (R311.7.7.3)
  - MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS (R312.1.3)
  - ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (11 lux) (R303.6)
- FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND COATINGS, CARPET SYSTEMS, CARPET CUSHIONS, CARPET ADHESIVES, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE (VOC) EMISSION LIMITS PER CHAPTER 4 OF LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.



**PROPOSED SECOND FLOOR PLAN**  
1859 SQ.FT.

NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON ALL WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

**LEGEND:**

- G.F.I. OUTLET
- ENERGY STAR rated EXHAUST CEILING FAN  
"Controlled by humidistat."
- SMOKE and CARBON MONOXIDE detector.
- SEE PLAN NOTES ON THIS SHEET
- SEE DOOR SCHEDULE ON THIS SHEET
- SEE WINDOW SCHEDULE ON THIS SHEET
- NEW 2 x STUD WALL @16" O.C.
- WATERPROOF SYSTEM ESR-2785

SCALE: 1/4"=1'-0"

1

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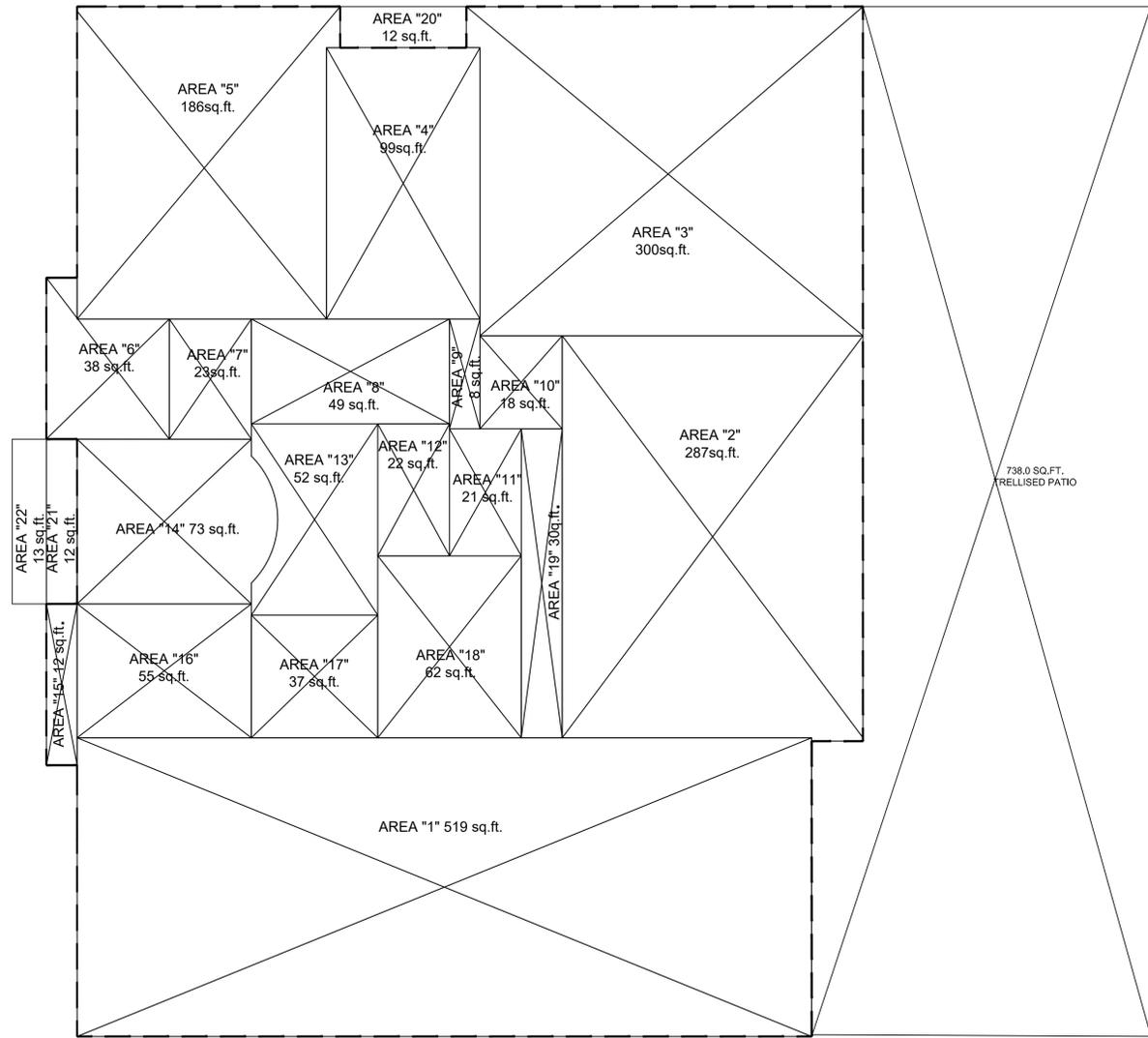
**AVETIK and INTERIOR DESIGN SERVICES**  
655 W COLORADO ST. ST. 112, GLENDALE, CA 91204  
TEL: 818-398-3888

