

BARDWELL CASE ZINSHU
ARCHITECTS INC.

bardwellcasearchitects.com (818) 784-5355



LIBRIKE RESIDENCE

UPDIKE RESIDENCE
1025 CORNELL DR
BURBANK, CA 91504

APN 2470 007 012

PROJECT NUMBER 21-

08-

NOT TO SCALE

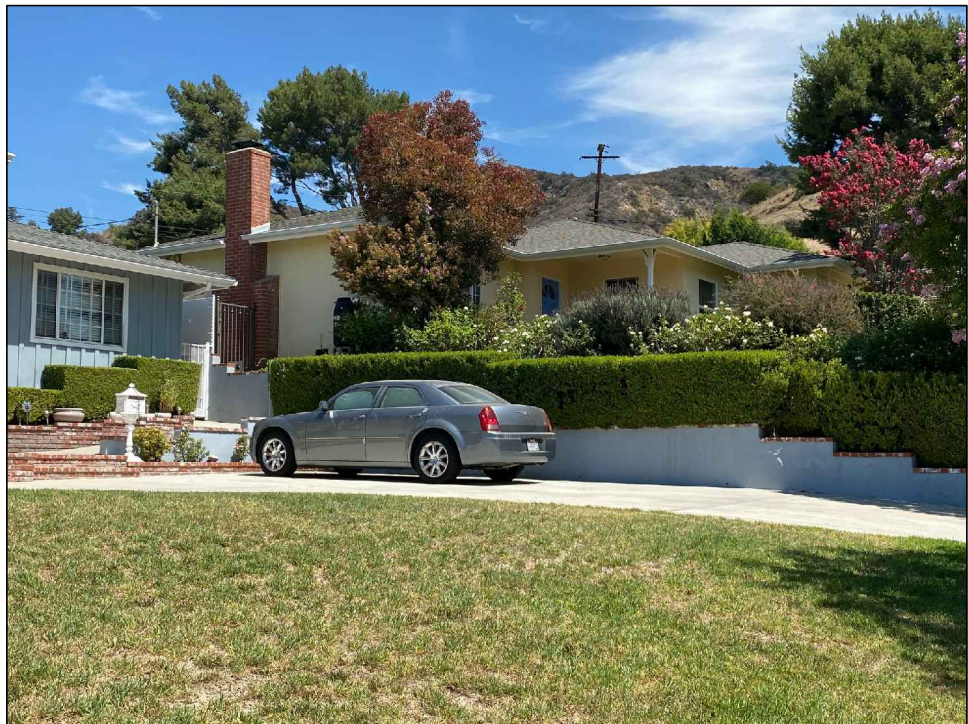
SHEET TITLE

HEET NUMBER

A1.0.1



SETBACK LINE FOR VIEW DETERMINATION



VIEW FROM ADJACENT WEST NEIGHBOR ①



VIEW FROM THE STREET ②



TRELLIS AT ADJACENT EAST NEIGHBOR ③

VIEW FROM NEIGHBORING PROPERTIES



STUDY VIEW



RENDERING



SIDING



WINDOW & WINDOW TRIM
STUCCO



ROOF, FASCIA, GUTTERS & DOWNSPOUTS

ALL COLORS AND MATERIALS TO
MATCH EXISTING

MATERIALS BOARD

The above drawings and specifications are for the information of the client and are not to be used for construction. The architect is not responsible for the construction of the project. The client is responsible for the construction of the project. The architect is not responsible for the construction of the project. The client is responsible for the construction of the project.

NO.	DATE	REVISION

BARDWELL CASE ZINSHU

ARCHITECTS INC.

3852 CAMINO DE SOLANA,
SHERMAN OAKS, CALIFORNIA
94118 784-5355

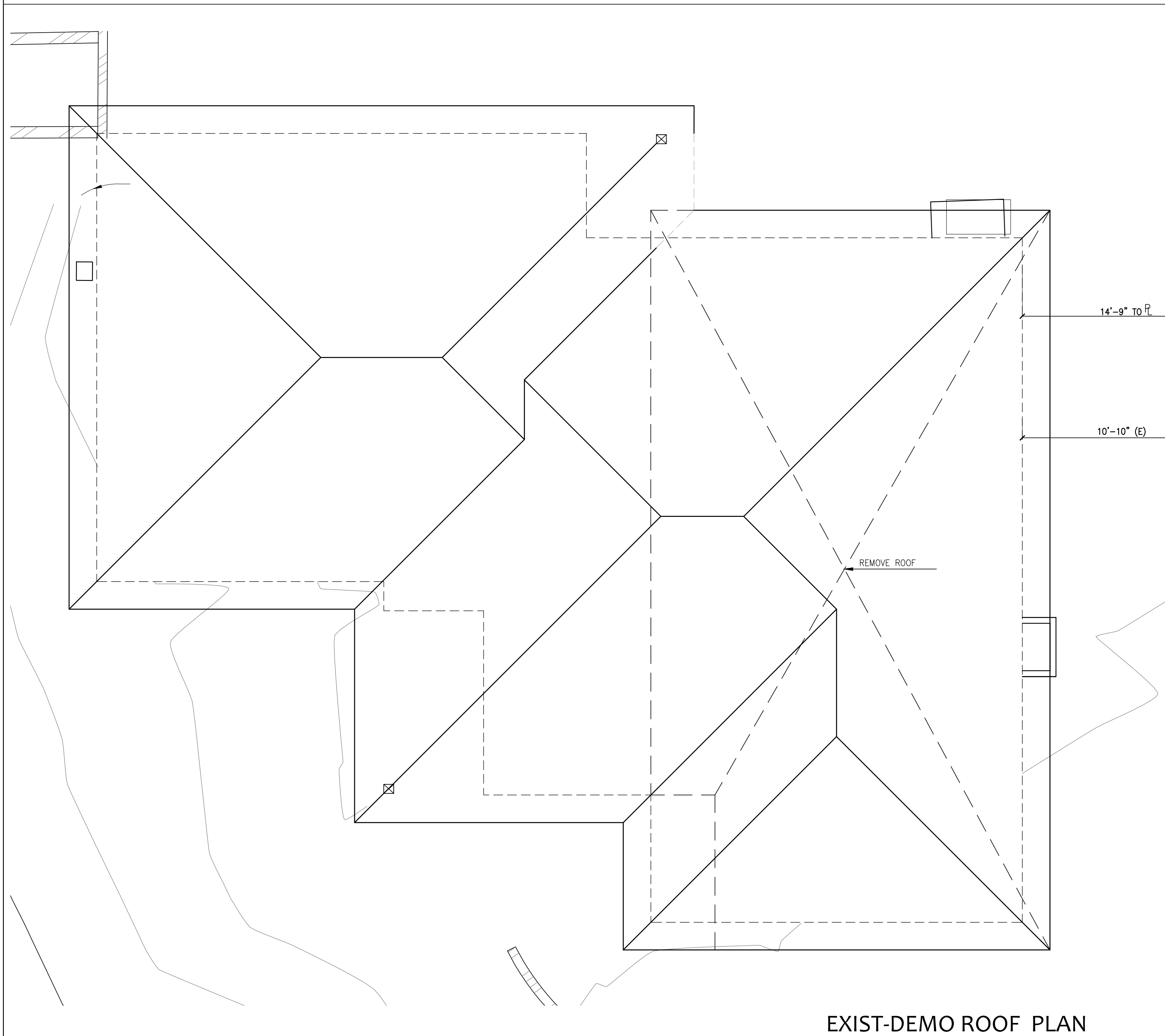


Additions and Alterations to the:

