



**MARIPOSA AND VALLEYHEART**  
 BURBANK, CALIFORNIA

BUILDER/DEVELOPER:  
**Butterfly Gardens LLC**  
 1812 W. BURBANK BLVD.  
 SUITE 7350  
 BURBANK, CA 91506

ARCHITECT:  
**KTGY GROUP, INC**  
 17911 VON KARMAN AVE  
 SUITE 200  
 IRVINE, CA 92614

CIVIL:  
**KHR ASSOCIATES**  
 17530 VON KARMAN AVE  
 SUITE 200  
 IRVINE, CA 92614

LANDSCAPE:  
**STUDIO PAD, INC**  
 23282 MILL CREEK DRIVE  
 SUITE 200  
 LAGUNA HILLS, CA 92653

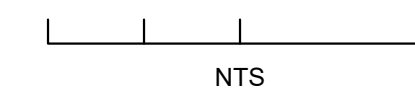


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 NOI Submittal - SB35: 10/25/2022



TITLE SHEET

A0.0

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HYDROLOGY AND LID REPORTS  
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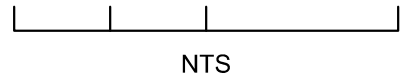


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SHEET INDEX

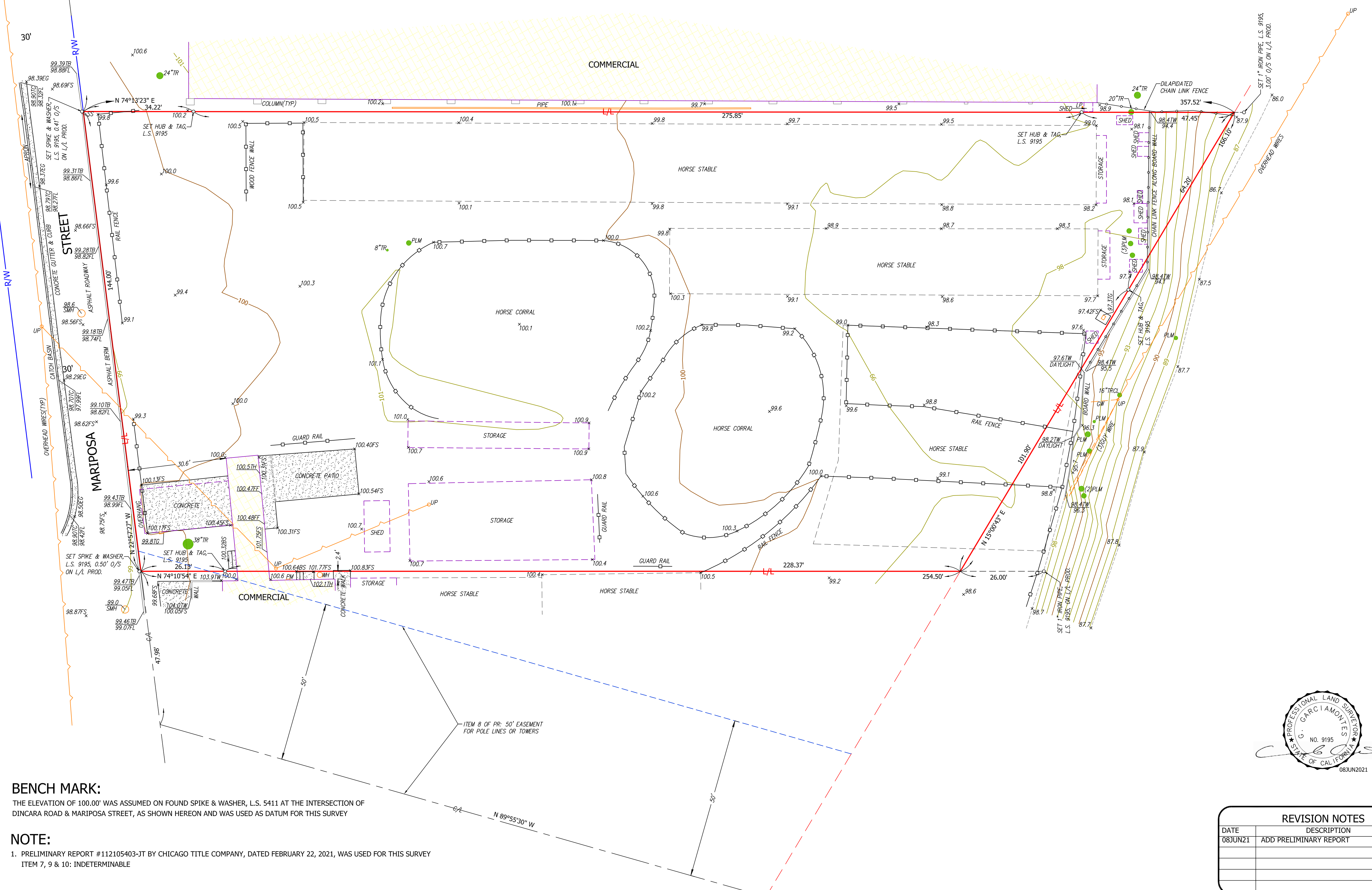
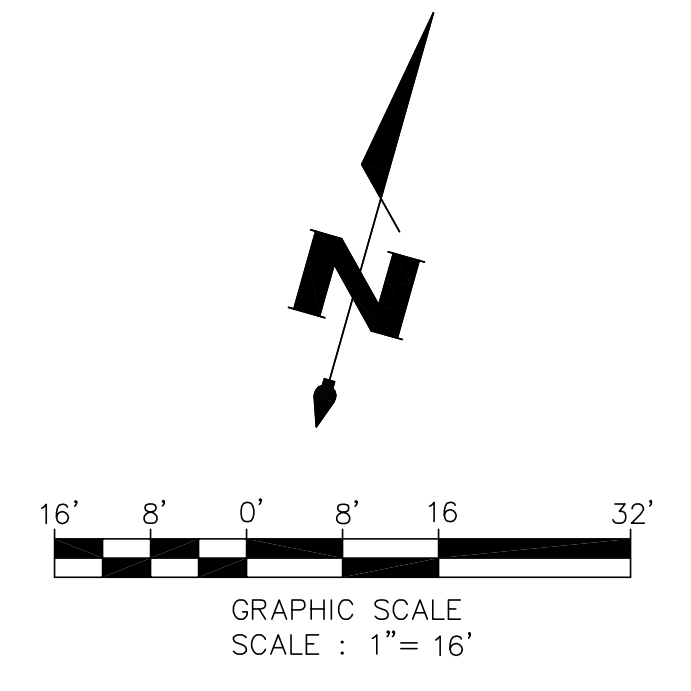
A0.1

FOUND SPIKE & WASHER, L.S. 5411  
ASSUMED BM: 100.00'

DINCARA ROAD

MARIPOSA STREET

COMMERCIAL



**ABBREVIATIONS:**

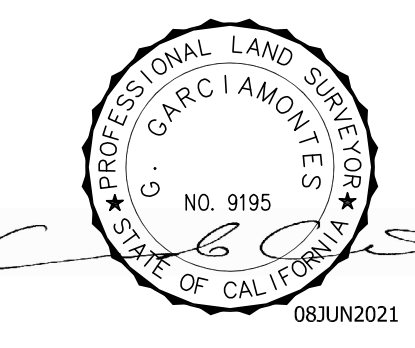
- BM BENCH MARK
- BS BOTTOM OF STEP
- C/L CENTERLINE
- EG EDGE OF GUTTER
- FF FINISHED FLOOR
- FL FLOWLINE
- FS FINISHED SURFACE
- GW GUY WIRE
- L/L LOT LINE
- LP LIGHT POLE
- O/S OFFSET
- PLM PALM TREE
- PM POWER METER
- PR PRELIMINARY REPORT
- R/W RIGHT OF WAY
- SMH SEWER MANHOLE
- SS STREET SIGN
- TB TOP OF BERM
- TC TOP OF CURB
- TG TOP OF GRATE
- TH THRESHOLD
- TR TREE
- TRCL TREE CLUSTER
- TS TOP OF STEP
- TW TOP OF WALL
- TYP TYPICAL
- UP UTILITY POLE
- WH WATER HEATER

**BENCH MARK:**

THE ELEVATION OF 100.00' WAS ASSUMED ON FOUND SPIKE & WASHER, L.S. 5411 AT THE INTERSECTION OF DINCARA ROAD & MARIPOSA STREET, AS SHOWN HEREON AND WAS USED AS DATUM FOR THIS SURVEY

**NOTE:**

1. PRELIMINARY REPORT #112105403-JT BY CHICAGO TITLE COMPANY, DATED FEBRUARY 22, 2021, WAS USED FOR THIS SURVEY
- ITEM 7, 9 & 10: INDETERMINABLE



REVISION NOTES		
DATE	DESCRIPTION	BY
08JUN21	ADD PRELIMINARY REPORT	SGM

PREPARED BY:  
**GMON Surveying, Inc.**  
Gerardo Garciamontes, PLS 9195  
200 N. San Fernando Road #318, Los Angeles CA 90031  
Office: 323.336.6725 | 818.478.2017  
gmonsurveying.com

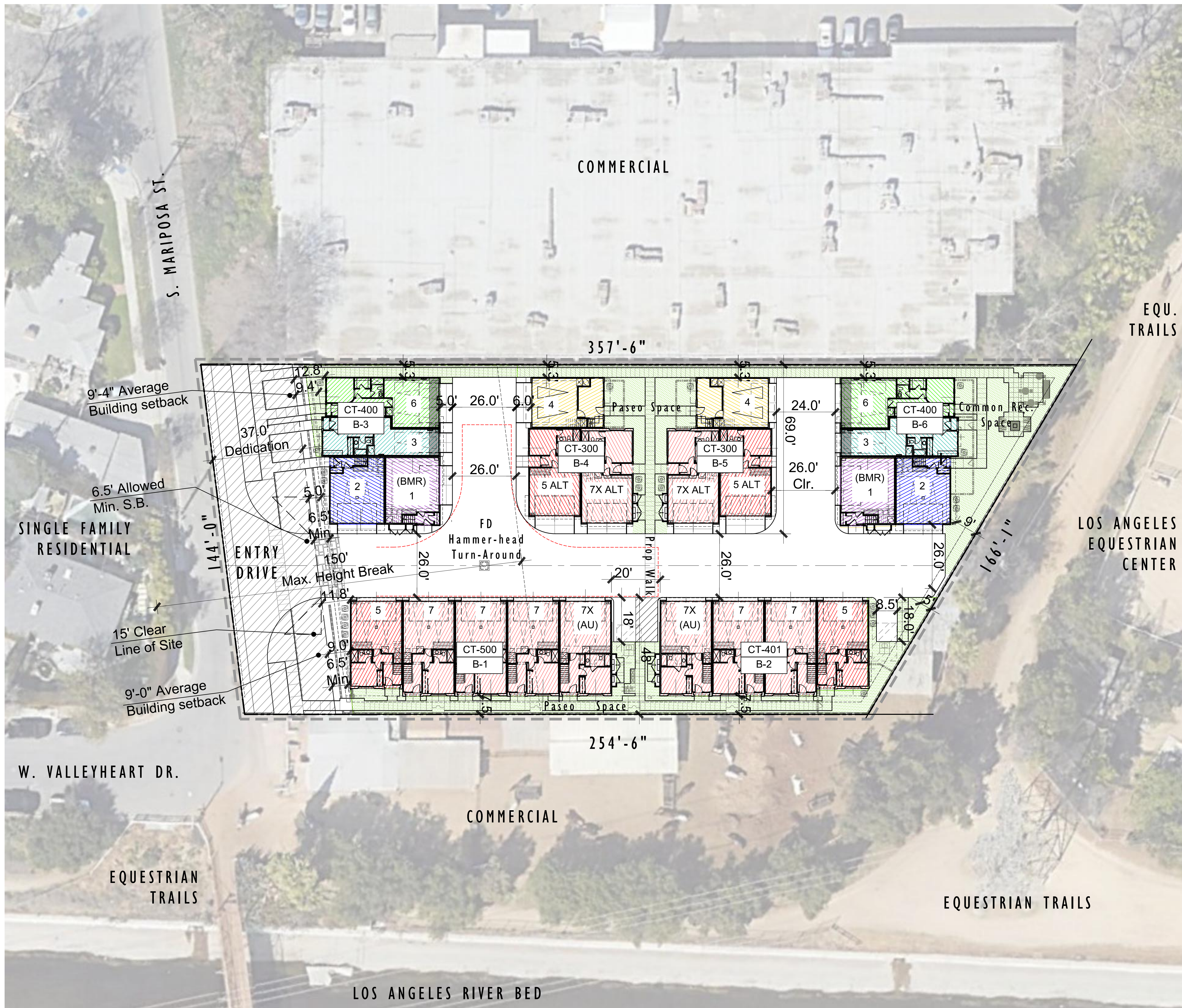
PREPARED FOR:  
**Garen Gozumian**  
(818) 590-9559

**TOPOGRAPHY & BOUNDARY SURVEY**  
Portion of Block 69, Subdivision of Rancho Providencia  
and Scott Tract, M.R. 43, Pgs. 47-59  
910 S Mariposa Street  
Burbank, CA 91506

SITE AREA:  
43,690 SQ.FT.

JOB NO. 21-1486  
SCALE: 1" = 16'  
DATE: MAY 2021  
DRAFTED: BG

SHEET NO.  
**1**  
OF 1 SHEET



**SITE INFORMATION**

Address: Mariposa and Valleyheart  
 Site Area: +1.0 ac (Gross)  
 City: Burbank  
 County: Los Angeles County  
 Existing Zone: M-1 Limited Industrial  
 Occupancy Type: R3  
 General Plan: Rancho Commercial  
 Fire Code: California Fire Code  
 Construction Type/ Fire Rating: V-B  
 Fire Sprinkler Type: NFPA 13-D

(M-1) Front Setback: 5' or 20% bldg height whichever greater

**Site Plan Summary**

Site Area: +1.0 ac (Gross)  
 Gross Density: 23 du/ac  
 Mariposa St Dedication: +0.12 ac  
 Net Area: +0.88 ac  
 Units: 23 du

**Units (Gross Areas)**

P 1	(1,329sf - 3bd/2.5ba) - 61sf Deck	2 du (2,658sf)
P 2	(1,437sf - 3bd/2.5ba) - 71sf Deck	2 du (2,874sf)
P 3	(1,602sf - 3bd/3.5ba)* - 82sf Deck	2 du (3,204sf)
P 4	(1,427sf - 2bd/2.5ba) - 76sf Deck	2 du (2,854sf)
P 5	(1,805sf - 3bd/3.5ba)	2 du (3,610sf)
P 5ALT	(1,896sf - 3bd/3.5ba)*	2 du (3,792sf)
P 6	(1,984sf - 3bd/3.5ba)* - 86sf Deck	2 du (3,968sf)
P 7	(1,997sf - 4bd/3.5ba)* - 68sf Deck	5 du (9,985sf)
P 7X	(1,961sf - 4bd/3.5ba) - 68sf Deck	2 du (3,922sf)
P 7XALT	(2,030sf - 4bd/3.5ba)* - 64sf Deck	2 du (4,060sf)
<b>Total</b>		<b>23 du (40,927sf)</b> (Avg. - 1,779sf/Unit)

\* Roof Deck

(AU) - Accessible Unit at Plan 7X (2 Units, 17 Units x 10% = 2)  
 (BMR) - Below Market Rate

Required Parking: 1 Space/Unit (Per Section 65913.4.(d)(2))

Parking Provided	
Garage	44 spaces
Open Parking	2 spaces
<b>Total</b>	<b>46 spaces (2.0 spaces/du)</b>

**OPEN SPACE**

For Open Space and Landscape Areas refer to Landscape Sheet L-6

(For SB-35 Submittal)

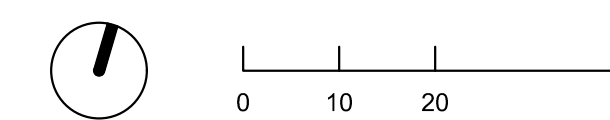


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SITE PLAN

A1.0



CT-500

CT-401

CONCEPTUAL FRONT ELEVATION

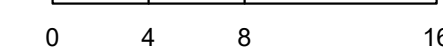


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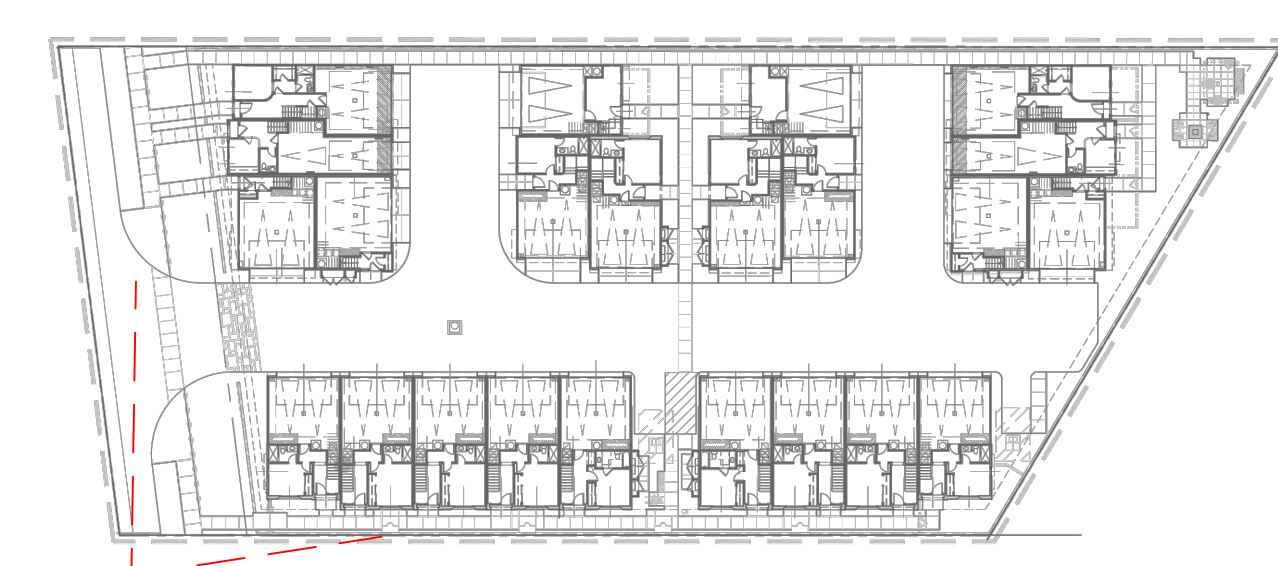


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CONCEPTUAL FRONT STREET ELEVATION

A1.1



VIEW 01

VICINITY MAP

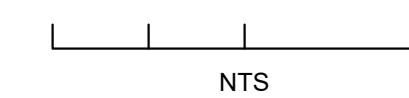


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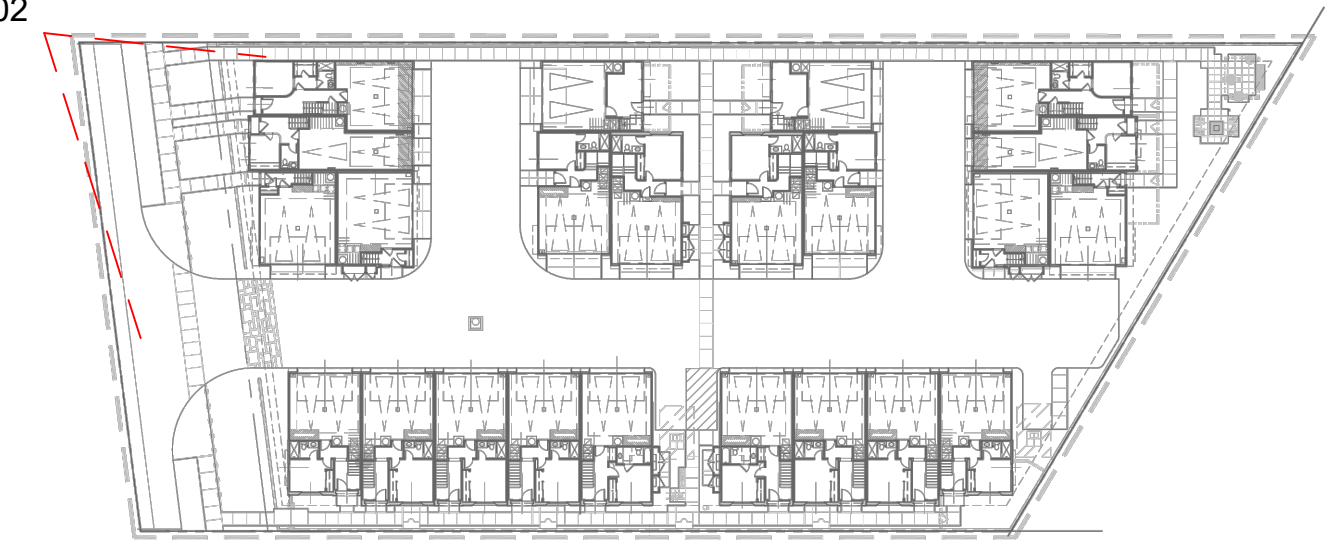


CONCEPTUAL RENDERING  
 VIEW 1

A1.2



VIEW 02



VICINITY MAP

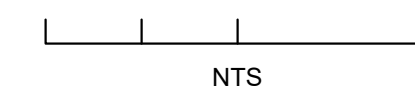


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CONCEPTUAL RENDERING  
 VIEW 2

A1.3

LEGEND

- 1 Stucco, 16/20 Sand Finish
- 2 Concrete 'S' Tiles
- 3 Gable End Faux Decorative Vent (Recesses)
- 4 Recessed 1" Stucco /Simulated Wood Header Trim
- 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
- 6 Stucco Recess/Reveal
- 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
- 8 Decorative Stucco Eave
- 9 Recess Faux Wood Panel Insert
- 10 Decorative Scalloped Stucco Sill Trim
- 11 Decorative Simulated Wood Corbel
- 12 Decorative Canvas/Metal Spear Awning
- 13 Fiberglass Decorative Front Door
- 14 Vinyl Windows
- 15 Fiber Cement Trim at Bay Window
- 16 Fiber Cement Bd. Panel
- 17 Stucco Arch
- 18 Low Stucco Barranca w/ Concrete Tile Cap
- 19 Decorative Shutters
- 20 Decorative Stucco Chimney/Stucco Finial
- 21 Decorative Metal Tube and Wood Plank Pot Holder
- 22 Decorative Stucco Corbel
- 23 Accent Battered Ceramic Tile Surround
- 24 Metal Decorative Sectional Garage Door
- 25 Decorative Exterior Lights & Address
- 26 Metal Utility Door
- 27 Metal Juliet Railing/Guard Rail



P4 RIGHT

23



P4 P5ALT REAR

24

25



P5ALT P7XALT LEFT

21

22

12



P7XALT P4 FRONT

26

18

11

16

13

27

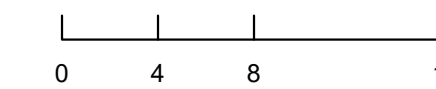


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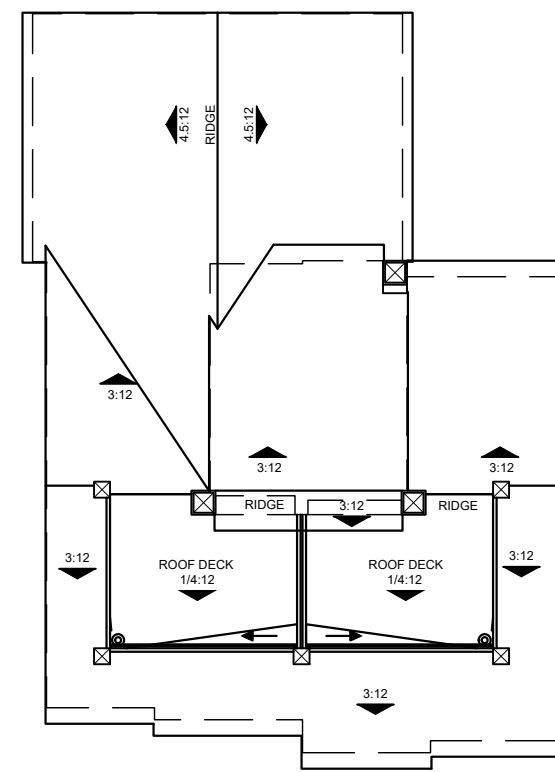
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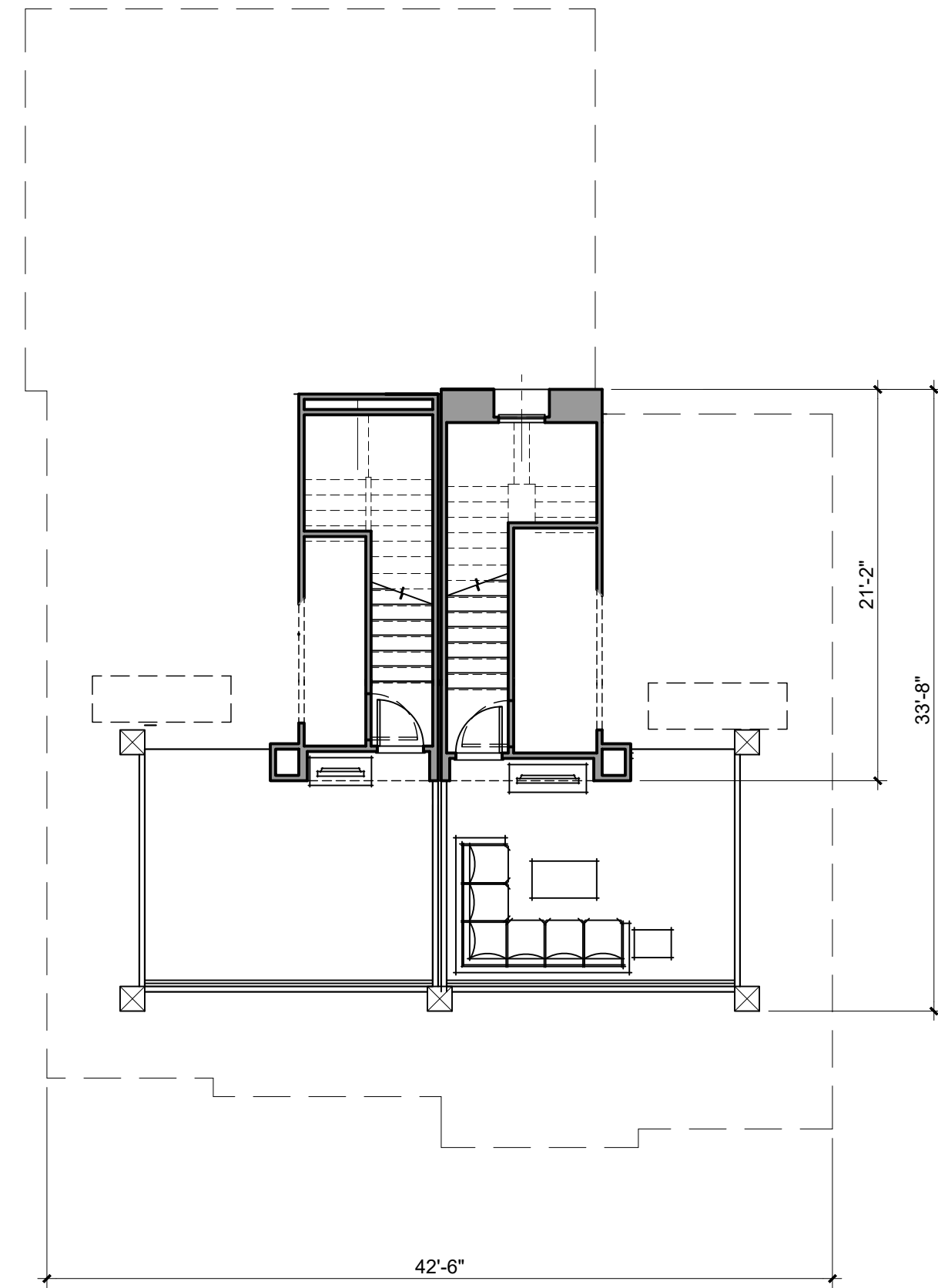
CT-300 (3-PLEX)  
ELEVATIONS

A2.0

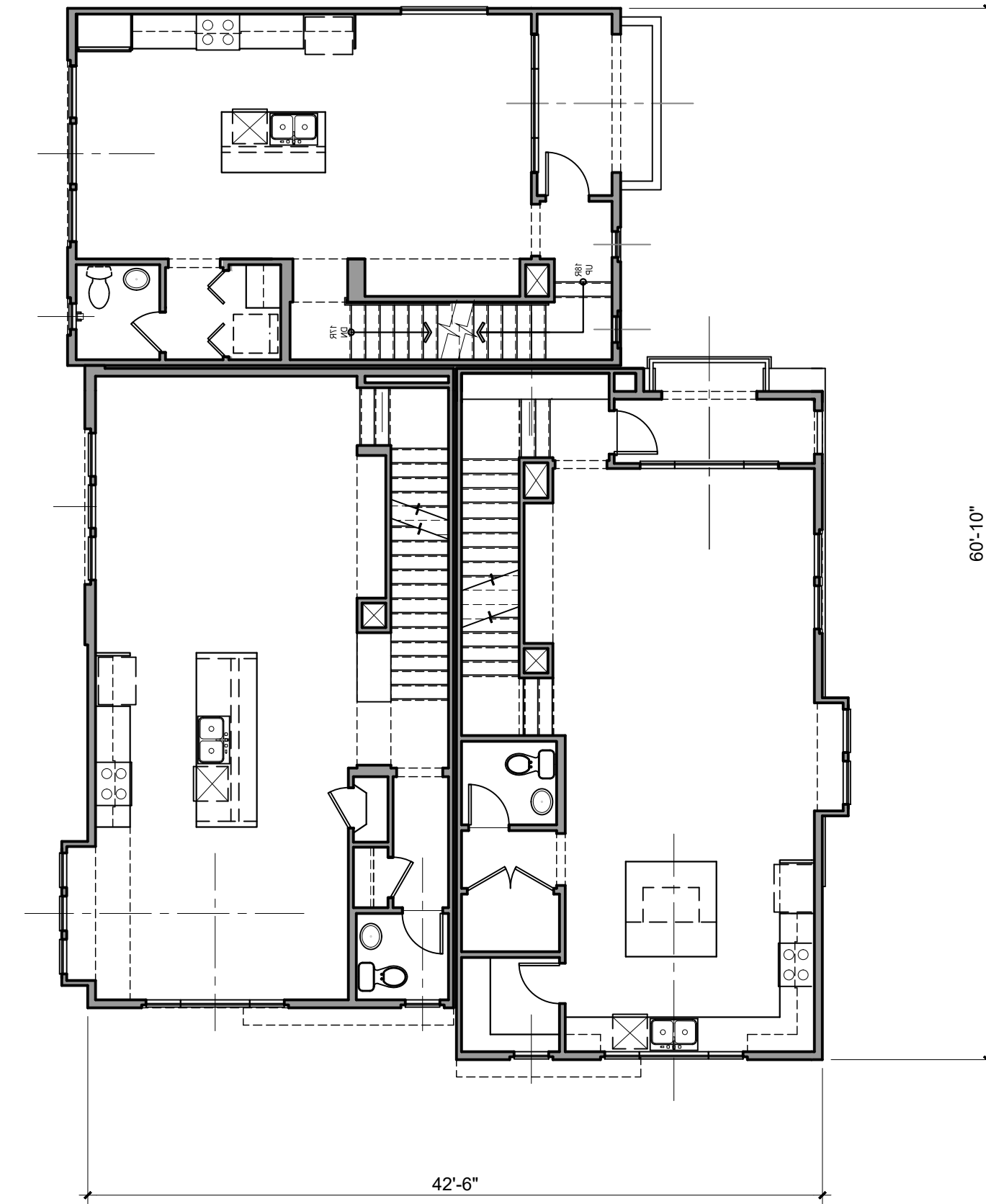




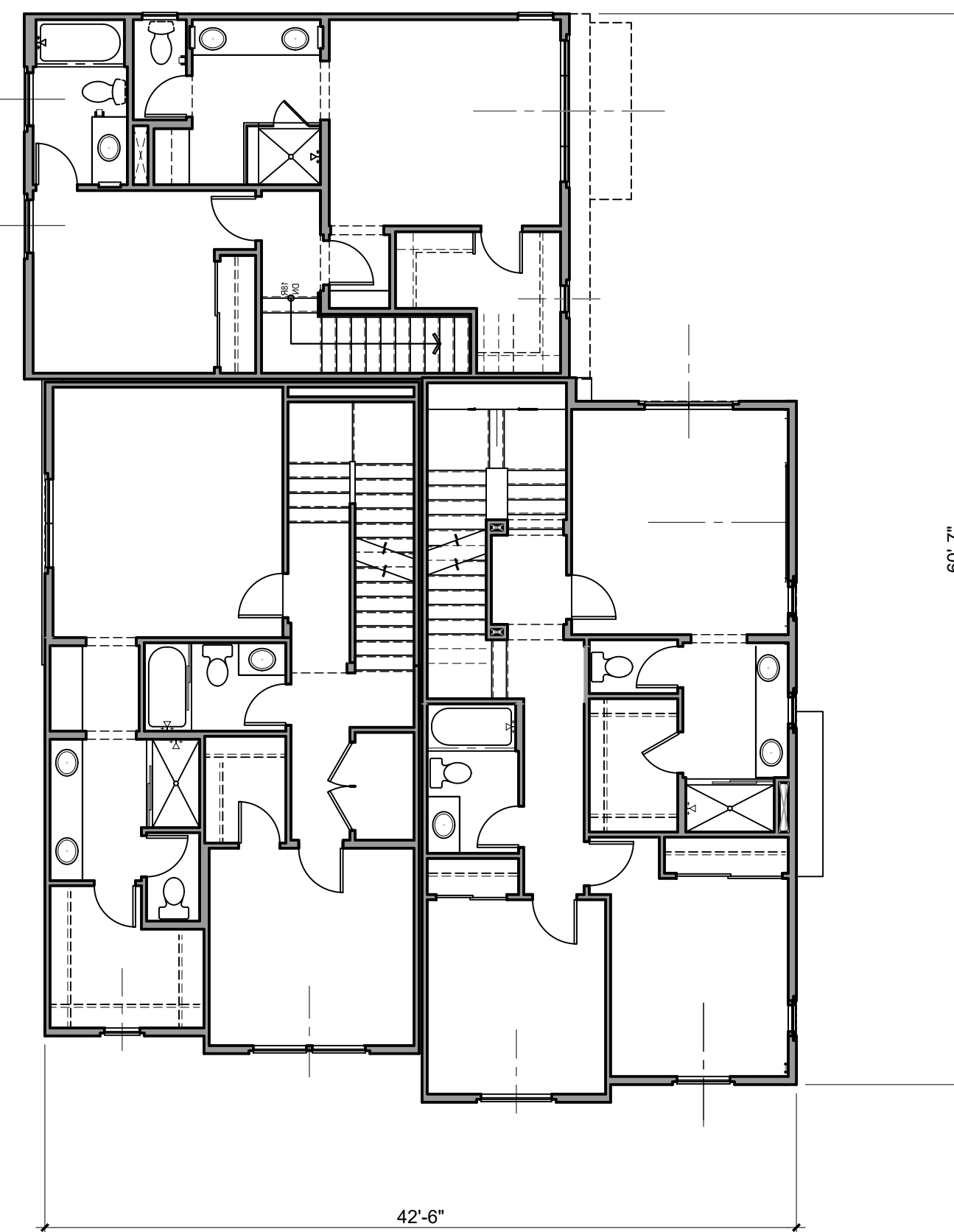
ROOF (1/16" = 1'-0")



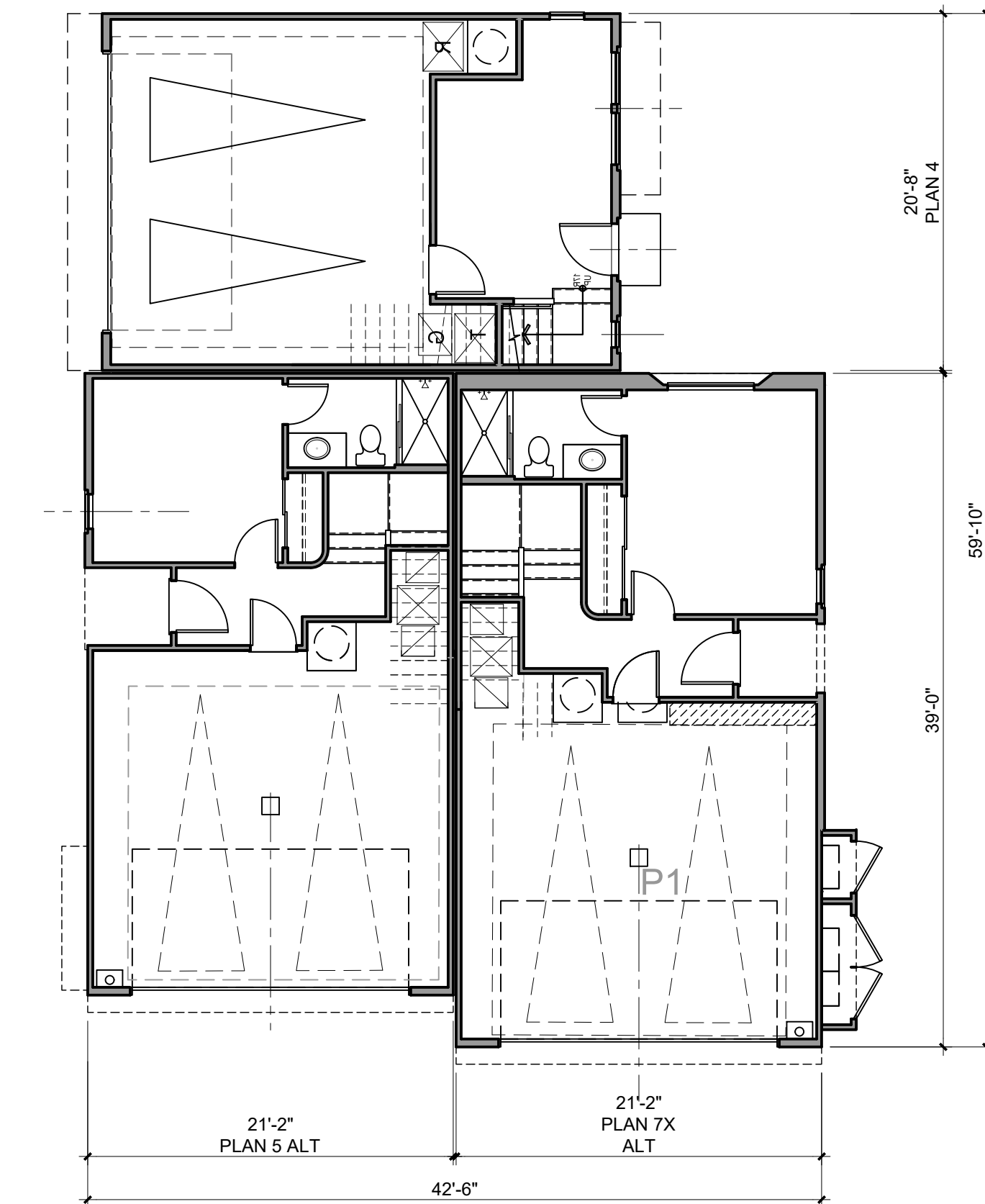
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