PROJECT TITLE: NEW 2-STORY SINGLE FAMILY RESIDENCE  
OWNER: AVETIK MACHKALYAN  
JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.:  
DRAWN BY:  
CHECKED BY:  
DATE: 11-11-2022  
SHEET TITLE:

SHEET NUMBER

**A-4**



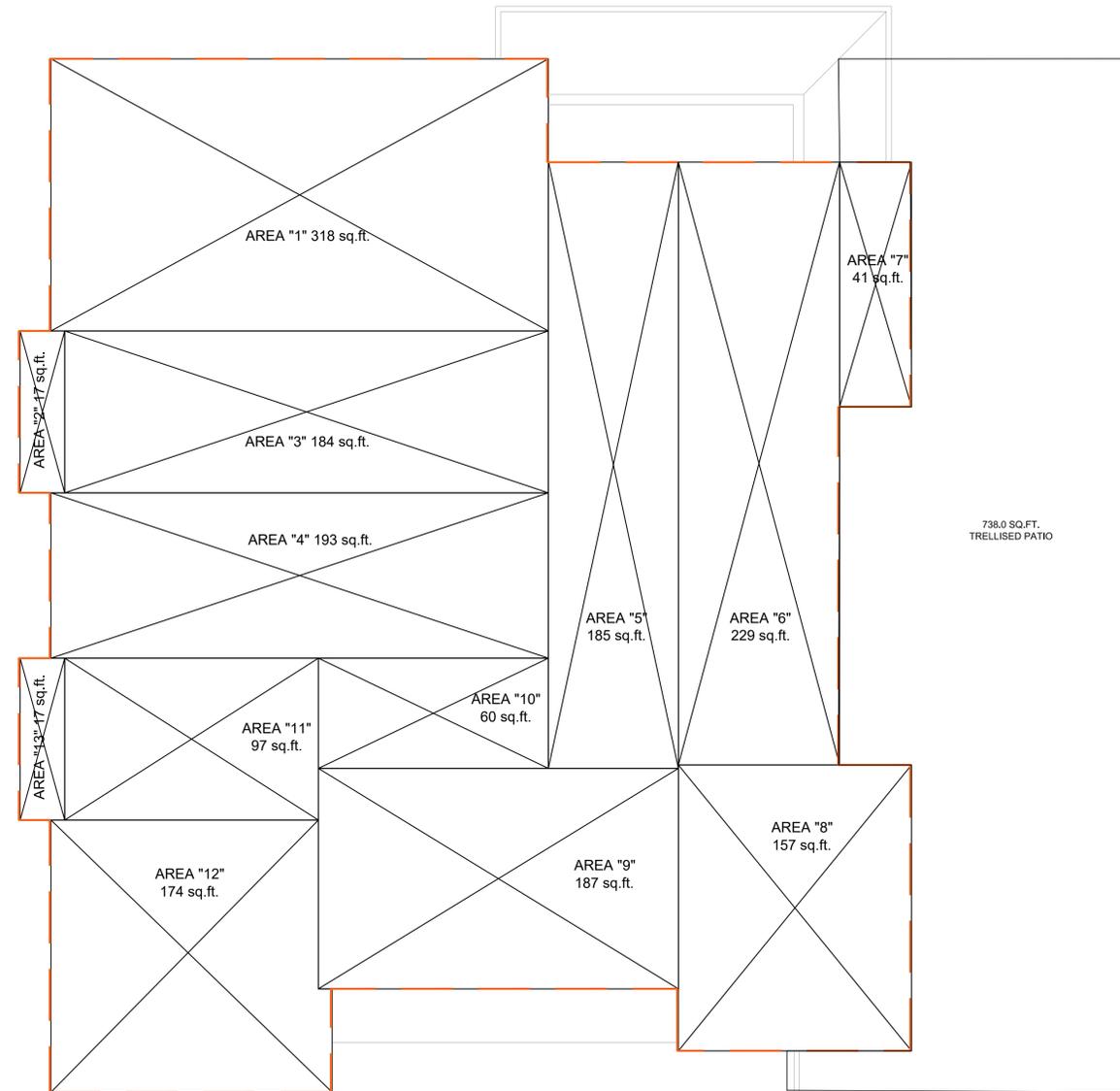
- AREA "1" 519 sq.ft.
- AREA "2" 287 sq.ft.
- AREA "3" 300 sq.ft.
- AREA "4" 99 sq.ft.
- AREA "5" 186 sq.ft.
- AREA "6" 38 sq.ft.
- AREA "7" 23 sq.ft.
- AREA "8" 49 sq.ft.
- AREA "9" 8 sq.ft.
- AREA "10" 18 sq.ft.
- AREA "11" 21 sq.ft.
- AREA "12" 22 sq.ft.
- AREA "13" 52 sq.ft.
- AREA "14" 73 sq.ft.
- AREA "15" 12 sq.ft.
- AREA "16" 55 sq.ft.
- AREA "17" 37 sq.ft.
- AREA "18" 62 sq.ft.
- AREA "19" 30 sq.ft.
- AREA "20" 12 sq.ft.
- AREA "21" 12 sq.ft.