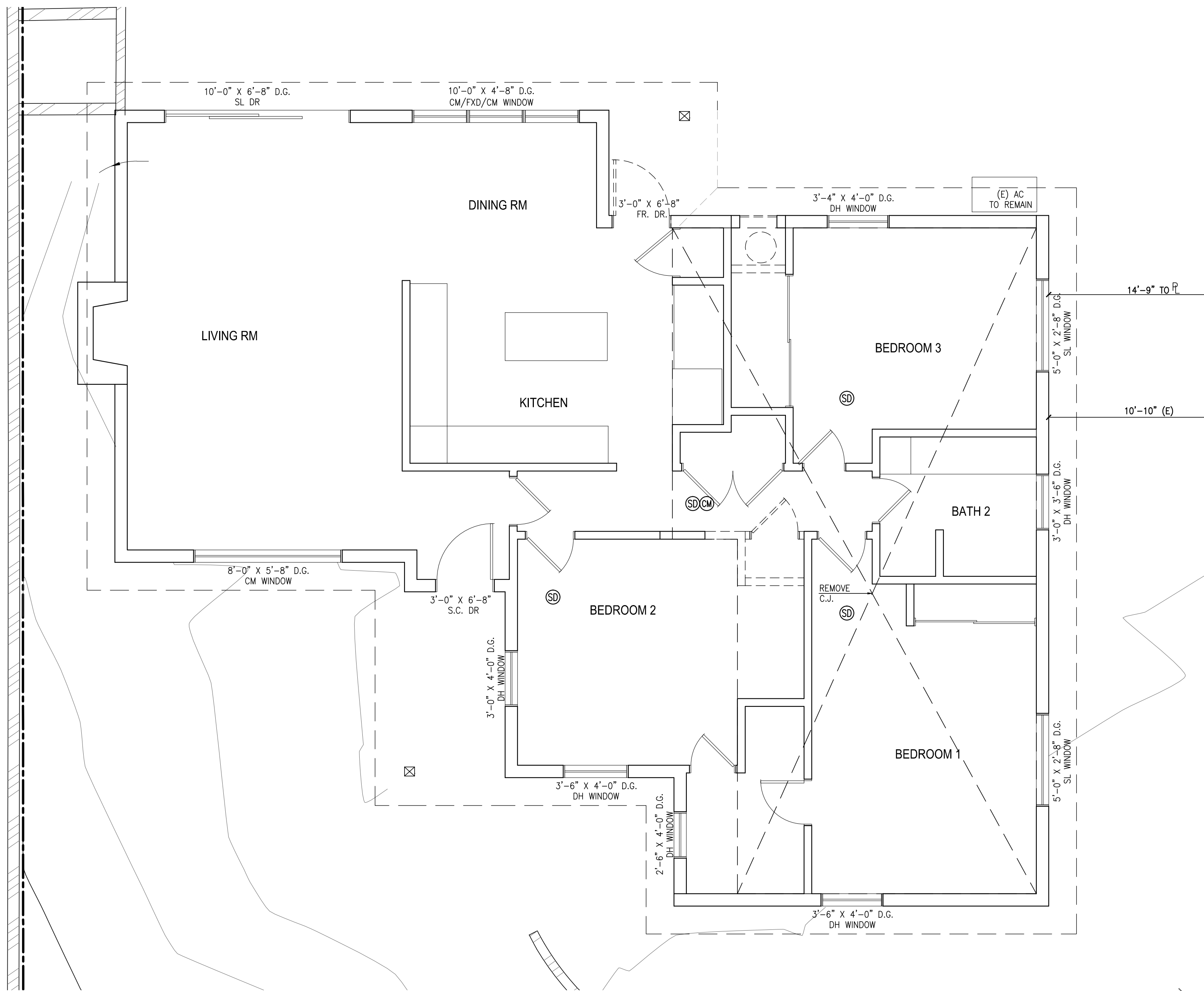
UPDIKE RESIDENCE
1025 CORNELL DR
BURBANK, CA 91504

APN 2470 007 012

PROJECT NUMBER	21-0300
DATE	08-22-22
SCALE	1/8" = 1'-0"
SHEET TITLE	STUDY VIEW, RENDERING & MATERIALS BOARD
SHEET NUMBER	A1.0.2





EXIST-DEMO ROOF PLAN



EXISTING-DEMO PLAN



LEGEND

	TO BE REMOVED
	EXIST. 2X4 STUD WALL

NO.	DATE	REVISION
-		

[illegible]

BARDWELL CASE ZINSHU

A R C H I T E C T S I N C .

3852 CAMINO de SOLANA,
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SHERMAN OAKS, CALIFORNIA
(310) 784-5355



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1025 CORNELL DR
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APN 2470 007 012

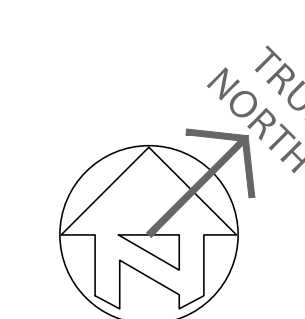
PROJECT NUMBER	21-0300
DATE	08-22-22
SCALE	1/8" = 1'-0"
SHEET TITLE	EXISTING-DEMO PLAN
SHEET NUMBER	A1.1

5. NEWLY INSTALLED BATHROOM EXHAUST FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

10. NEW FIXTURES AND FITTINGS SHALL COMPLY WITH THE
MAXIMUM FLOW RATES SHOWN IN TABLE 4.303.4.2 - SEE
SHEET A1.2.2 FORM GRN 16

 EXHAUST FAN

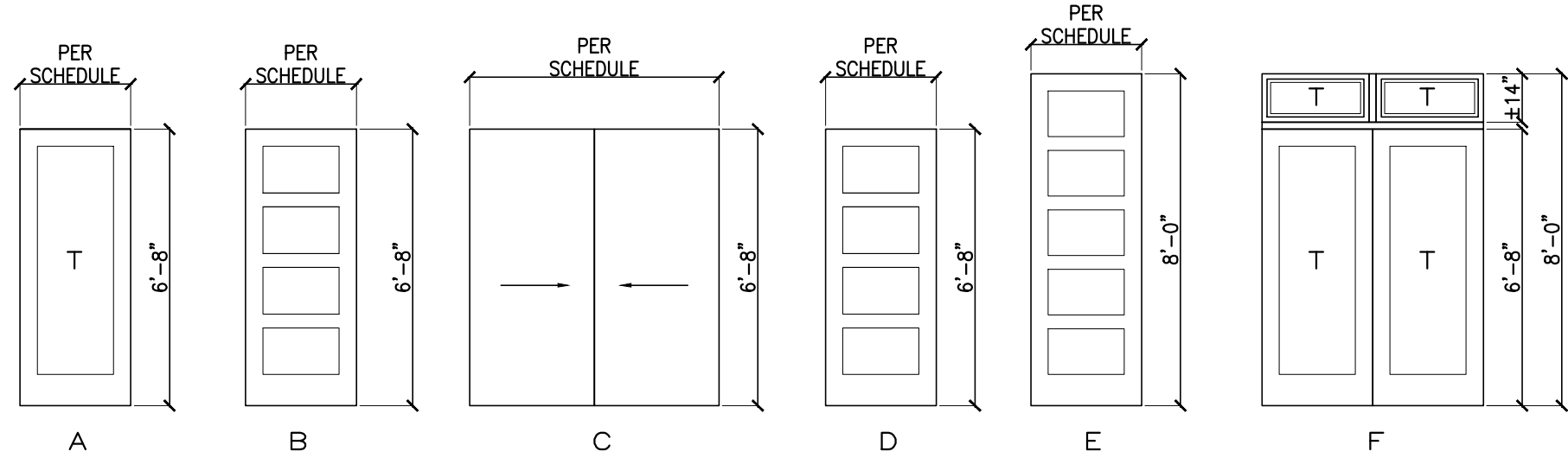
NO.	DATE	REVISION
	-	




A2.1

○	Size			Door			Frame	Remarks	
	Width	Height	Thick	Type	Face	Core			
1	2'-8"	6'-8"	1-3/4"	A	FRENCH	PAINT GRADE	--	WOOD	TEMPERED GLASS, DEAD BOLT
2	2'-8"	6'-8"	1-3/8"	B	RAISED PANEL	PAINT GRADE	SOLID	WOOD	PRIVACY LOCK
3	6'-0"	6'-8"	1-3/8"	C	FLUSH	PAINT GRADE	SOLID	WOOD	SLIDING CLOSET DOOR HARDWARE
4	3'-0"	8'-0"	1-3/8"	E	RAISED PANEL	PAINT GRADE	SOLID	WOOD	PRIVACY LOCK
5	2'-8"	8'-0"	1-3/8"	E	RAISED PANEL	PAINT GRADE	SOLID	WOOD	PASSAGE HARDWARE
6	2'-8"	8'-0"	1-3/8"	E	RAISED PANEL	PAINT GRADE	SOLID	WOOD	PRIVACY LOCK
7	2'-8"	8'-0"	1-3/8"	E	RAISED PANEL	PAINT GRADE	SOLID	WOOD	PASSAGE HARDWARE
8	PR 2'-8"	6'-8" W/TRANSOME ABOVE	1-3/4"	F	FRENCH	PAINT GRADE	--	WOOD	TEMPERED GLASS, DEAD BOLT