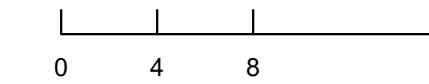


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CT-300 (3-PLEX)  
BUILDING PLAN

A2.1

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
  - 2 Concrete 'S' Tiles
  - 3 Gable End Faux Decorative Vent (Recesses)
  - 4 Recessed 1" Stucco /Simulated Wood Header Trim
  - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
  - 6 Stucco Recess/Reveal
  - 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
  - 8 Decorative Stucco Eave
  - 9 Recess Faux Wood Panel Insert
  - 10 Decorative Scalloped Stucco Sill Trim
  - 11 Decorative Simulated Wood Corbel
  - 12 Decorative Canvas/Metal Spear Awning
  - 13 Fiberglass Decorative Front Door
  - 14 Vinyl Windows
  - 15 Fiber Cement Trim at Bay Window
  - 16 Fiber Cement Bd. Panel
  - 17 Stucco Arch
  - 18 Low Stucco Barranca w/ Concrete Tile Cap
  - 19 Decorative Shutters
  - 20 Decorative Stucco Chimney/Stucco Finial
  - 21 Decorative Metal Tube and Wood Plank Pot Holder
  - 22 Decorative Stucco Corbel
  - 23 Accent Battered Ceramic Tile Surround
  - 24 Metal Decorative Sectional Garage Door
  - 25 Decorative Exterior Lights & Address
  - 26 Metal Utility Door
  - 27 Metal Juliet Railing/Guard Rail



P2 P1 RIGHT  
26 23



P6 LEFT



P1 P3 P6 REAR  
25 24 22 21 12



P6 P3 P2 FRONT  
25 13

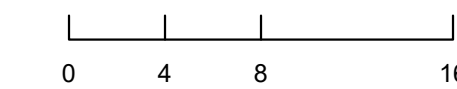


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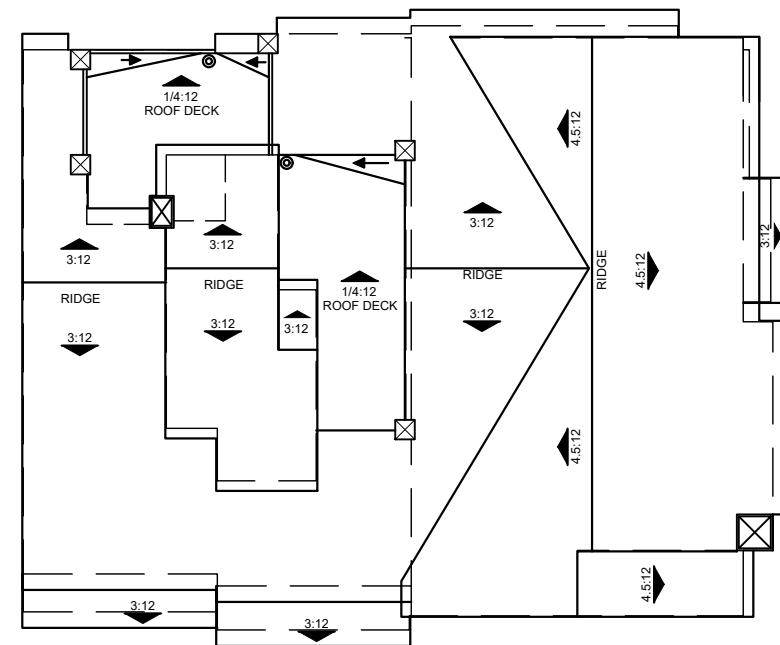


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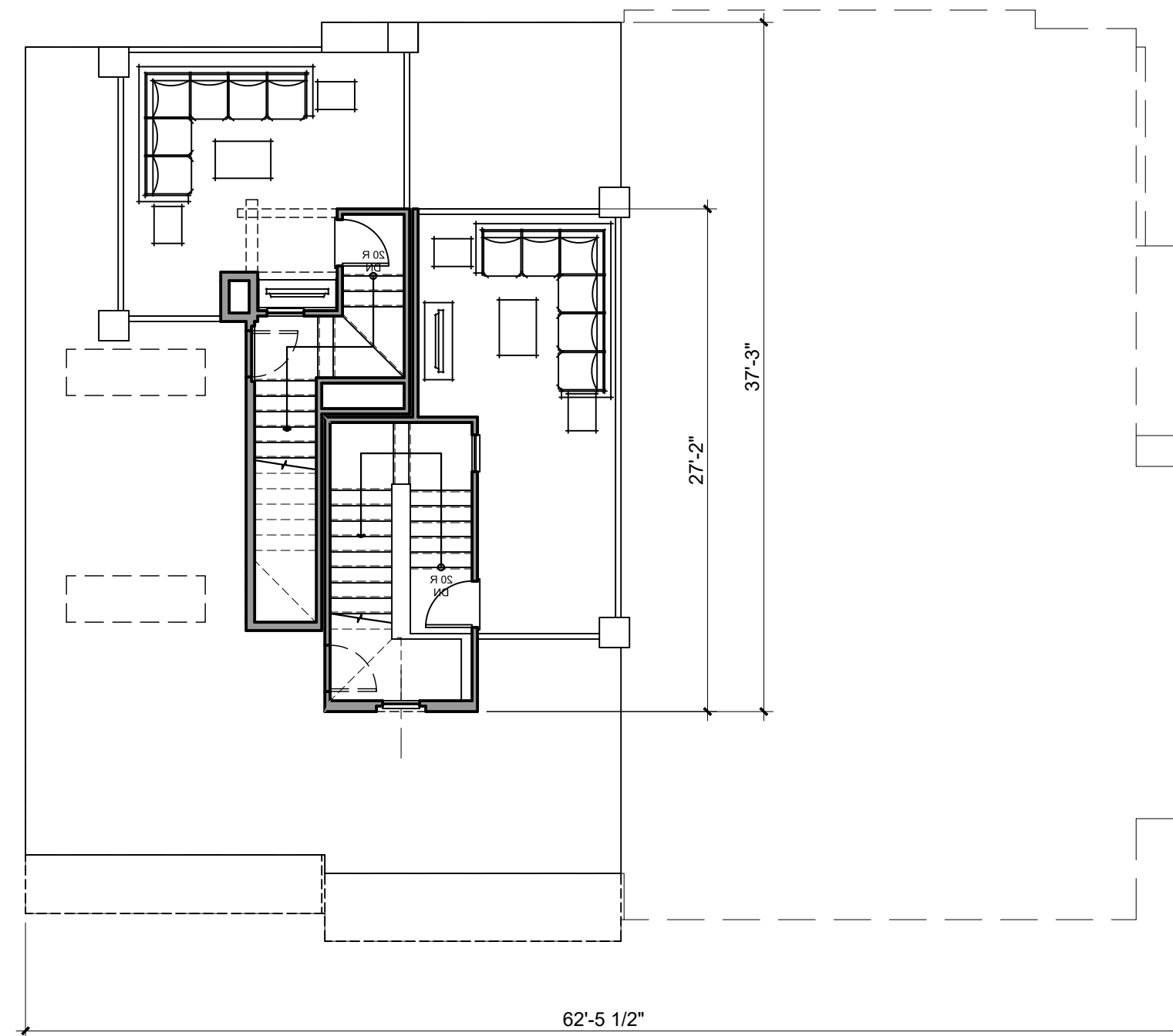


CT-400 (4-PLEX)  
ELEVATIONS

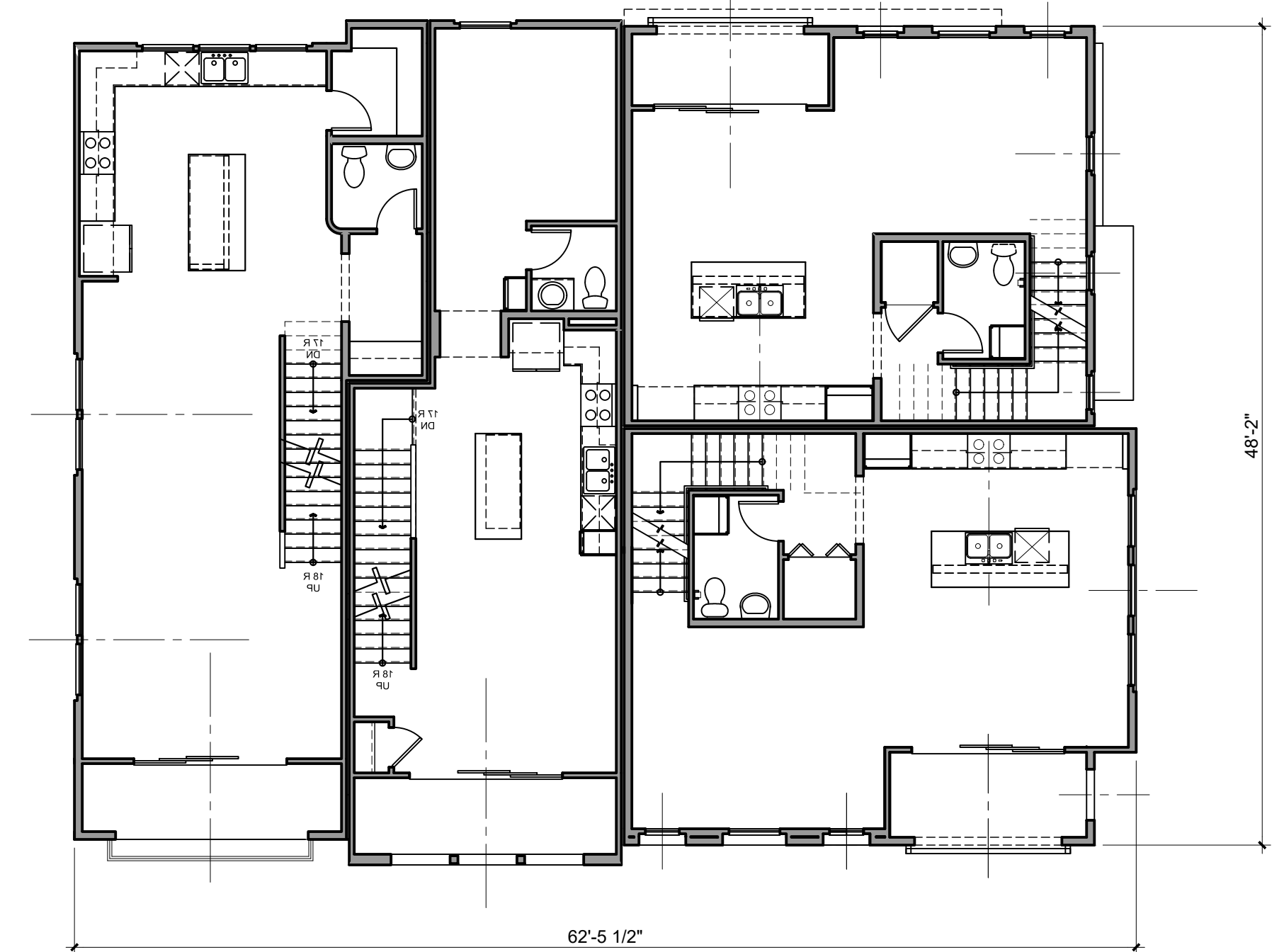
A3.0



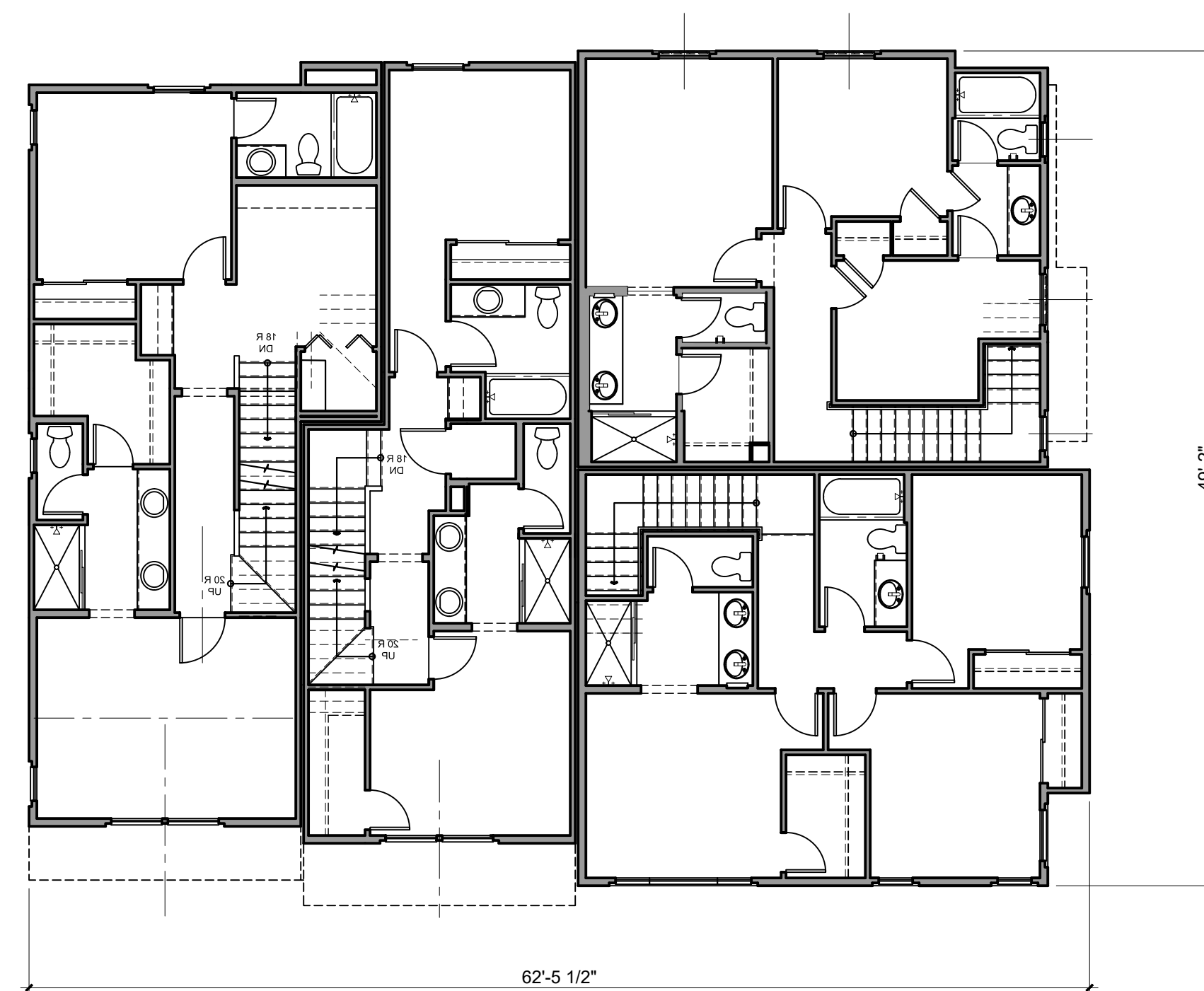
ROOF (1/16" = 1'-0")



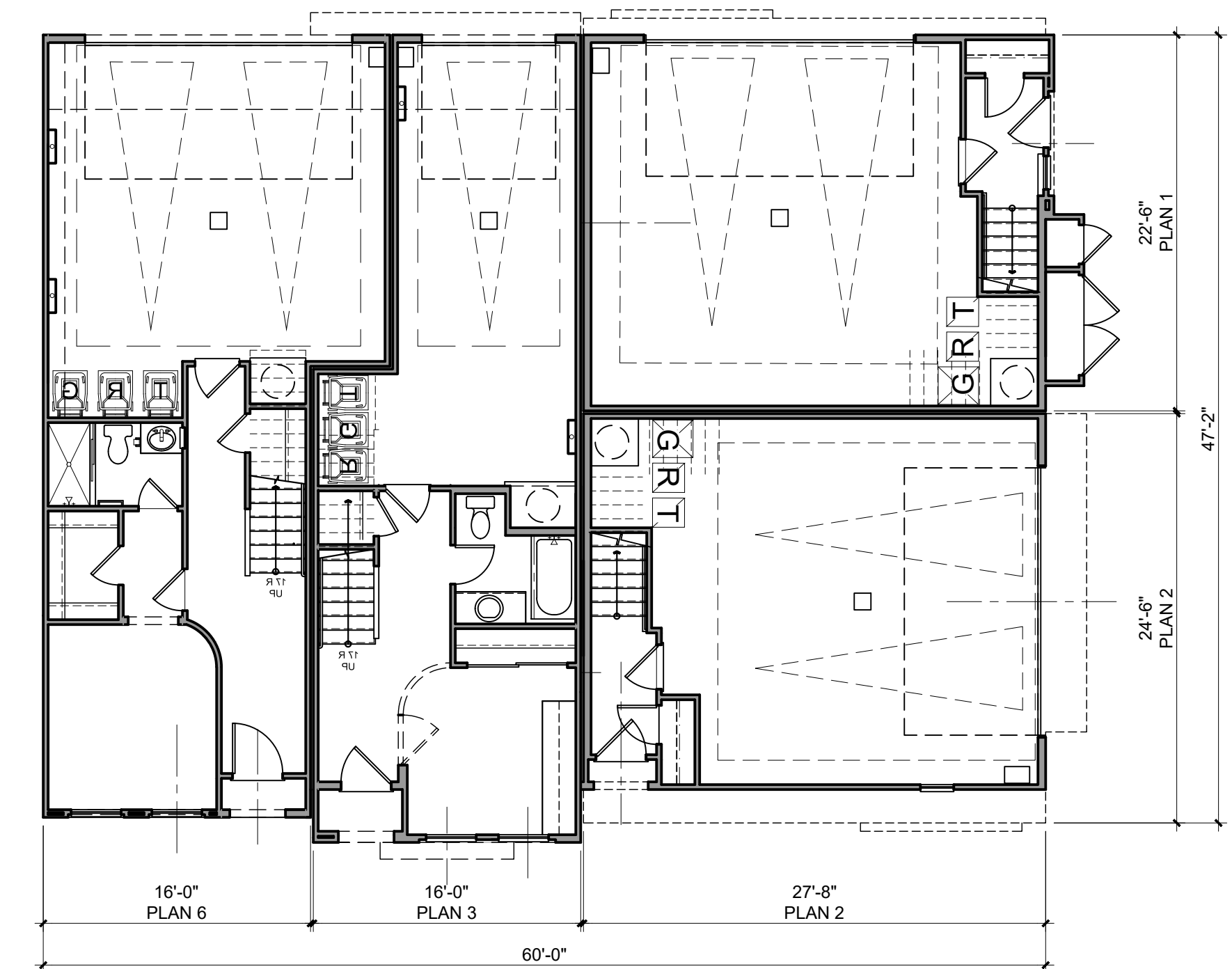
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

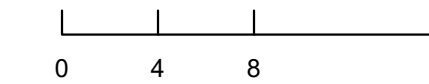


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CT-400 (4-PLEX)  
COMPOSITE PLAN

A3.1

- LEGEND**
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  - 2 Concrete 'S' Tiles
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  - 27 Metal Juliet Railing/Guard Rail



P5 RIGHT



P5 P7 P7 P7X REAR



P7X LEFT



P7X P7 P7 P5 FRONT

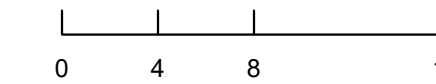


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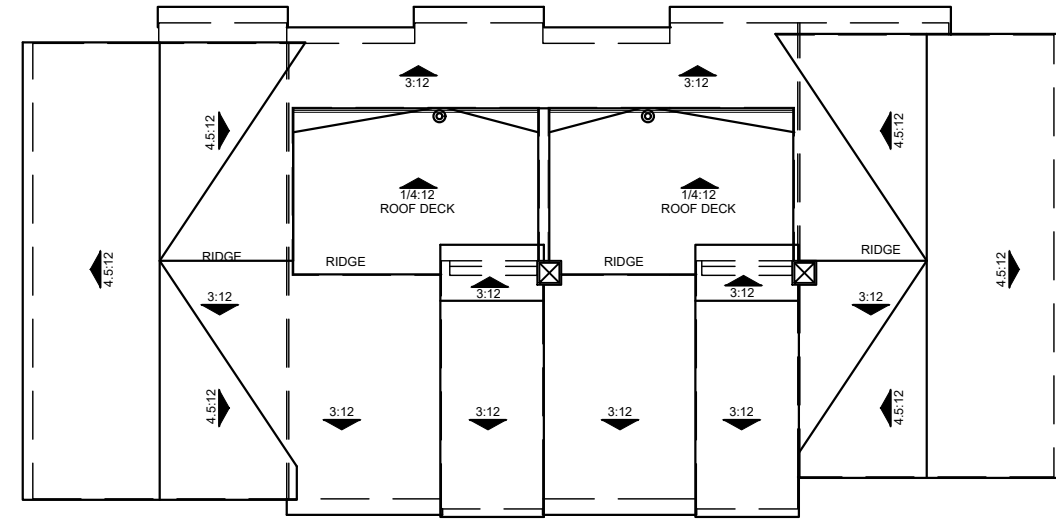


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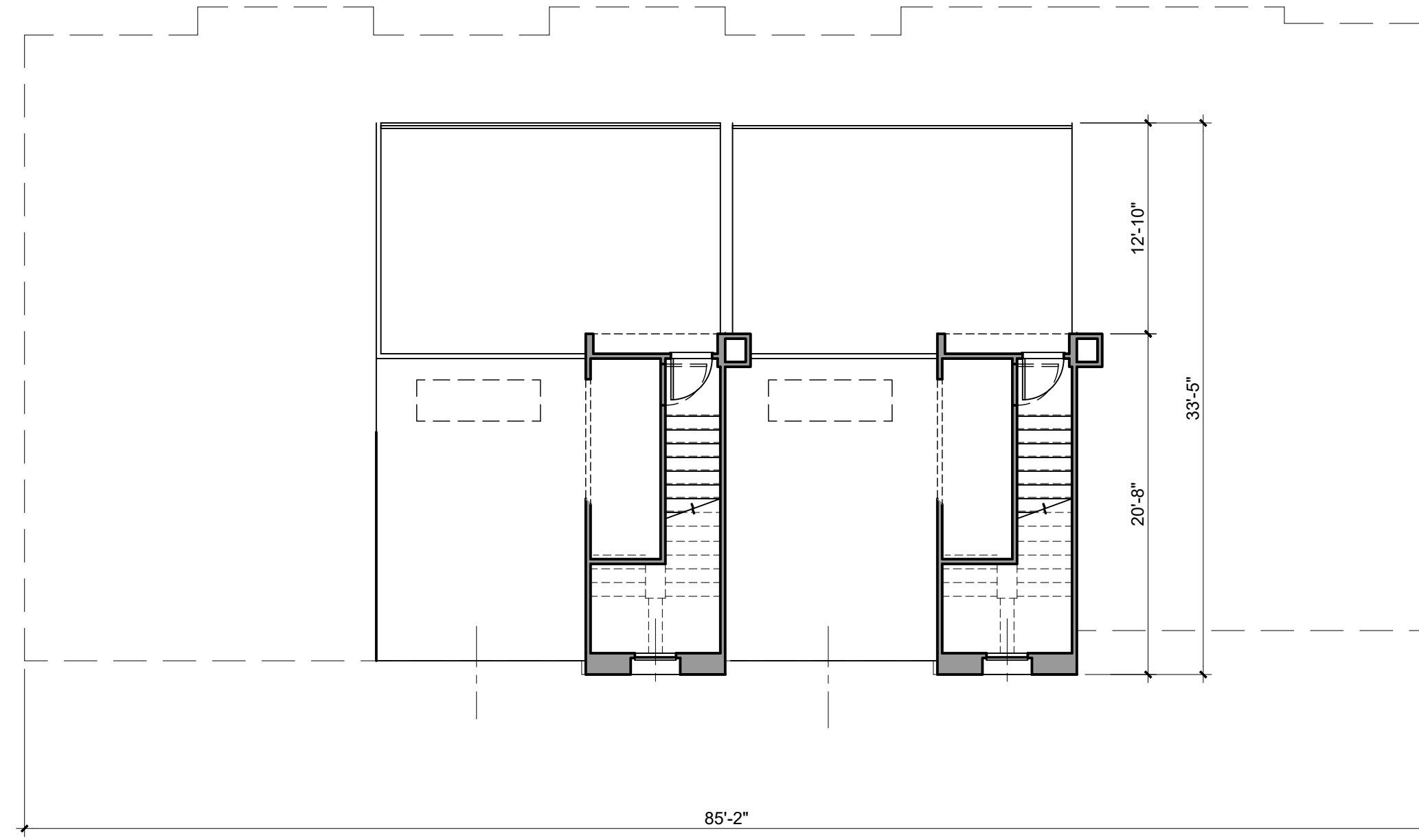


CT-401 (4-PLEX)  
ELEVATIONS

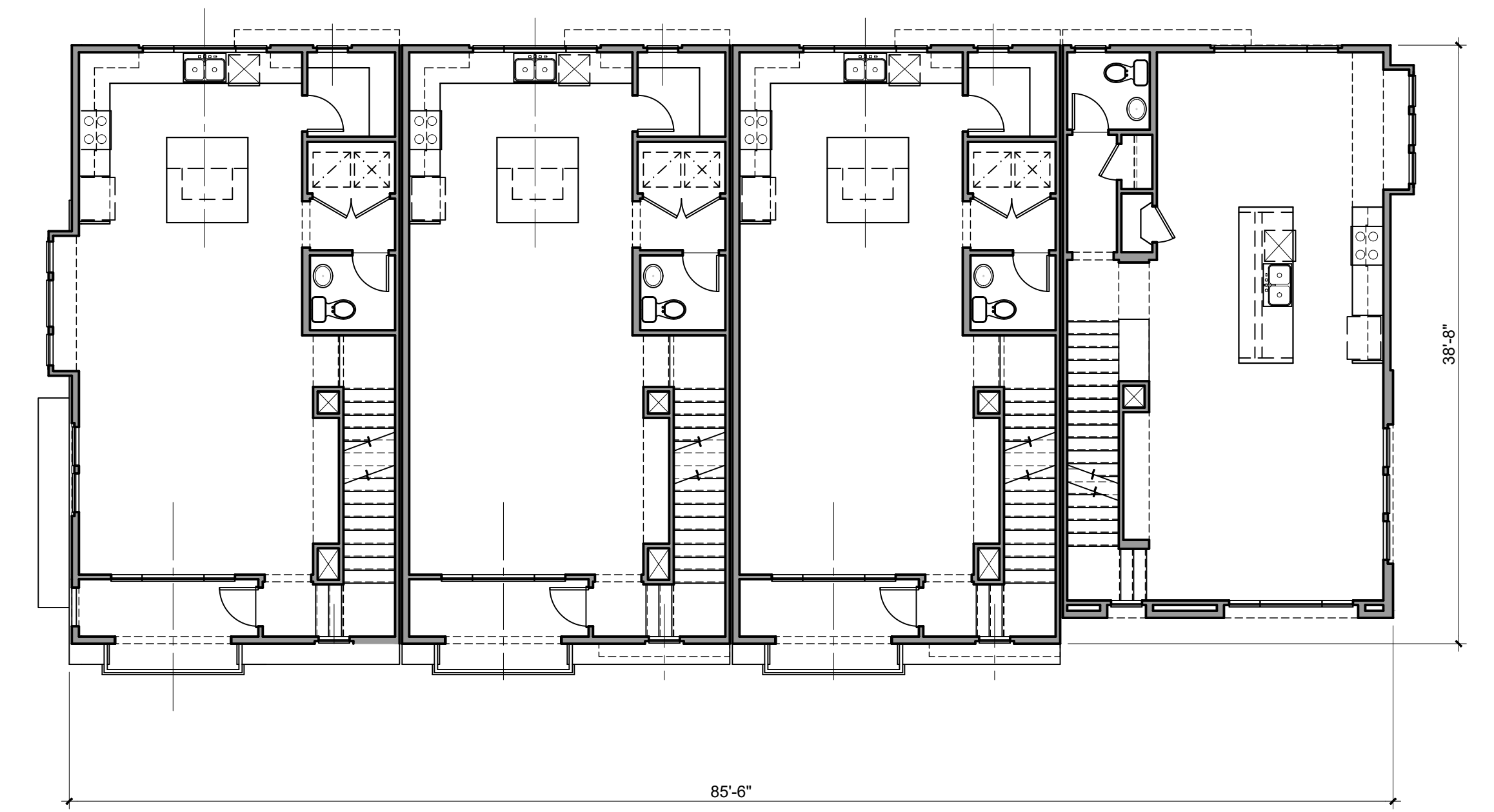
A4.0



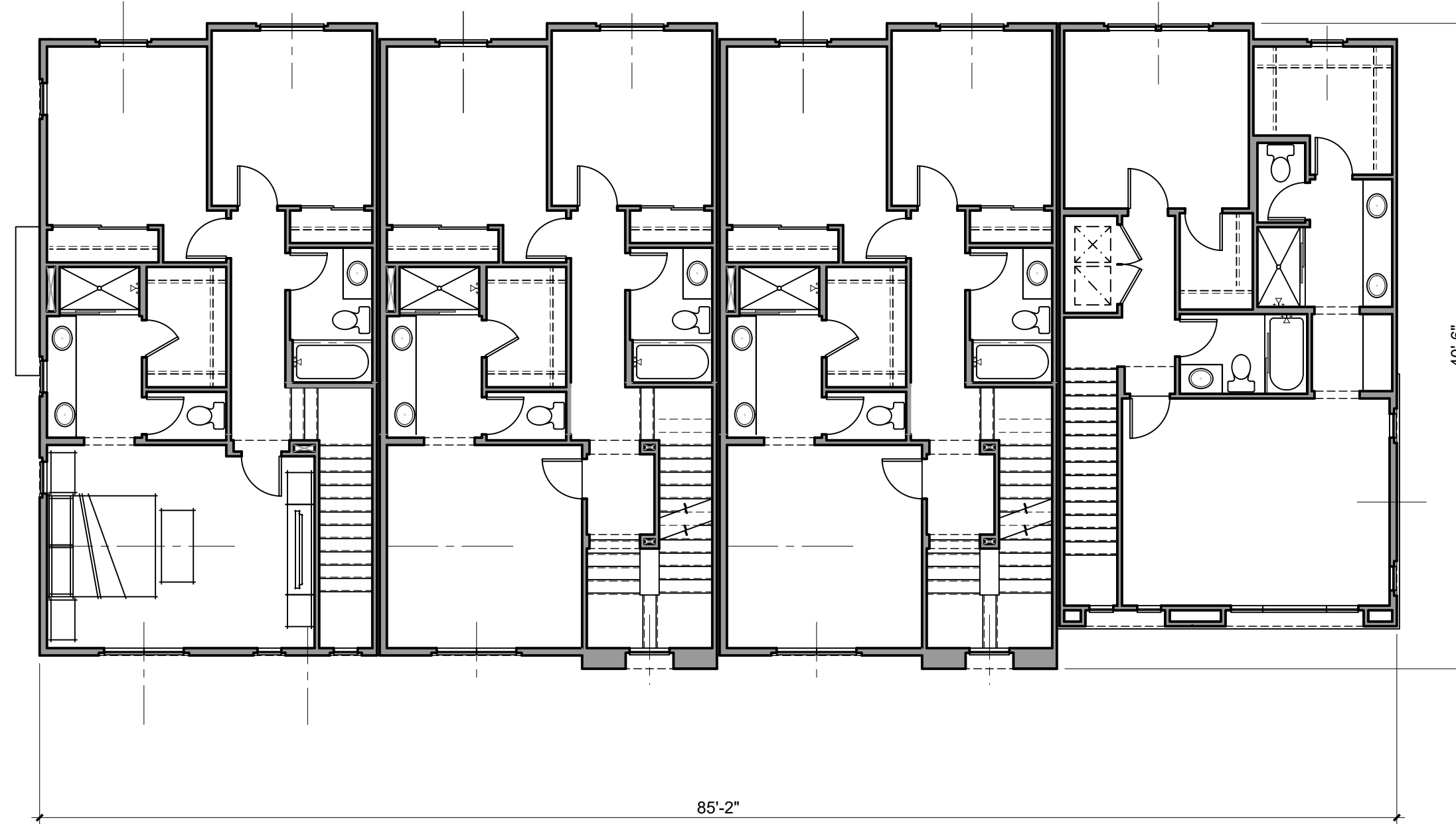
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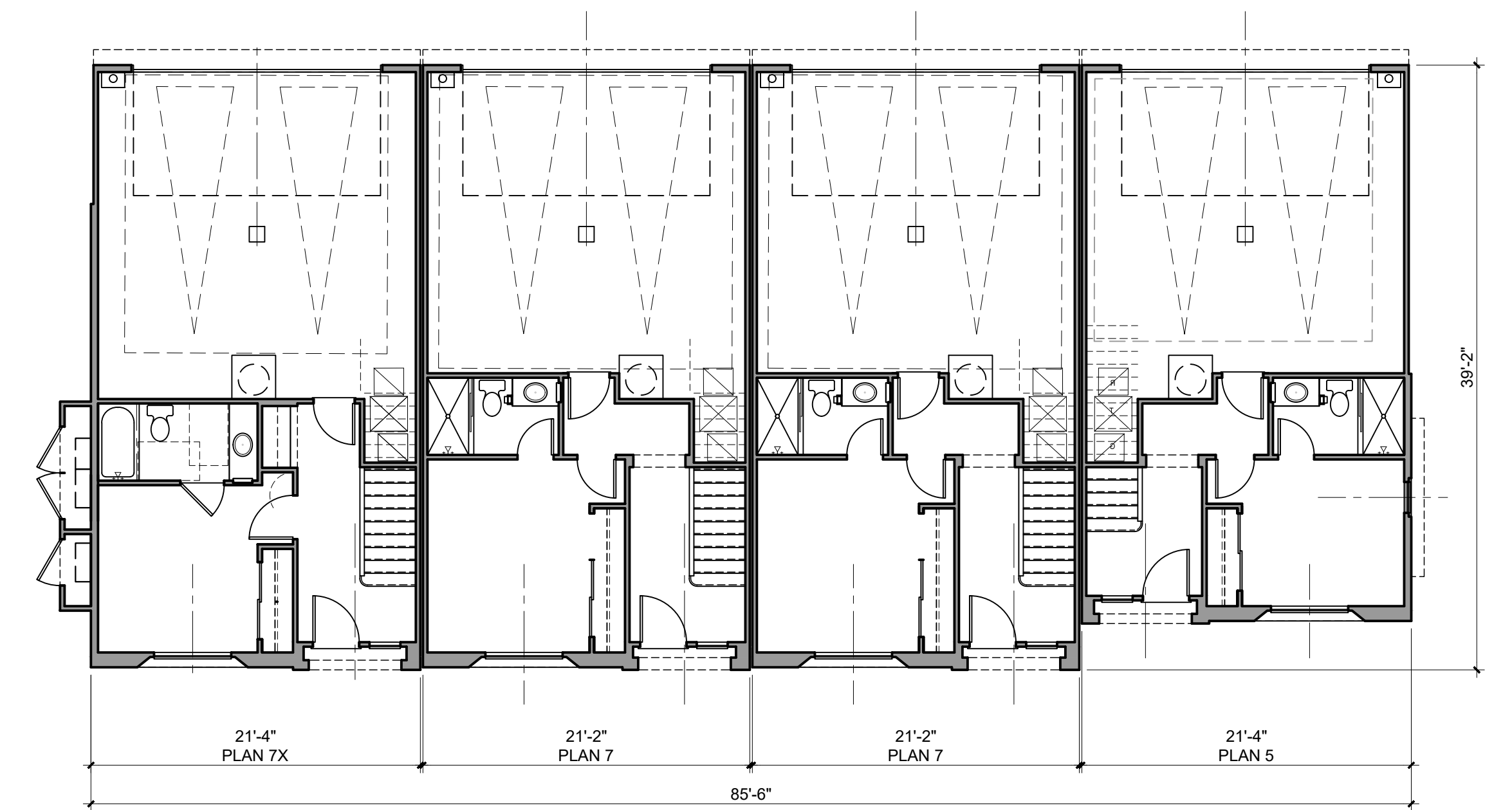
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

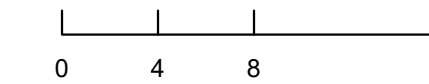


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CT-401 (4-PLEX)  
COMPOSITE PLAN

A4.1

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
  - 2 Concrete 'S' Tiles
  - 3 Gable End Faux Decorative Vent (Recesses)
  - 4 Recessed 1" Stucco /Simulated Wood Header Trim
  - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
  - 6 Stucco Recess/Reveal
  - 7 Exposed Wood Truss Tails with 2x3 Wood Fascia
  - 8 Decorative Stucco Eave
  - 9 Recess Faux Wood Panel Insert
  - 10 Decorative Scalloped Stucco Sill Trim
  - 11 Decorative Simulated Wood Corbel
  - 12 Decorative Canvas/Metal Spear Awning
  - 13 Fiberglass Decorative Front Door
  - 14 Vinyl Windows
  - 15 Fiber Cement Trim at Bay Window
  - 16 Fiber Cement Bd. Panel
  - 17 Stucco Arch
  - 18 Low Stucco Barranca w/ Concrete Tile Cap
  - 19 Decorative Shutters
  - 20 Decorative Stucco Chimney/Stucco Finial
  - 21 Decorative Metal Tube and Wood Plank Pot Holder
  - 22 Decorative Stucco Corbel
  - 23 Accent Battered Ceramic Tile Surround
  - 24 Metal Decorative Sectional Garage Door
  - 25 Decorative Exterior Lights & Address
  - 26 Metal Utility Door
  - 27 Metal Juliet Railing/Guard Rail