**FAR : FIRST FLOOR 1891 SQ.FT.  
+ 24 SQ.FT. 2ND FL. PROJECTION +13 SQ.FT. = 1928 SQ.FT.**

738.0 SQ.FT. TRELLISED PATIO

FIRST FLOOR AREA DIAGRAM

SCALE: 1/4"=1'-0" 1



- AREA "1" 318 sq.ft.
- AREA "2" 17 sq.ft.
- AREA "3" 184 sq.ft.
- AREA "4" 193 sq.ft.
- AREA "5" 185 sq.ft.
- AREA "6" 229 sq.ft.
- AREA "7" 41 sq.ft.
- AREA "8" 157 sq.ft.
- AREA "9" 187 sq.ft.
- AREA "10" 60 sq.ft.
- AREA "11" 97 sq.ft.
- AREA "12" 174 sq.ft.
- AREA "13" 17 sq.ft.

**FAR: 2ND FLOOR -  
1859 SQ.FT.**

SECOND FLOOR AREA DIAGRAM

SCALE: 1/4"=1'-0" 2

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**Art Designs**  
EXTERIOR and INTERIOR DESIGN SERVICES  
635 W COLORADO ST., ST. 112, GLENDALE, CA 91204  
TEL: 818-389-3888

PROJECT TITLE: NEW 2 STORY SINGLE FAMILY RESIDENCE  
OWNER: AVETIK MACHKALYAN  
JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.: A-  
DRAWN BY: M.S.  
CHECKED BY: A.L.  
DATE: 11-11-2022  
SHEET TITLE: ELEVATIONS

SHEET NUMBER

**A-4.1**

SHEETS 4.1 OF 11

**CAL GREEN NOTES.**

**BUILDING MANUAL:** FOR ALL NEW EQUIPMENT, AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. (4.410)

**COVERING OF OPENINGS DURING CONSTRUCTION:** ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)

**FINISH MATERIAL POLLUTANT CONTROL:** PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN CALGreen SECTIONS 4.504.2 THROUGH 4.504.5

**MOISTURE CONTENT OF BUILDING MATERIALS:** SEC. 4.505.3  
**MOISTURE CONTENT OF MATERIALS REQUIREMENT:** BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION WITHIN IS VISIBLY WET OR HAS HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.

**BATHROOM EXHAUST FANS:** BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE OR WHOLE HOUSE VENTILATION SYSTEM (4.506.1)

**WHOLE HOUSE EXHAUST FANS SEC. 4.507.1**  
 WHOLE HOUSE FANS SHALL HAVE INSULATION LOUVERS OR COVERS SWITCH CLOSE WHEN THE FAN IS OFF THAT HAVE A MIN. INSULATION VALUE OF R-4.2

**HEATING AND AIR-CONDITIONING DESIGN:** THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ACCA, ASHRAE, OR EQUIVALENT DESIGN SOFTWARE OR METHODS.