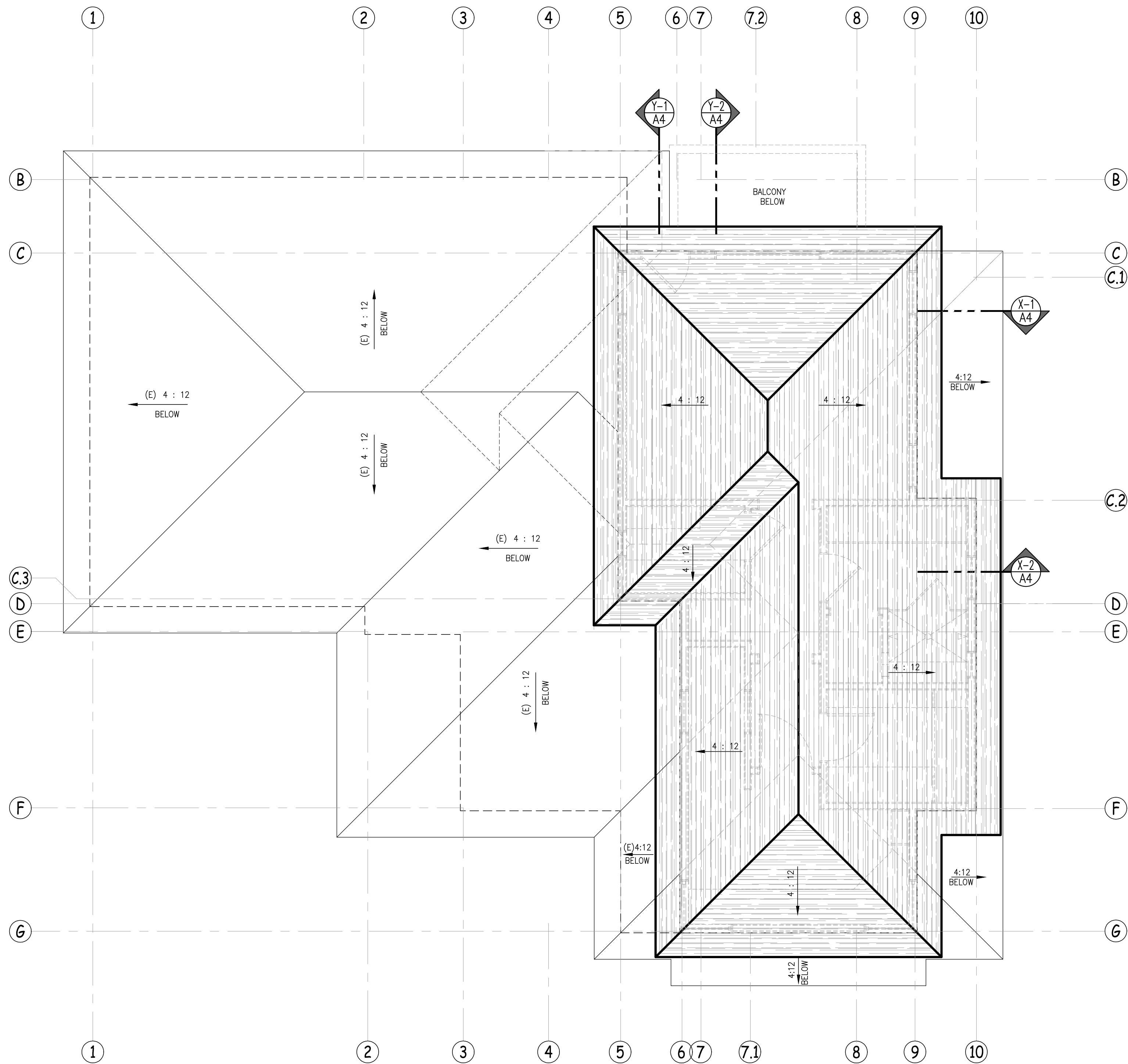
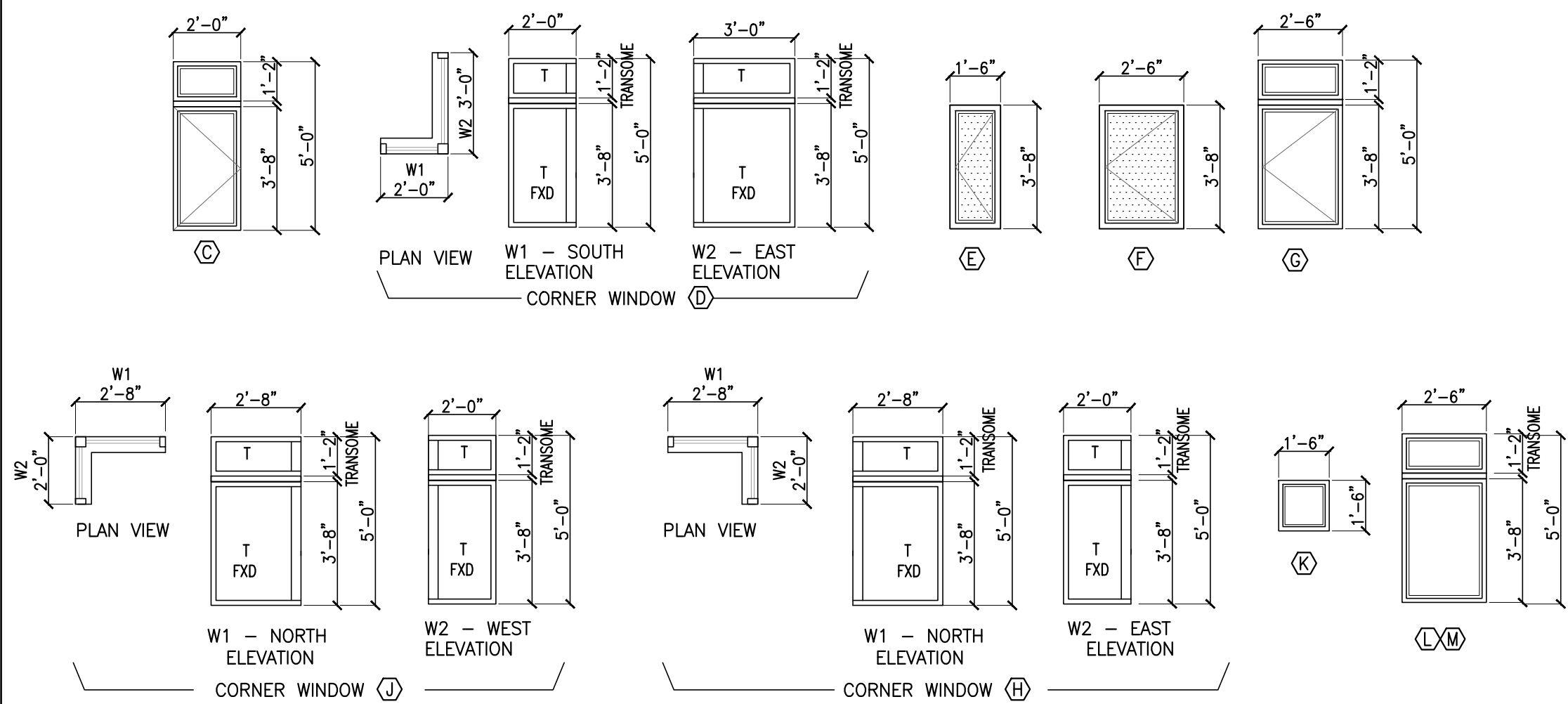
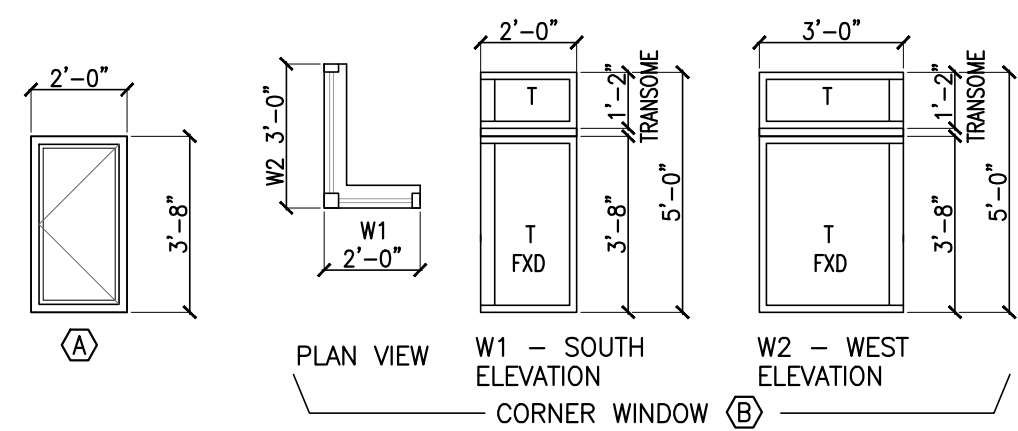
1. ALL FRENCH DOORS TO BE PAINT GRADE.
2. VERIFY ROUGH OPENINGS
3. "T" INDICATES TEMPERED GLASS