P7X RIGHT



P7X P7 P7 P7 P5 REAR



P5 LEFT



P5 P7 P7 P7 P7X FRONT

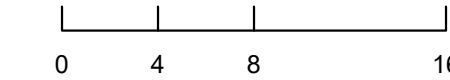


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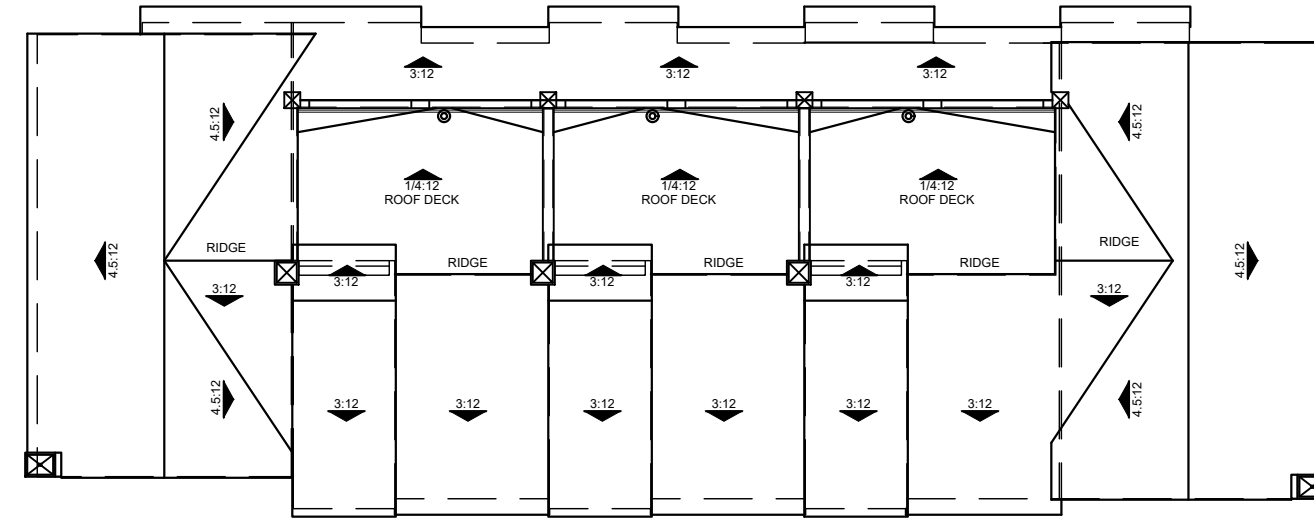


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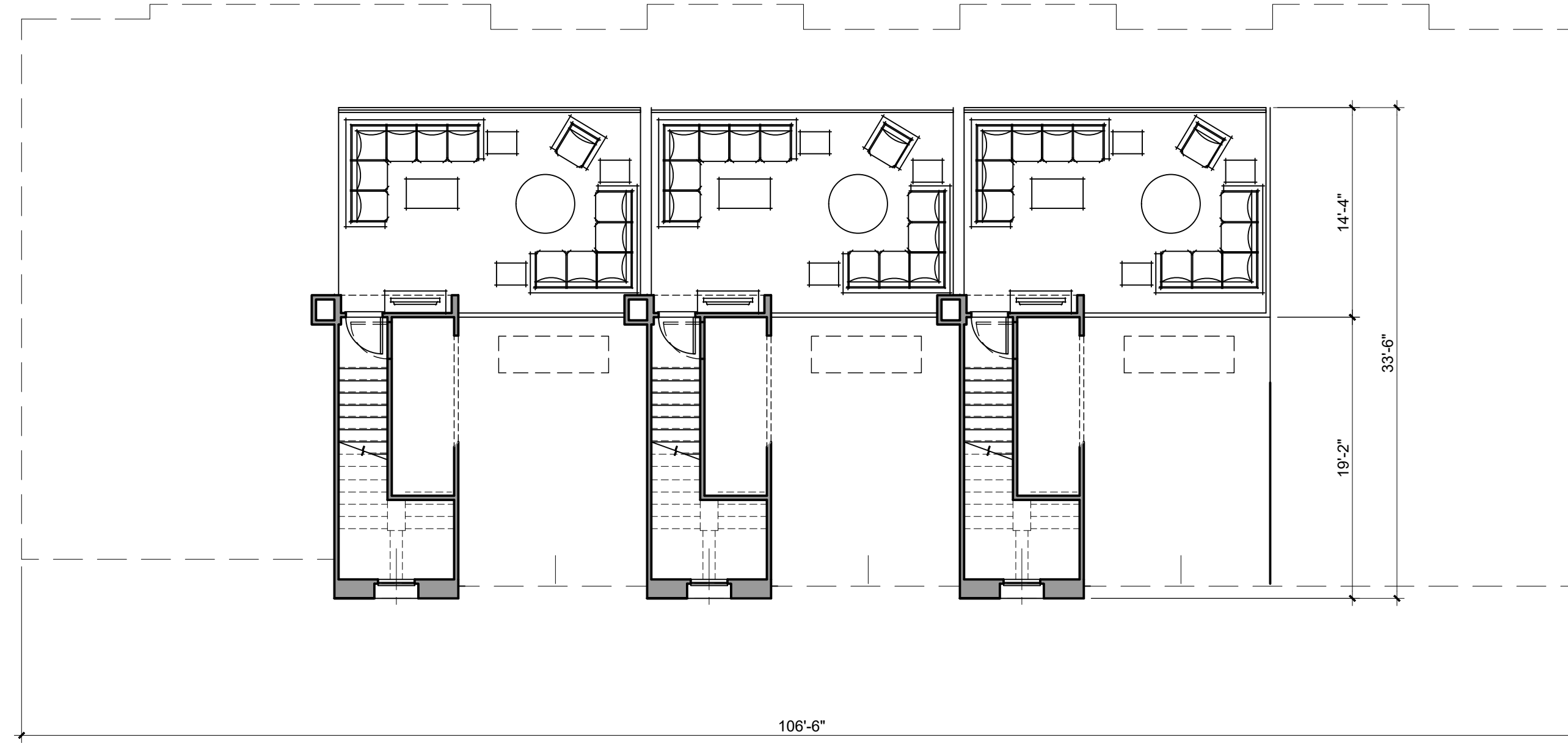


CT-500 (5-PLEX)  
ELEVATIONS

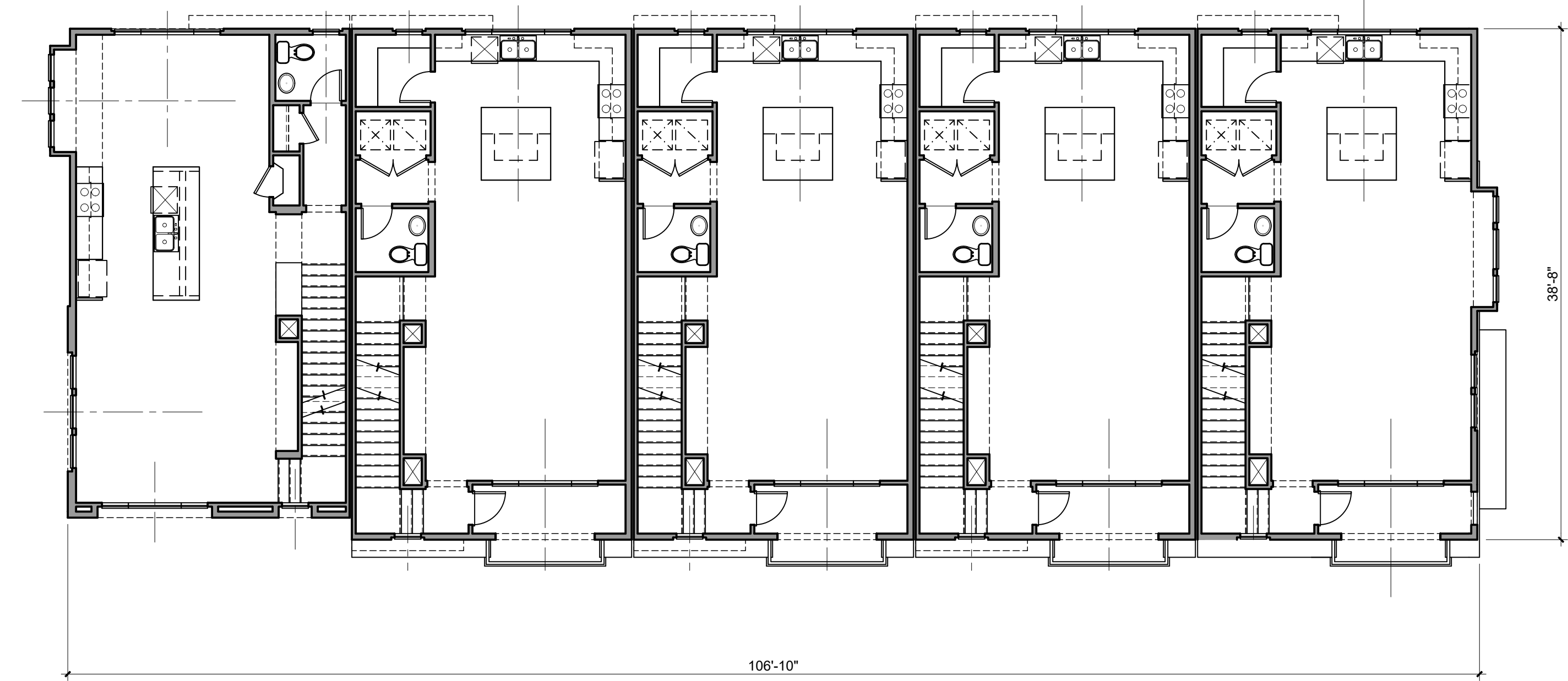
A5.0



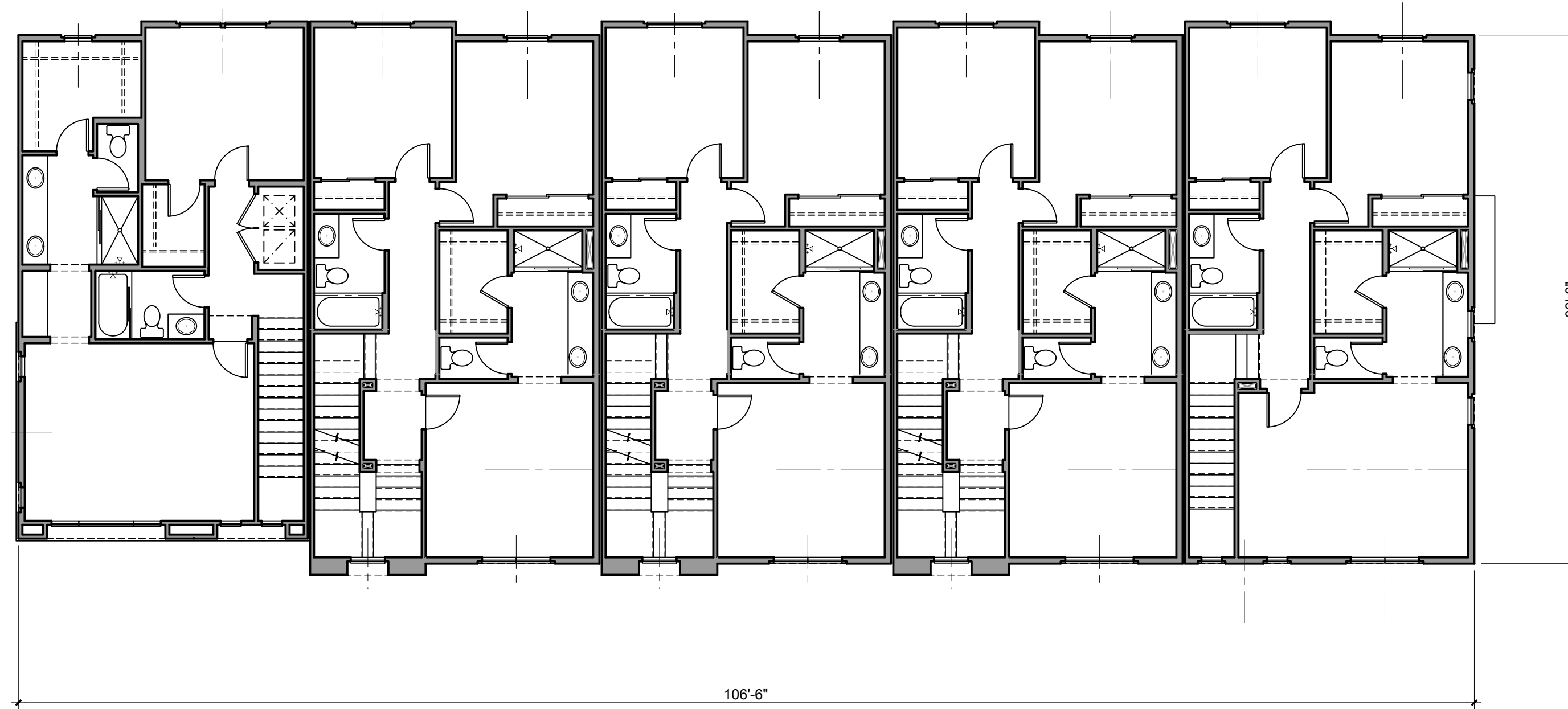
ROOF ( $\frac{1}{16}'' = 1'-0''$ )



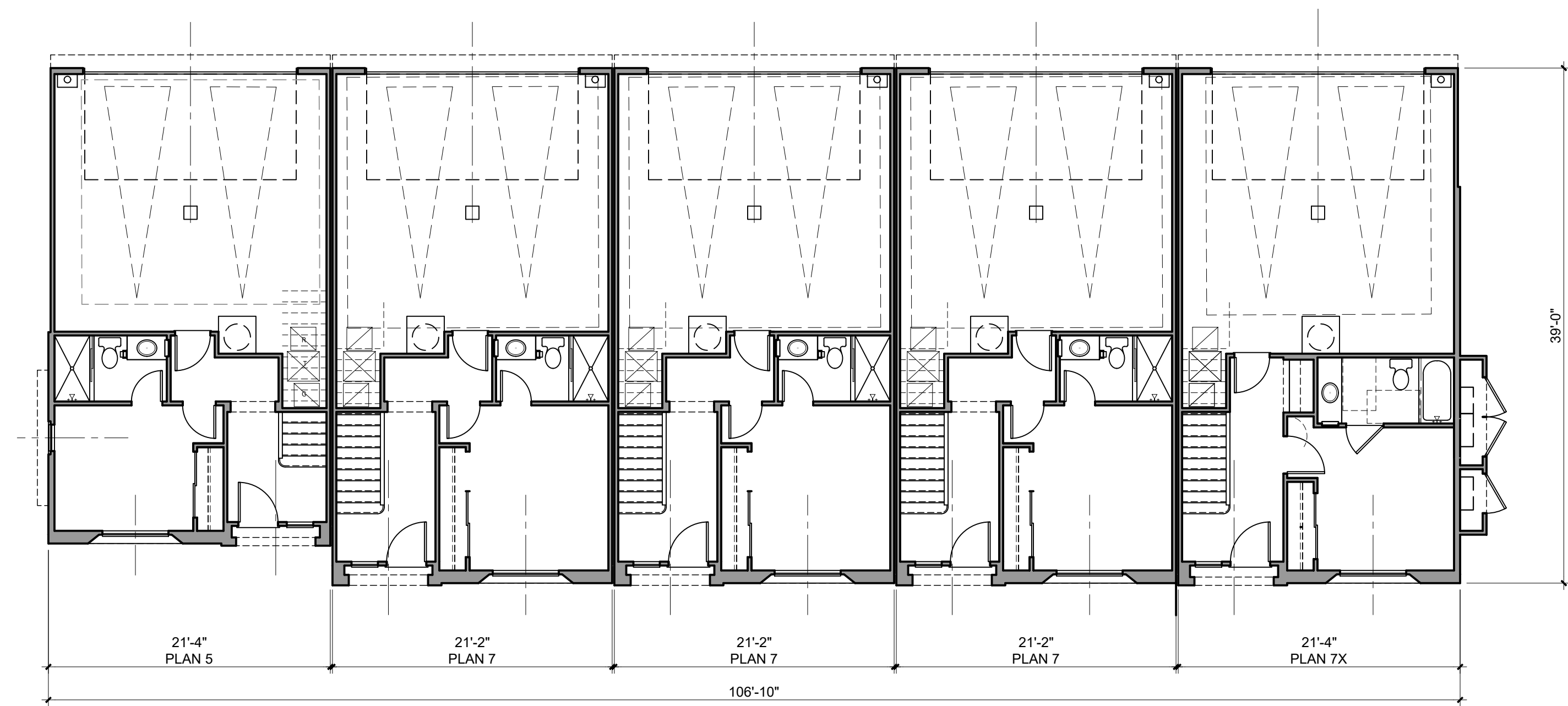
ROOF DECK



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

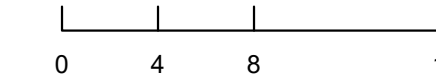


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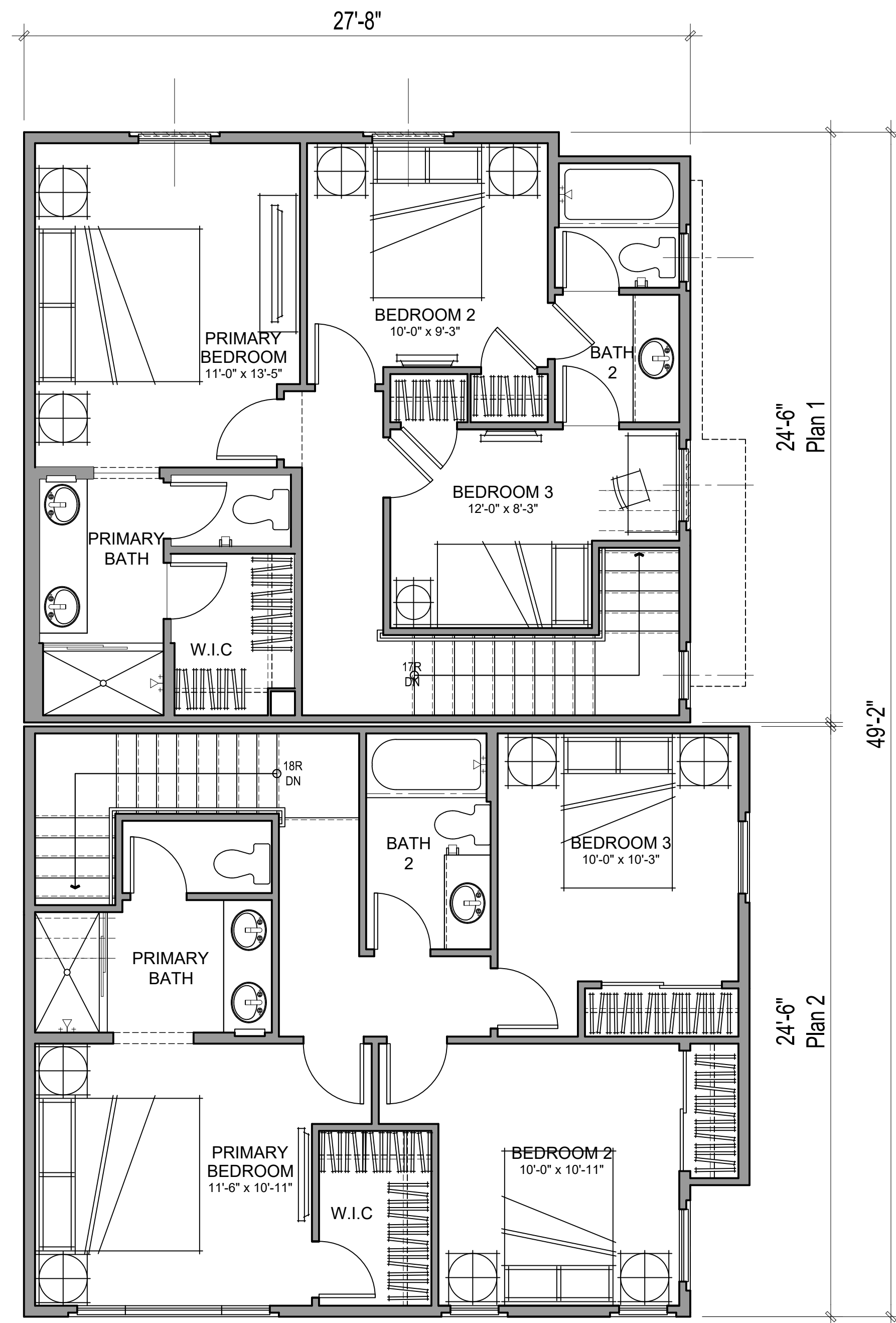


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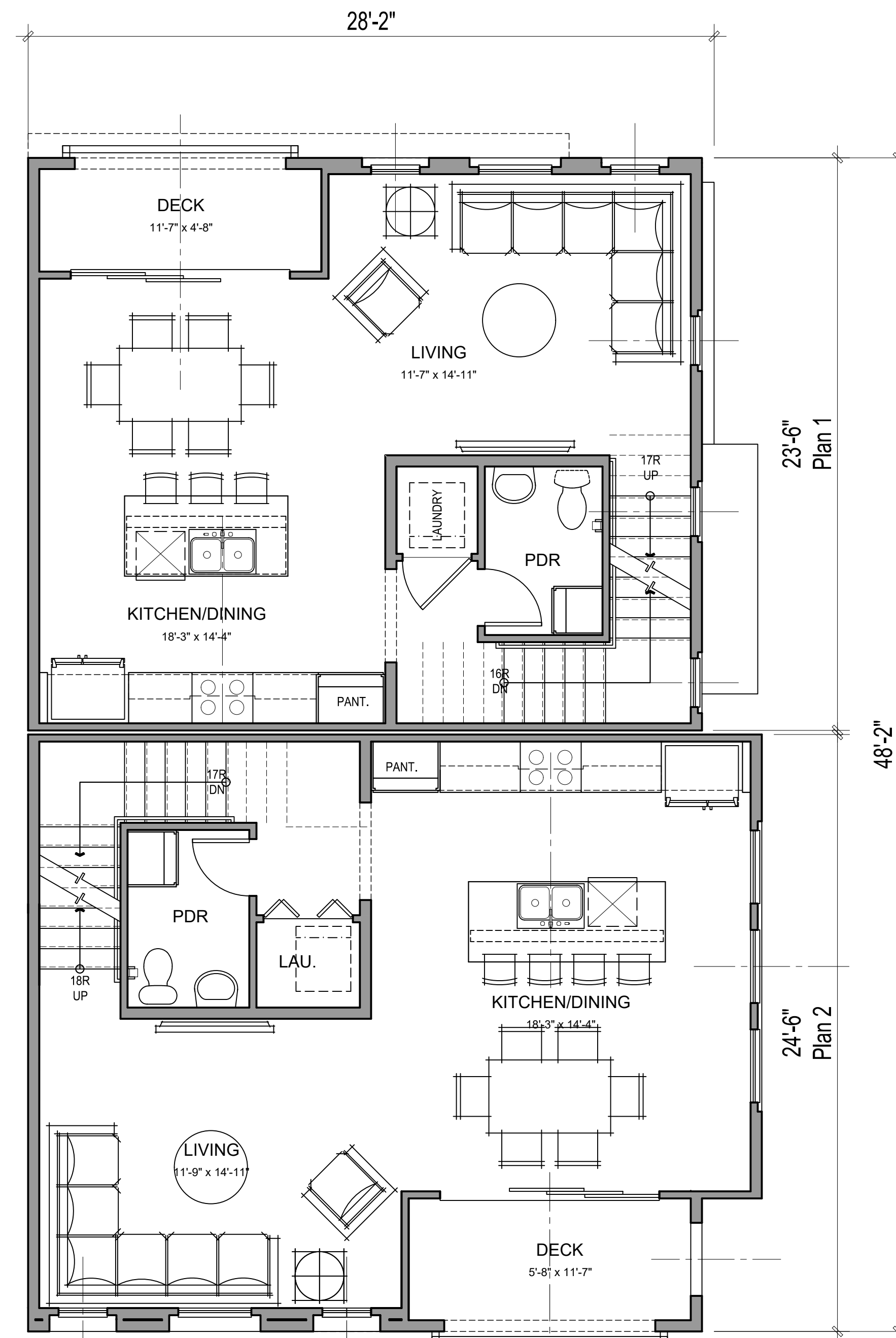


CT-500 (5-PLEX)  
COMPOSITE PLAN

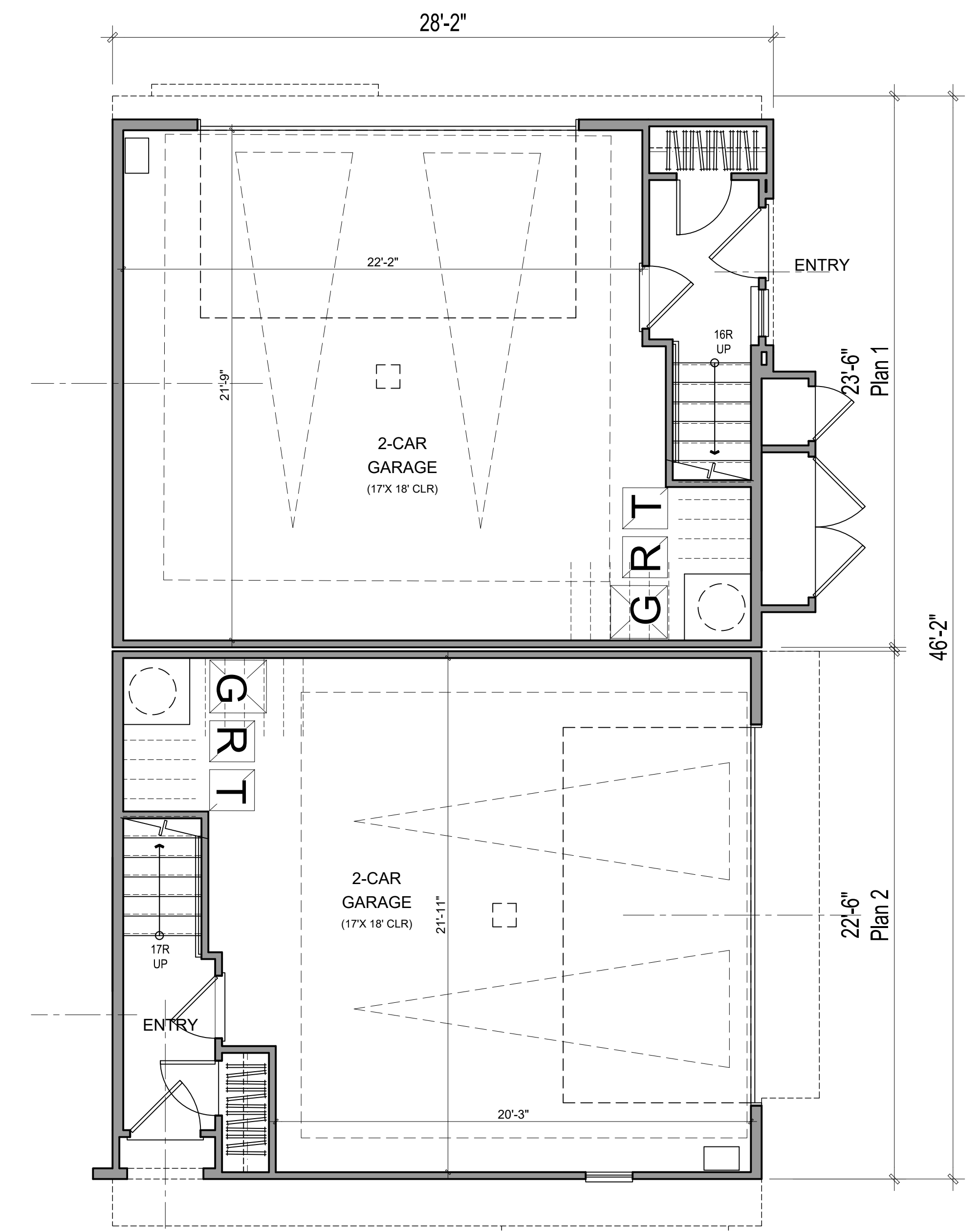
A5.1



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P2 - GROSS AREA		P2 - NET AREA	
1ST FLOOR	117 SQ. FT.	1ST FLOOR	97 SQ. FT.
2ND FLOOR	648 SQ. FT.	2ND FLOOR	610 SQ. FT.
3RD FLOOR	672 SQ. FT.	3RD FLOOR	634 SQ. FT.
TOTAL LIVING	1437 SQ. FT.	TOTAL LIVING	1341 SQ. FT.
PORCH	8 SQ. FT.	PORCH	5 SQ. FT.
DECK	71 SQ. FT.	DECK	64 SQ. FT.
GARAGE	540 SQ. FT.	GARAGE	513 SQ. FT.

P1 - GROSS AREA		P1 - NET AREA	
1ST FLOOR	118 SQ. FT.	1ST FLOOR	99 SQ. FT.
2ND FLOOR	594 SQ. FT.	2ND FLOOR	552 SQ. FT.
3RD FLOOR	617 SQ. FT.	3RD FLOOR	582 SQ. FT.
TOTAL LIVING	1329 SQ. FT.	TOTAL LIVING	1233 SQ. FT.
PORCH	N/A	PORCH	N/A
DECK	61 SQ. FT.	DECK	53 SQ. FT.
GARAGE	549 SQ. FT.	GARAGE	517 SQ. FT.

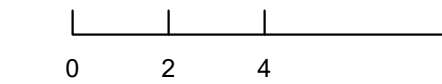


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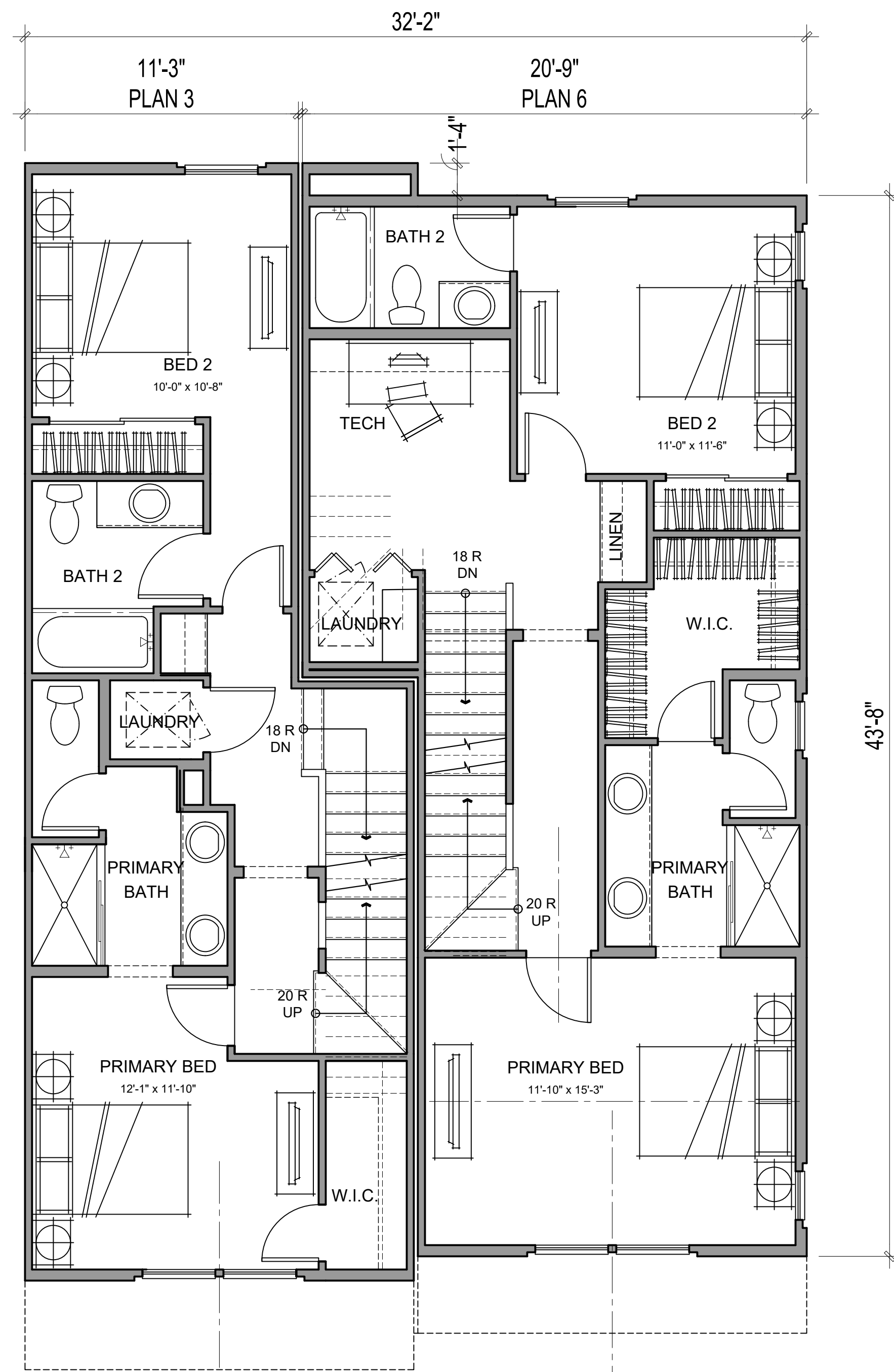
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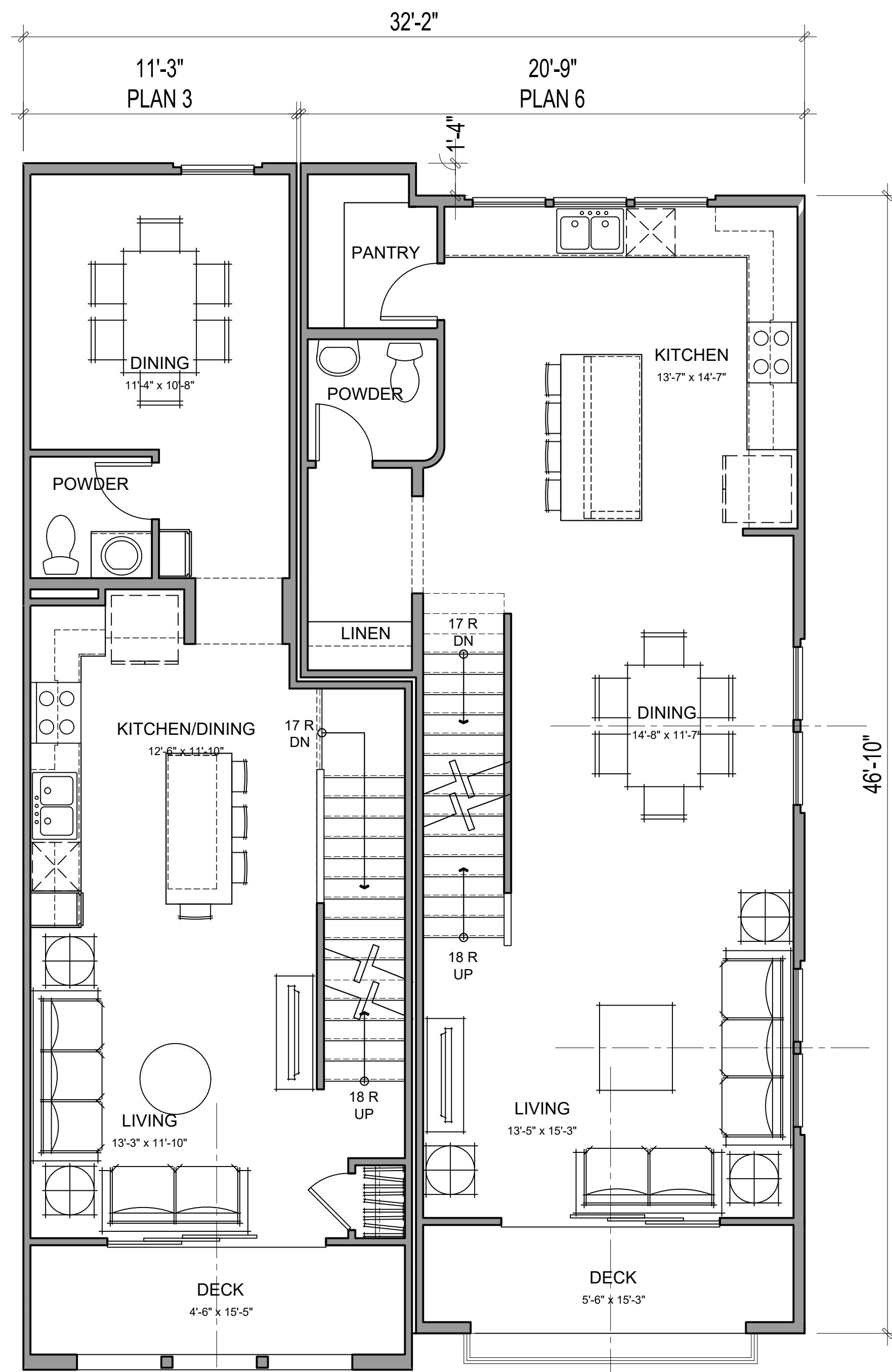
PLAN 1 & 2 UNIT PLANS

A6.0

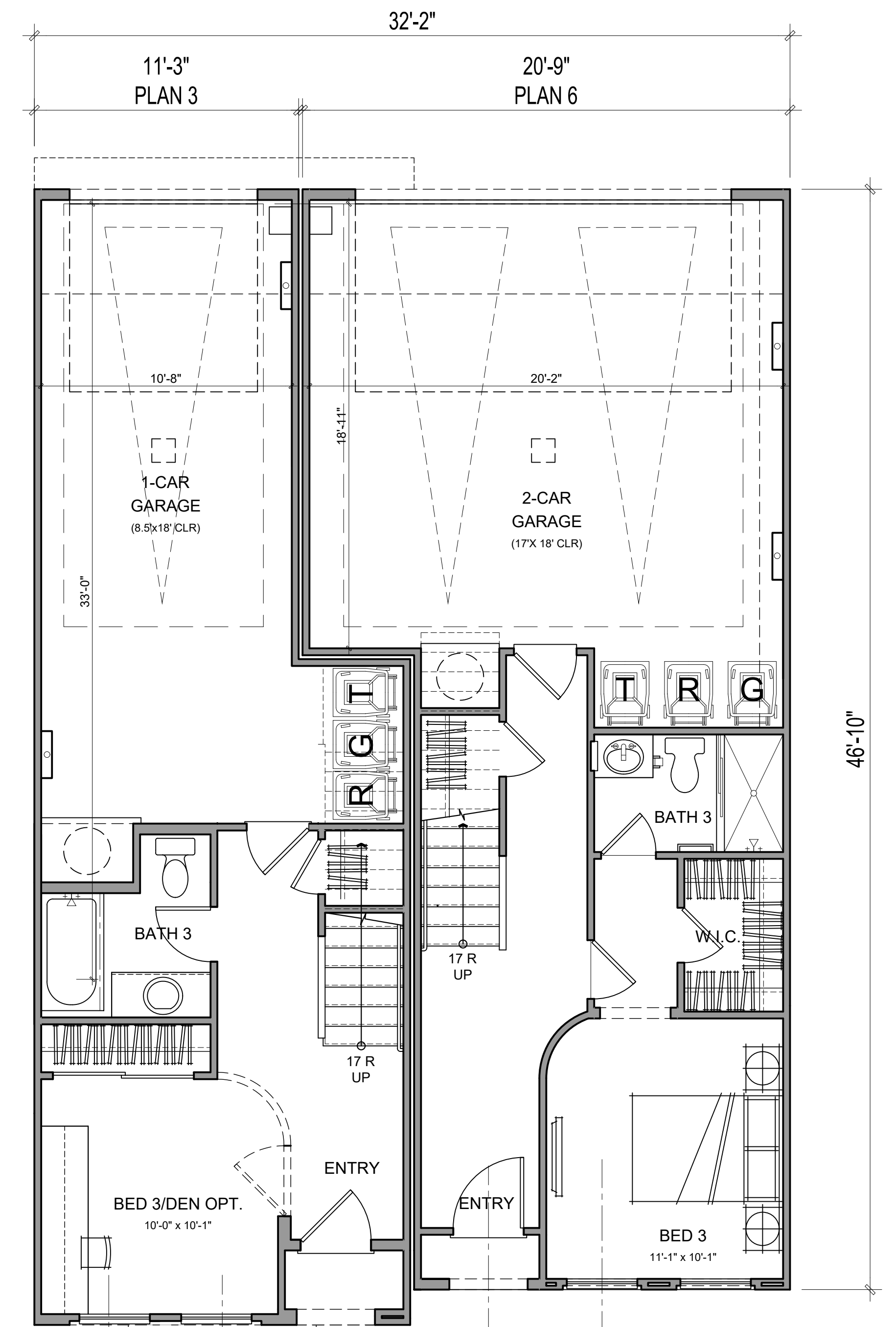




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P3 - GROSS AREA		P3 - NET AREA	
1ST FLOOR	337 SQ. FT.	1ST FLOOR	312 SQ. FT.
2ND FLOOR	612 SQ. FT.	2ND FLOOR	575 SQ. FT.
3RD FLOOR	635 SQ. FT.	3RD FLOOR	594 SQ. FT.
STAIR TOWER	18 SQ. FT.	STAIR TOWER	12 SQ. FT.
TOTAL LIVING	1602 SQ. FT.	TOTAL LIVING	1493 SQ. FT.
PORCH	17 SQ. FT.	PORCH	13 SQ. FT.
DECK	82 SQ. FT.	DECK	69 SQ. FT.
GARAGE	348 SQ. FT.	GARAGE	324 SQ. FT.
ROOF DECK	225 SQ. FT.	ROOF DECK	207 SQ. FT.