**STORM WATER MANAGEMENT.**

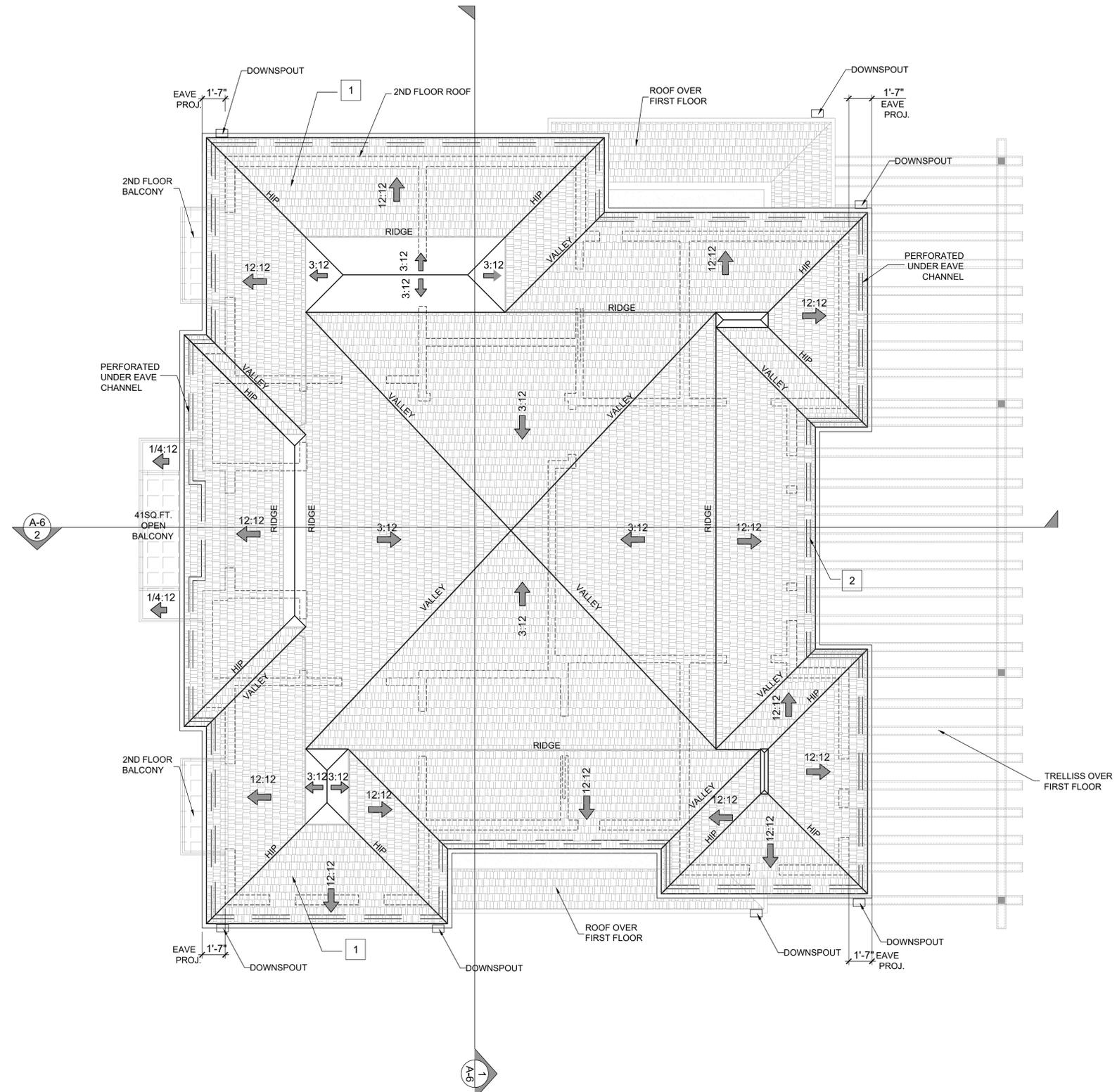
**FOR SITES LESS THAN ONE ACRE**  
 THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIRES CONSTRUCTION PROJECTS TO PROTECT WATER QUALITY DURING CONSTRUCTION AND REDUCE POLLUTANTS IN STORM WATER RUNOFF THROUGH IMPLEMENTATION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES (BMP):