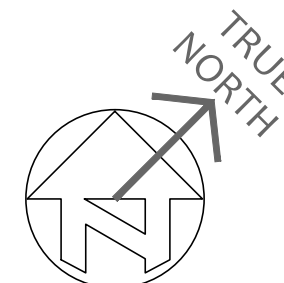
WINDOWS TO BE VINYL, INSULATED GLASS, LOW E2, AIR FILLED. MARVIN INTEGRITY ESSENTIAL COLLECTION – OR APPROVED SIMILAR

Legend		WINDOW TYPE CM=Casement DH=Double Hung SH=Single Hung SL=Slider		AWN=Awning FXD=Fixed Direct Set FXS=Fixed Sash Set TRN=Transom		GLASS TYPE SSB=Single Glaze IG=Insulated Glass OBS=Obscure		OPN=Open With Stops UV=Ultra Violet Screen Film AF=Argon Filled		BR=Bronze GR=Gray TMP=Tempered		EXTERIOR TRIM BMC=Brick Mold Casing SMC=Stucco Mold Casing BOX=NO BMC No Sill Nose		BALD=No BMC with Sill OTHER=Specify	
	Qty	Rough Opening	-- Cat. No.	Cut Ups	Material	Wind Type	Glass Type	Ext Trim	Scrn	U Factor	SHGC	Remarks			
A	1	2'-0" X 3'-8"	--	-- --	VINYL	AWN	IG	SMC	No	0.30 MAX.	0.23 MAX.	SEE ELEVATIONS			
B	1	1'-9" X 1'-2"	--	-- --	VINYL	CM	IG	SMC	Yes	0.30 MAX.	0.23 MAX.	SEE ELEVATIONS			
C	1	2'-6" X 3'-2"	--	-- --	VINYL	CM	IG	SMC	Yes	0.30 MAX.	0.23 MAX.	SEE ELEVATIONS			
D	1	4'-0" X 3'-8"	--	-- --	VINYL	TWIN CM	IG	SMC	Yes	0.30 MAX.	0.23 MAX.	SEE ELEVATIONS			
E	1	5'-0" X 4'-0"	--	-- --	VINYL	CM	IG	SMC	Yes	0.30 MAX.	0.23 MAX.	SEE ELEVATIONS			
E.1	1	5'-0" X 4'-0"	--	-- --	VINYL	CM	IG	SMC	Yes	0.30 MAX.	0.23 MAX.	SEE ELEVATIONS			
												SEE ELEVATIONS			
SOLATUBE		10"ø			CODE COMPLIANCE RESEARC REPORT CCRR-0131										
SKYLIGHT		22 1/2" X 34 1/2"			VELUX, CURB MOUNTED, SOLAR POWERED "FRESH AIR" MODEL VCS2234, ICC ESR-4108										

1. SEE ELEVATIONS FOR HINGING DIRECTIONS OF WINDOWS
2. VERIFY ROUGH OPENINGS
3. "T" INDICATES TEMPERED GLASS
4. NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND/OR DOORS UNTIL FINAL INSPECTION



2ND FLOOR ROOF PLAN



NO.	DATE	REVISION
	-	

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Additions and Alterations to the:

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1025 CORNELL DR
BURBANK, CA 91504

APN 2470 007 012

PROJECT NUMBER	
----------------	--

21-0300

DATE _____

08-22-22

SCAL

$$1/8'' = 1'-0''$$

SHEET TITLE

2ND FLOOR ROOF PLAN
DOOR & WINDOW
SCHEDULES

SHEET NUMBER

A2.2



PROPOSED NORTH ELEVATION

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APN 2470 007 012

PROJECT NUMBER	
----------------	--

21-0300

08-22-22

$$1/4 = 1'-0''$$

SHEET TITLE

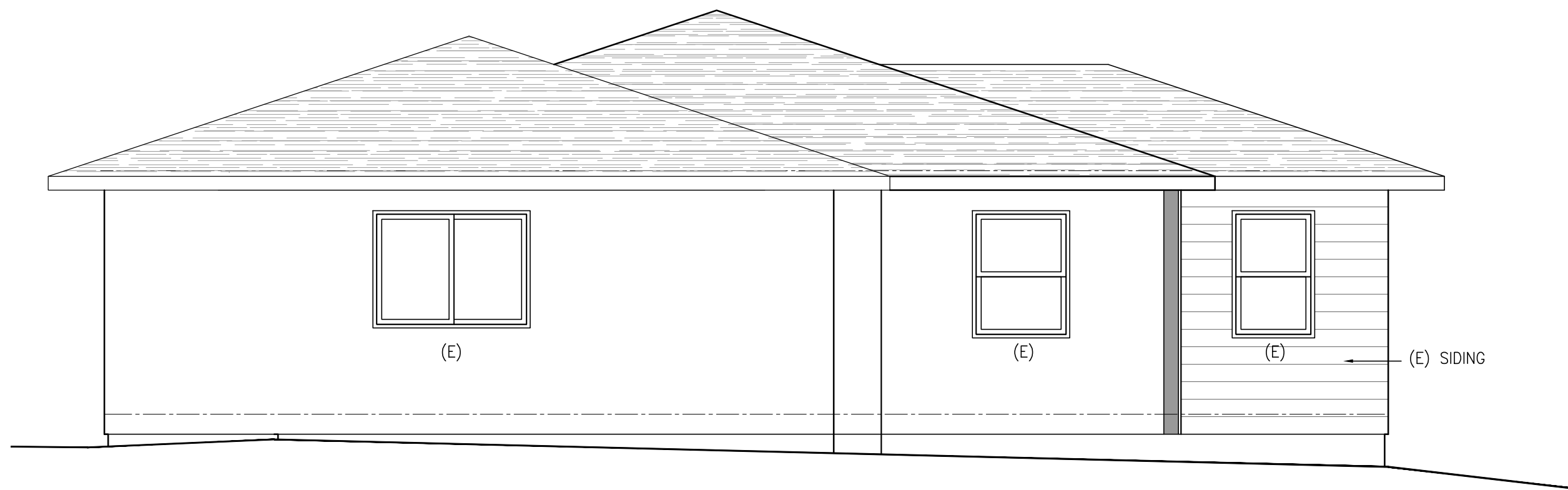
ELEVATIONS

SHEET NUMBER

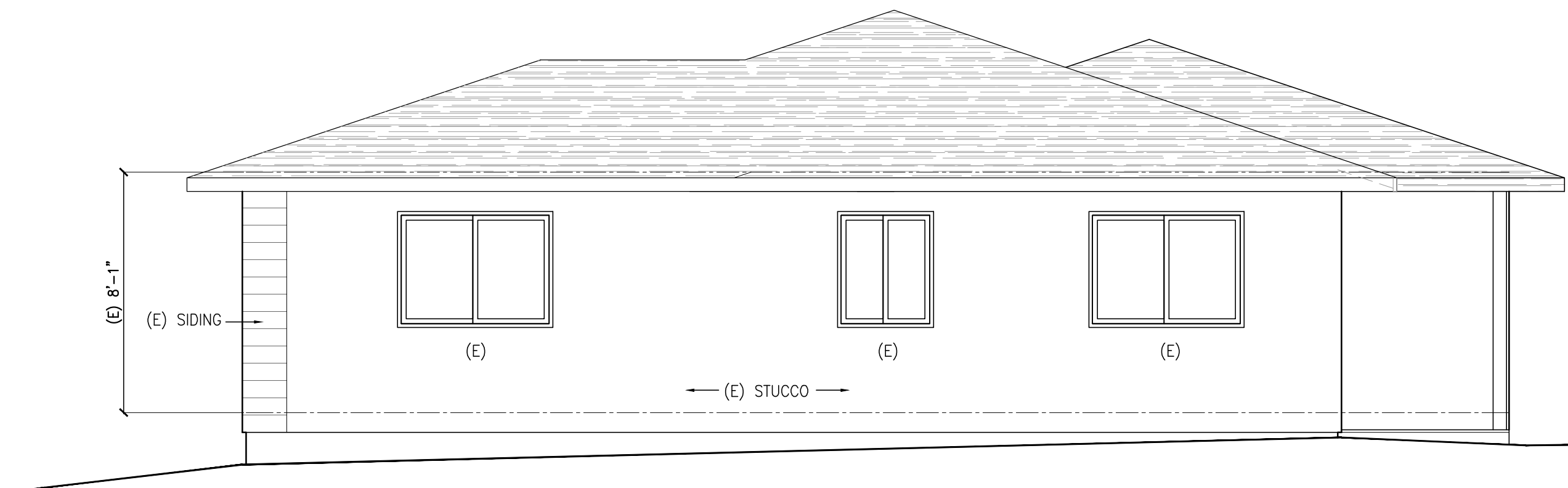
A3.1

The above drawings and specifications and ideas, designs and arrangements represented thereby shall be the property of the undersigned and no part thereof shall be copied, disclosed to others, or used in connection with any work or project other than the specified project for which they were prepared without the written consent of the undersigned. Verbal contact with these plans or specifications shall constitute conclusive evidence of acceptance of these restrictions.