P6 - GROSS AREA		P6 - NET AREA	
1ST FLOOR	398 SQ. FT.	1ST FLOOR	372 SQ. FT.
2ND FLOOR	779 SQ. FT.	2ND FLOOR	734 SQ. FT.
3RD FLOOR	793 SQ. FT.	3RD FLOOR	746 SQ. FT.
STAIR TOWER	14 SQ. FT.	STAIR TOWER	11 SQ. FT.
TOTAL LIVING	1984 SQ. FT.	TOTAL LIVING	1863 SQ. FT.
PORCH	12 SQ. FT.	PORCH	9 SQ. FT.
DECK	86 SQ. FT.	DECK	78 SQ. FT.
GARAGE	444 SQ. FT.	GARAGE	420 SQ. FT.
ROOF DECK	205 SQ. FT.	ROOF DECK	189 SQ. FT.

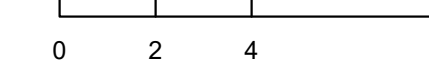


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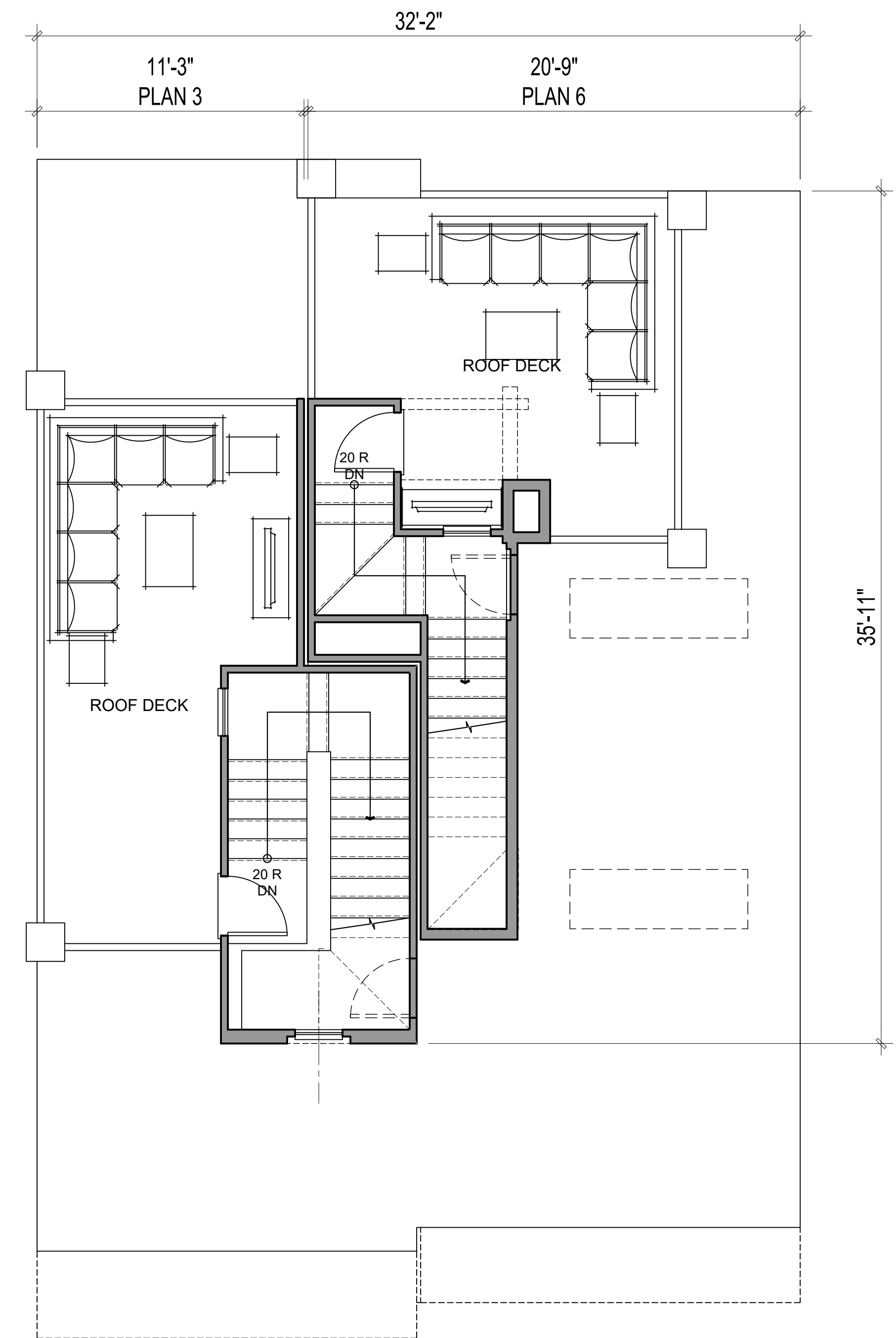


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PLAN 3 & 6 UNIT PLANS

A6.1



ROOF DECK

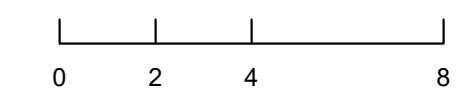


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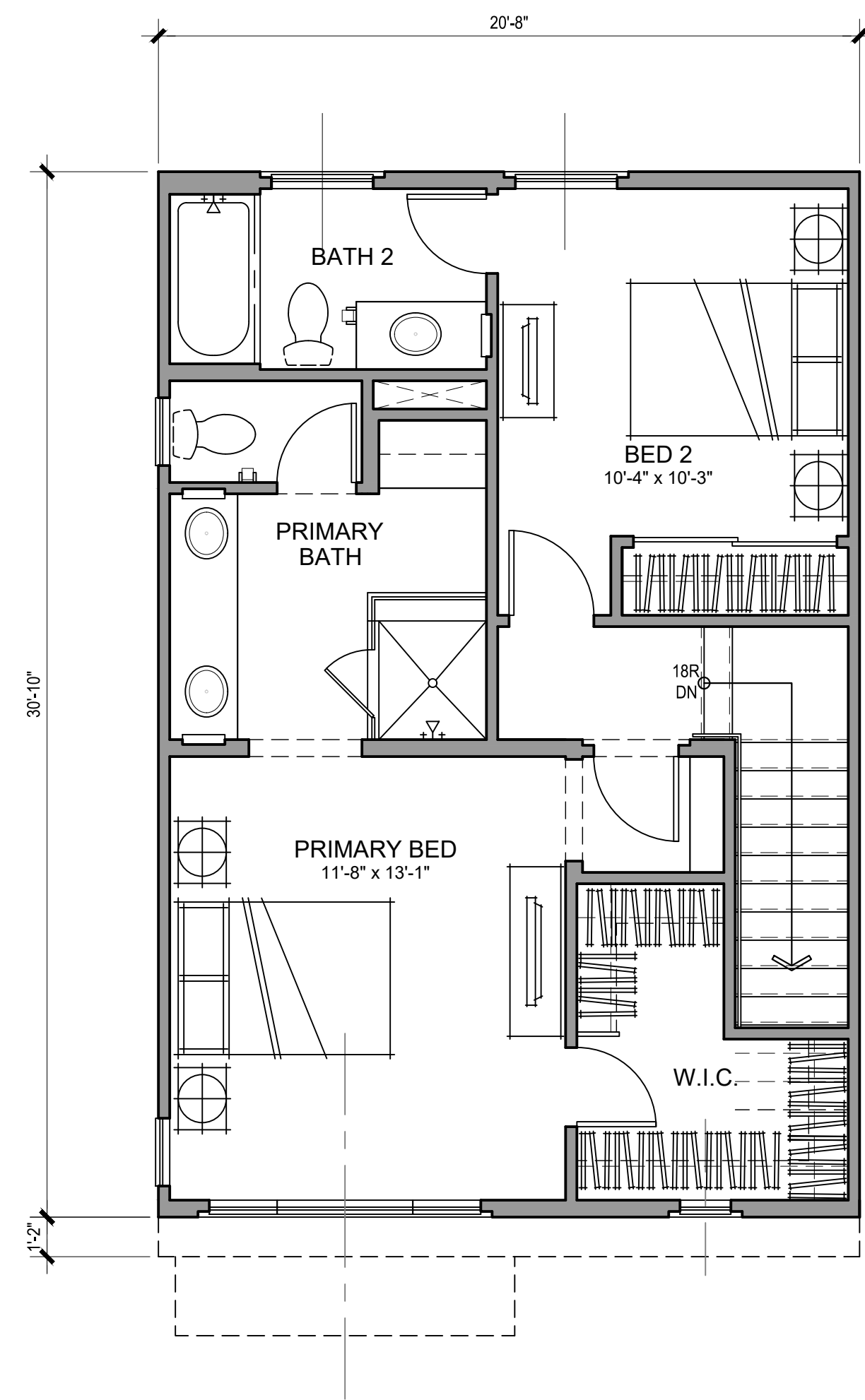


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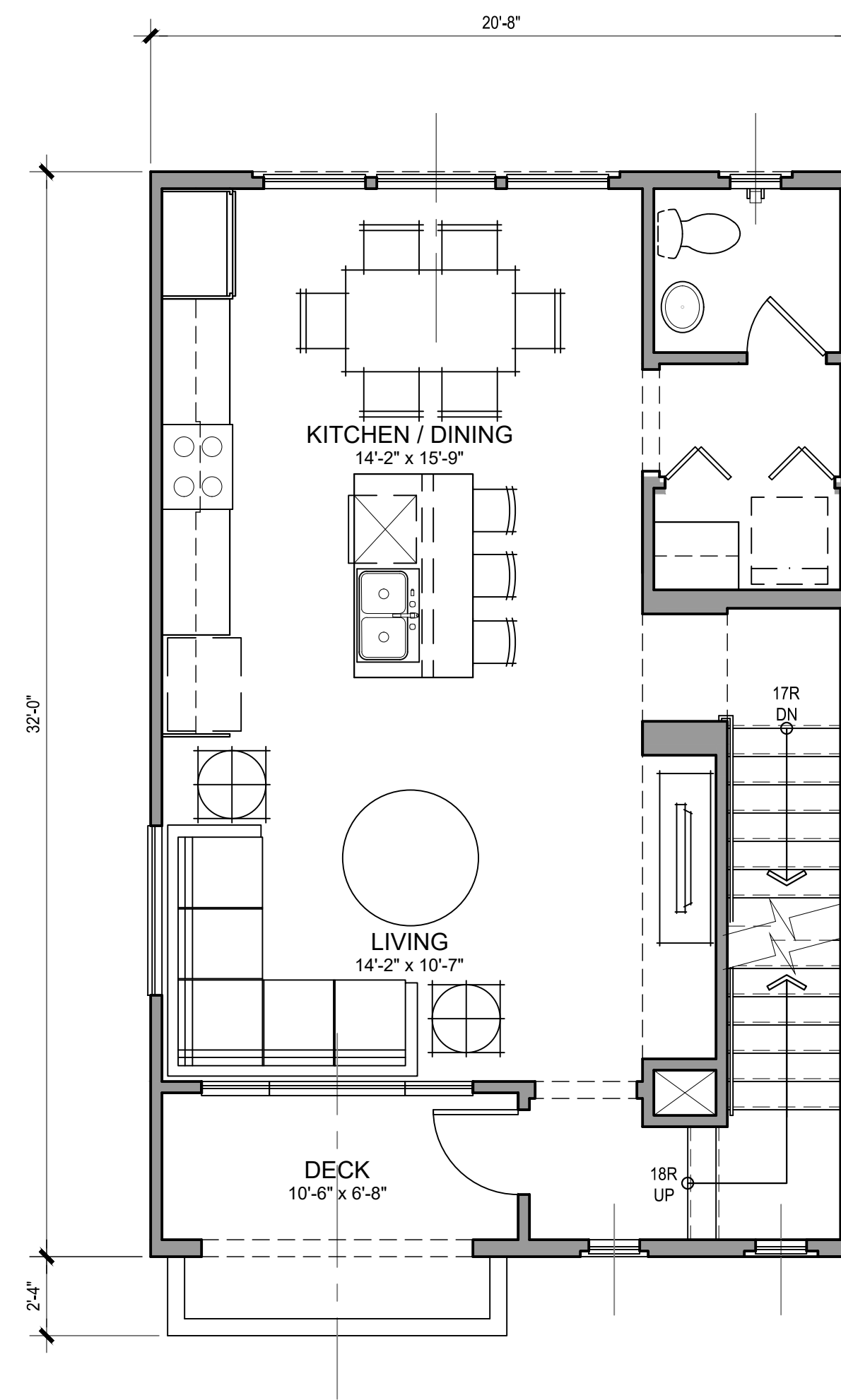


PLAN 3 & 6 UNIT PLANS

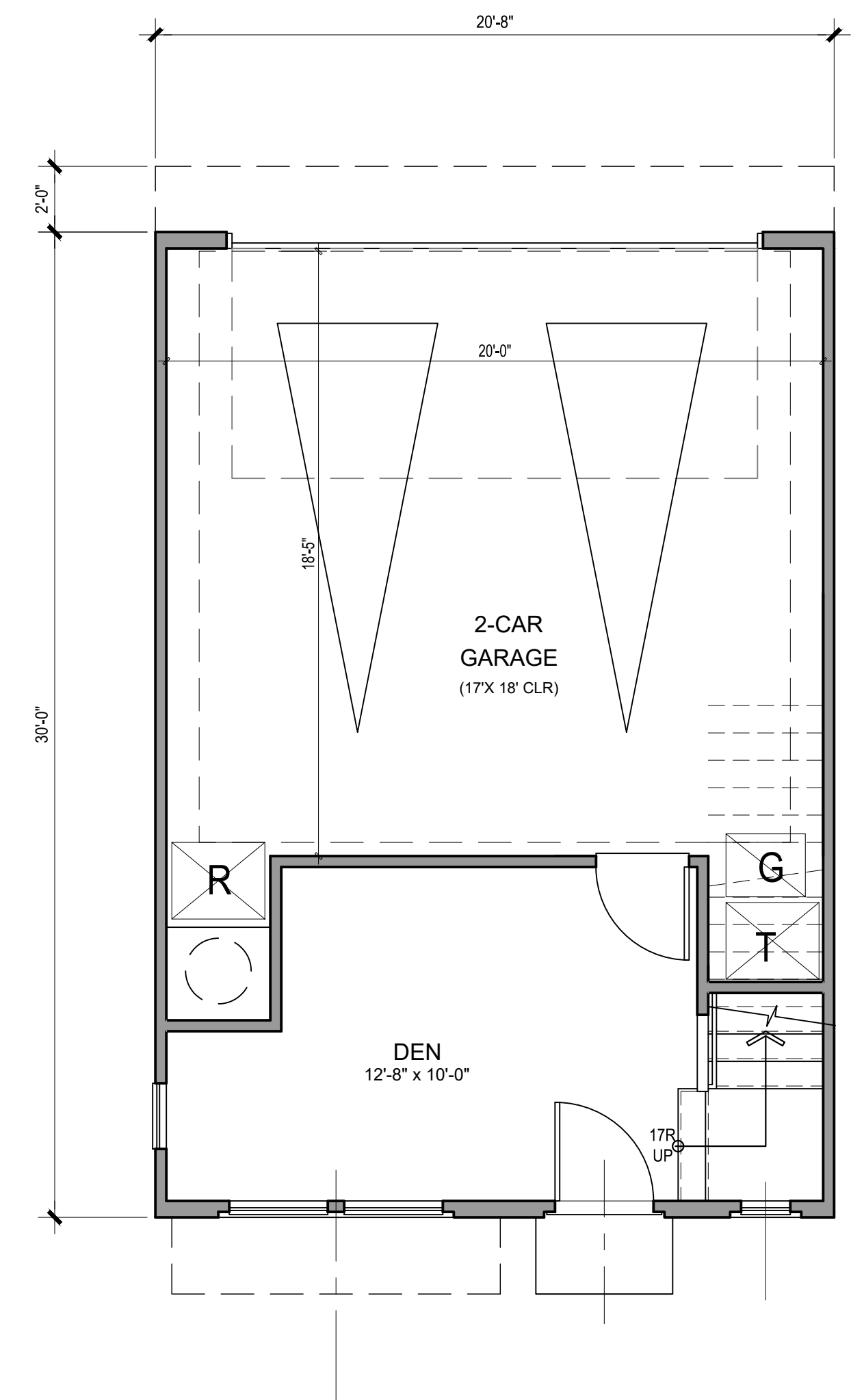
A6.2



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P4 - GROSS SF		P4 - NET SF	
1ST FLOOR	227 SQ. FT.	1ST FLOOR	203 SQ. FT.
2ND FLOOR	609 SQ. FT.	2ND FLOOR	569 SQ. FT.
3RD FLOOR	591 SQ. FT.	3RD FLOOR	554 SQ. FT.
TOTAL LIVING	1427 SQ. FT.	TOTAL LIVING	1326 SQ. FT.
GARAGE	425 SQ. FT.	GARAGE	399 SQ. FT.
DECK	76 SQ. FT.	DECK	66 SQ. FT.

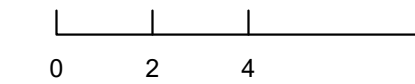


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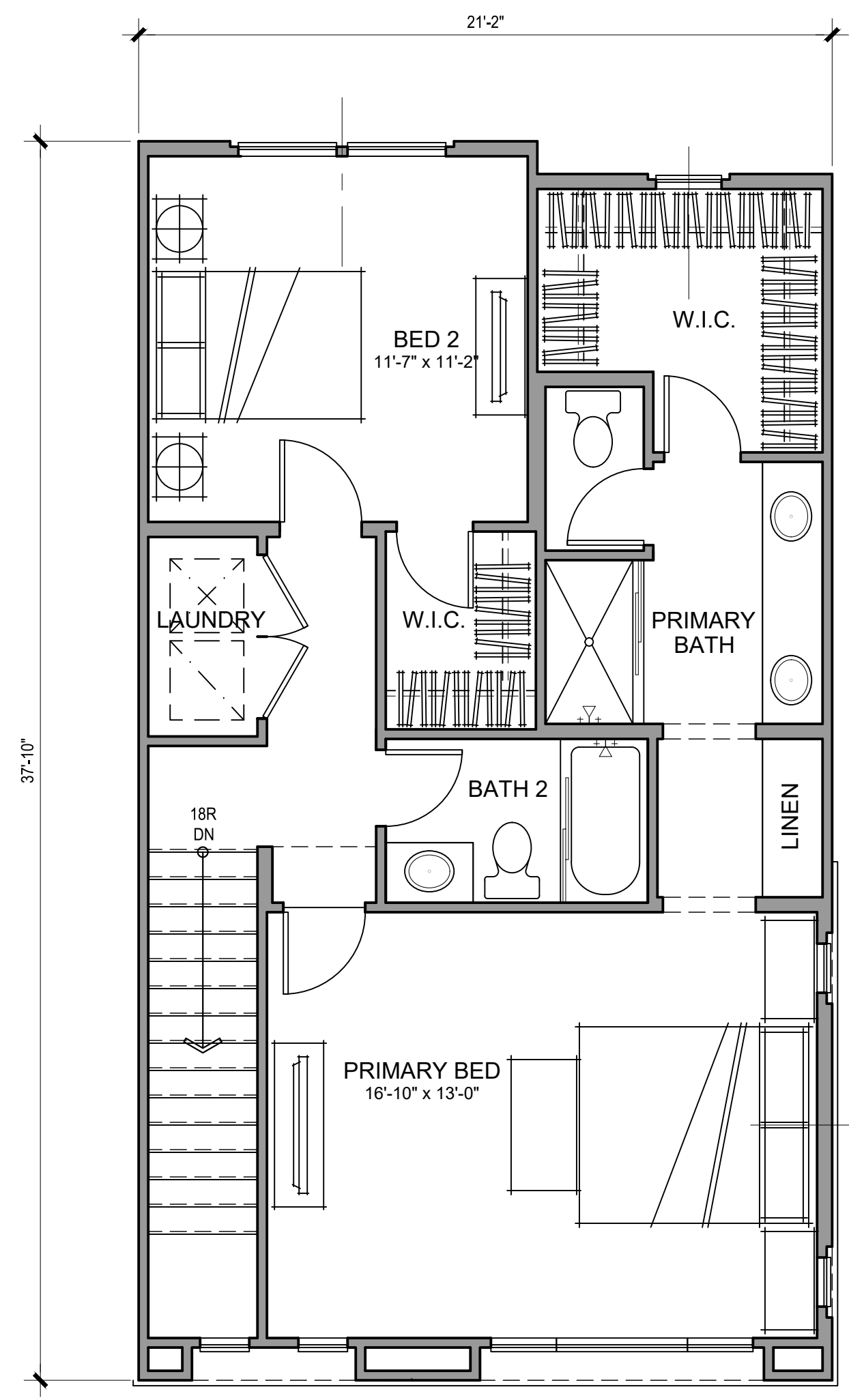


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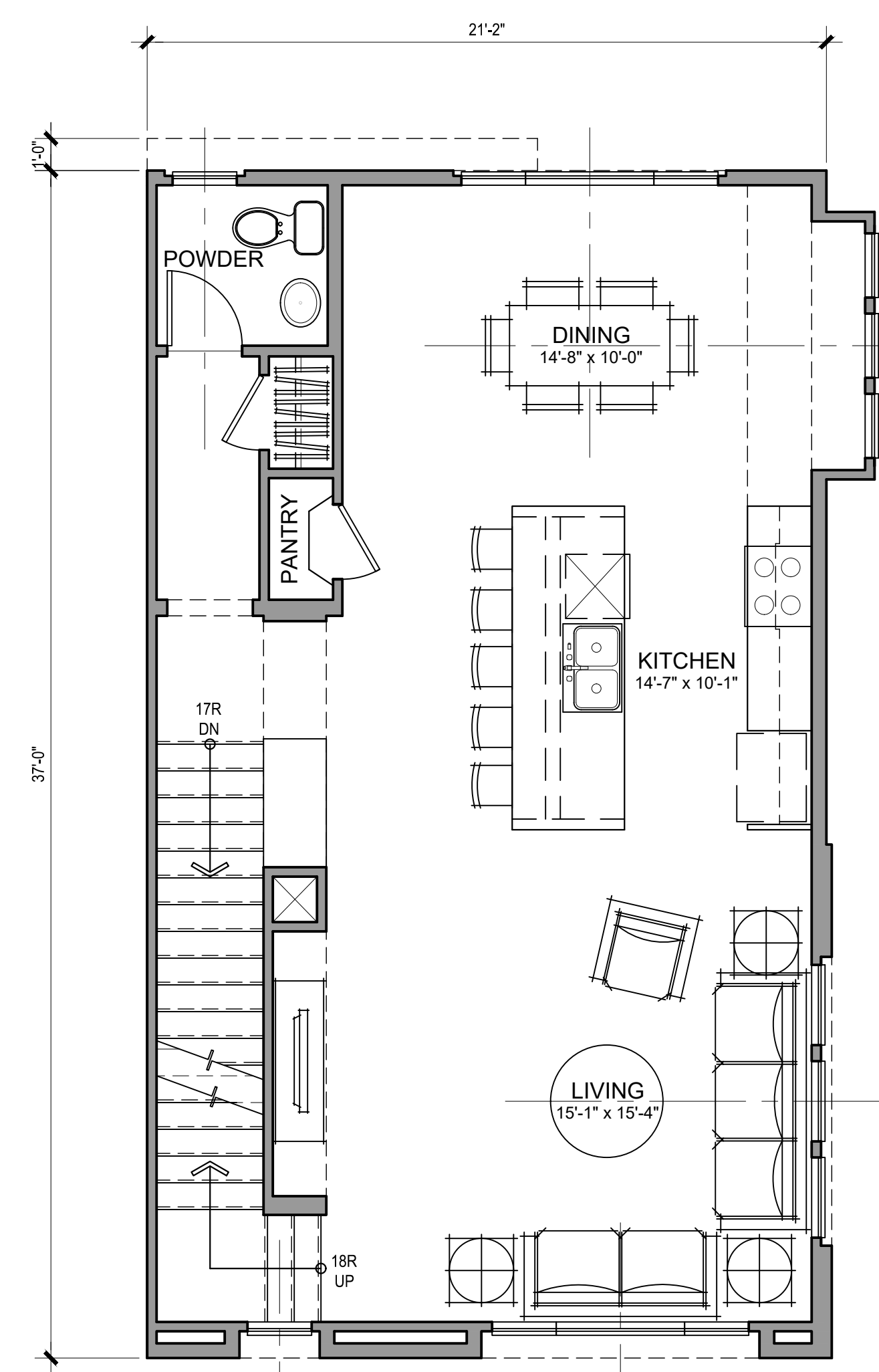


PLAN 4 UNIT PLANS

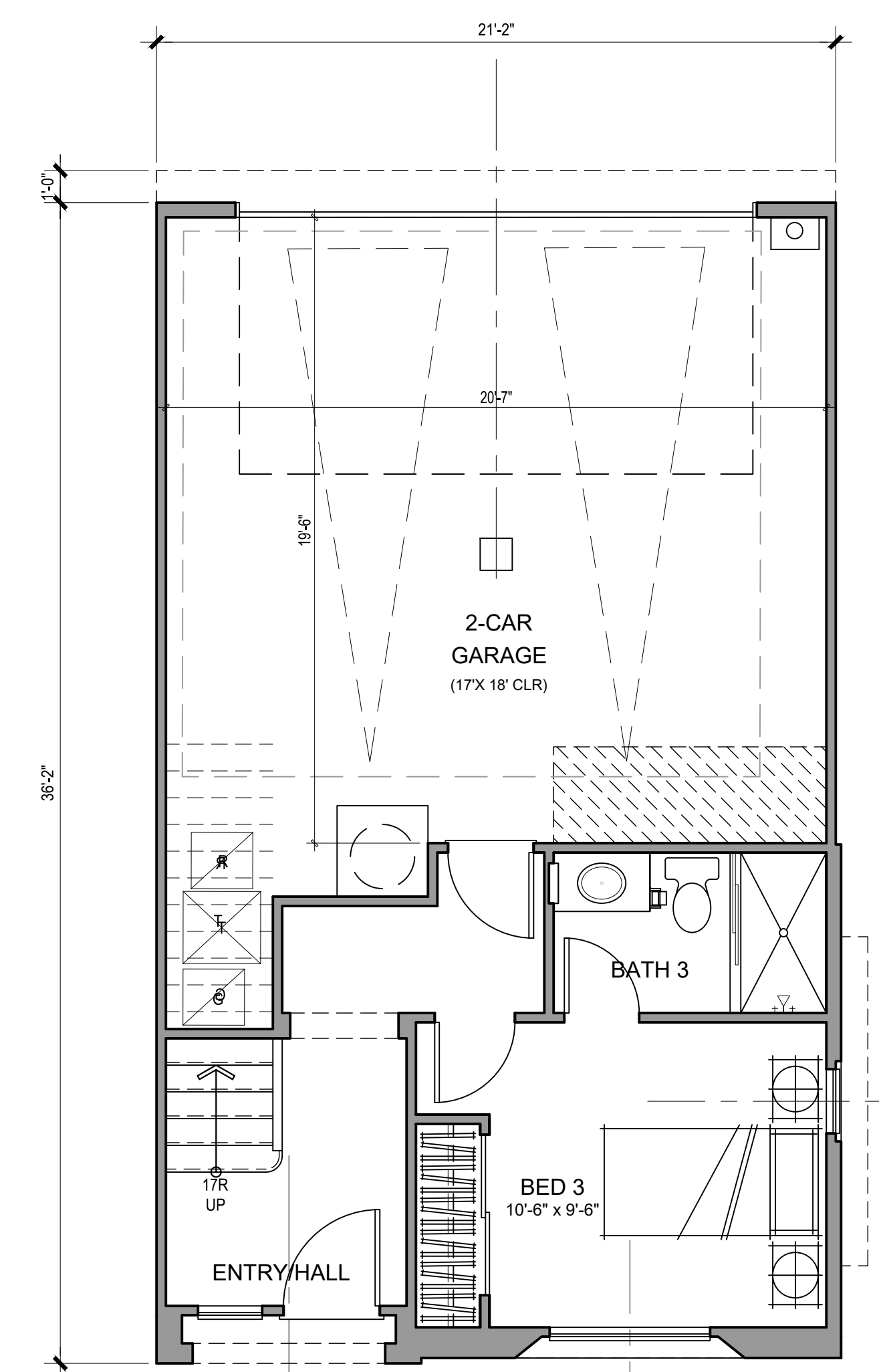
A6.3



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P5 - GROSS SF		P5 - NET SF	
1ST FLOOR	323 SQ. FT.	1ST FLOOR	302 SQ. FT.
2ND FLOOR	766 SQ. FT.	2ND FLOOR	723 SQ. FT.
3RD FLOOR	716 SQ. FT.	3RD FLOOR	682 SQ. FT.
TOTAL LIVING	1805 SQ. FT.	TOTAL LIVING	1707 SQ. FT.
GARAGE	452 SQ. FT.	GARAGE	429 SQ. FT.

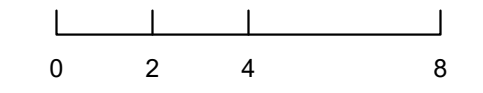


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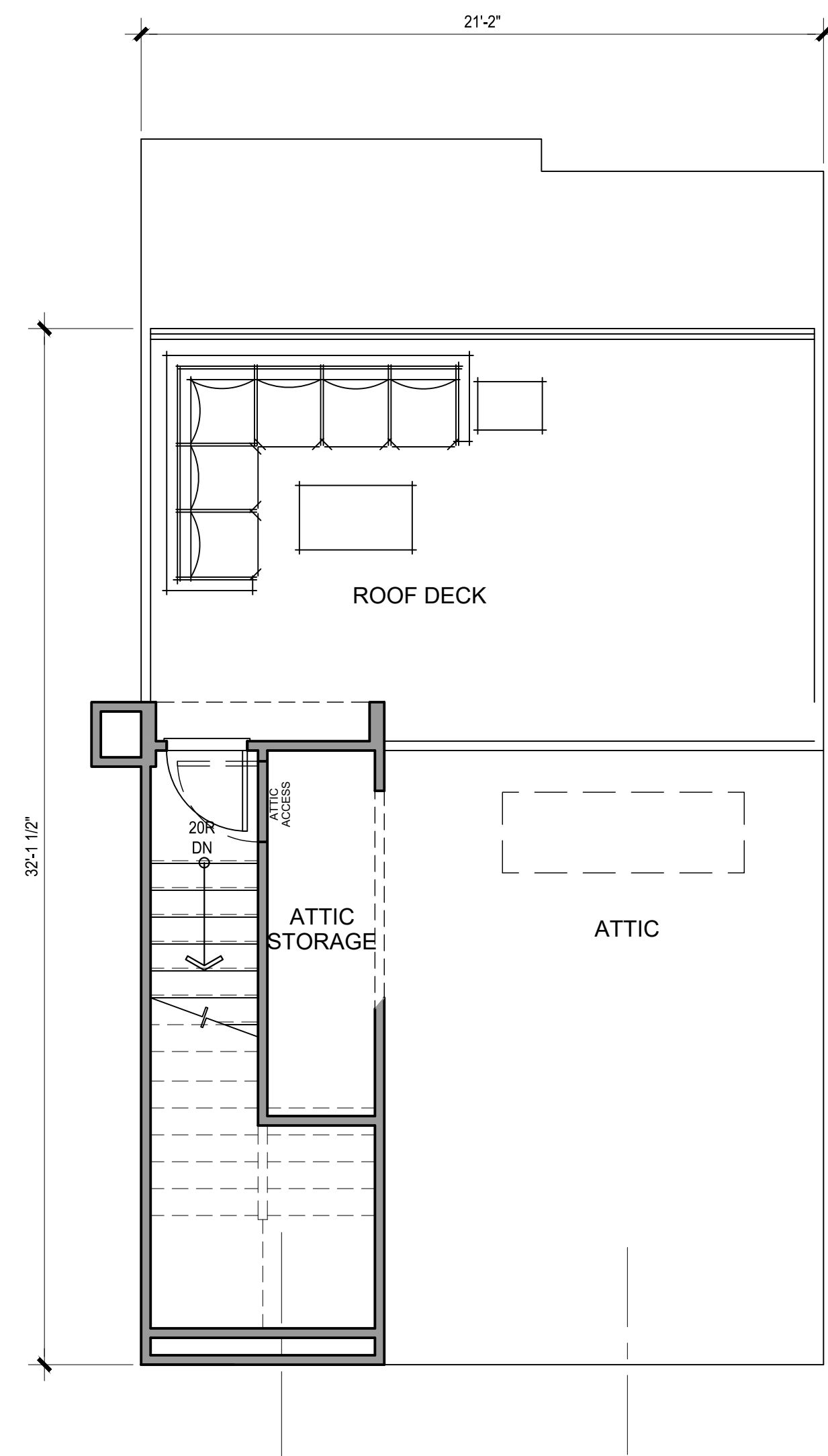


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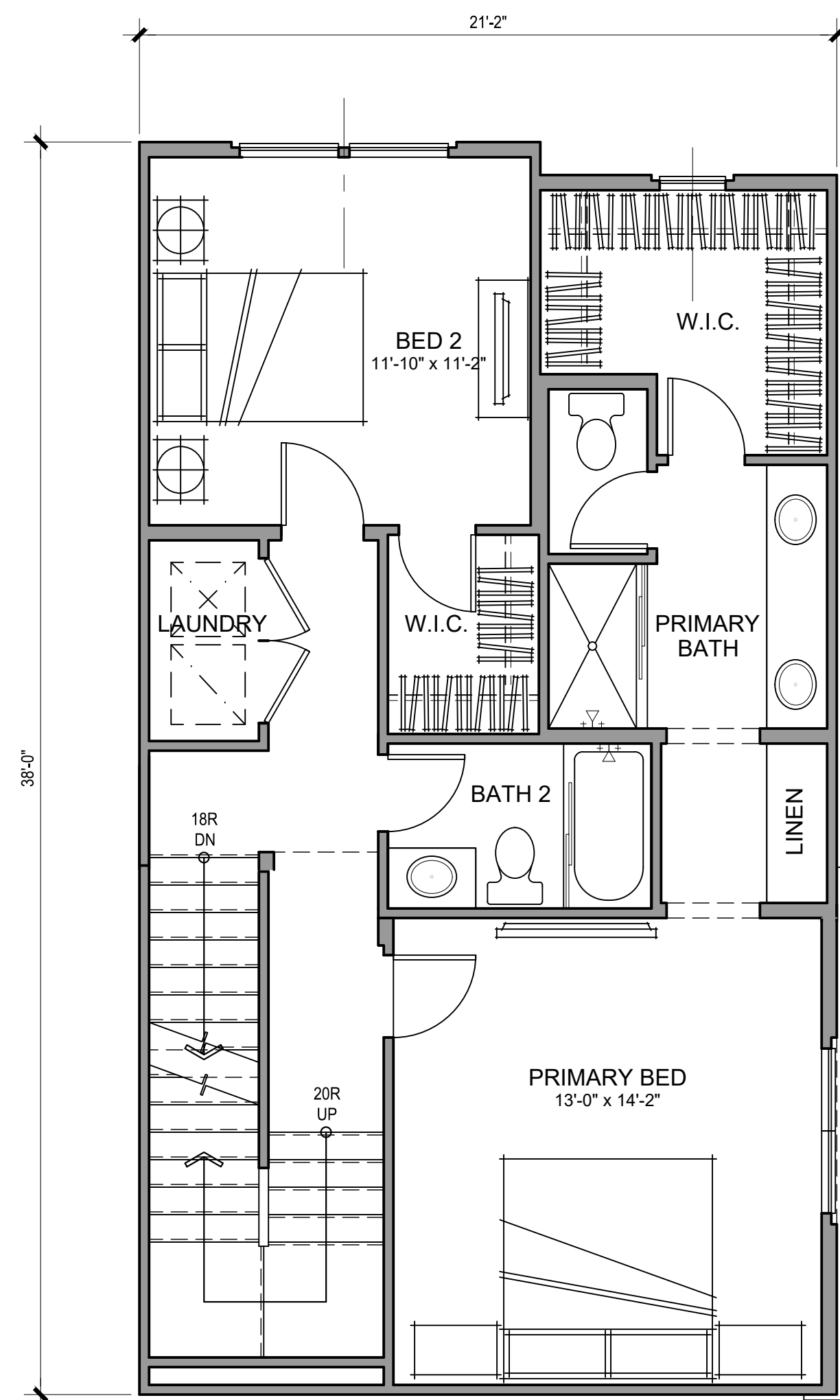