1. SCHEDULING (ESC-1)
2. PRESERVATION OF EXISTING VEGETATION (ESC-2)
3. STABILIZED CONSTRUCTION SITE ENTRANCE/EXIT (ESC-24)
4. SILT FENCE (ESC-50)
5. SAND BAG BARRIER (ESC-52)
6. WATER CONSERVATION PRACTICES (NS-1)
7. DEWATERING OPERATIONS (NS-2)
8. MATERIAL DELIVERY AND STORAGE (WM-1)
9. STOCKPILE MANAGEMENT (WM-3)
10. SPILL PREVENTION AND CONTROL (WM-4)
11. SOLID WASTE MANAGEMENT (WM-5)
12. CONCRETE WASTE MANAGEMENT (WM-8)
13. SANITARY/ SEPTIC WASTE MANAGEMENT (WM-9)

\*\*\* SHOW HOW THE PROJECT WILL COMPLY BY ADDING NOTES AND GRAPHICS TO THE SITE PLANS OR AN EROSION CONTROL PLAN. THE SUGGESTED IMPLEMENTATION MEASURES LISTED BELOW ARE NOT INTENDED TO BE A COMPLETE LIST OF BMP'S. PROJECT APPLICANTS ARE RESPONSIBLE FOR ADOPTING BMP'S THAT ADDRESS CONDITIONS OF THEIR PROJECT. CONSULT THE CALIFORNIA BEST MANAGEMENT PRACTICE HANDBOOK PUBLISHED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION (CASQA) FOR MORE DETAILED INFORMATION.

**STORM WATER MANAGEMENT.**

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE CONTAINED AT THE PROJECT SITE.
4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISION SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
8. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OR VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF, AND VEHICLE TRACKING.



**ROOF VENTILATION CALCULATION**

\*\*\*TOTAL ROOF AREA = 2207.00 SQ.FT.  
 TOTAL FLAT ROOF AREA = 15.00 SQ. FT.

PROVIDE 14"x5" ATTIC VENT GALV. WITH SCREEN  
 (NET FREE VENTILATION AREA 'NFPA' = 0.5 SQ. FT.  
 PROVIDE 15 x 0.5 = 7.5 SQ. FT.

PROVIDE CONTINUOUS PERFORATED UNDER EAVE CHANNEL  
 205' x0.25' = 51.25 SQ. FT.

TOTAL PROVIDED: 4 + 51.25 = 55.25 SQ. FT.

**ROOF PLAN**

**LEGEND:**

	1	COMPOSITION SHINGLE CLASS 'A' BY 'GAF' TIMBERLINE COOL SERIES, WEATHERED WOOD, ICC-ES ESR -3267, 14" x 5" UNDER EAVE VENT WITH CORROSION RESISTANT SCREEN (GALV. WITH NET FREE VENTILATION AREA OF 0.5 SQ. FT. )
	2	PERFORATED UNDER EAVE CHANNEL
		DIRECTION AND RATIO OF ROOF SLOPE

**ROOF PLANS**

SCALE: 1/4"=1'-0"

1

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**AVETIK and INTERIOR DESIGN SERVICES**  
 635 W COLORADO ST. ST. 112, GLENDALE, CA 91204  
 TEL.: 818-388-3888

PROJECT TITLE: NEW 2 STORY SINGLE FAMILY RESIDENCE  
 OWNER: AVETIK MACHKALYAN  
 JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.:  
 DRAWN BY:  
 CHECKED BY:  
 DATE:  
 SHEET TITLE:

SHEET NUMBER

**A-5**

SHEETS 5 OF 11

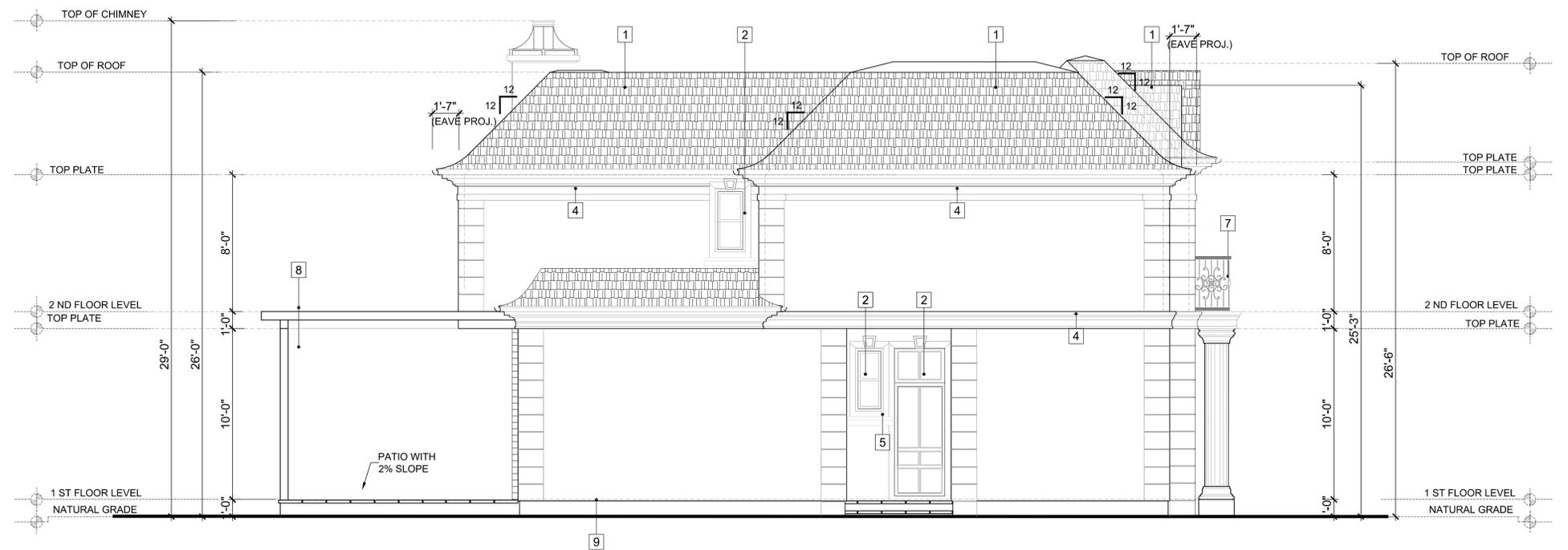
- 1 COMPOSITION SHINGLE CLASS 'A' BY 'GAF' TIMBERLINE COOL SERIES, WEATHERED WOOD, ICC-ES ESR -3267,
- 2 DOORS AND WINDOWS SIZES, HIGHTS PER SCHEDULE
- 3 SMOOTH STUCCO FINISH. MINIMUM 7/8" THICK 3-COAT PLASTER WITH METAL MESH OVERLAPPED 2-LAYERS OF GRADE "D" BUILDING PAPER
- 4 MOLDING WITH SMOOTH STUCCO FINISH
- 5 WINDOW WOOD PAINTED SILL
- 6 CAST STONE QUOINS FOR ALL PURPOSES
- 7 42" MINIMUM HIGH ALUMINUM GUARD RAIL WITH VINYL MESH PANELS PAINTED BROWN.
- 8 WOOD TRELLIS SYSTEM
- 9 A CORROSION - RESISTANT WEEP SCREED, MIN. 26 GALV. SHEET, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" SHALL BE PROVIDED BELOW THE STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. WEEP SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.



NORTH ELEVATION

SCALE:  
1/4"=1'-0" 2

- 1 COMPOSITION SHINGLE CLASS 'A' BY 'GAF' TIMBERLINE COOL SERIES, WEATHERED WOOD, ICC-ES ESR -3267,
- 2 DOORS AND WINDOWS SIZES, HIGHTS PER SCHEDULE
- 3 SMOOTH STUCCO FINISH. MINIMUM 7/8" THICK 3-COAT PLASTER WITH METAL MESH OVERLAPPED 2-LAYERS OF GRADE "D" BUILDING PAPER
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EAST ELEVATION