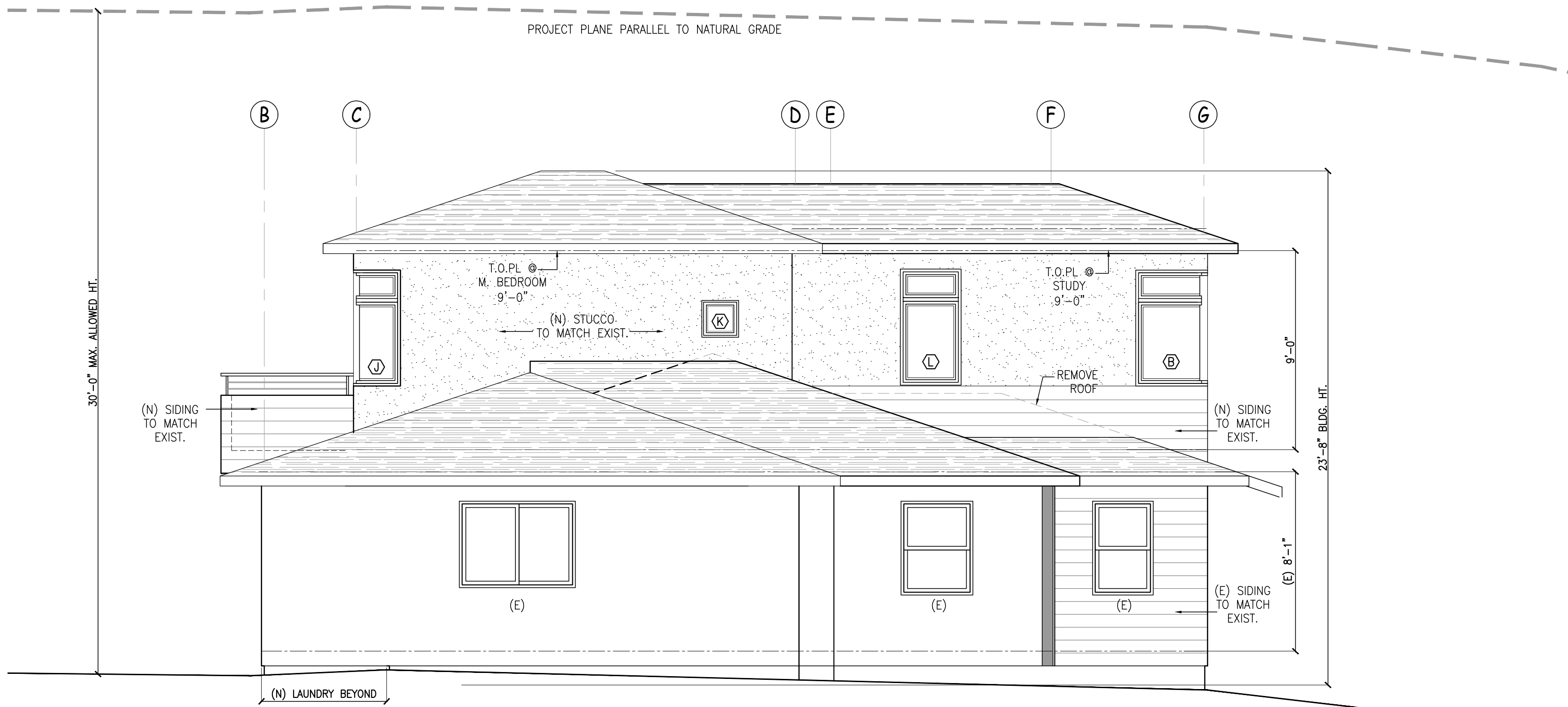
Written dimensions on these drawings shall have priority over any dimensions written on the drawings and the undersigned shall be responsible for all dimensions and conditions on the job, and this office must be notified of any variations from the dimensions and conditions on the job. No drawings or specifications shall be submitted to this office for approval before proceeding with fabrication.



EXISTING EAST ELEVATION

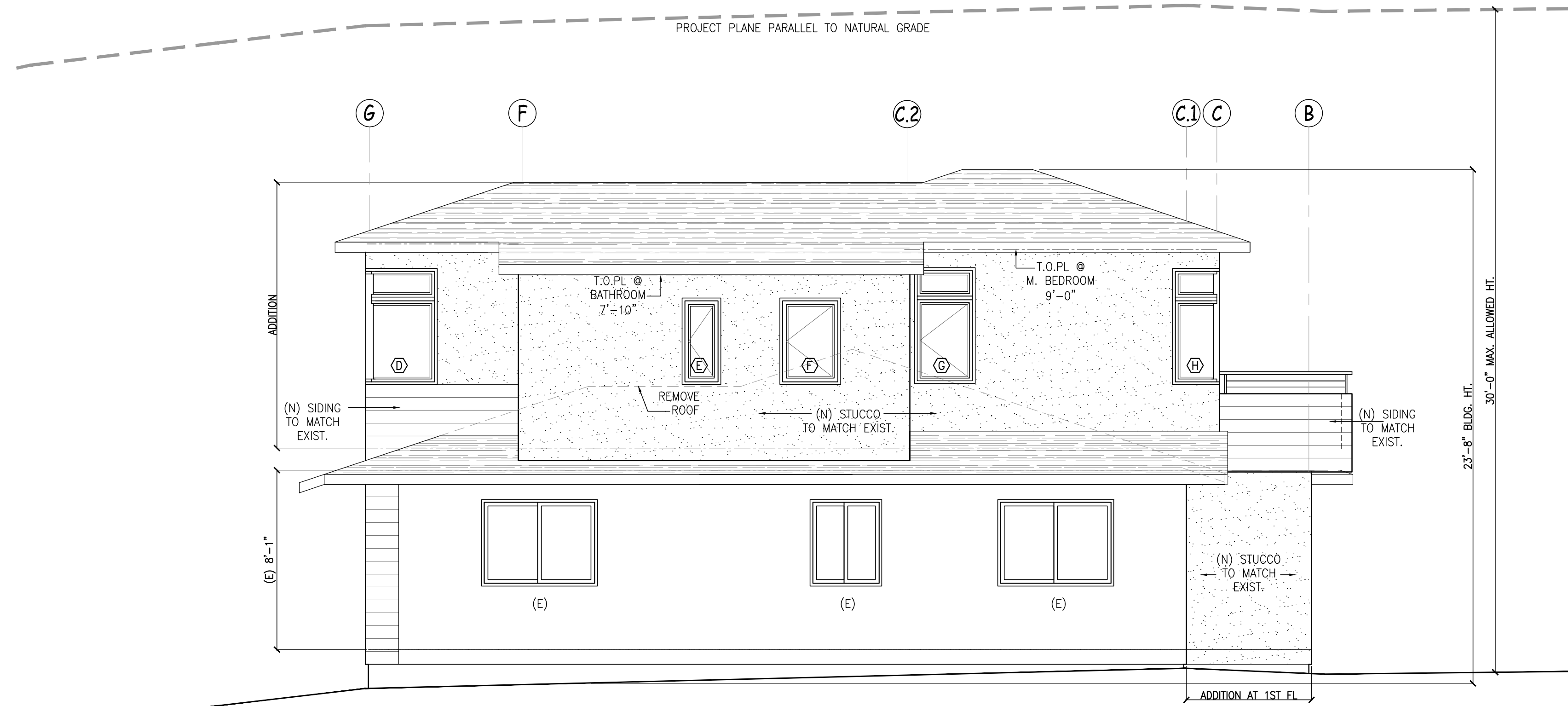


EXISTING WEST ELEVATION



PROPOSED EAST ELEVATION

NOTE:
ALL MATERIALS AND COLORS
TO MATCH EXISTING



PROPOSED WEST ELEVATION

NO.