PLAN 5 UNIT PLANS

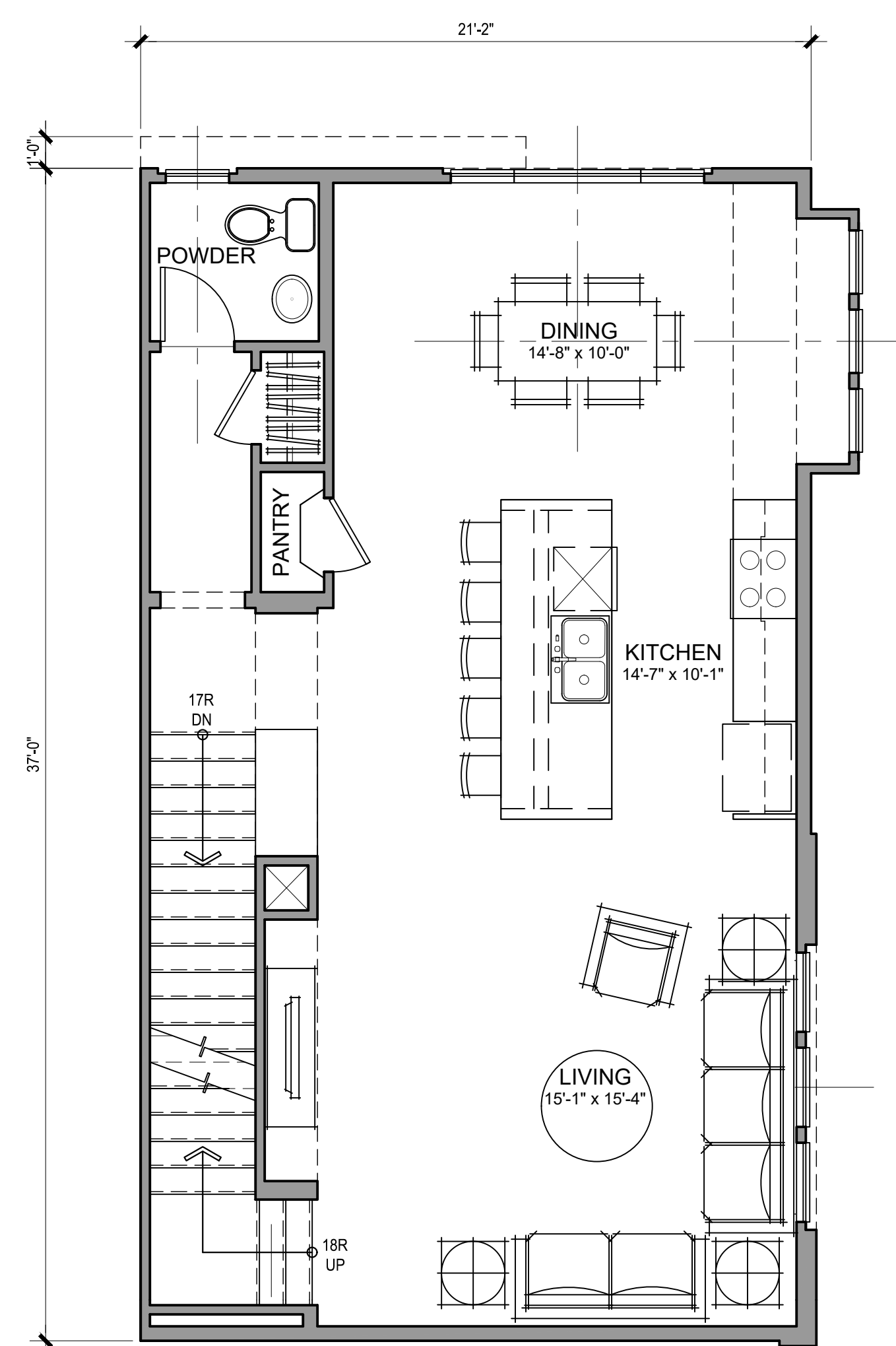
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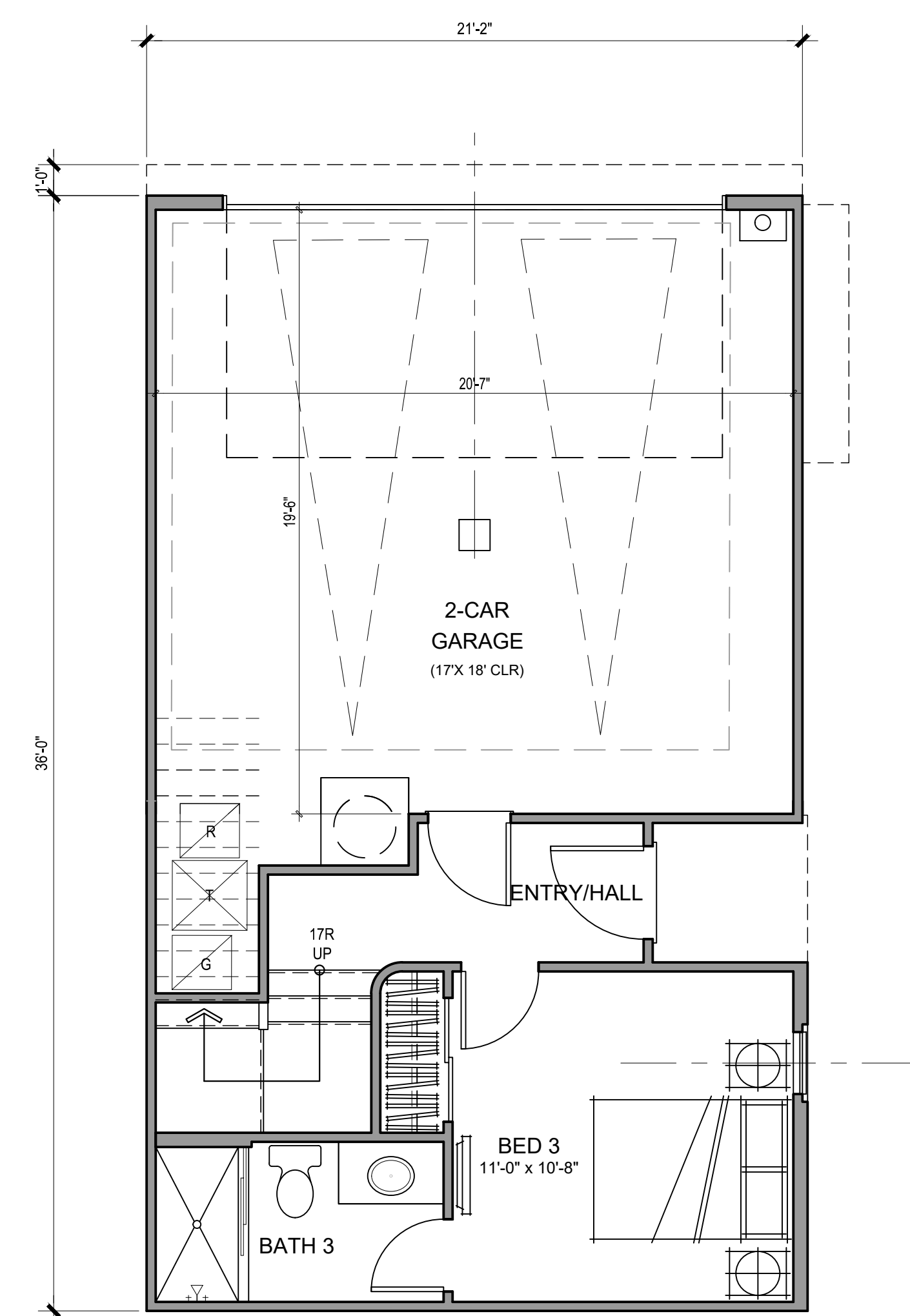
ROOF DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P5 ALT - GROSS SF		P5 ALT - NET SF	
1ST FLOOR	321 SQ. FT.	1ST FLOOR	297 SQ. FT.
2ND FLOOR	779 SQ. FT.	2ND FLOOR	733 SQ. FT.
3RD FLOOR	796 SQ. FT.	3RD FLOOR	756 SQ. FT.
STAIR TOWER	15 SQ. FT.	STAIR TOWER	12 SQ. FT.
TOTAL LIVING	1911 SQ. FT.	TOTAL LIVING	1798 SQ. FT.
GARAGE	451 SQ. FT.	GARAGE	429 SQ. FT.
ROOF DECK	274 SQ. FT.	ROOF DECK	256 SQ. FT.

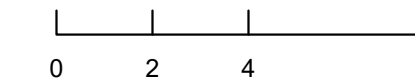


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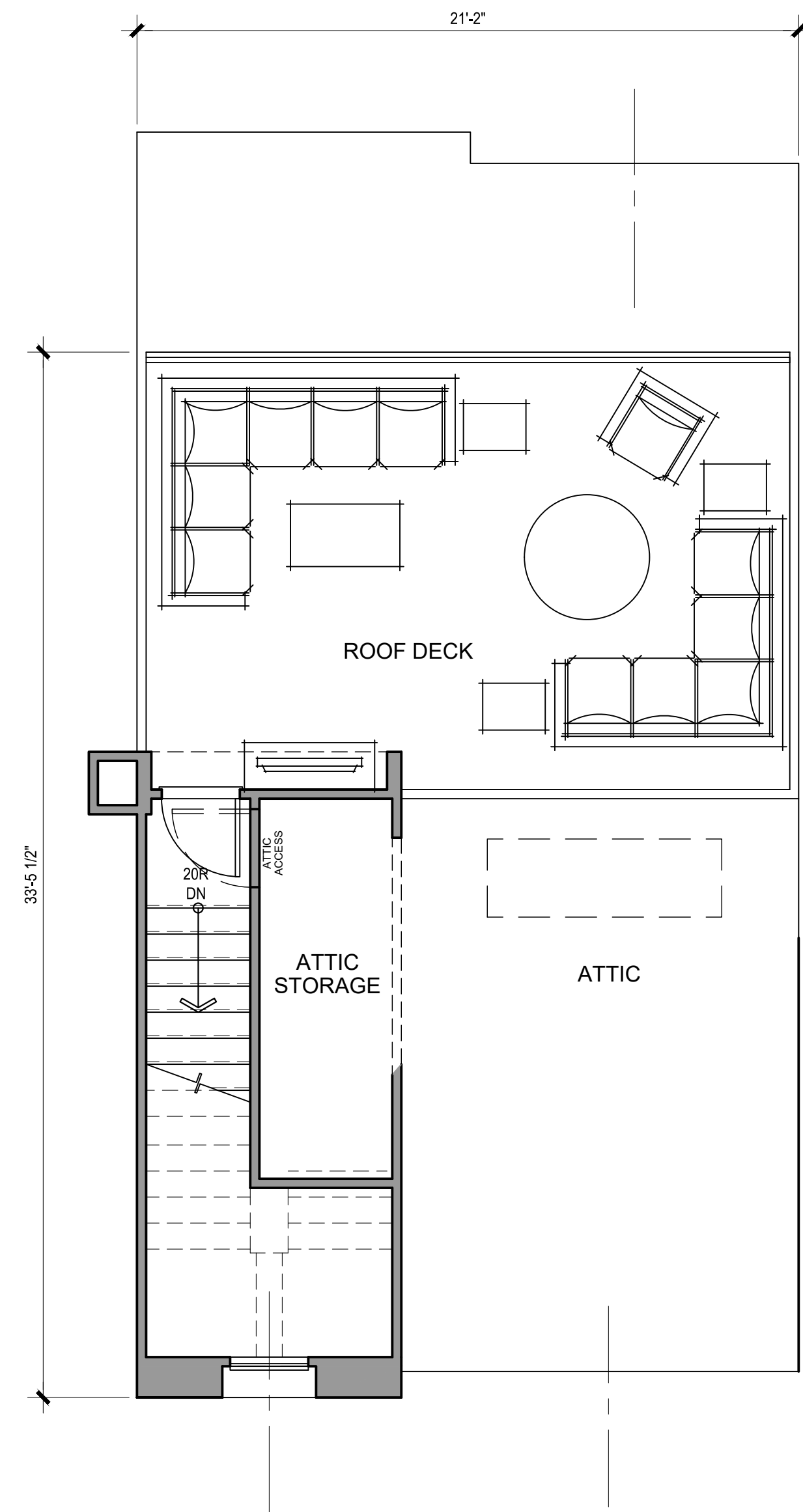


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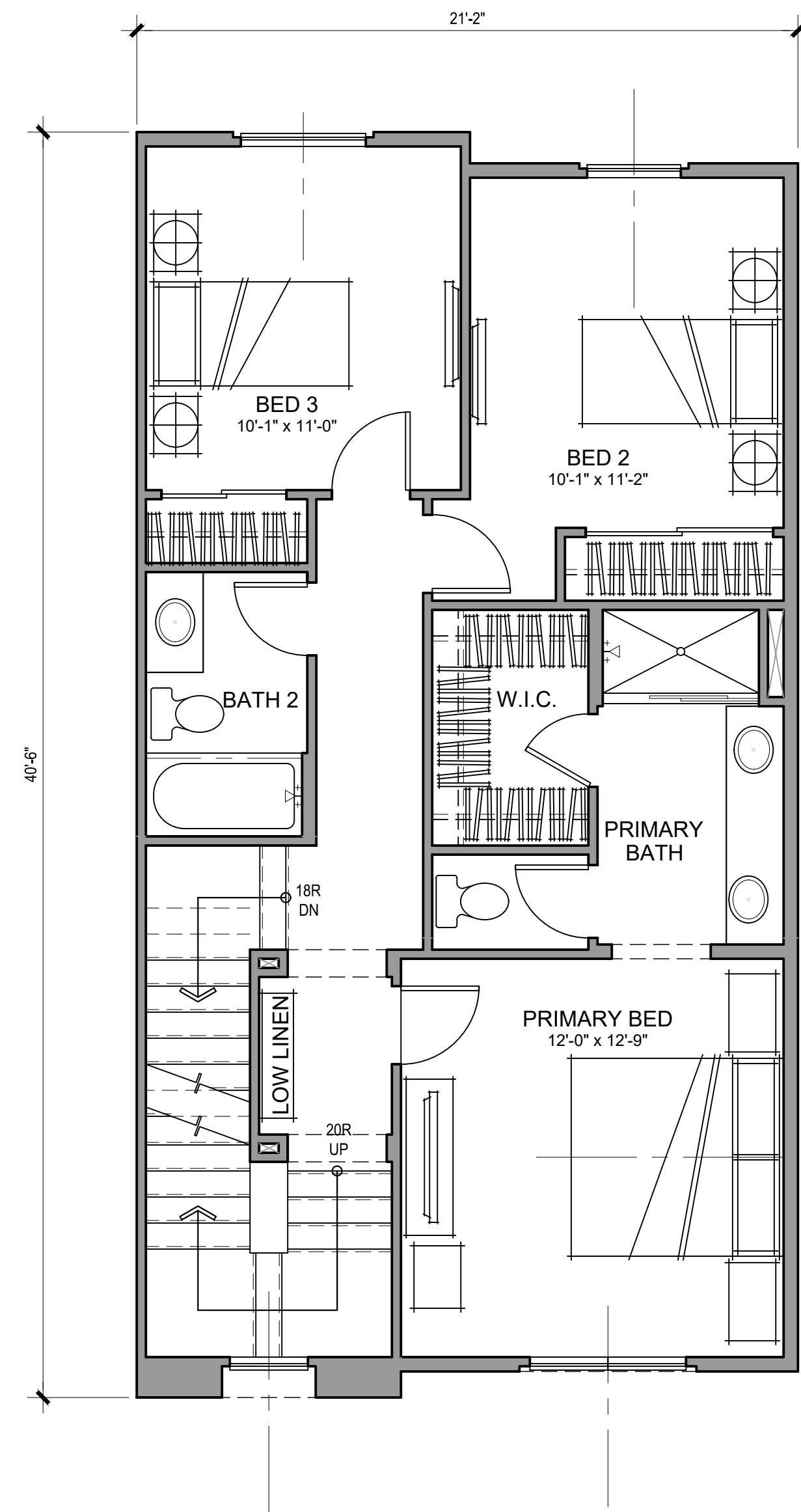


PLAN 5 ALT UNIT PLANS

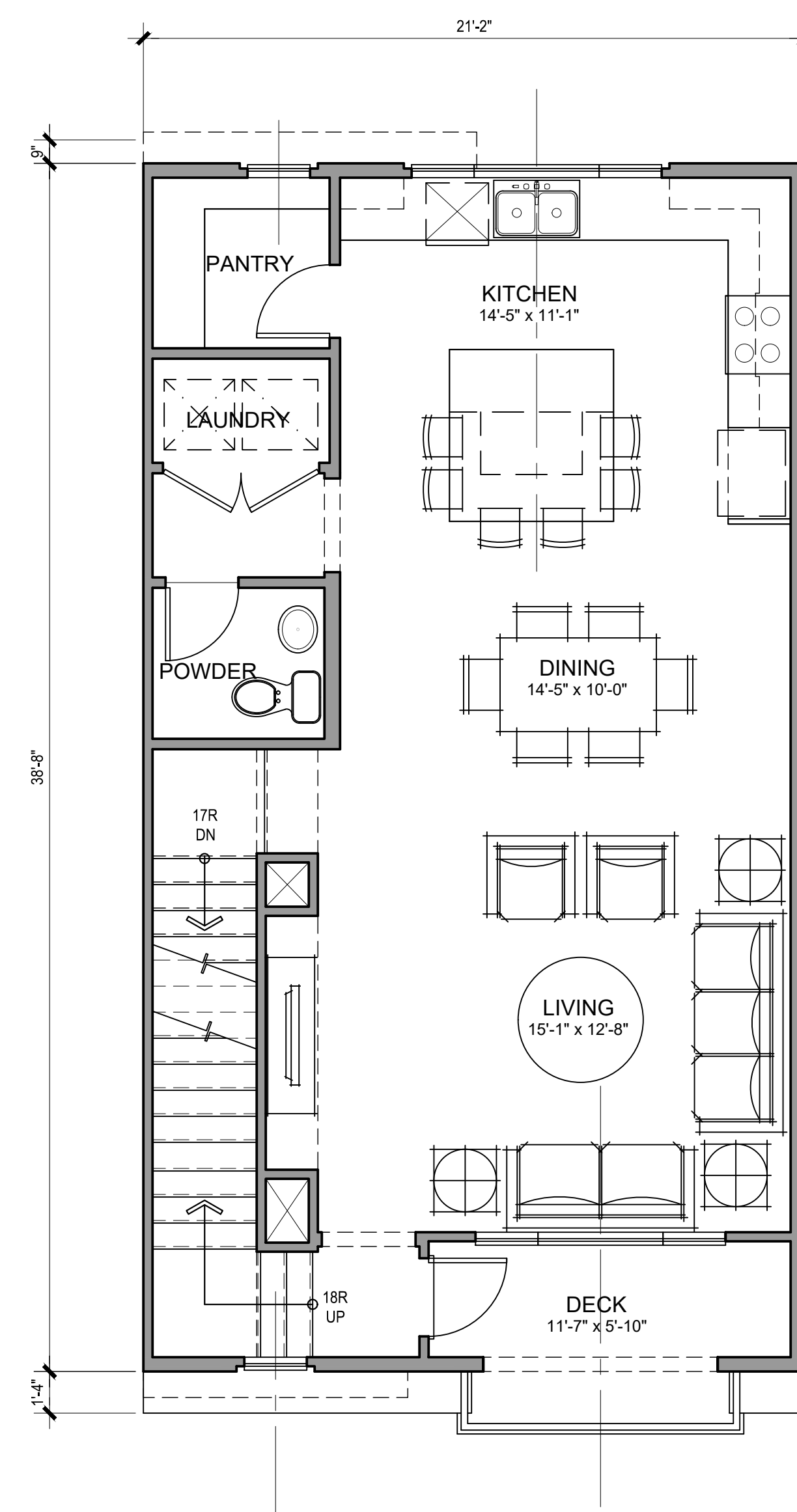
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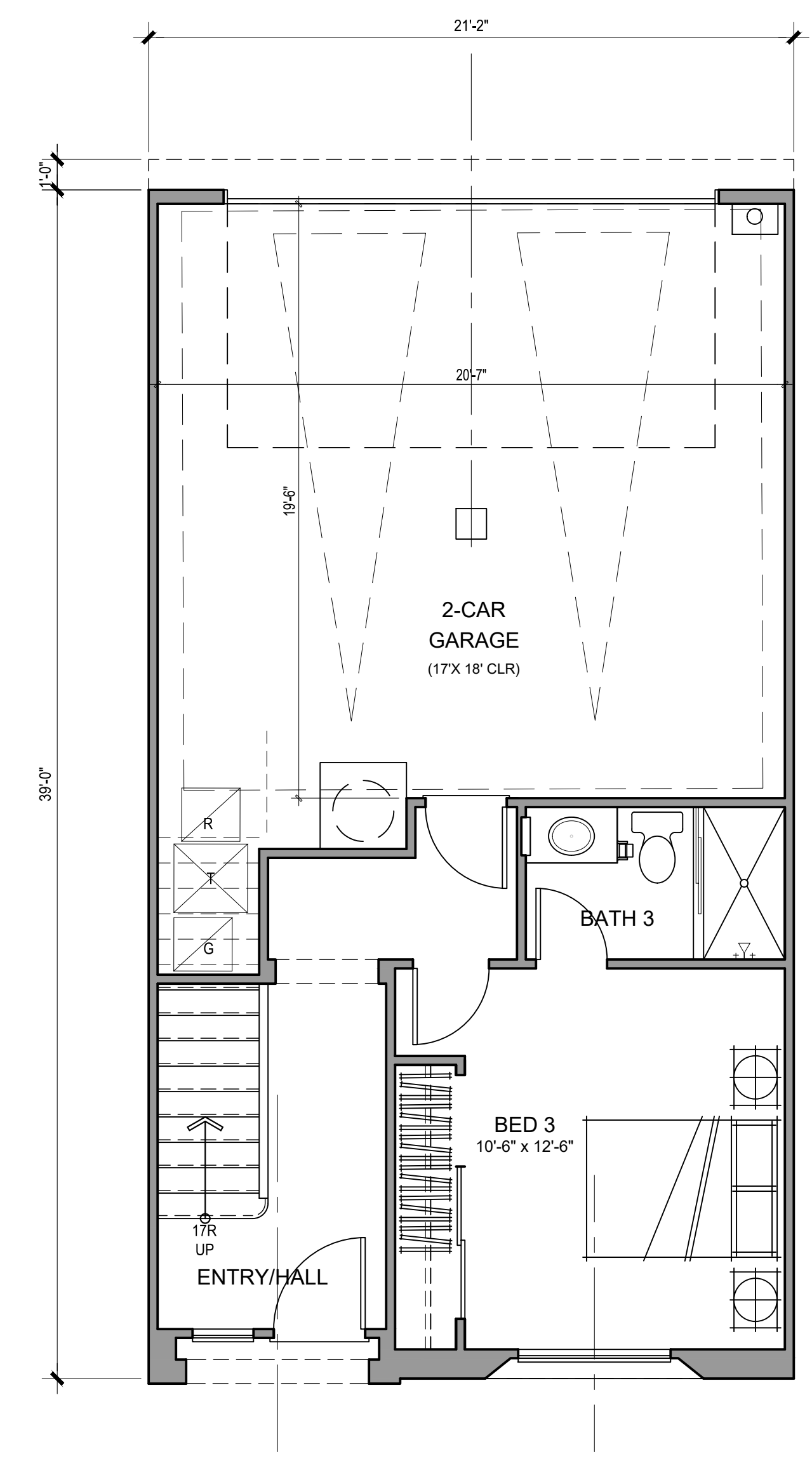
ROOF DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P7 - GROSS SF		P7 - NET SF	
1ST FLOOR	385 SQ. FT.	1ST FLOOR	362 SQ. FT.
2ND FLOOR	768 SQ. FT.	2ND FLOOR	723 SQ. FT.
3RD FLOOR	829 SQ. FT.	3RD FLOOR	781 SQ. FT.
STAIR HOUSING	15 SQ. FT.	STAIR HOUSING	12 SQ. FT.
TOTAL LIVING	1997 SQ. FT.	TOTAL LIVING	1878 SQ. FT.
GARAGE	452 SQ. FT.	GARAGE	429 SQ. FT.
ROOF DECK	300 SQ. FT.	ROOF DECK	282 SQ. FT.
DECK	68 SQ. FT.	DECK	61 SQ. FT.

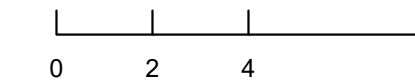


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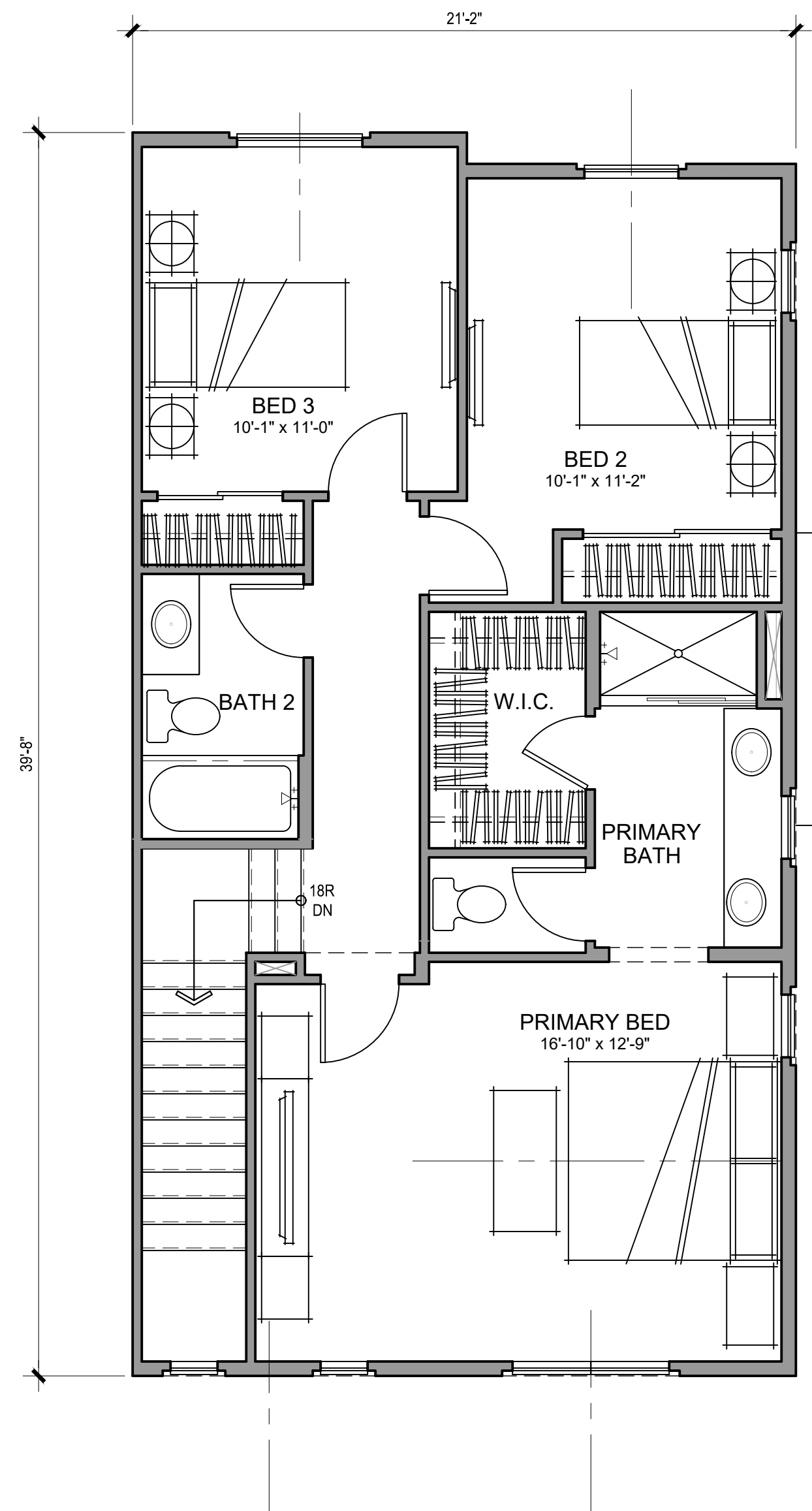


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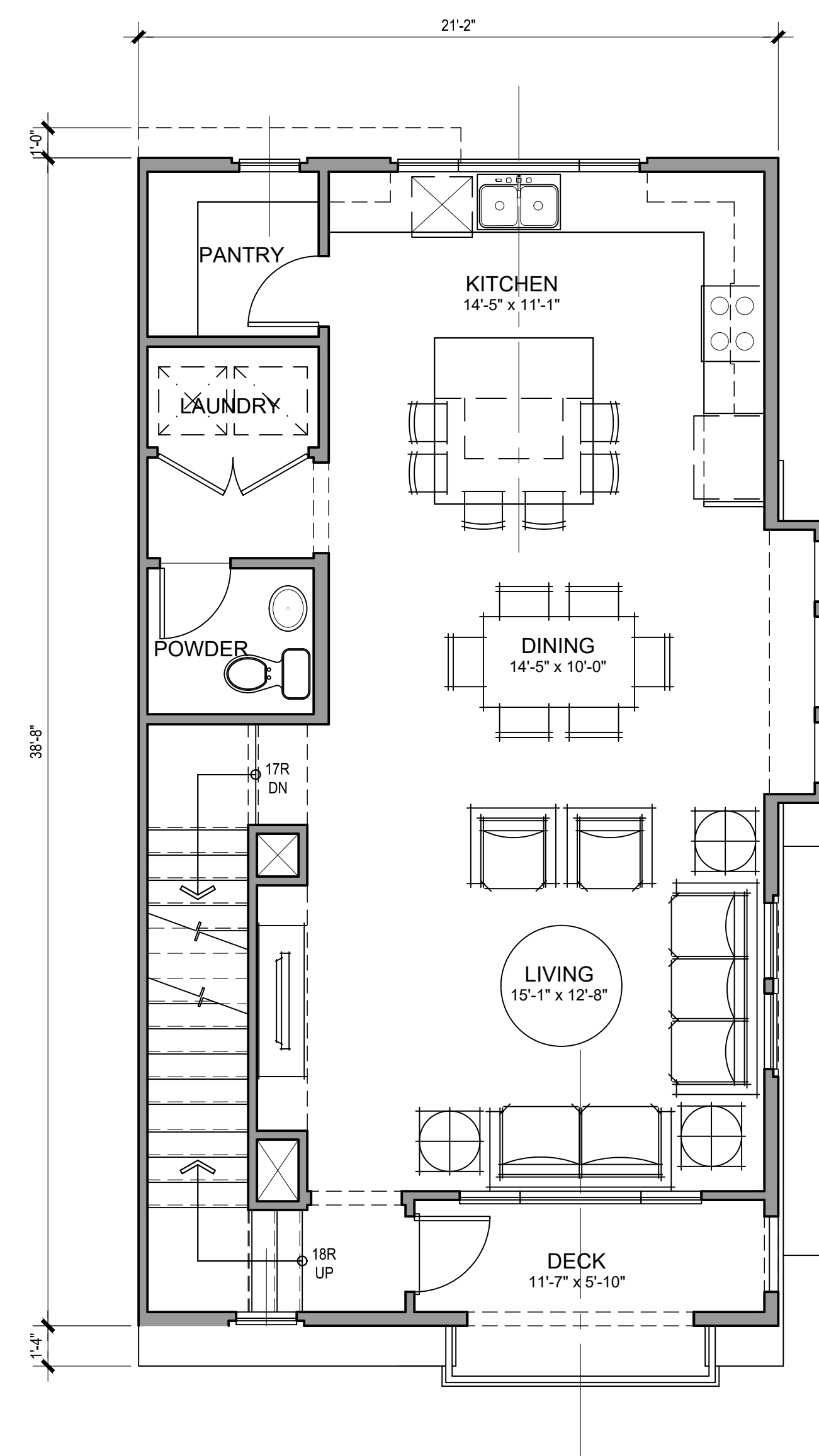


PLAN 7 UNIT PLANS

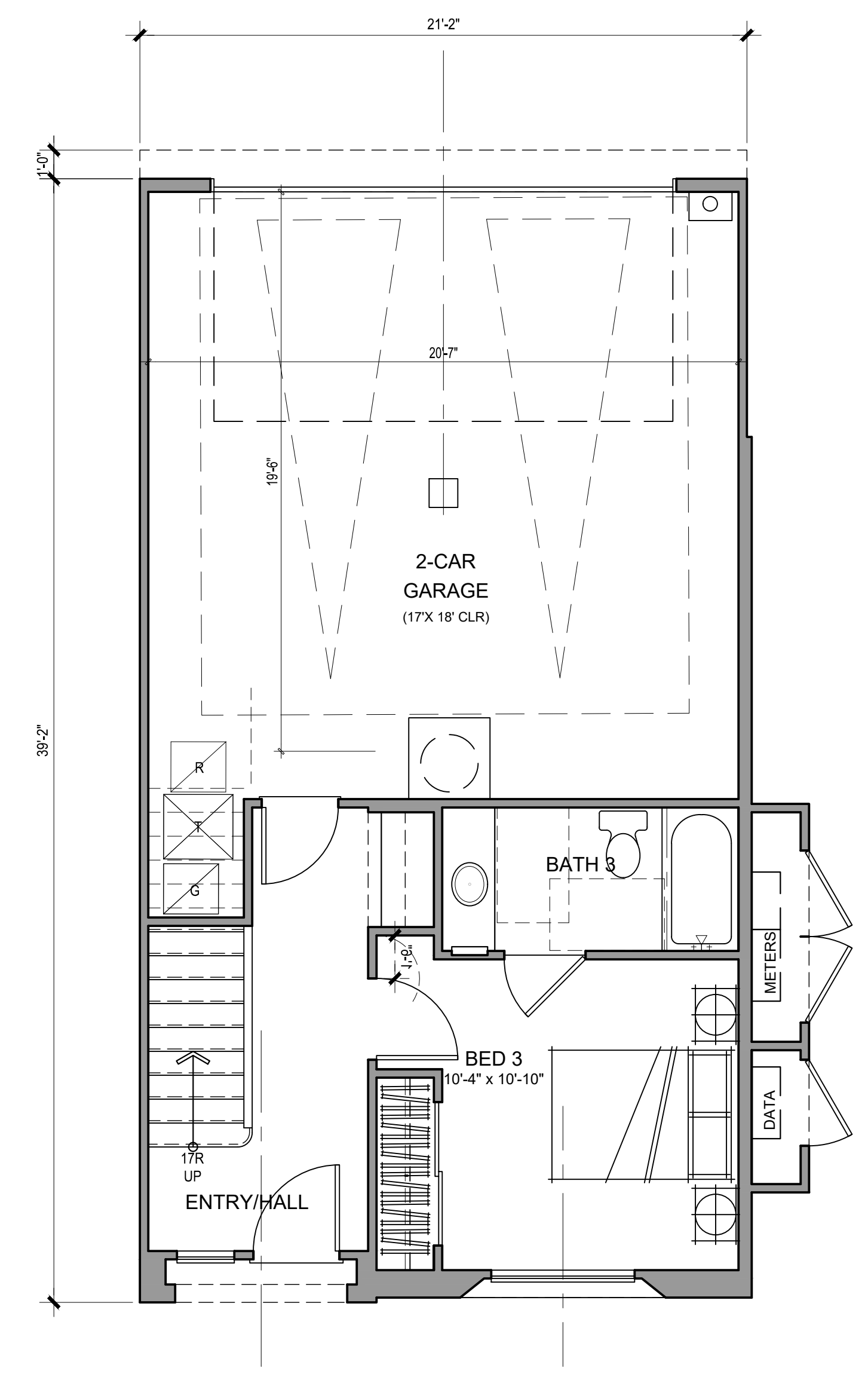
A6.6



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P7X - GROSS SF		P7X - NET SF	
1ST FLOOR	364 SQ. FT.	1ST FLOOR	342 SQ. FT.
2ND FLOOR	768 SQ. FT.	2ND FLOOR	723 SQ. FT.
3RD FLOOR	829 SQ. FT.	3RD FLOOR	781 SQ. FT.
TOTAL LIVING	1961 SQ. FT.	TOTAL LIVING	1846 SQ. FT.
GARAGE	473 SQ. FT.	GARAGE	449 SQ. FT.
DECK	68 SQ. FT.	DECK	61 SQ. FT.