SCALE:  
1/4"=1'-0" 1

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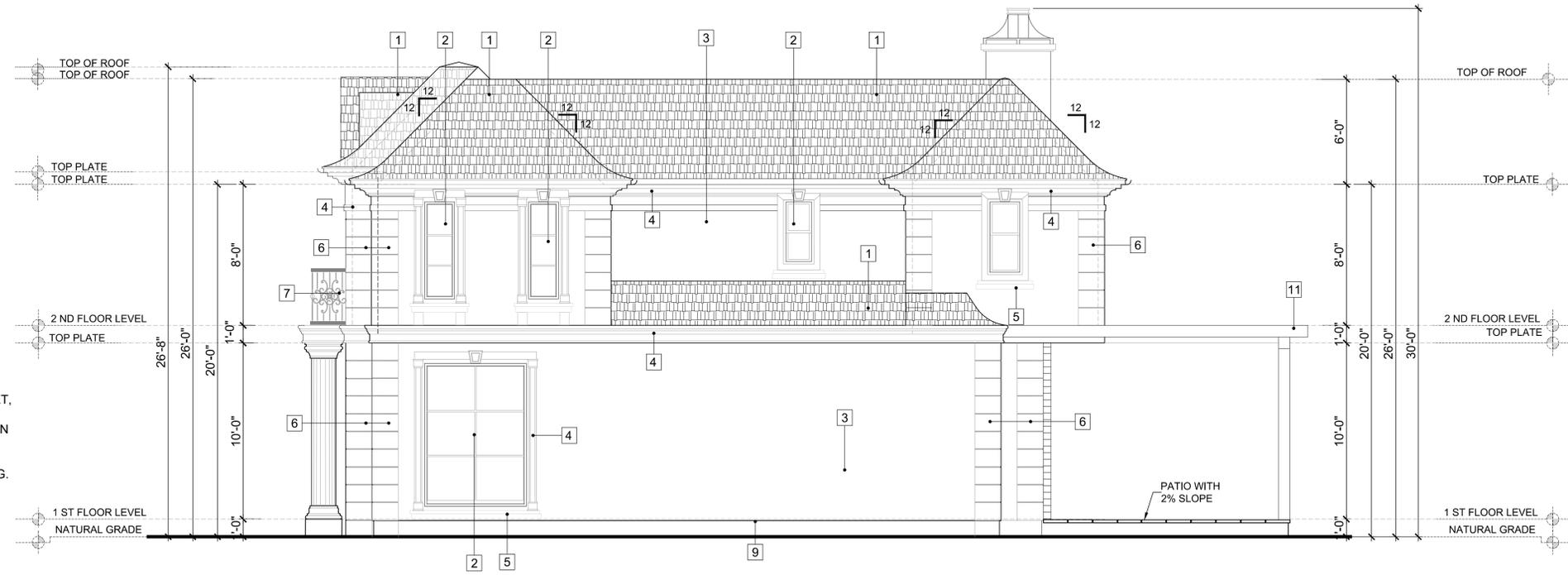
**AVETIK and INTERIOR DESIGN SERVICES**  
 EXTERIOR and INTERIOR DESIGN SERVICES  
 635 W COLORADO ST., ST. 112, GLENDALE CA 91204  
 TEL.: 818-389-3888

PROJECT TITLE: NEW 2 STORY SINGLE FAMILY RESIDENCE  
 OWNER: AVETIK MACHKALYAN  
 JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.: A-  
 DRAWN BY: M.S.  
 CHECKED BY: A.L.  
 DATE: 11-11-2022  
 SHEET TITLE: ELEVATIONS

SHEET NUMBER  
**A-6**  
 SHEETS 6 OF 11

- 1 COMPOSITION SHINGLE CLASS 'A' BY 'GAF' TIMBERLINE COOL SERIES, WEATHERED WOOD, ICC-ES ESR -3267,
- 2 DOORS AND WINDOWS SIZES, HIGHTS PER SCHEDULE
- 3 SMOOTH STUCCO FINISH. MINIMUM 7/8" THICK 3-COAT PLASTER WITH METAL MESH OVERLAPPED 2-LAYERS OF GRADE "D" BUILDING PAPER
- 4 MOLDING WITH SMOOTH STUCCO FINISH
- 5 WINDOW WOOD PAINTED SILL
- 6 CAST STONE QUOINS FOR ALL PURPOSES
- 7 42" MINIMUM HIGH ALUMINUM GUARD RAIL WITH VINYL MESH PANELS PAINTED BROWN.
- 8 WOOD TRELLIS SYSTEM
- 9 A CORROSION - RESISTANT WEEP SCREED, MIN. 26 GALV. SHEET, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" SHALL BE PROVIDED BELLOW THE STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. WEEP SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.