DATE

REVISION

ADDITIONS AND ALTERATIONS TO THE:

UPDIKE RESIDENCE

1025 CORNELL DR

BURBANK, CA 91504

PROJECT NUMBER

21-0300

DATE

08-22-22

SCALE

1/4" = 1'-0"

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A3.2

STATE OF CALIFORNIA

REGISTERED ARCHITECT

SEATTLE, WA

NOV 08-30

C0007

BARDWELL CASE

3852 CAMINO DE SOLANA,

SHERMAN OAKS, CALIFORNIA

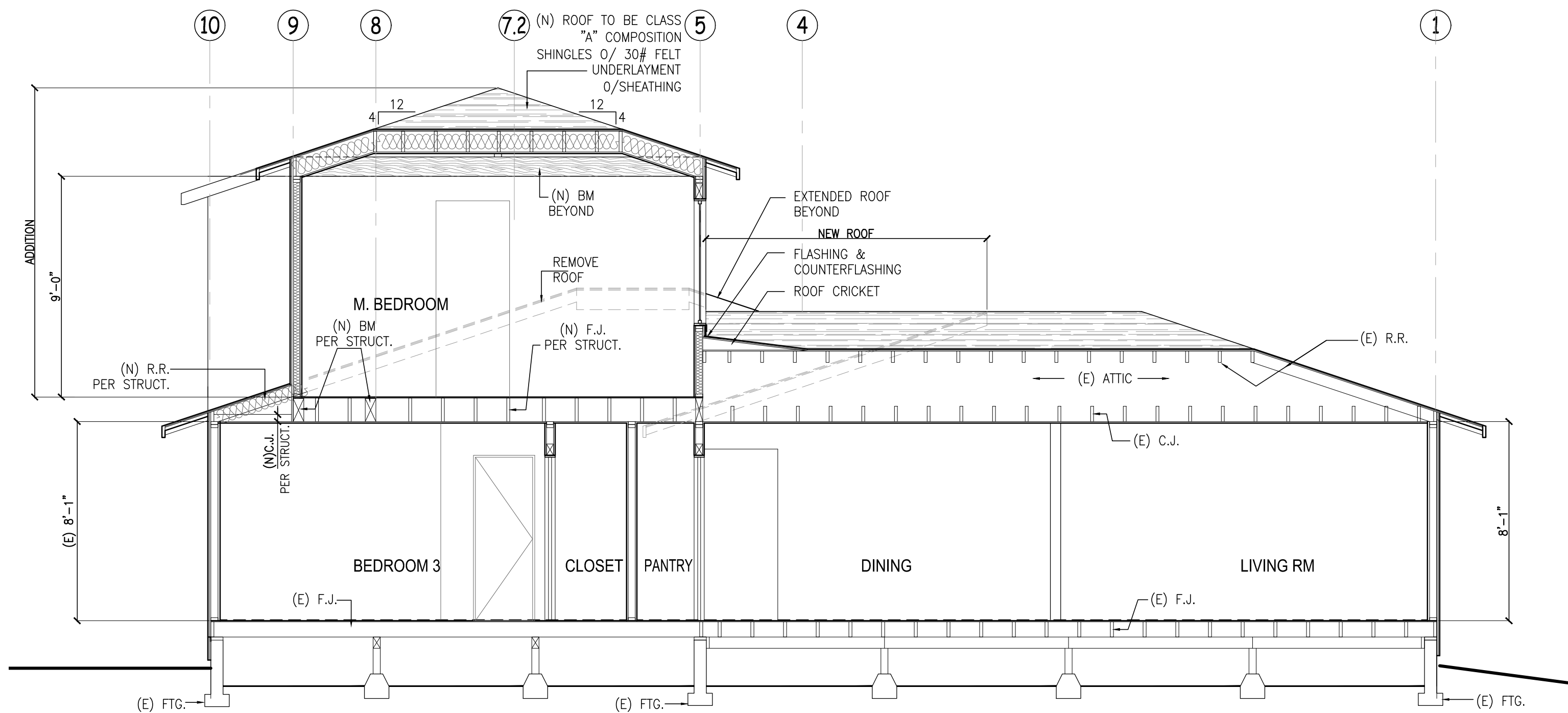
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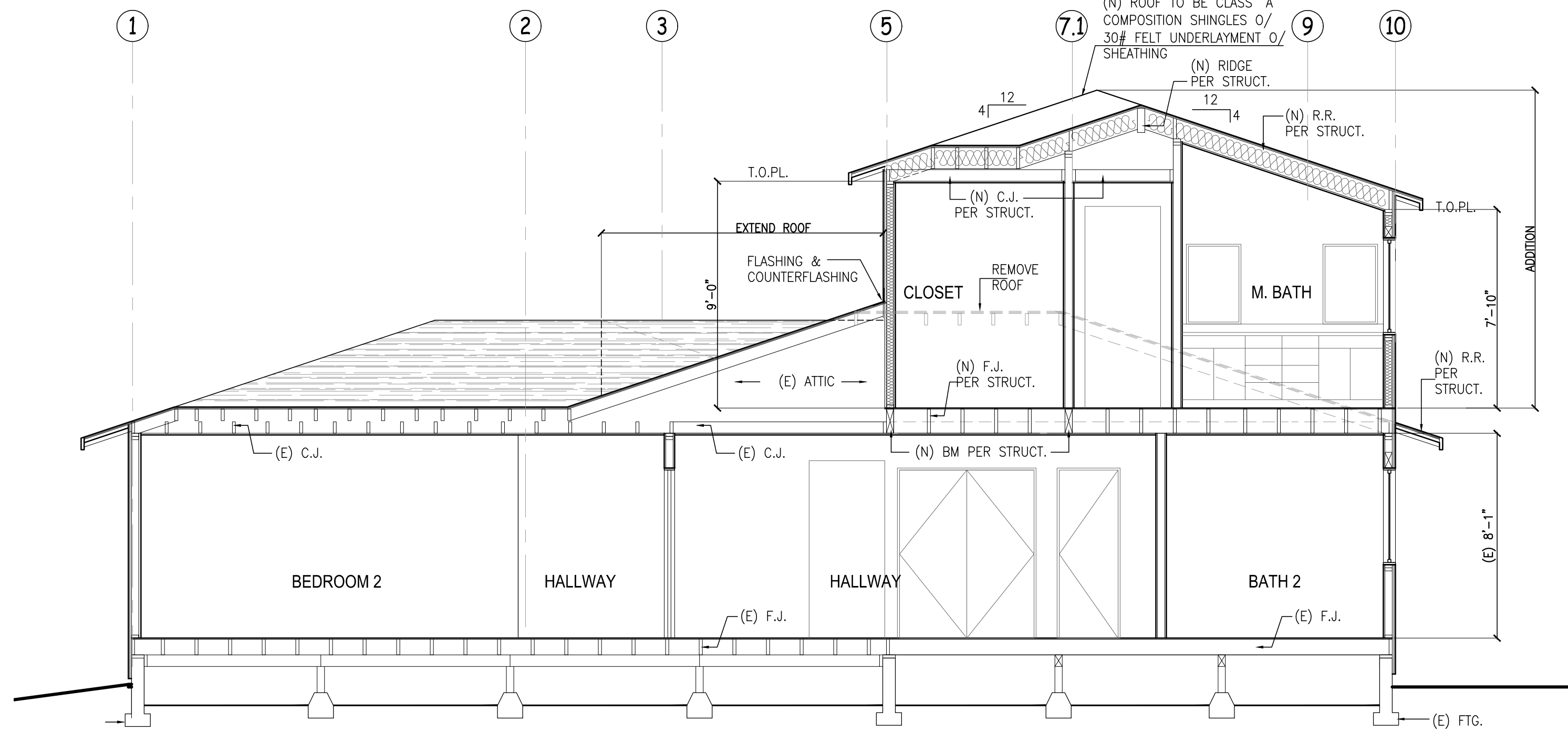
ARCHITECTS INC.