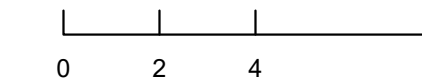


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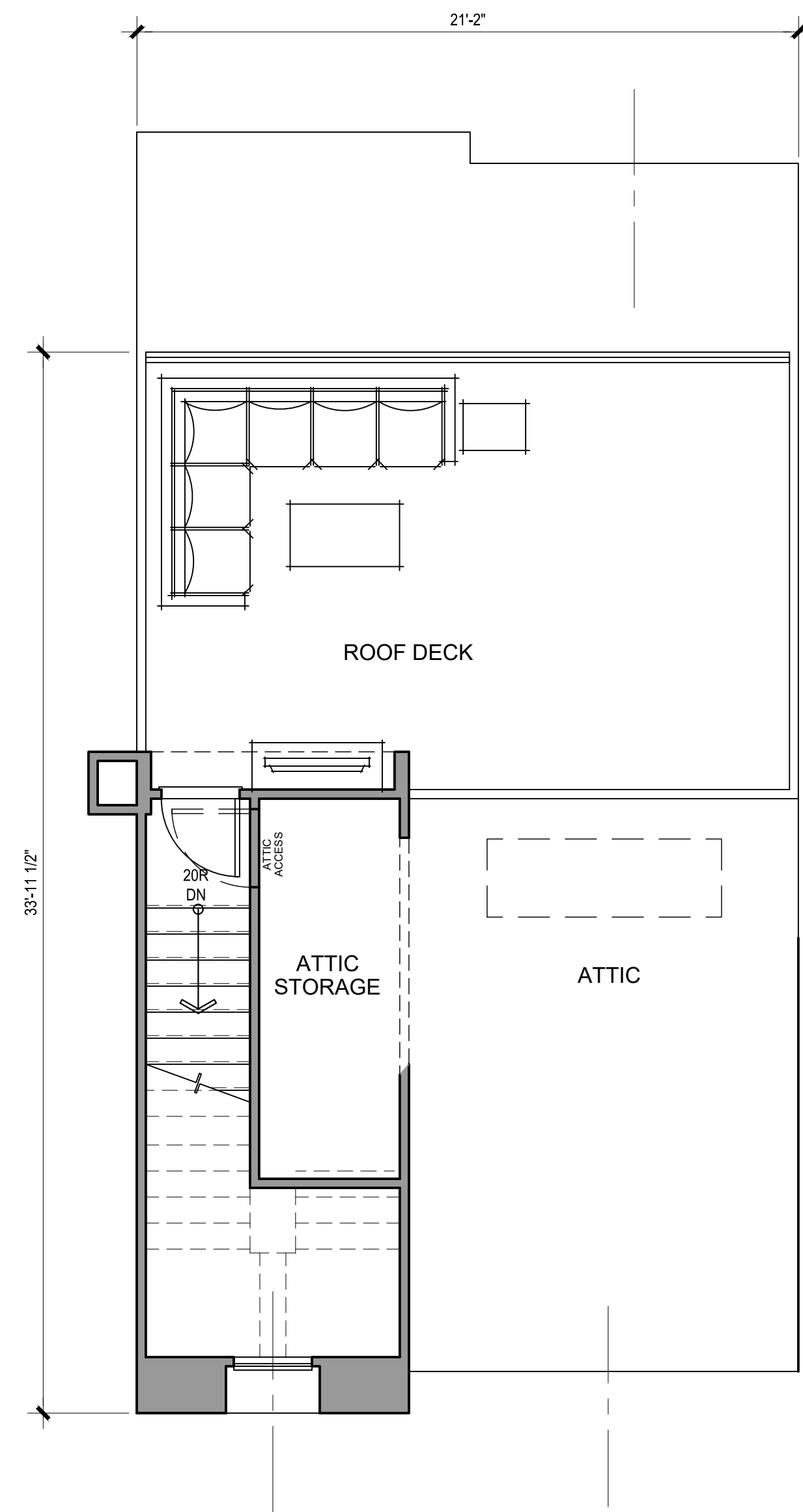


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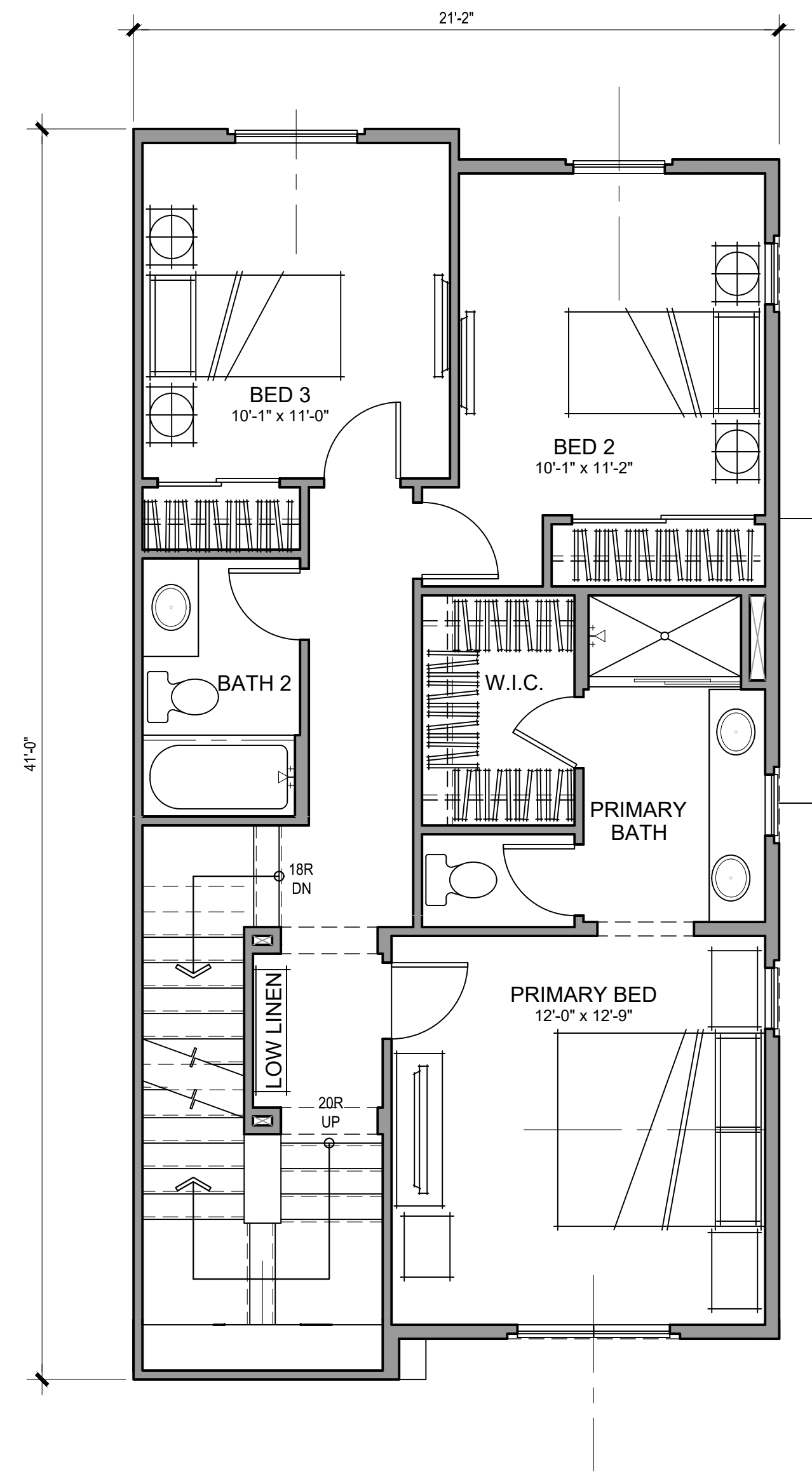


PLAN 7X UNIT PLANS

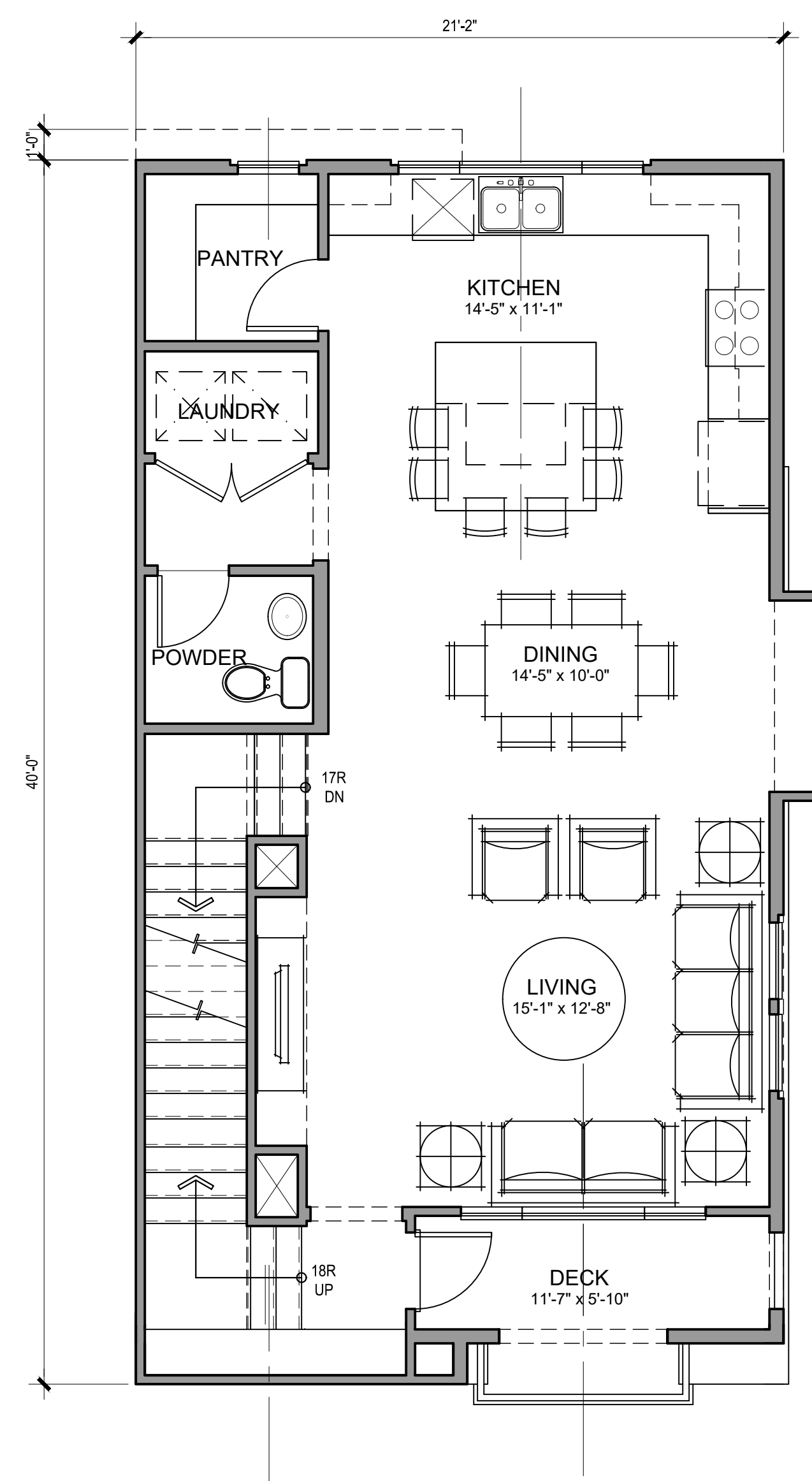
A6.7



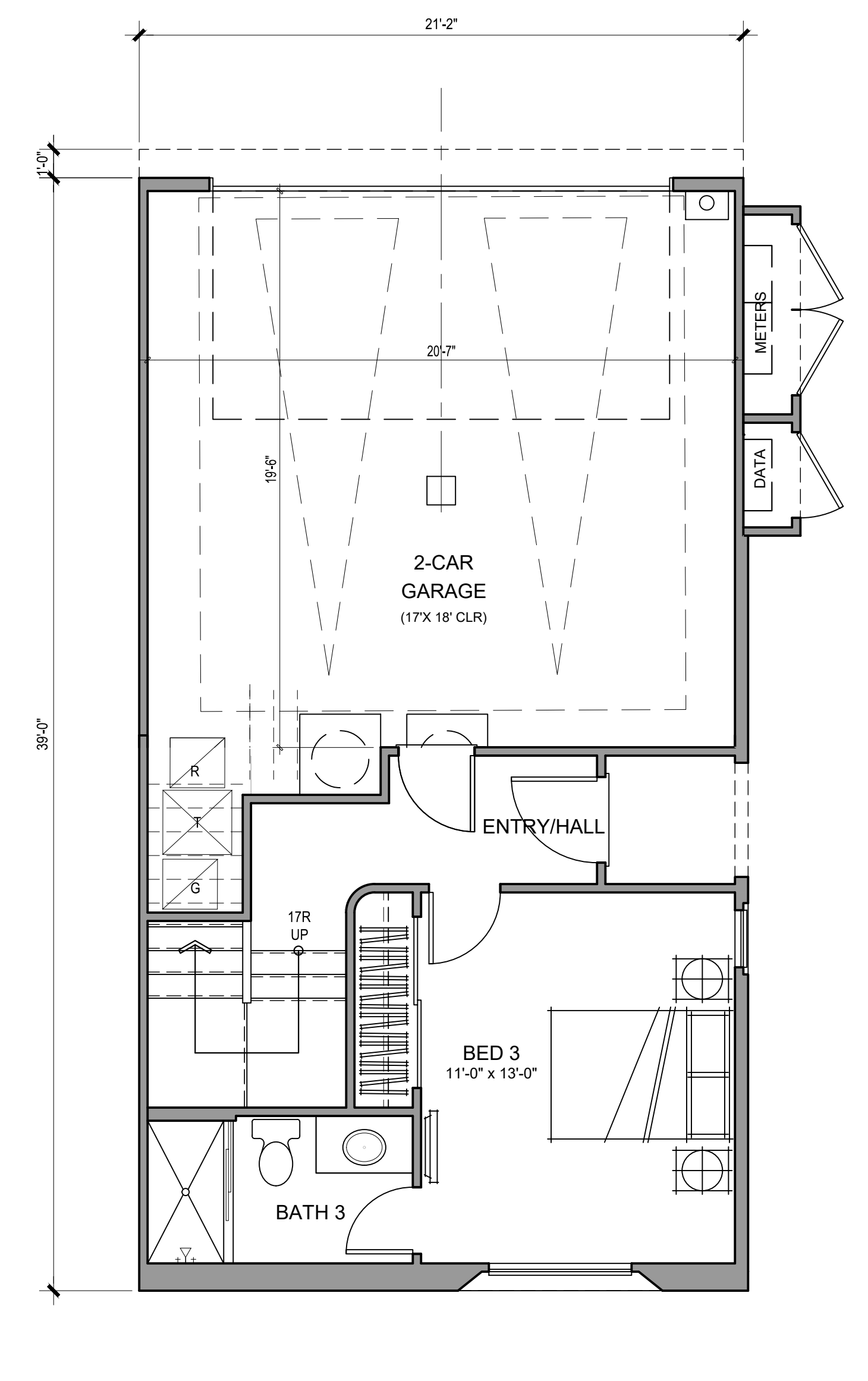
ROOF DECK



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P7X ALT - GROSS SF		P7X ALT - NET SF	
1ST FLOOR	397 SQ. FT.	1ST FLOOR	374 SQ. FT.
2ND FLOOR	780 SQ. FT.	2ND FLOOR	736 SQ. FT.
3RD FLOOR	838 SQ. FT.	3RD FLOOR	793 SQ. FT.
STAIR HOUSING	15 SQ. FT.	STAIR HOUSING	12 SQ. FT.
TOTAL LIVING	2030 SQ. FT.	TOTAL LIVING	1915 SQ. FT.
GARAGE	451 SQ. FT.	GARAGE	429 SQ. FT.
ROOF DECK	300 SQ. FT.	ROOF DECK	281 SQ. FT.
DECK	64 SQ. FT.	DECK	57 SQ. FT.

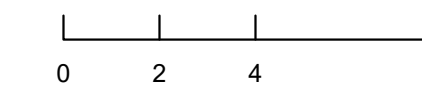


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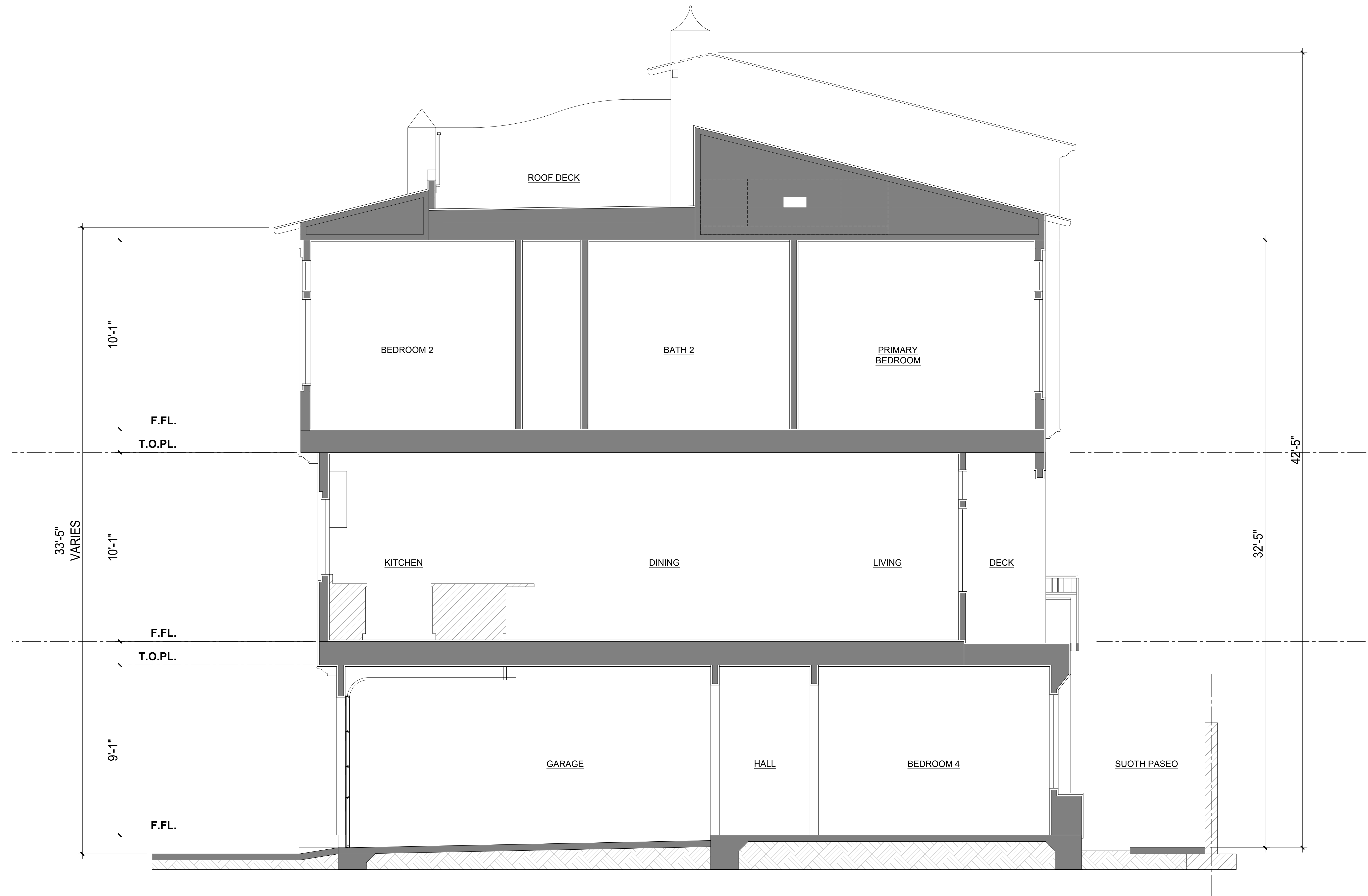
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PLAN 7X ALT UNIT PLANS

A6.8



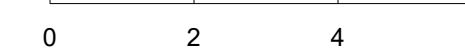


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 949.851.2133  
 ktgy.com

Butterfly Gardens LLC  
 1812 W. Burbank Blvd, Su. 7350  
 Burbank, CA 91506

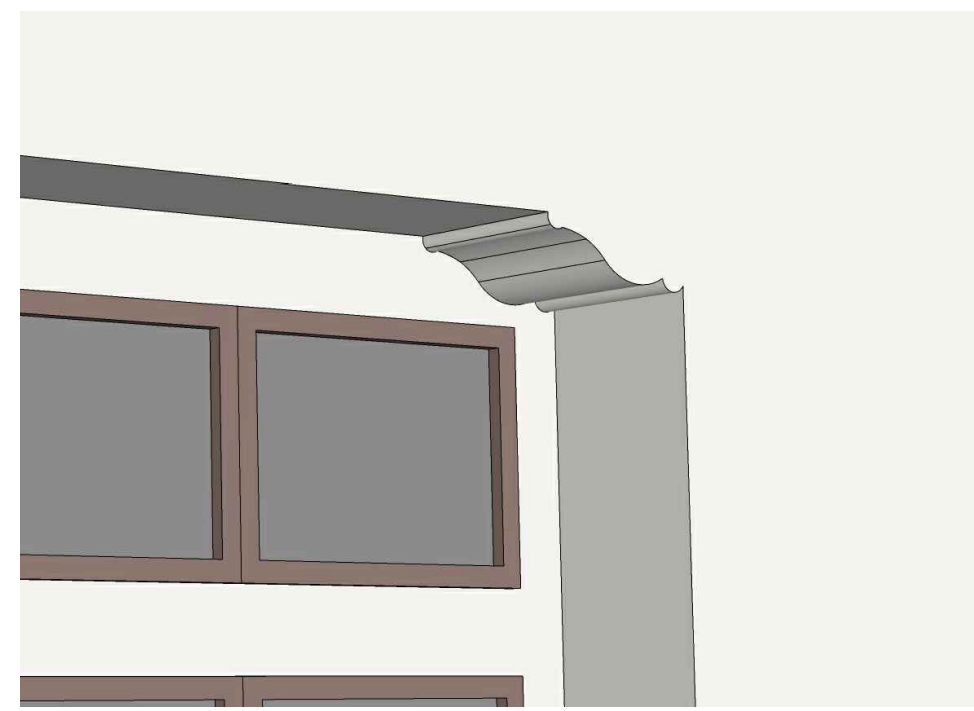


Plot Date: 3/29/2023  
 NOI Submittal - SB35: 10/25/2022



CONCEPTUAL SECTION (CT-500)

A7.0



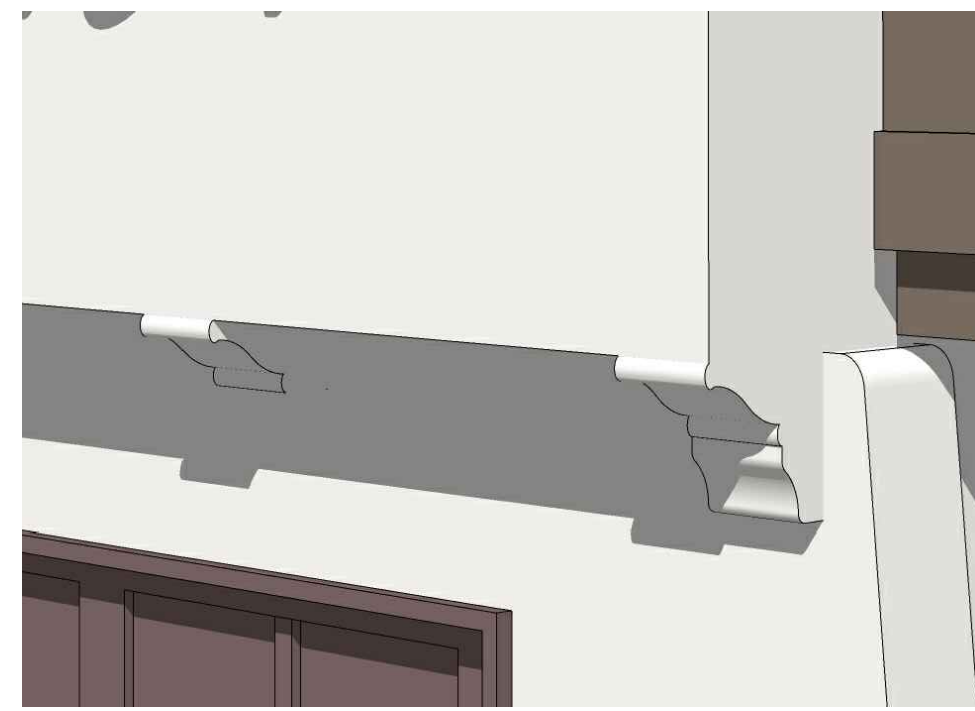
1  
CORBEL AT WINDOW RECESS



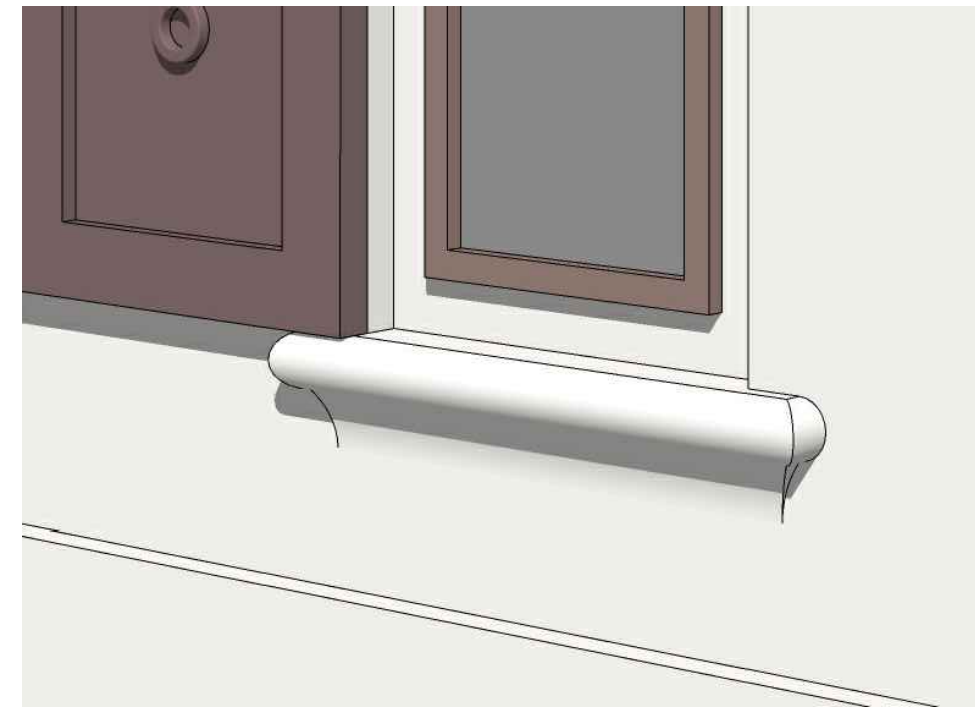
2  
TYPICAL EAVE CORNICE



3  
TYPICAL EXPOSED WOOD TRUSS TAILS



4  
DECORATIVE STUCCO CORBELS



5  
DECORATIVE SCALLOPED STUCCO SILL TRIM



6  
DECORATIVE METAL TUBE AND WOOD PLANK POT HOLDER



7  
ACCENT BATTERED CERAMIC TILE SURROUND w/ TILE CAPPED BARRANCA



8  
ENTRY SURROUND



9  
BOX BAY WINDOW w/ FIBER CEMENT BOARD PANEL, FAUX WOOD CORBELS



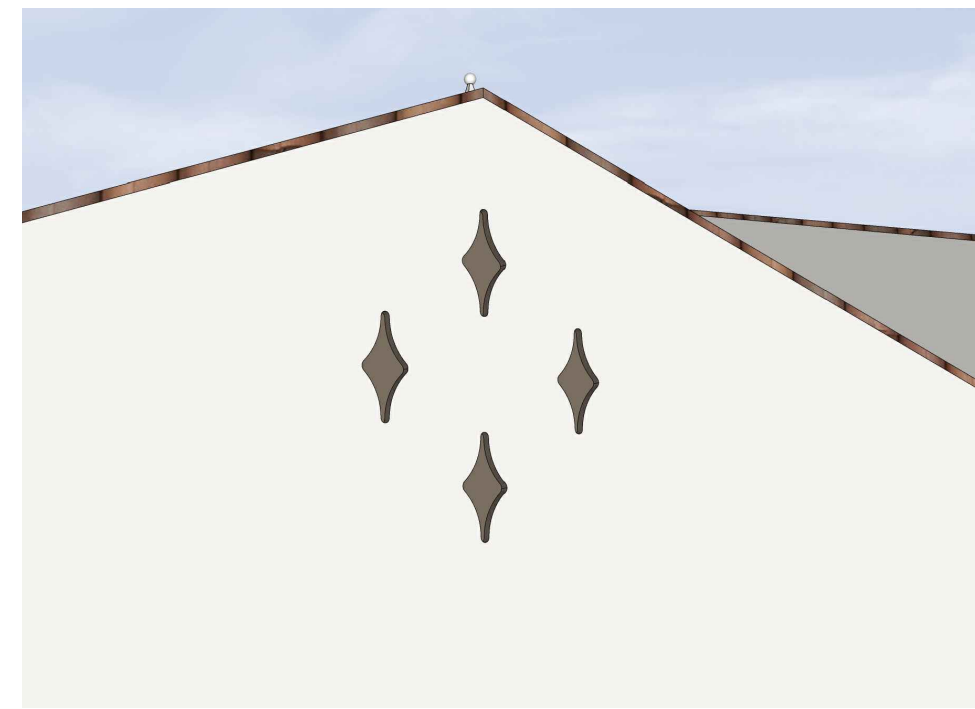
10  
DECORATIVE CANVAS / METAL SPEAR AWNING



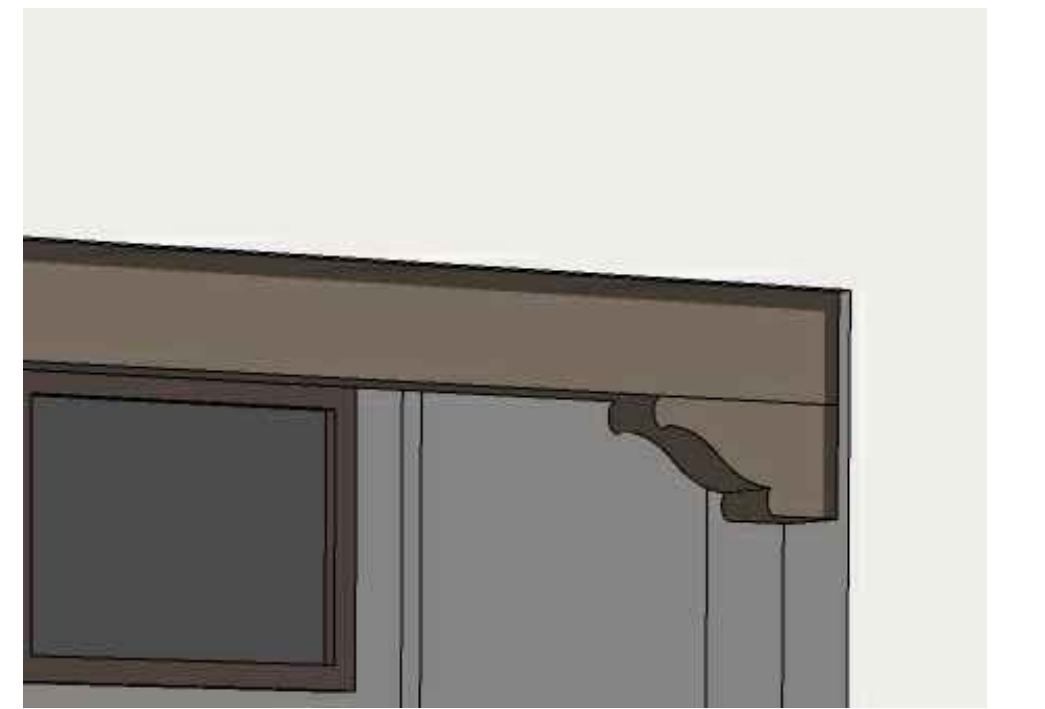
11  
DECORATIVE METAL BALCONY



12  
DEEP RECESSED WINDOW w/ 1" RECESSED STUCCO SIMULATED WD BEAM



13  
GABLE END FAUX DECORATIVE VENT (RECESSES)



14  
WOOD BEAM / FAUX CORBEL

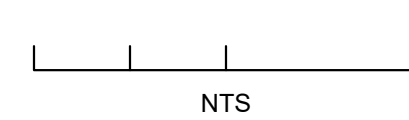


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1812 W. Burbank Blvd, Su. 7350  
Burbank, CA 91506



Plot Date: 3/29/2023  
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ENLARGED DETAILS BOARD

A8.0

## COLOR SCHEME 1



**STUCCO BASE**  
SNOWFALL (SW6000)

**STUCCO ACCENT**  
GRAYISH (SW6001)



**DOOR 1**  
RELENTLESS OLIVE (SW 6425)

**DOOR 2**  
CORDOVAN (SW 6027)

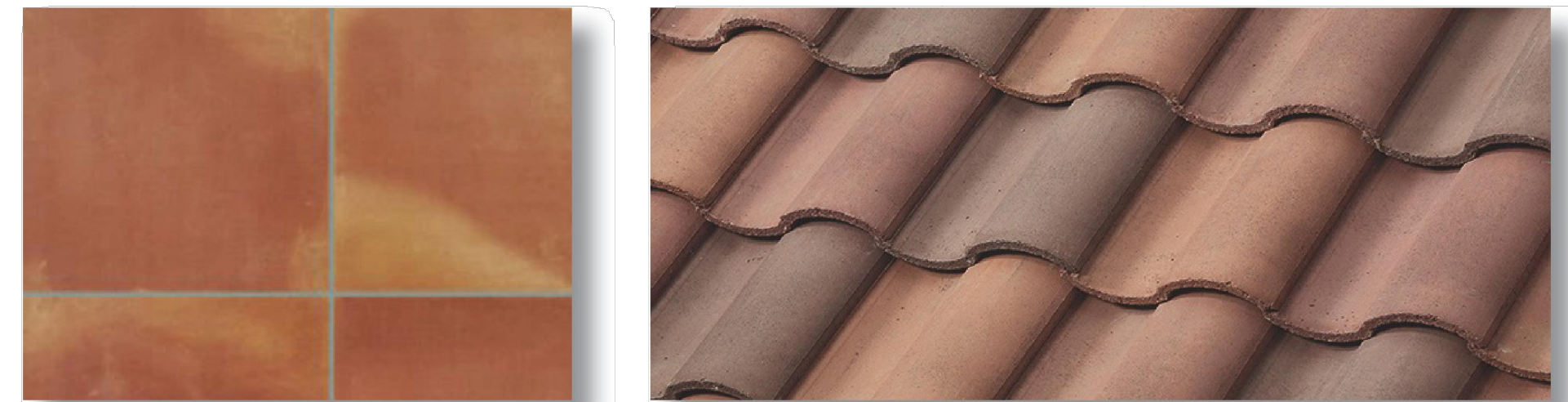
**ENTRY SURROUND**  
FIRST STAR (SW 7646)



**IRON**  
BLACK FOX (SW7020)

**SHUTTER**  
DEEPEST MAUVE (SW0005)

**WINDOW**  
MILGARD - TWEED



**PORCELAIN SALTILLO**  
VILLA & MISSION STONE IMPORTS, LLC  
PORCELAIN LAGUAN SALTILLO - DARK

**ROOF**  
BORAL - COPPER MOUNTAIN BLEND



**CERAMIC ACCENT TILES**  
TIERRA Y FUEGO - SANTA BARBARA SERIES  
CARNAVAL FLOWER 1, CARNAVAL FLOWER 2



**CANVAS**  
SUNBRELLA - TRUE BROWN

## COLOR SCHEME 2



**STUCCO BASE**  
POPULAR GRAY (SW6071)

**STUCCO ACCENT**  
PERFECT GRIEGE (SW6073)



**DOOR 1**  
RED BARN (SW 7591)

**DOOR 2**  
RELENTLESS OLIVE (SW 6425)

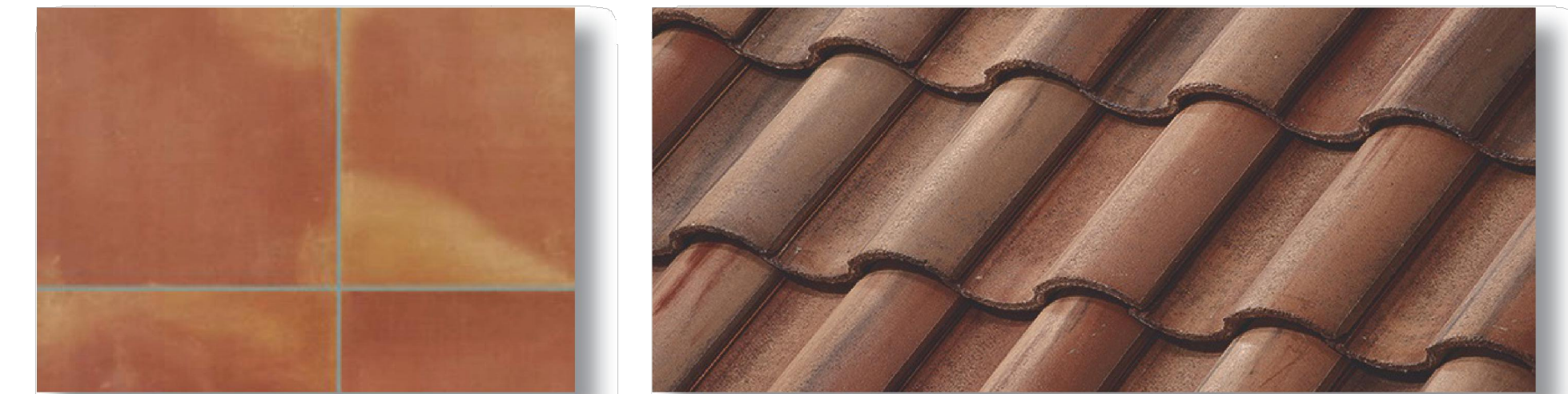
**ENTRY SURROUND**  
FIRST STAR SW 7646



**IRON**  
URBANE BRONZE (SW7048)

**SHUTTER**  
ADAPTIVE SHADE (SW7053)

**WINDOW**  
MILGARD - TWEED

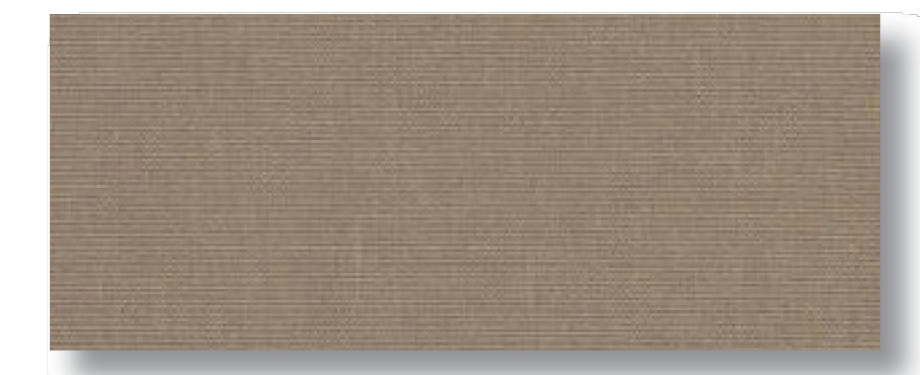


**PORCELAIN SALTILLO**  
VILLA & MISSION STONE IMPORTS, LLC  
PORCELAIN LAGUAN SALTILLO - DARK

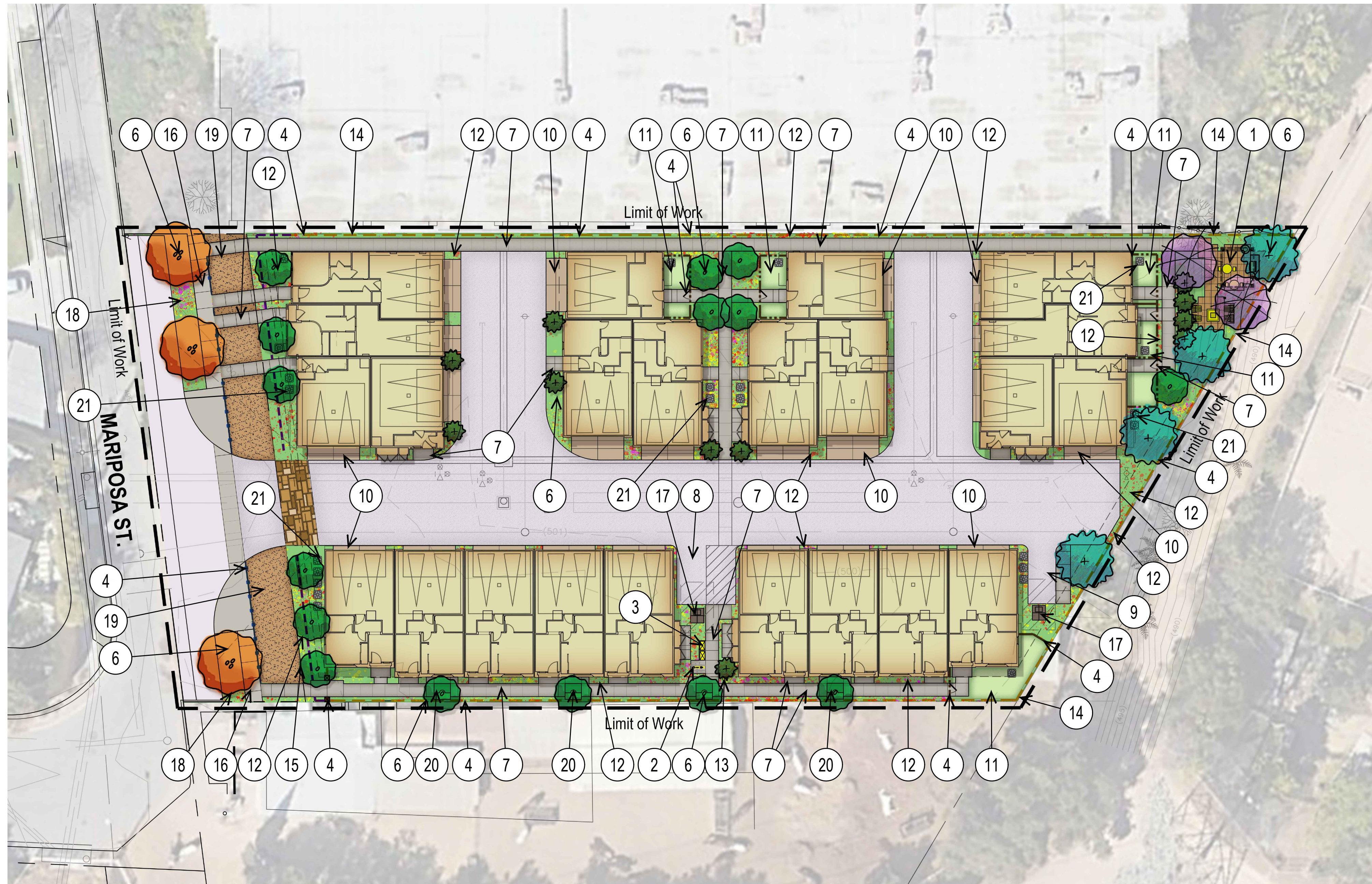
**ROOF**  
BORAL - CASA GRANDE BLEND



**CERAMIC ACCENT TILES**  
TIERRA Y FUEGO - SANTA BARBARA SERIES  
JAZMIN 1, JAZMIN 2

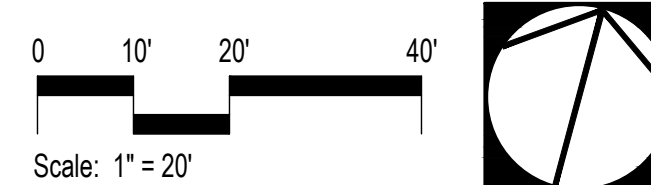
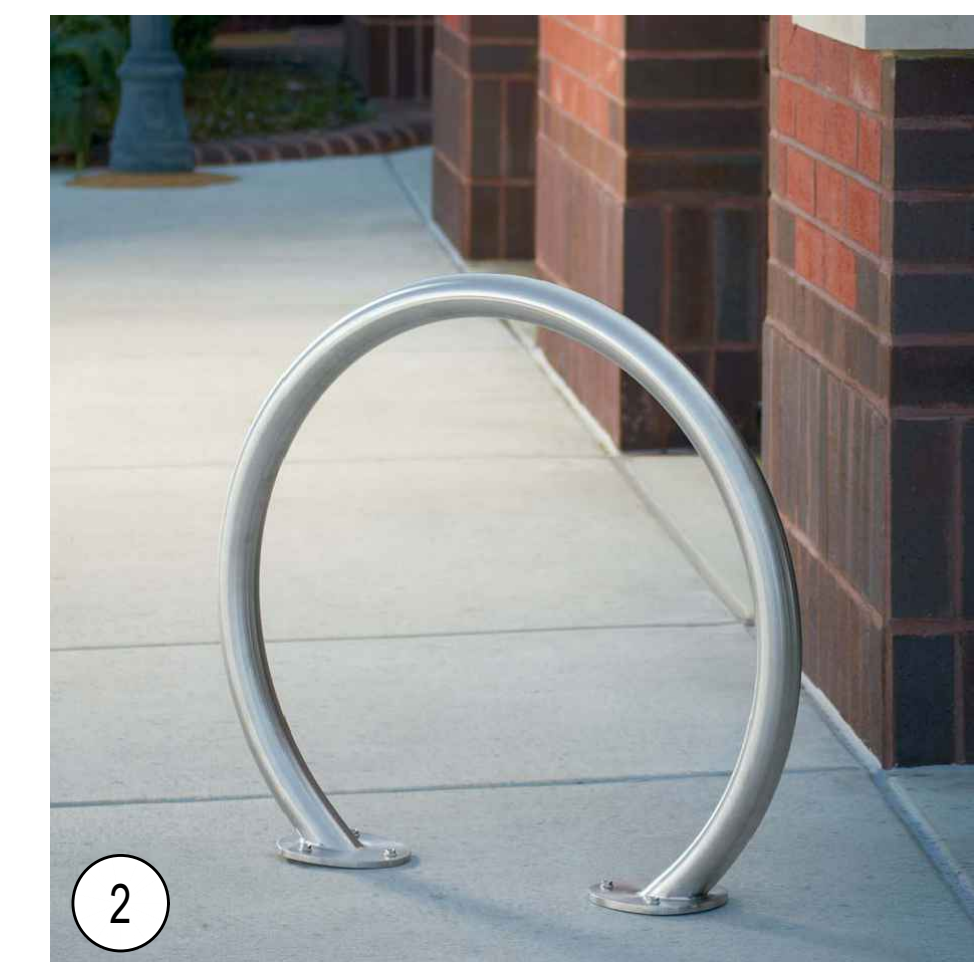


**CANVAS**  
SUNBRELLA - TAUPE



**LEGEND**

1. Community open space area with BBQ Island, Shade Structure, Dining Furniture, fire-pit and lounge furniture for small social events and group gatherings. See sheet L2- Enlargement.
2. Short term bike parking (1 bike racks to accommodate 2 bike stalls).
3. Two community cluster mailboxes, per USPS review and approval.
4. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
5. Enhanced stamped paving at main project entry.
6. Proposed tree, per Planting Plan.
7. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
8. Accessible parking stall and striping, per Civil plans.
9. Guest parking stall.
10. Natural colored concrete driveway, with light broom finish and tooled joints.
11. Private patio / yard area, homeowner maintained.
12. Common area landscape, builder installed and HOA maintained.
13. Community dog bag station (black in color), for pet owners.
14. Property line.
15. Public street R.O.W.
16. Proposed public street sidewalk, per Civil plans.
17. Transformer to be screened with landscape, quantity and final locations to be determined.
18. Proposed street parkway.
19. Proposed equestrian trail.
20. Proposed tree well.
21. Proposed AC condenser locations, per Architect's plans.