WEST ELEVATION

SCALE: 1/4"=1'-0" 2

- 1 COMPOSITION SHINGLE CLASS 'A' BY 'GAF' TIMBERLINE COOL SERIES, WEATHERED WOOD, ICC-ES ESR -3267,
- 2 DOORS AND WINDOWS SIZES, HIGHTS PER SCHEDULE
- 3 SMOOTH STUCCO FINISH. MINIMUM 7/8" THICK 3-COAT PLASTER WITH METAL MESH OVERLAPPED 2-LAYERS OF GRADE "D" BUILDING PAPER
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SOUTH ELEVATION

SCALE: 1/4"=1'-0" 1

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF AVETIK MACHKALYAN. THESE DRAWINGS AND SPECIFICATIONS SHALL BE COPIED, REPRODUCED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

AVETIK MACHKALYAN  
EXTERIOR and INTERIOR DESIGN SERVICES  
635 W COLORADO ST., ST. 112, GLENDALE CA 91204  
TEL.: 818-389-3888

PROJECT TITLE: NEW 2 STORY SINGLE FAMILY RESIDENCE

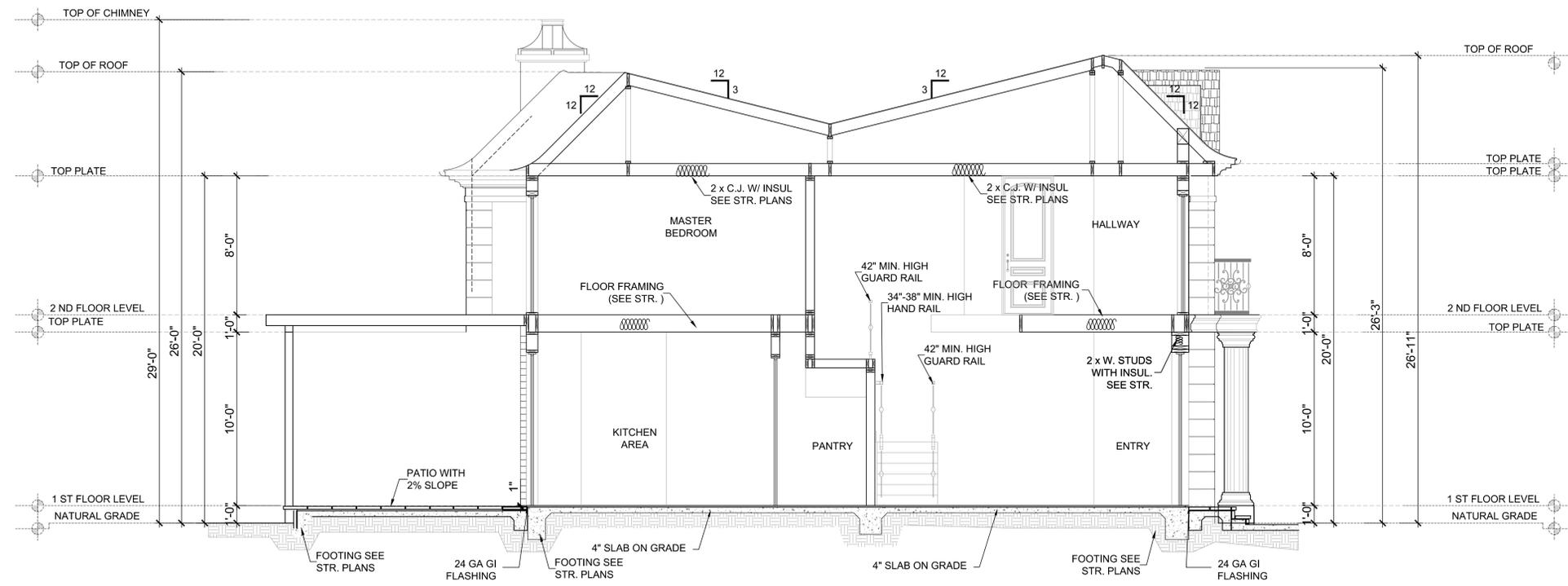
OWNER: AVETIK MACHKALYAN  
JOB ADDRESS: 920 E. GRINNELL DR., BURBANK, CA 91501

JOB NO.: A-7  
DRAWN BY: M.S.  
CHECKED BY: A.L.  
DATE: 11-11-2022  
SHEET TITLE: ELEVATIONS

SHEET NUMBER

A-7

SHEETS 7 OF 11



SECTION 2-2

SCALE: 1/4"=1'-0" 2

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF AVETIK MACHKALYAN AND PART THEREOF SHALL NOT BE COPIED, REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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 SHEET TITLE: ELEVATIONS

SHEET NUMBER

**A-8**