BARDWELL CASE ZINSHU

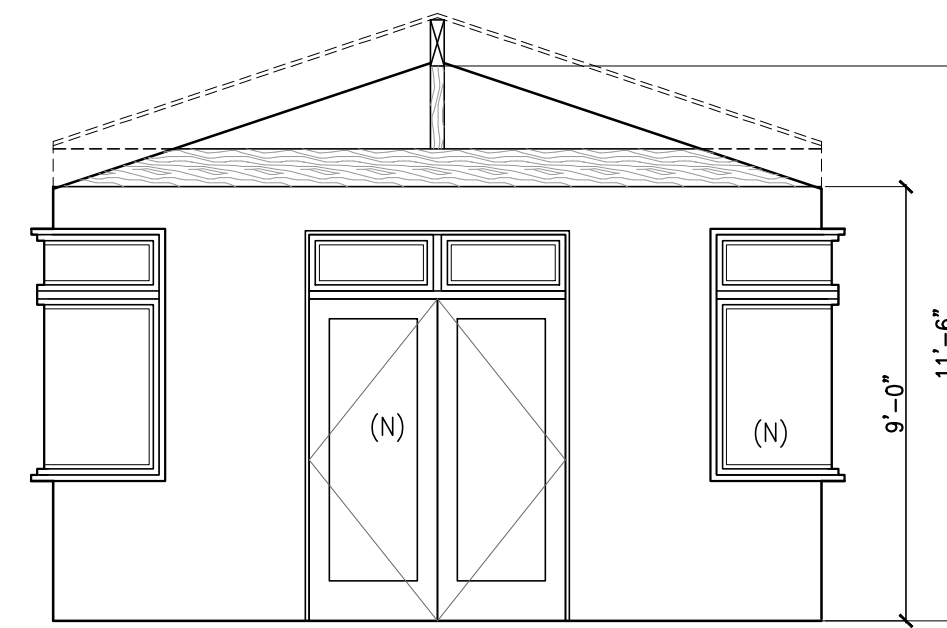
APN 2470 007 012



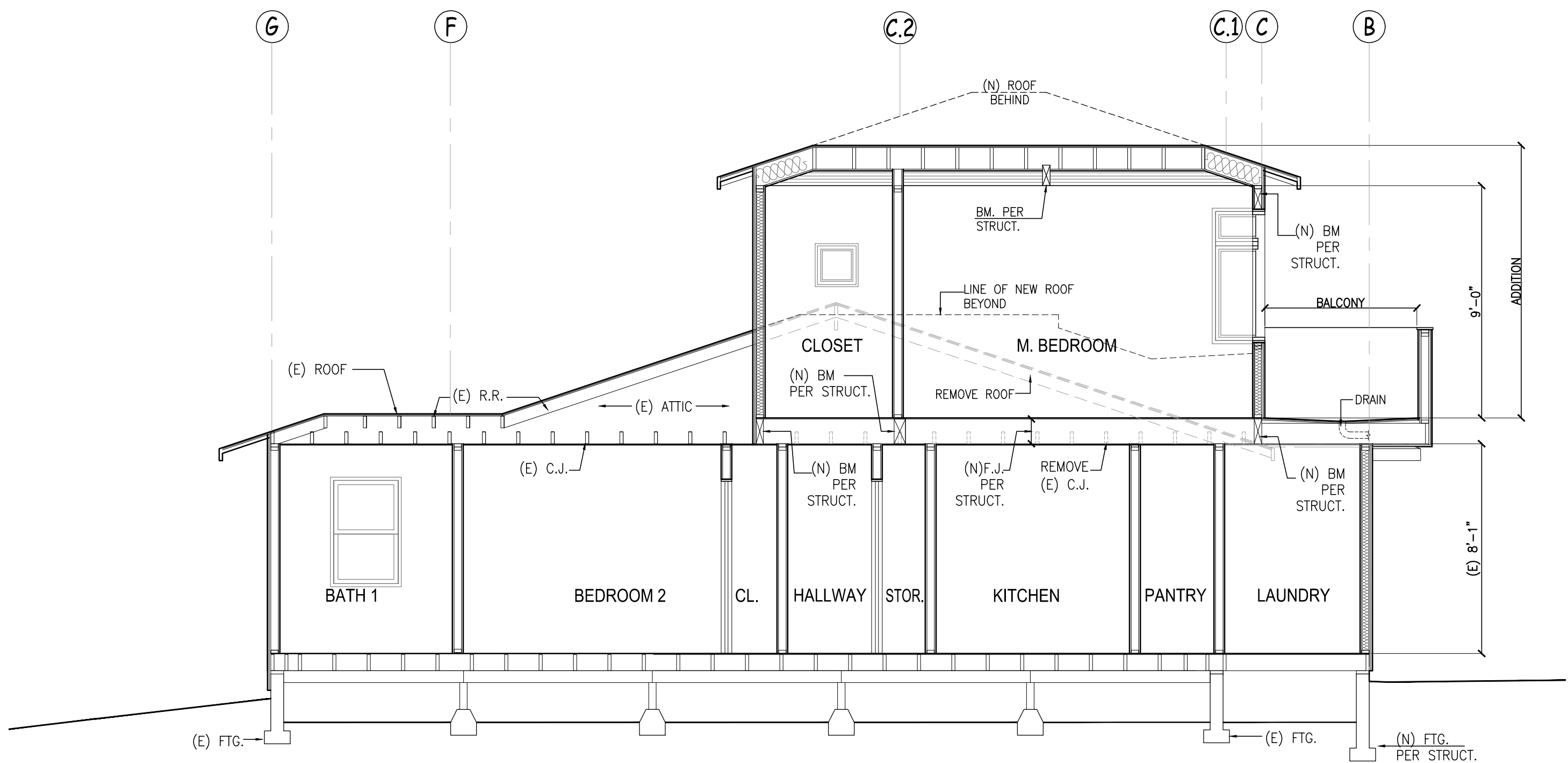
SECTION X-1



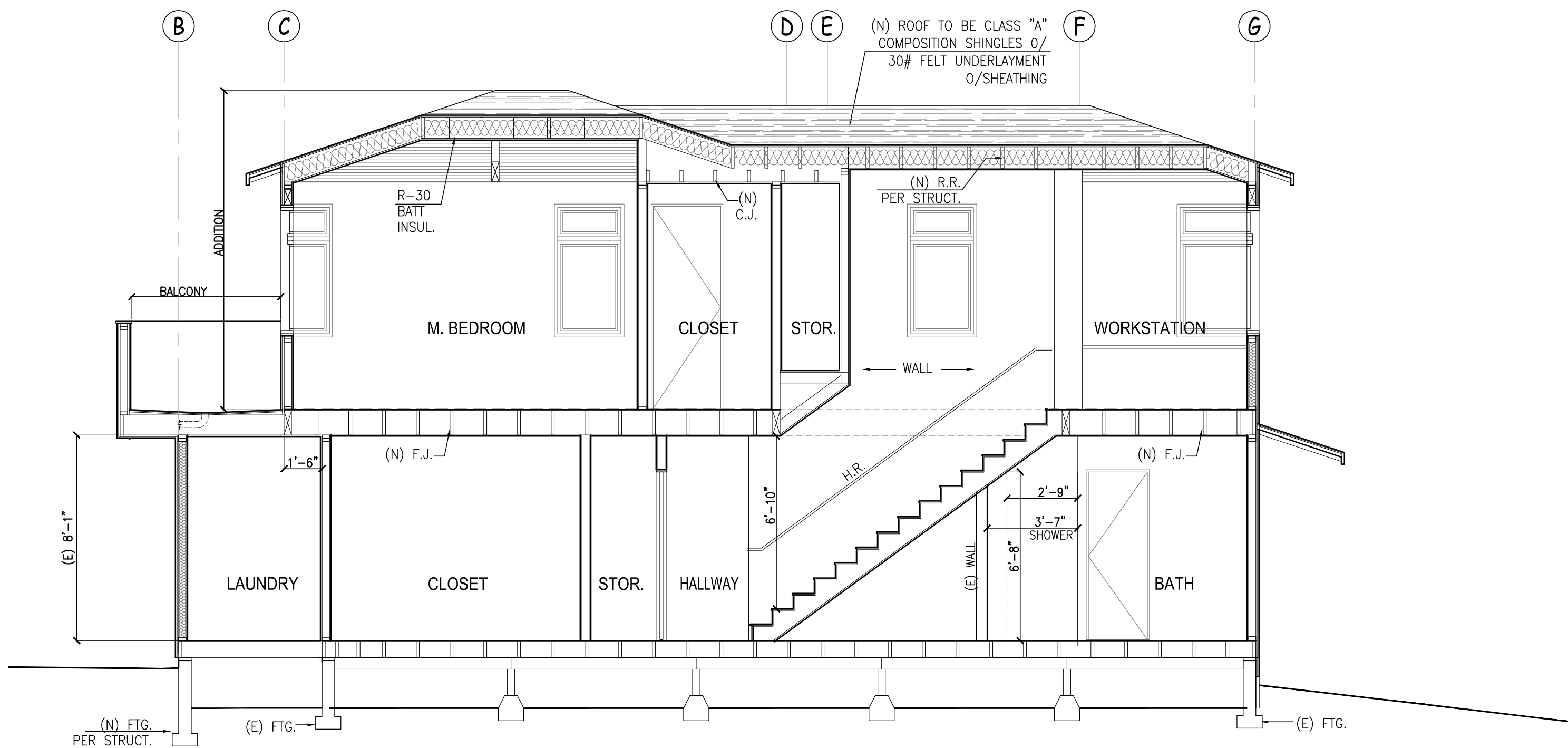
SECTION X-2



M. BEDROOM
NORTH ELEVATION



SECTION Y-1



SECTION Y-2

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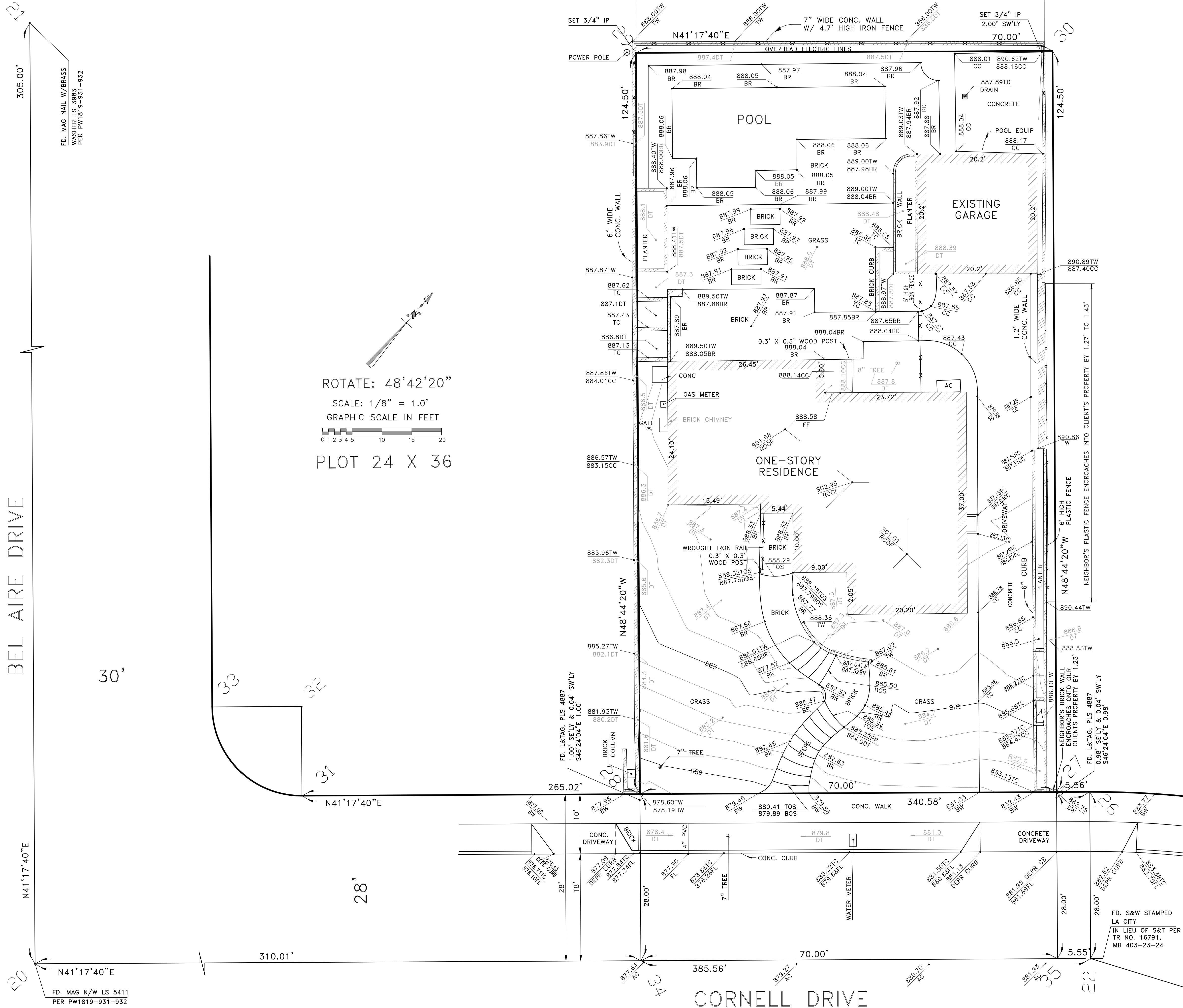
PROJECT NUMBER	21-0300
DATE	08-22-22
SCALE	1/4" = 1'-0"
SHEET TITLE	SECTIONS
SHEET NUMBER	A4.0



- NOTES:
1. PROVIDE STAIRWAY ILLUMINATION. MIN. 1 FOOT CANDLE AT TREAD RUNS
 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING - USE PANASONIC WHISPER QUIET.
 3. BATHROOM EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

APN 2470 007 012

PROJECT NUMBER	21-0300
DATE	08-22-22
SCALE	$\frac{1}{4}" = 1'-0"$
SHEET TITLE	ELECTRICAL PLAN
SHEET NUMBER	E1



NOTES:

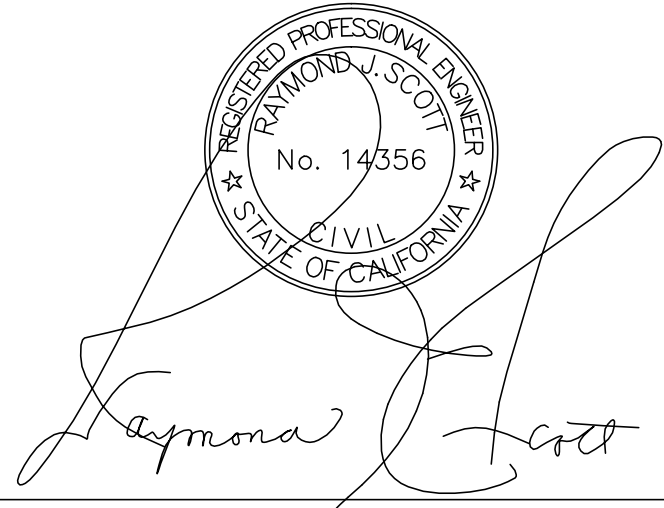
- 1. LEGEND: SOME OF THESE ABBREVIATIONS MAY HAVE BEEN USED ON THIS MAP:
CL -CENTERLINE
N -NORTH
E -EAST
W -WEST
S -SOUTH
TPI -TOP PILLAR OR PILASTER
TW -TOP OF WALL
CONC -CONC OR BLOCK WALL
WOOD RET WALL
WD -WOOD
PA -PAVERS
BRK -BRICK
FLSTN -FLAGSTONE
TS -TOP OF SLOPE