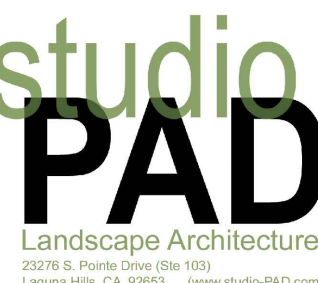
Schematic Landscape Plan

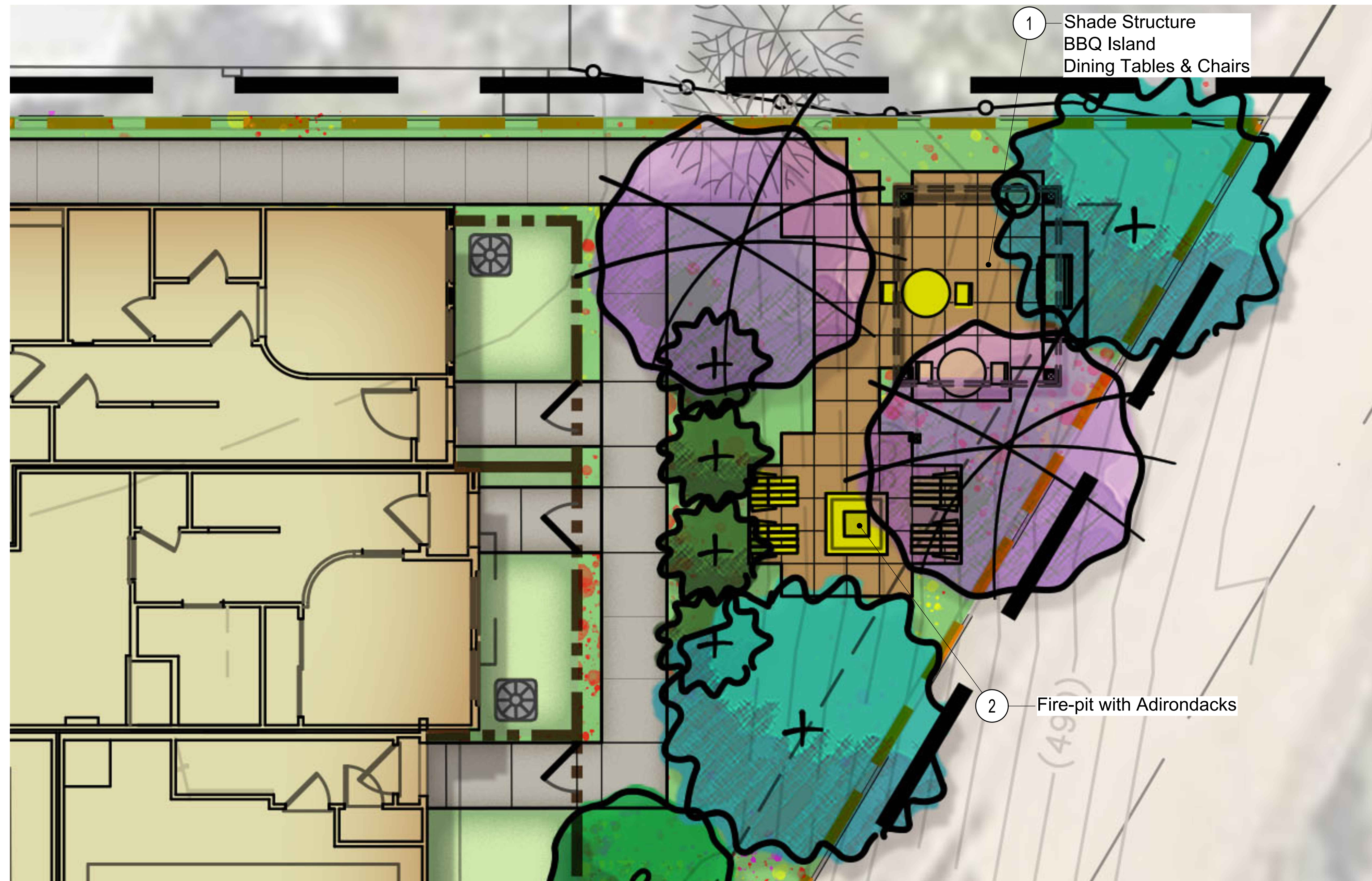
Butterfly Gardens LLC

2nd City Submittal | Project No.: SP01  
Date: Mar. 09, 2023

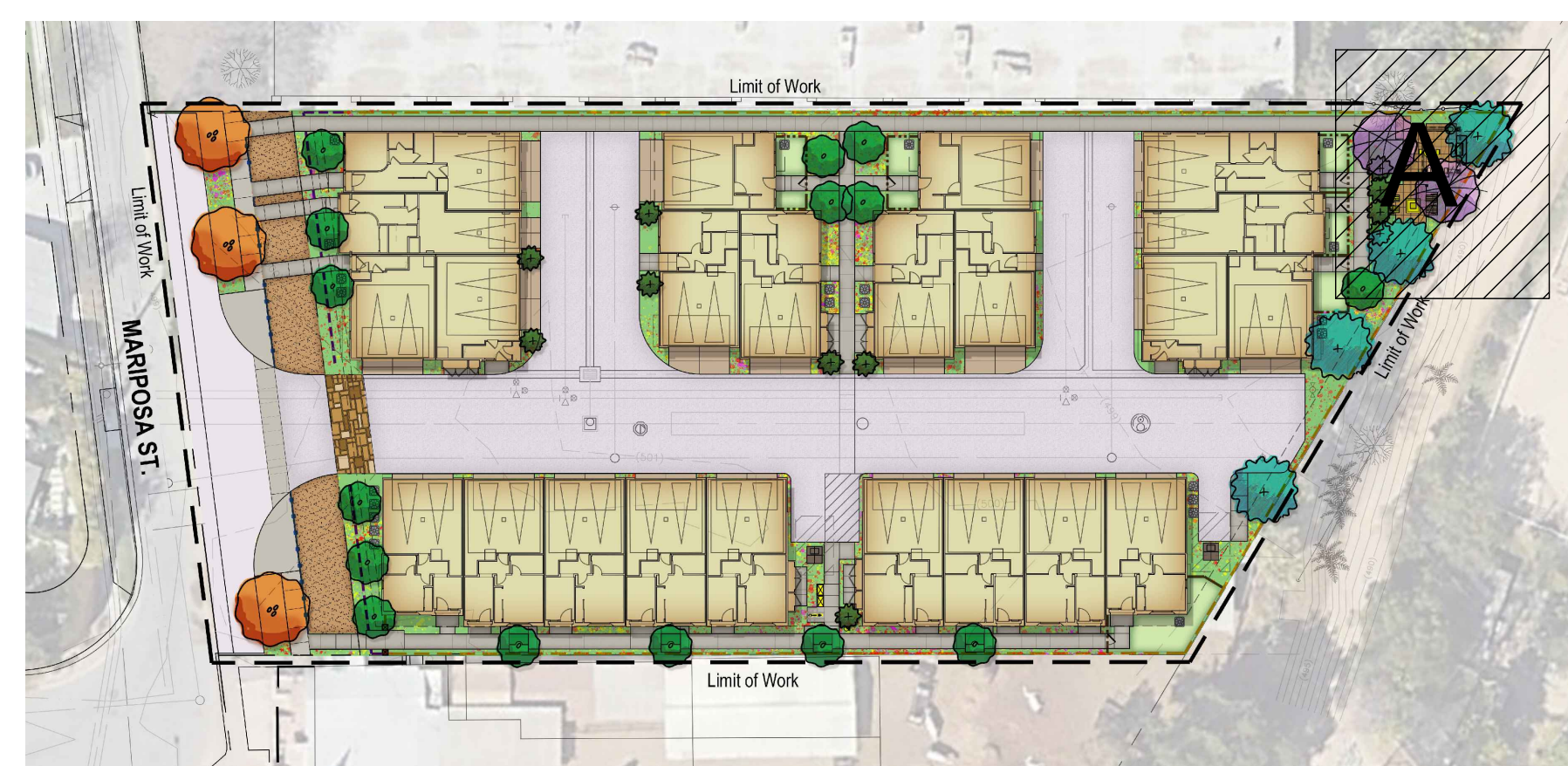
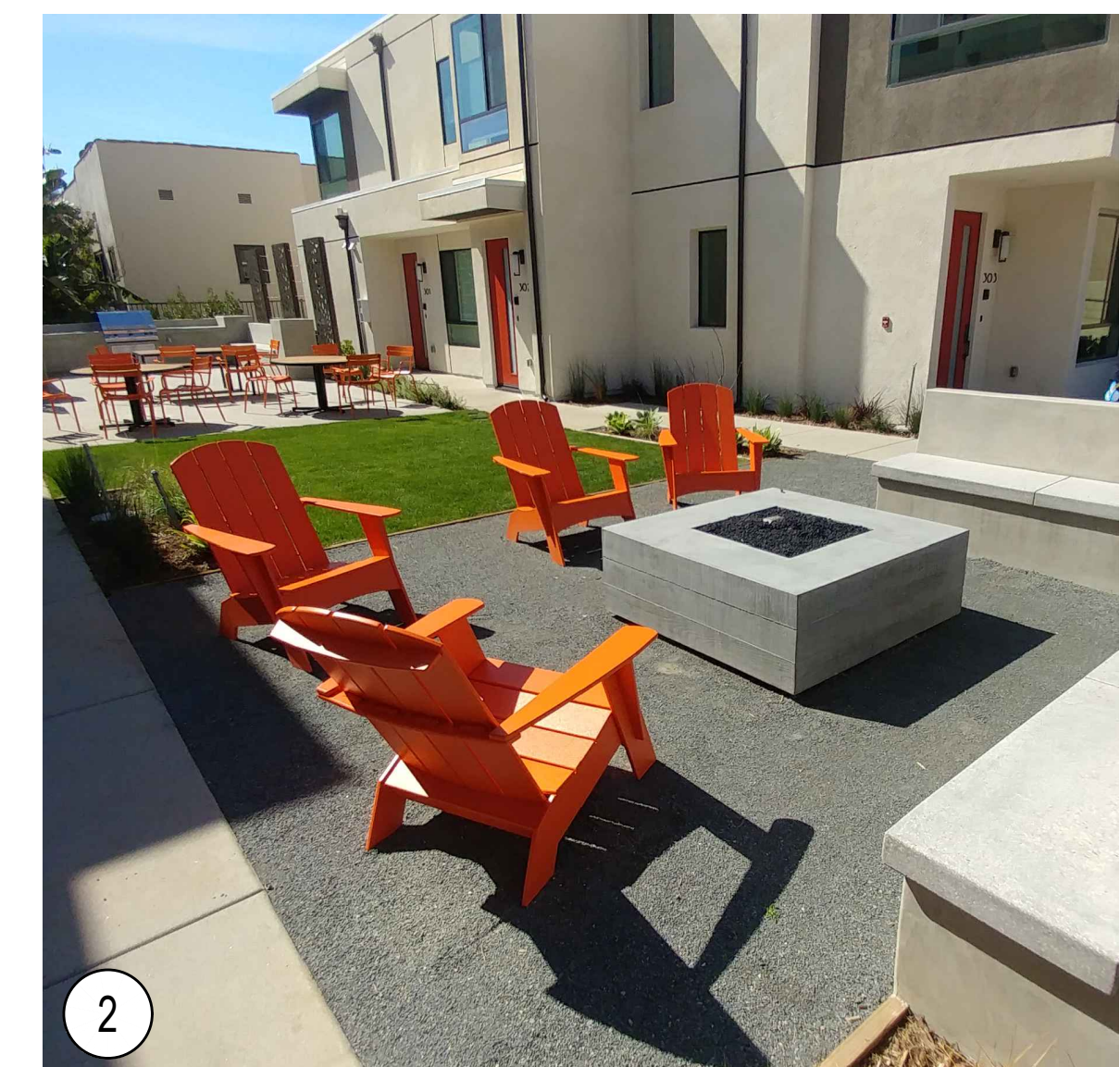
**L-1**

Burbank - Butterfly Gardens



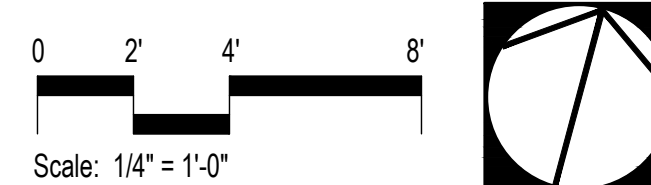


ENLARGEMENT A: COMMUNITY POCKET PARK



KEY MAP  
Scale: NTS

### Schematic Enlargement Plan

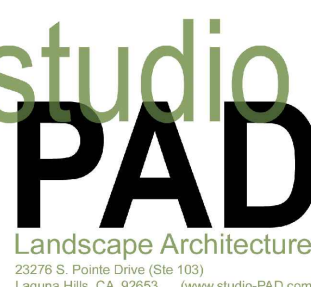


Butterfly Gardens LLC

2nd City Submittal | Project No.: SP01  
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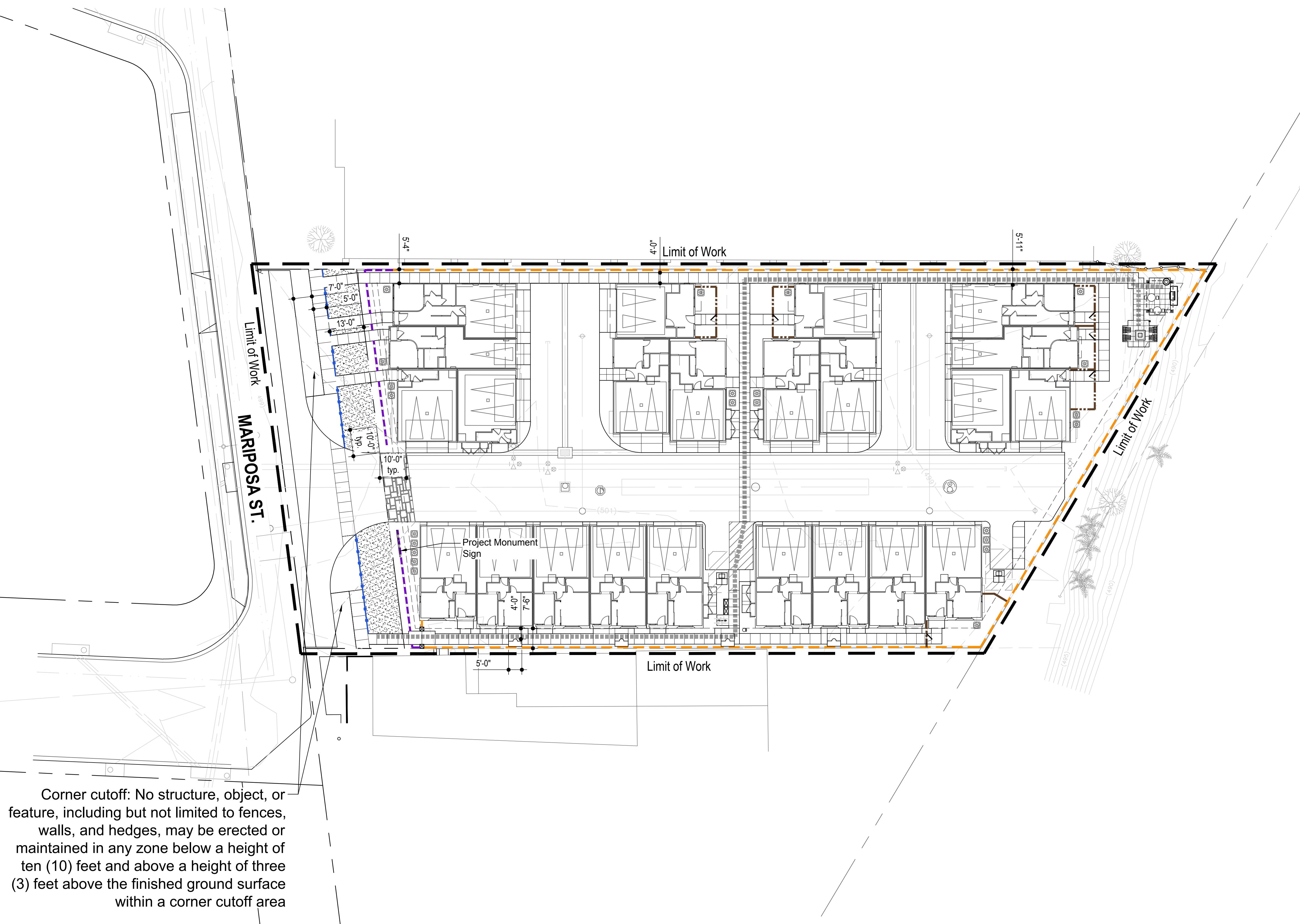
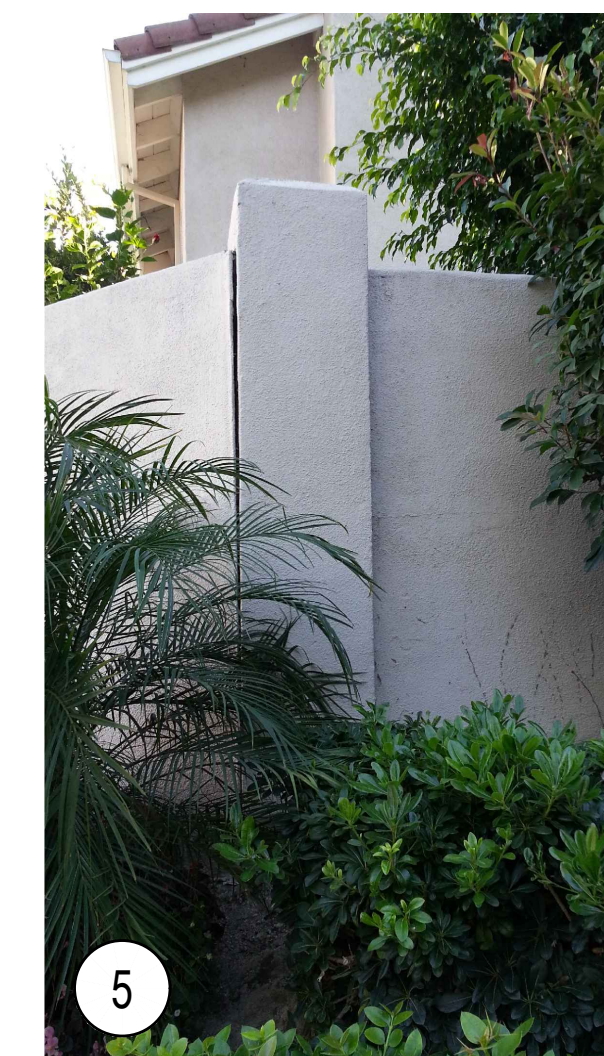
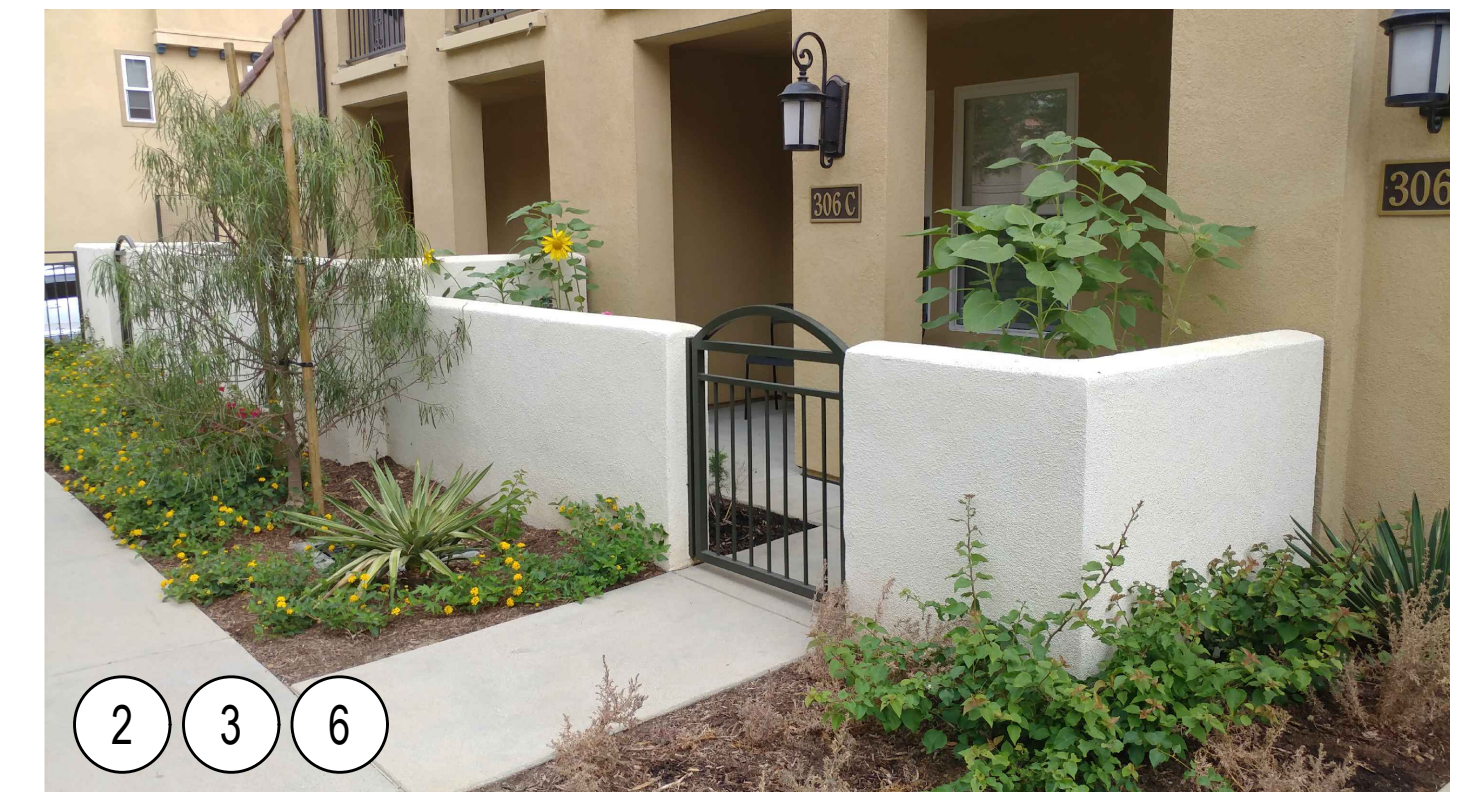
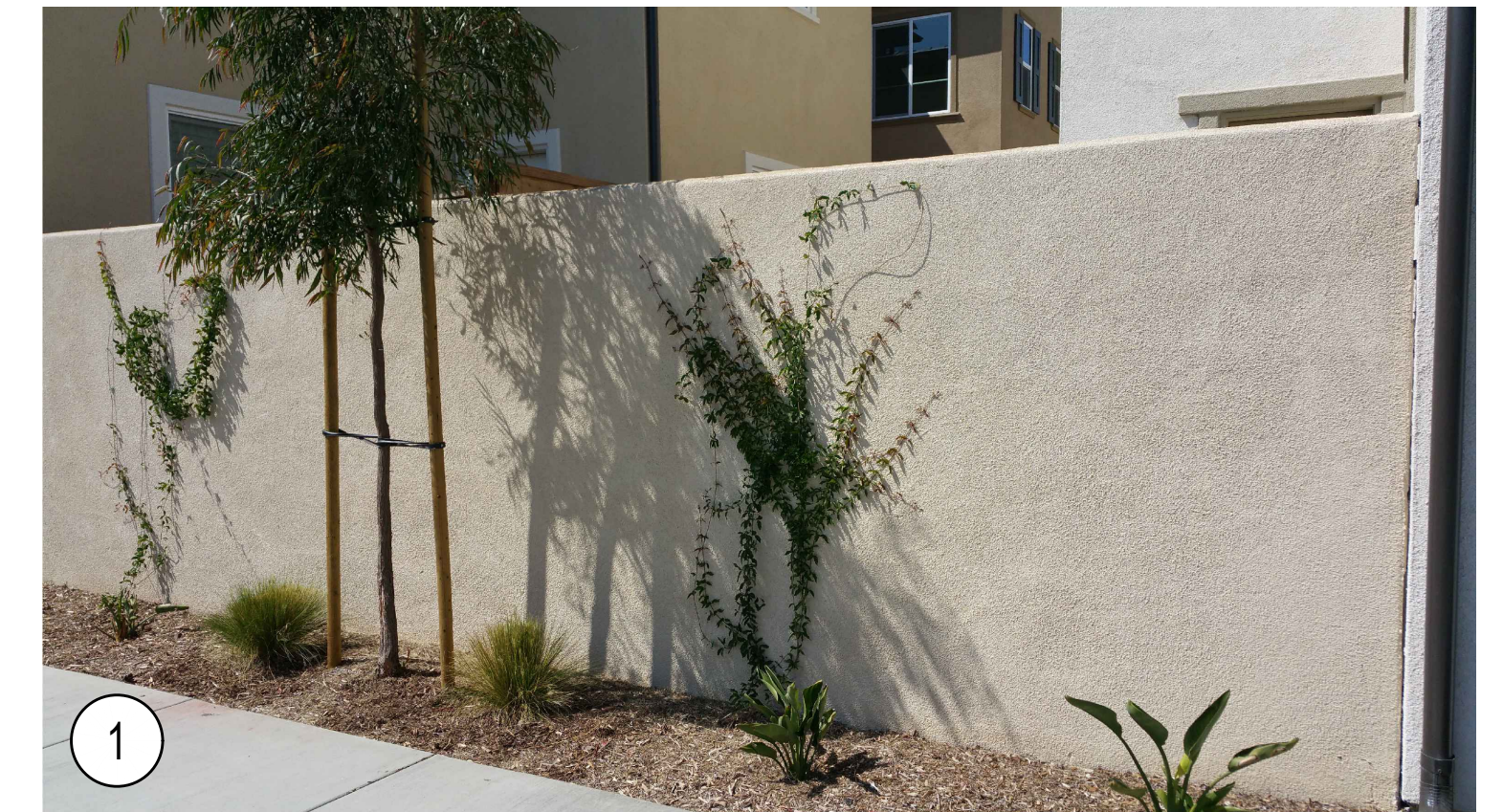
L-1

# Burbank - Butterfly Gardens



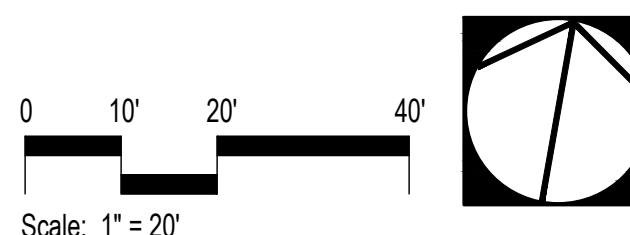
**WALL LEGEND**

- 1 ——— 6'-0" High stucco over CMU wall, with flat stucco cap.
- 2 ——— 3'-6" High stucco over CMU patio wall, with flat stucco cap.
- 3 ——— 3'-0" High stucco over CMU wall, with flat stucco cap.
- 4 ——— 3'-0" High equestrian rail fence (wood or vinyl).
- 5 ——— 6'-6" High (18" sq.) stucco over CMU pilaster, with stucco cap.
- 6 ——— 3'-6" High metal patio gates.
- ADA Path of Travel



Corner cutoff: No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area

Schematic Walls & Fence Plan

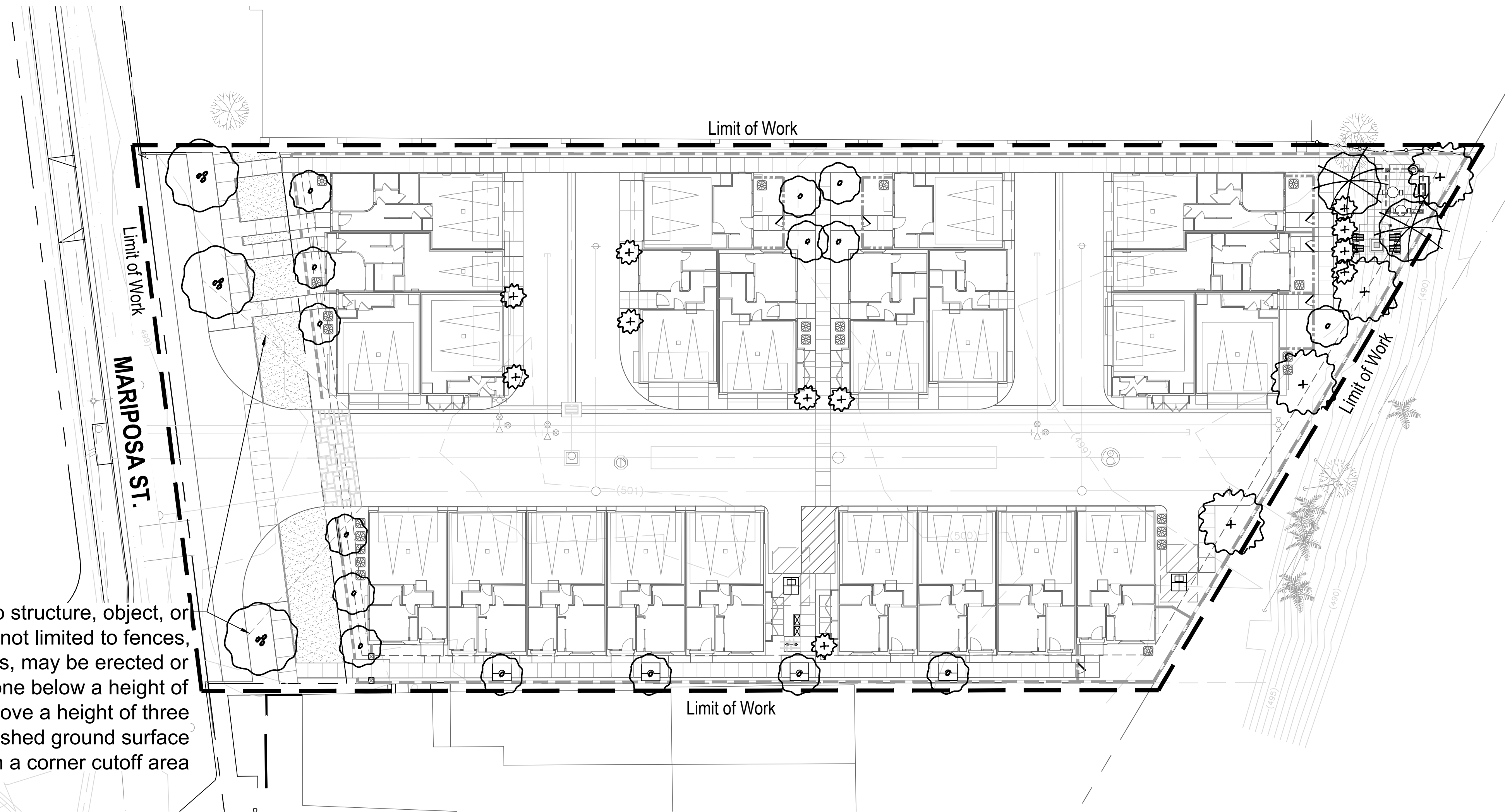


Butterfly Gardens LLC

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Date: Mar. 09, 2023

Burbank - Butterfly Gardens **studio** PAD

Landscape Architecture  
22215 S. Pacific Avenue, Suite 100  
Laguna Hills, CA 92653 | www.studiopad.com



Corner cutoff: No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area

### PLANTING LEGEND

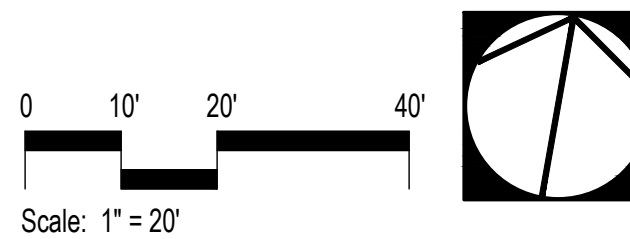
Symbol	Type/Form	Suggestions Botanical Name (Common Name)	Trunk	Size	WUCOLS (R3)	Qty.
<b>TREES</b>						
	Focal	Magnolia grandiflora 'Little Gem (Southern Magnolia)	Single	36" Box	Mod.	2
	Canopy Deciduous	Sycamore racemosa (California Sycamore)	Single	36" Box	Mod.	3
	Street	Tristania conferta (Brisbane Box)	Single	24" Box	Mod.	4
	Evergreen Flowering	Arbutus u. 'Marina' (Marina Strawberry Tree) Geijera parviflora (Australian Willow)	Single	36"/24" Box	Low	15
	Columnar	Cupressus sempervirens (Italian Cypress) Podocarpus gracillior (Fern Pine)	Single	24" Box	Low	11
<b>Total =</b>						<b>35</b>

### SHRUBS and GROUND COVER

		WUCOLS (R3)
Anigozanthos	Kangaroo Paw	Low
Agave sp.	Agave	Low
Aloe sp.	Aloe	Low
Bougainvillea sp.	Bougainvillea	Low
Callistemon citrinus 'Little John'	Dwarf Bottlebrush	Low
Carex divulsa	Berkeley Sedges	Low
Carissa m. 'Green Carpet'	Dwarf Natal Plum	Low
Chamaerops humilis	Mediterranean Fan Palm	Low
Cordyline 'Pink Passion'	Pink Passion Dracaena Palm	Low
Dasyliro longissimum	Mexican Grass Tree	Low
Delosperma cooperi	Trailing Ice Plant	Low
Dianella revoluta 'Little Rev'	Little Rev™ Flax Lily	Low
Iris sp.	Iris	Low
Kalanchoe thyrsiflora	Flapjack Paddle Plant	Low
Lavandula stoechas 'Larkman Hazel'	Hazel™ Spanish Lavender	Low
Ligustrum japonicum 'Texanum'	Japanese Privet	Low
Nassella pulchra	Purple Needlegrass	Low
Muhlenbergia rigens	Deer Grass	Low
Rhaphiolepis indica 'Clara'	India Hawthorn	Low
Rosmarinus p. 'Huntington Carpet'	Groundcover Rosemary	Low
Strelitzia reginae	Bird of Paradise	Low
Trachelospermum jasminoides	Star Jasmine	Low
Westringia sp.	Westringia	Low
Xylosma congestum 'Compact'	Compact Xylosma	Low
Yucca gloriosa	Spanish Dagger	Low

### VINES & ESPALIERS

Antigonon leptopus	Coral Vine
Bougainvillea 'Monka' (Oo-La-La® Bougainvillea)	Bougainvillea
Macfadyena unguis-cati	Cat's Claw Vine
Pandorea jasminoides 'Lady Di'	White Bower Vine
Trachelospermum jasminoides	Star Jasmine



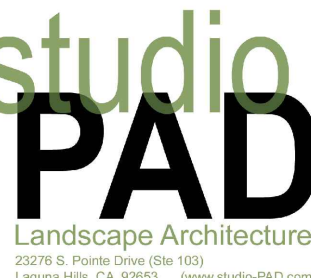
Butterfly Gardens LLC

## Schematic Planting Plan

2nd City Submittal | Project No.: SP01  
Date: Mar. 09, 2023

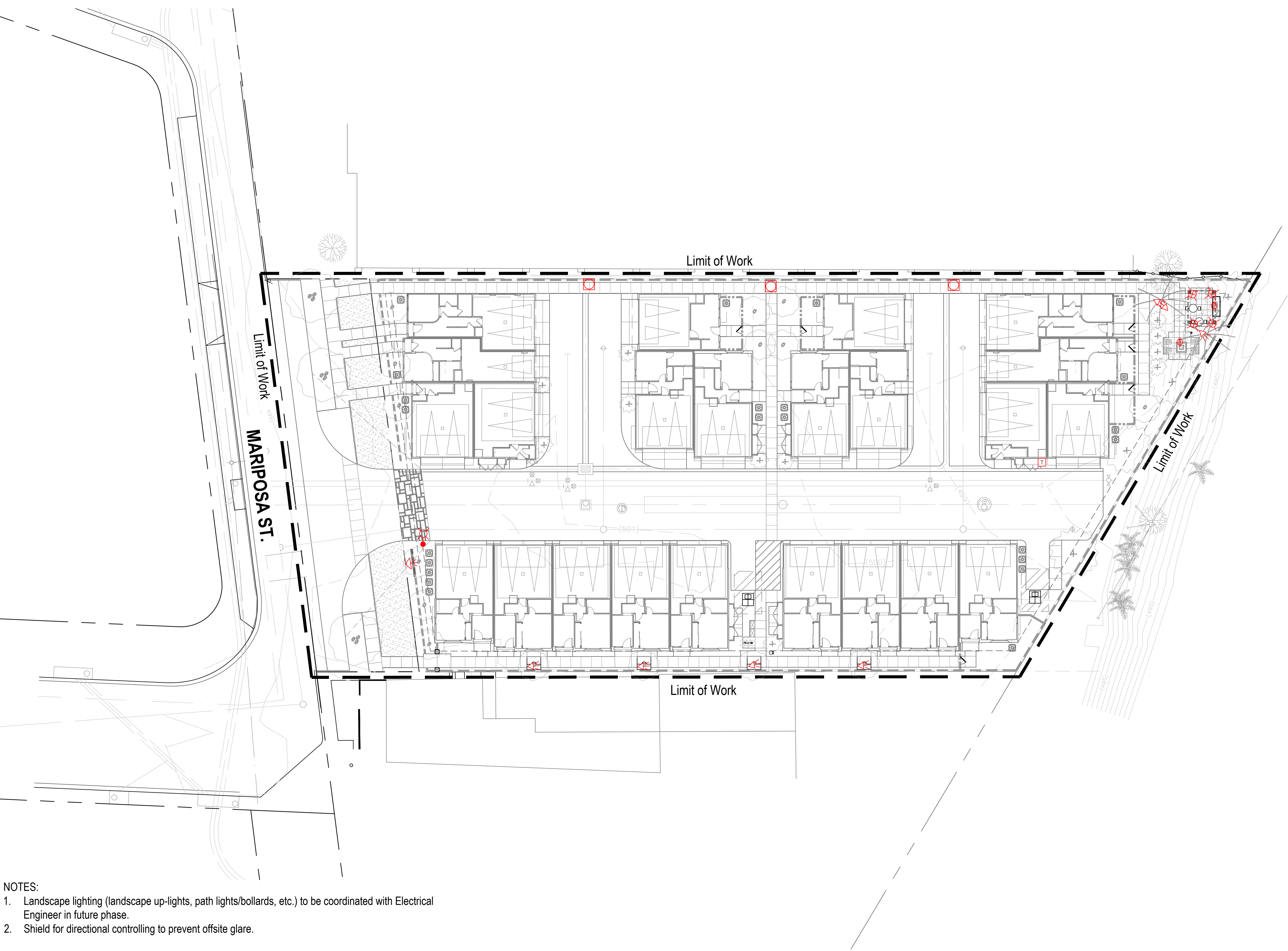
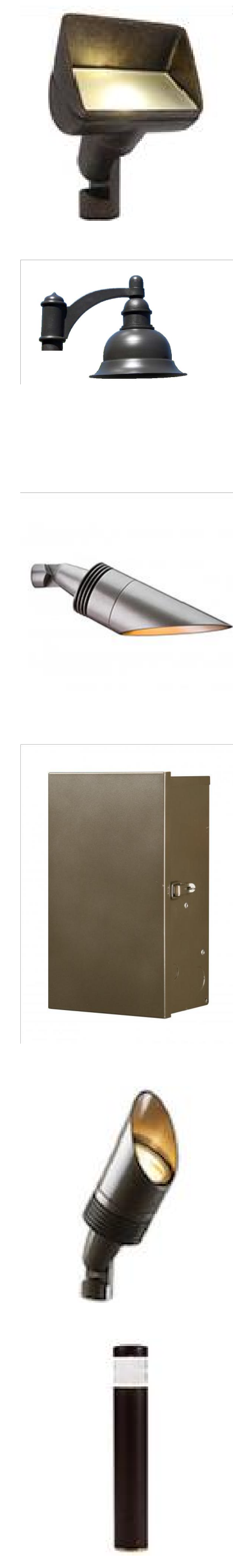
**L-4**

# Burbank - Butterfly Gardens

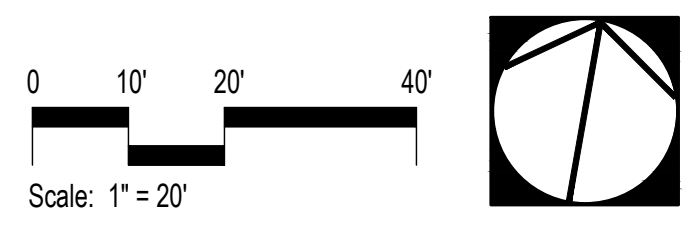


**LIGHTING SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FX Luminaire PB Ideal selection for large broad objects or washing light. 2.23in. W x 6.72in. H x 4.03in. L. Order code: PB, Aluminum Alloy, (BZ) Bronze Metallic, Long Slot Spike Lamp: PB-3LED, 4.2W/4.5VA, 2700K, Beamspread: Very Wide Flood	1
	SVE-3 - Pole Light Area Pole Light, HID - Direct Lighting Sales, Model San Vicente #SVE-3 Cast Aluminum, Textured Bronze, RA21 Radius Lamp: Per Elec. Eng., Per Elec. Eng., Per Elec. Eng. Accessories: On DBC-1 Base & 10' round pole.	1
	GFCI - Outlet Exterior Electrical GFI Outlet Cast Aluminum, Textured Architectural Bronze, Wall	2
	FX Luminaire DE Down light ideal for large applications. 9.7in. H x 3.0in. Dia. Order code: DE, Aluminum Alloy, (BZ) Bronze Metallic, Mini J-Box for 1/2in. Thr Lamp: DE-9LED, 10W/10.7VA, 2700K, Beamspread: Spot	4
	FX Luminaire - PX: Transformer SS, Stainless Steel, Wall 300W	1
	FX Luminaire NP-9LED-BZ Large directional up light ideal for vertical landscape elements. Order code: NP, Aluminum Alloy, (BZ) Bronze Metallic, Ground Mount Lamp: NP-9LED, 10W/10.7VA, 2700K, Beamspread: Narrow Flood	7
	FX Luminaire PM Modern path light with powder-coated finish. 2.5in. Dia PM-XT for Extra Tall 18.5in. Order code: PM, Aluminum Alloy, (BZ) Bronze Metallic, Deck Mount for PM Lamp: PM-6LED, 7.7W/9.3VA, 3900K, Beamspread: Very Wide Flood	3



NOTES:  
 1. Landscape lighting (landscape up-lights, path lights/bollards, etc.) to be coordinated with Electrical Engineer in future phase.  
 2. Shield for directional controlling to prevent offsite glare.



**Schematic Lighting Plan**

Butterfly Gardens LLC

2nd City Submittal | Project No.: SP01 | **L-5**  
 Date: Mar. 09, 2023

**Burbank - Butterfly Gardens**



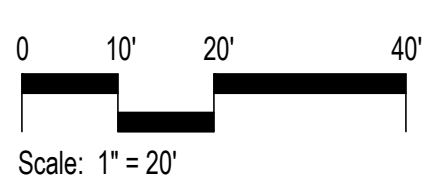




SITE DEVELOPMENT		
SYMBOL	NOTES	QTY
[Purple]	COMMON PROGRAMMED OPEN SPACE Includes walks. (builder installed, HOA maintained)	967 sf
[Yellow]	PRIVATE OPEN SPACE (MIN. 5' DIM.) (Homeowner installed, Homeowner maintained)	976 sf
[Green]	COMMON LANDSCAPE (Builder installed, HOA maintained)	2,890 sf
[Teal]	SETBACK: COMMON LANDSCAPE (Builder installed, HOA maintained)	898 sf
[Light Green]	PARKWAY LANDSCAPE (Builder installed, HOA maintained)	482 sf
[Gold]	SETBACK: LANDSCAPE/EQUESTRIAN TRAIL D.G.	1,293 sf

PRIVATE OPEN SPACE AT DECKS (Provided by Architect)	1,356 sf
PRIVATE OPEN SPACE AT ROOF DECKS (Provided by Architect)	3,508 sf
<b>COMMON O. S.</b>	<b>Provided</b> (967 + 2,890)sf 3,857 sf
<b>PRIVATE O.S.</b>	(976 + 1,356)sf 2,332 sf
<b>TOTAL PROVIDED OPEN SPACE</b>	<b>6,189 sf</b>
<b>TOTAL LANDSCAPE/PEREMABLE AREA IN THE FRONT/SIDE YARD SETBACK</b>	(898 + 482 + 1,293)sf 2,673 sf (70%)
<b>TOTAL O.S. (INCL. SETBACK)</b>	<b>8,862 sf</b>
<b>PRIVATE O.S. (ROOF DECKS BY ARCHITECT)</b>	3,508 sf
<b>TOTAL O.S. (INCL. ROOF DECKS)</b>	<b>12,350 sf</b>
<b>TOTAL NET SITE AREA</b>	±0.88 acres / 38,332.8 sf
<b>TOTAL FRONT/SIDE YARD SETBACK AREA</b>	±3,803 sf

## Schematic Open Space Exhibit



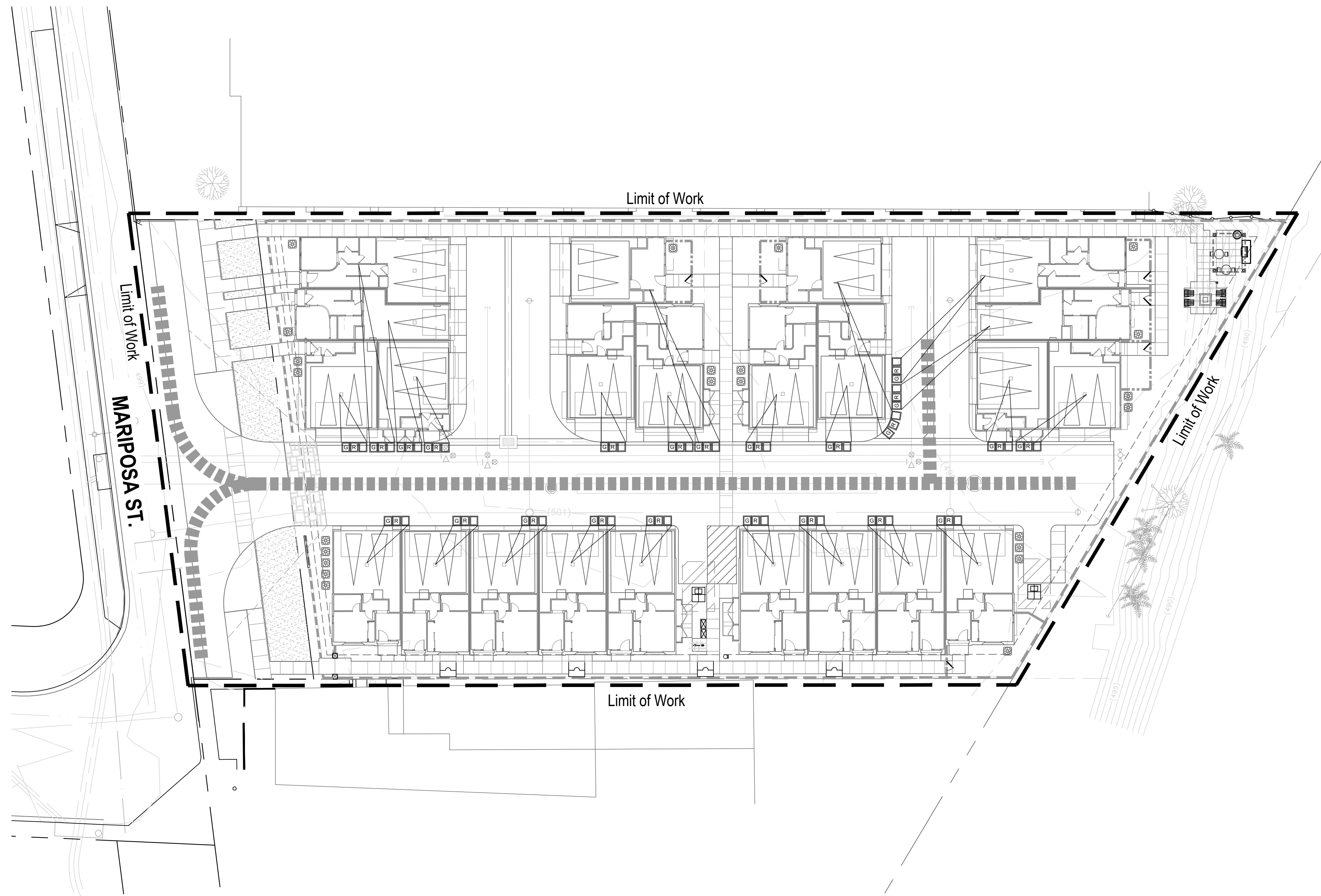
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2nd City Submittal | Project No.: SP01  
Date: Mar. 09, 2023

**L-6**

# Burbank - Butterfly Gardens

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**PAD**  
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Laguna Hills, CA 92653 | www.studiopad.com



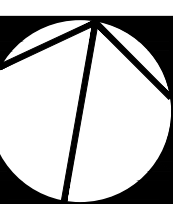
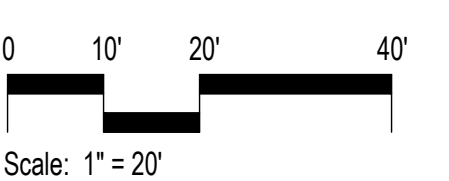
**LEGEND**

- Regular trash bin.
- ◻ Recycle bin.
- ◻ Green waste bin.
- Trash hauler path of travel.

**NOTES:**

1. Individual trash bins, sizes and locations, to follow City of Burbank, Public Works/ Trash & Recycling standards.

Schematic Trash Exhibit & Hauler Circulation Plan



Butterfly Gardens LLC

2nd City Submittal | Project No.: SP01  
Date: Mar. 09, 2023

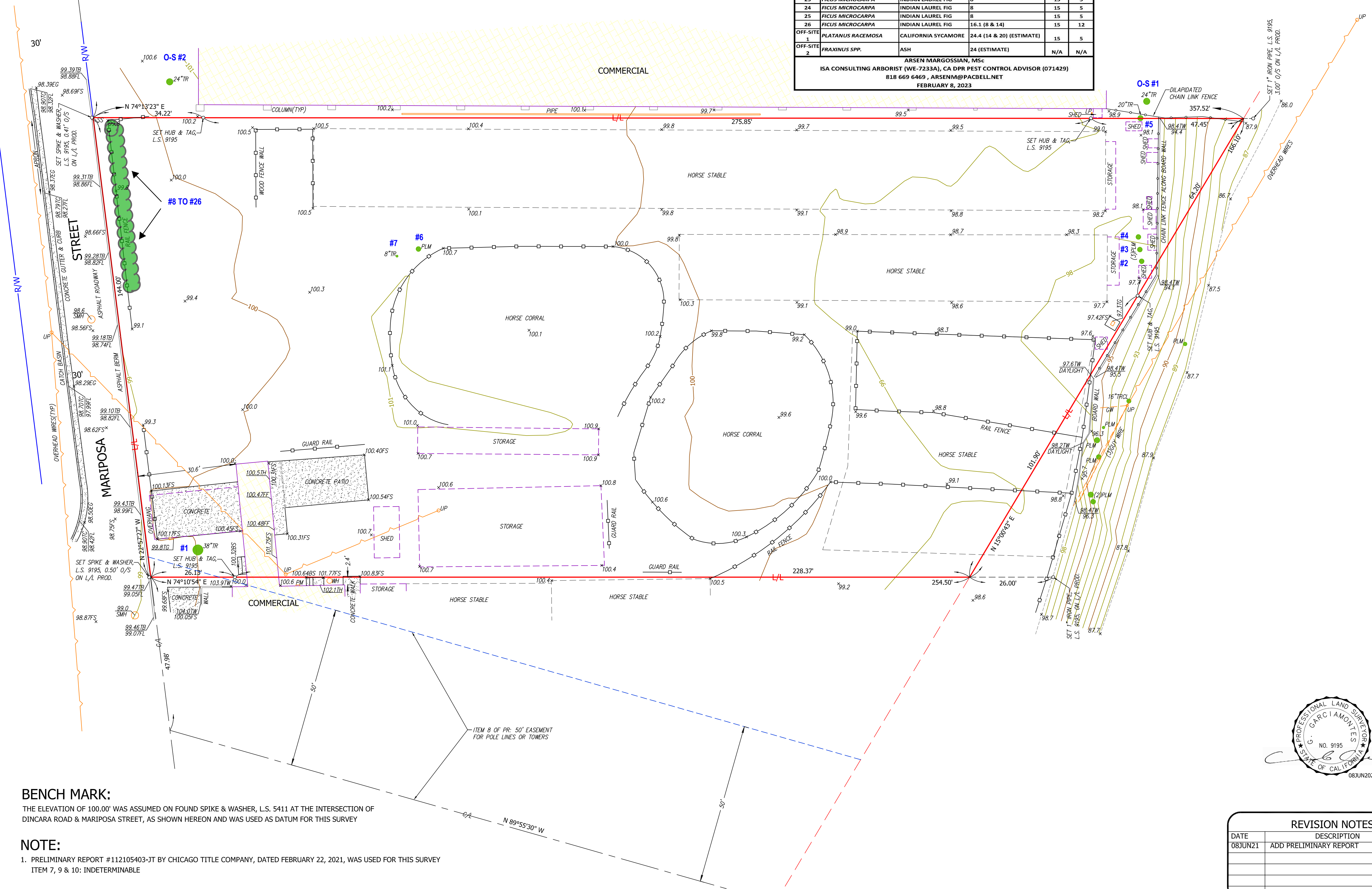
**L-7**

Burbank - Butterfly Gardens



FOUND SPIKE & WASHER, L.S. 5411  
ASSUMED BM: 100.00'

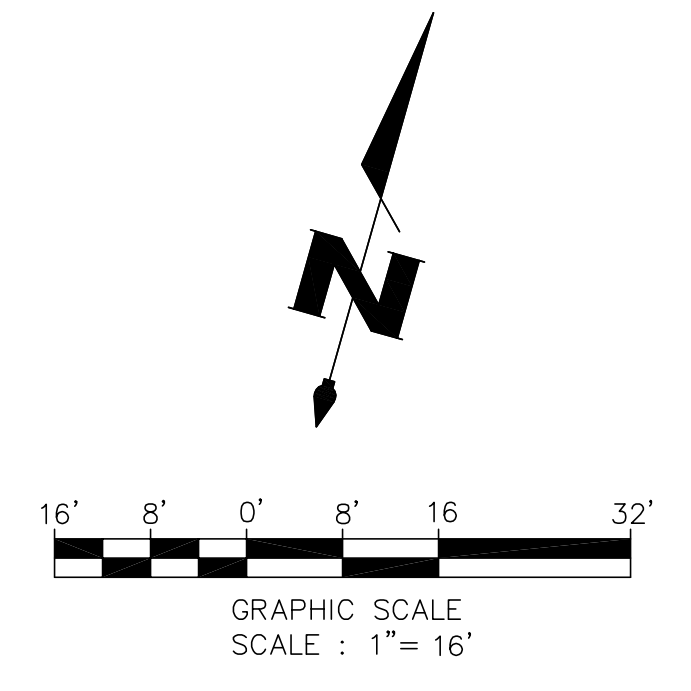
DINCARA ROAD



**TREE INVENTORY**  
910 S. MARIPOSA ST., BURBANK, CA 91506

TREE #	SPECIES	COMMON NAME	DIAMETER (DBH, IN INCHES)	HEIGHT (FEET)	SPREAD (FEET)
1	JUGLANS CALIFORNICA	CALIFORNIA BLACK WALNUT	38	30	25
2	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	35	N/A
3	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	55	N/A
4	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	55	N/A
5	SAMBUCUS MEXICANA	MEXICAN ELDERBERRY	21.6 (12 & 18) (ESTIMATE)	35	35
6	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	N/A	30'	N/A
7	SCHINUS MOLLE	CALIFORNIA PEPPER	11	20	15
8	FICUS MICROCARPA	INDIAN LAUREL FIG	7	15	5
9	FICUS MICROCARPA	INDIAN LAUREL FIG	10	15	5
10	FICUS MICROCARPA	INDIAN LAUREL FIG	10	15	5
11	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
12	FICUS MICROCARPA	INDIAN LAUREL FIG	3.2 (2 & 2.5)	15	5
13	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
14	FICUS MICROCARPA	INDIAN LAUREL FIG	7	15	5
15	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
16	FICUS MICROCARPA	INDIAN LAUREL FIG	6.4 (4.5 & 4.5)	15	5
17	FICUS MICROCARPA	INDIAN LAUREL FIG	7	15	5
18	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
19	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
20	FICUS MICROCARPA	INDIAN LAUREL FIG	5.5	15	5
21	FICUS MICROCARPA	INDIAN LAUREL FIG	6	15	5
22	FICUS MICROCARPA	INDIAN LAUREL FIG	4.8 & 8	15	5
23	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
24	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
25	FICUS MICROCARPA	INDIAN LAUREL FIG	8	15	5
26	FICUS MICROCARPA	INDIAN LAUREL FIG	16.1 (8 & 14)	15	12
OFF-SITE #1	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24.4 (14 & 20) (ESTIMATE)	15	5
OFF-SITE #2	FRAXINUS SPP.	ASH	24 (ESTIMATE)	N/A	N/A

ARSEN MARGOSSIAN, MSc  
ISA CONSULTING ARBORIST (WE-7233A), CA DPR PEST CONTROL ADVISOR (071429)  
818 669 6469, ARSEN@PACBELL.NET  
FEBRUARY 8, 2023



- ABBREVIATIONS:**
- BM BENCH MARK
  - BS BOTTOM OF STEP
  - C/L CENTERLINE
  - EG EDGE OF GUTTER
  - FF FINISHED FLOOR
  - FL FLOWLINE
  - FS FINISHED SURFACE
  - GW GUY WIRE
  - L/L LOT LINE
  - LP LIGHT POLE
  - O/S OFFSET
  - PLM PALM TREE
  - PM POWER METER
  - PR PRELIMINARY REPORT
  - R/W RIGHT OF WAY
  - SMH SEWER MANHOLE
  - SS STREET SIGN
  - TB TOP OF BERM
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TH THRESHOLD
  - TR TREE
  - TRCL TREE CLUSTER
  - TS TOP OF STEP
  - TW TOP OF WALL
  - TYP TYPICAL
  - UP UTILITY POLE
  - WH WATER HEATER

**BENCH MARK:**  
THE ELEVATION OF 100.00' WAS ASSUMED ON FOUND SPIKE & WASHER, L.S. 5411 AT THE INTERSECTION OF DINCARA ROAD & MARIPOSA STREET, AS SHOWN HEREON AND WAS USED AS DATUM FOR THIS SURVEY

**NOTE:**  
1. PRELIMINARY REPORT #112105403-JT BY CHICAGO TITLE COMPANY, DATED FEBRUARY 22, 2021, WAS USED FOR THIS SURVEY  
ITEM 7, 9 & 10: INDETERMINABLE

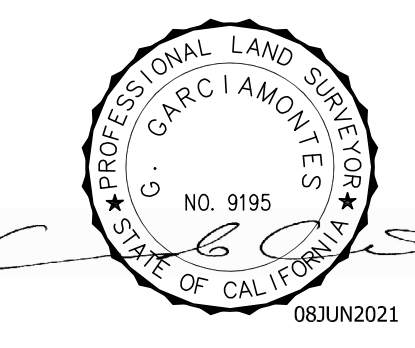
PREPARED BY:  
**GMON Surveying, Inc.**  
Gerardo Garciamontes, PLS 9195  
200 N. San Fernando Road #318, Los Angeles CA 90031  
Office: 323.336.6725 | 818.478.2017  
gmonsurveying.com

PREPARED FOR:  
**Garen Gozumian**  
(818) 590-9559

**TOPOGRAPHY & BOUNDARY SURVEY**  
Portion of Block 69, Subdivision of Rancho Providencia  
and Scott Tract, M.R. 43, Pgs. 47-59  
910 S Mariposa Street  
Burbank, CA 91506  
SITE AREA:  
43,690 SQ.FT.

JOB NO. 21-1486  
SCALE: 1" = 16'  
DATE: MAY 2021  
DRAFTED: BG

SHEET NO.  
**1**  
OF 1 SHEET

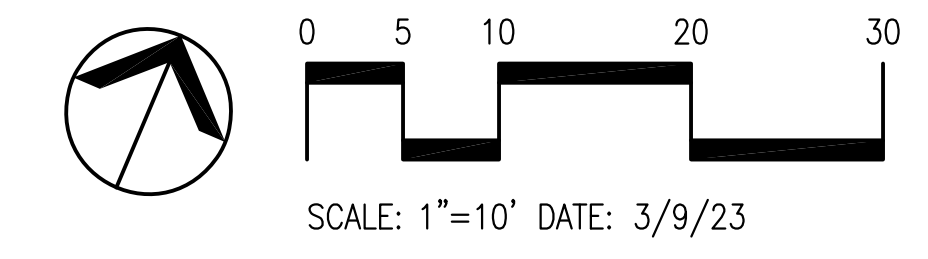
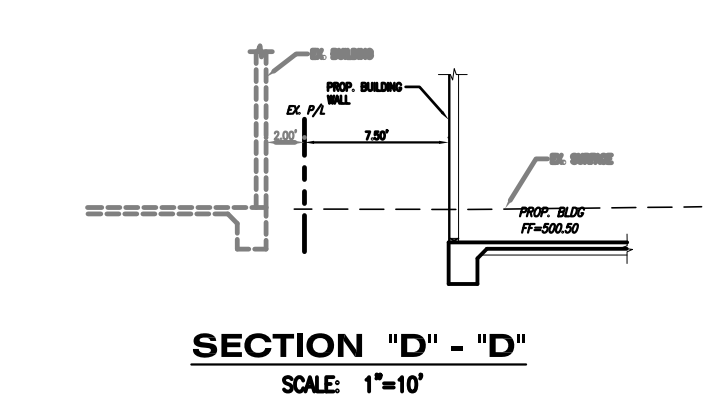
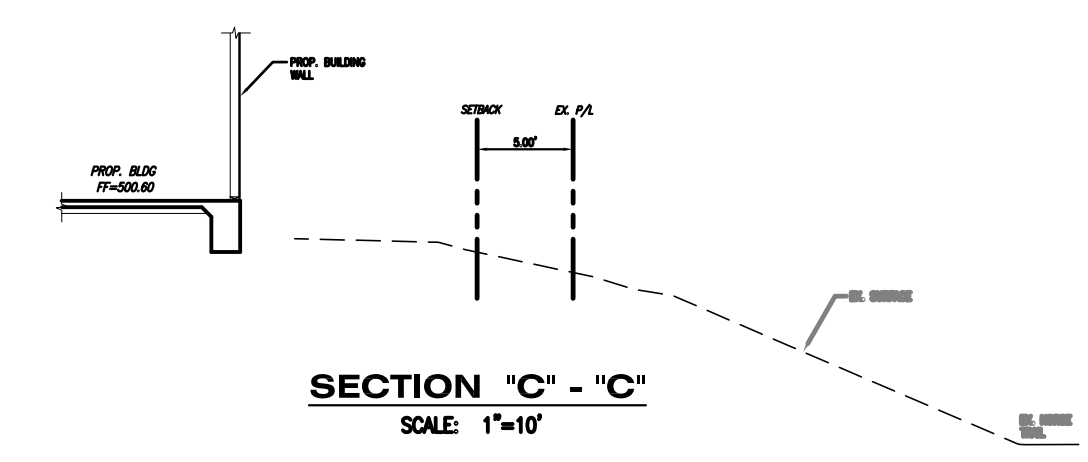
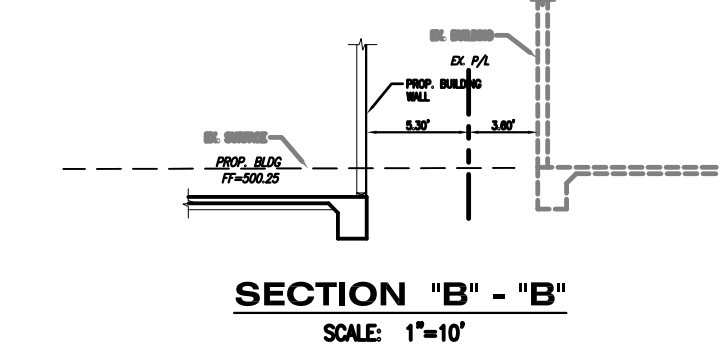
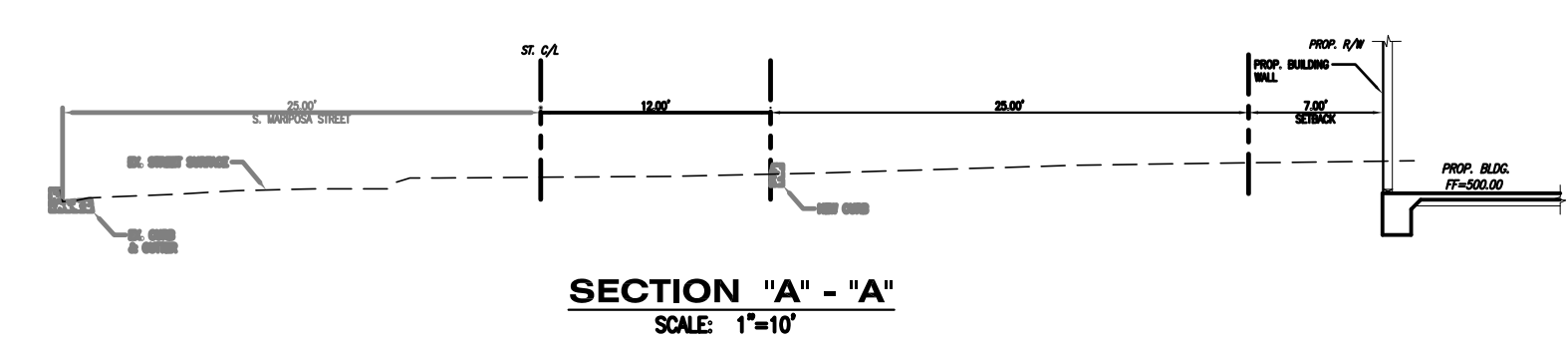


REVISION NOTES		
DATE	DESCRIPTION	BY
08JUN21	ADD PRELIMINARY REPORT	SGM



- CONSTRUCTION NOTES:**
- ① CONSTRUCT 6-INCH PCC CURB ONLY.
  - ② CONSTRUCT 2-FOOT WIDE 8-INCH THICK PCC V-GUTTER.
  - ③ CONSTRUCT 4-INCH THICK ASPHALT CONCRETE PAVEMENT.
  - ④ CONSTRUCT 4-INCH THICK PCC DRIVEWAY PAVEMENT.
  - ⑤ PAINT 4-INCH WIDE SOLID BLUE ACCESSIBLE PARKING STALL STRIPING AND ACCESSIBLE SYMBOL.

- LEGEND:**
- ① CONSTRUCTION NOTE REFERENCE
  - NEW CONCRETE PAVEMENT
  - NEW ASPHALT CONCRETE PAVEMENT

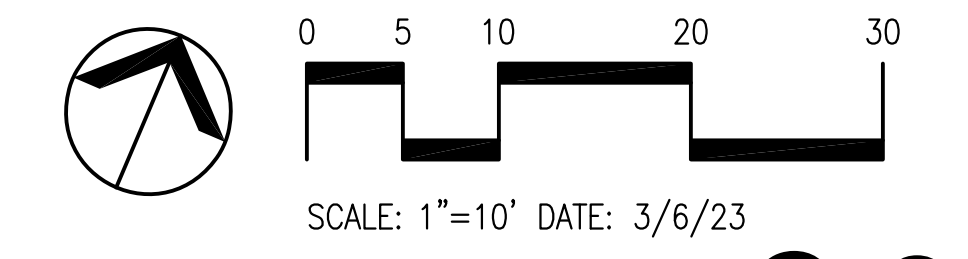
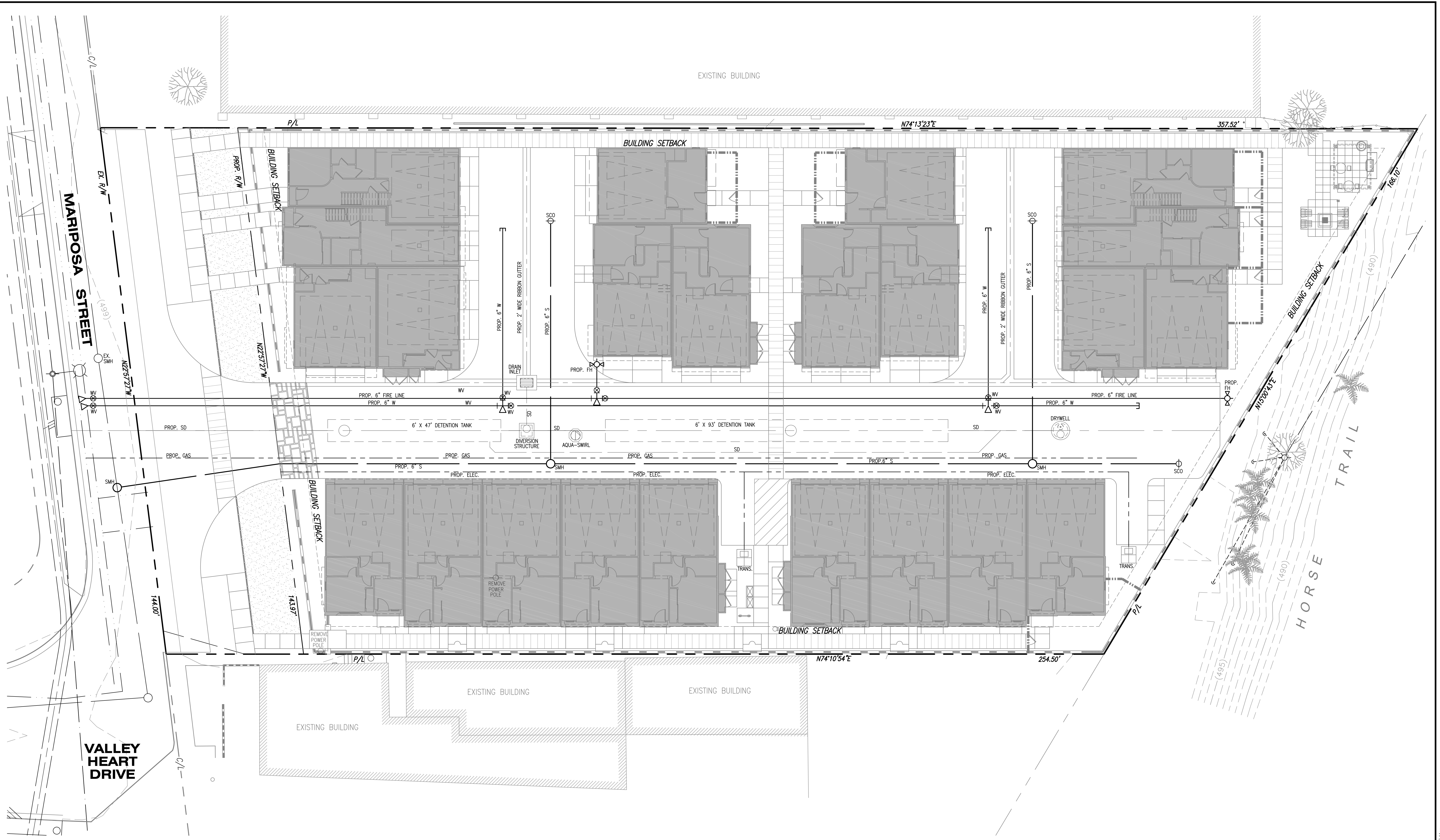


**BUTTERFLY GARDENS**  
**BUTTERFLY GARDENS LLC**

**PRELIMINARY GRADING AND DRAINAGE PLAN**  
**910 S. MARIPOSA STREET, BURBANK, CALIFORNIA 91506**

**C-1**  
**KHR ASSOCIATES**  
 CONSULTING ENGINEERS/SURVEYORS/PLANNERS  
 17530 Von Karman Avenue - Suite 200 Irvine, California 92614  
 Tel: (949) 756-6440

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**BUTTERFLY GARDENS**  
**BUTTERFLY GARDENS LLC**

**PRELIMINARY UTILITY PLAN**  
**910 S. MARIPOSA STREET, BURBANK, CALIFORNIA 91506**

**KHR ASSOCIATES**  
 CONSULTING ENGINEERS/SURVEYORS/PLANNERS  
 17530 Von Karman Avenue - Suite 200 Tel: (949) 756-6440  
 Irvine, California 92614

**C-2**

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