GR -GRADE BREAK
NG -NATURAL GRADE
DT -DIRT
FD -FOUND
LS -LICENSED SURVEYOR
S&W -SPIKE & WASHER
L&TAG -LEAD & TAG
L&T -LEAD & TACK
S&T -SPIKE & TIN
CE -CITY ENGINEER
MB -MAP BOOK
BM -BENCHMARK
R -RADIAL
() -RECORD DATA
BW -BACK EDGE OF WALK
TC -TOP OF CURB
FL -FLOWLINE
AC -ASPHALTIC PAVEMENT
TB -TOP AC BERM
TOS -TOP OF STEP
BOS -BOTTOM OF STEP
X -FENCE
W -WROUGHT IRON FENCE
TOF -TOP OF FENCE
PP -POWER POLE
TP -TELEPHONE POLE
WM -WATER METER
NTS -NOT TO SCALE
CC OR CONC -CONCRETE
SMH -SEWER MANHOLE
ENCR -ENCROACHES
PM -PARKING METER
CB -CATCH BASIN
DR -DRAIN
PL -PROPERTY LINE
FH -FIRE HYDRANT
MH -MAN HOLE
HW -HOT WATER HEATER
2. THE AREA OF THE PROPERTY SURVEYED IS: 8,715 SQ. FT., OR 0.200 ACRES.
3. BOUNDARIES WERE ESTABLISHED BY FIELD MEASUREMENT USING CITY, COUNTY, AND/OR PRIVATE ENGINEER AND SURVEYOR'S MONUMENTS FOUND AT OR NEAR THE SITE OR IN THE SURROUNDING STREETS.
4. IF EASEMENTS ARE SHOWN, THEY ARE FROM AN OWNER-SUPPLIED TITLE POLICY OR PRELIMINARY TITLE REPORT. PLOTTABLE EASEMENTS WILL ONLY BE SHOWN. WE DO NOT GUARANTEE THE ACCURACY OR EXTENT OF THE INFORMATION SUPPLIED BY OTHERS.
5. IF UTILITIES ARE SHOWN, THEY ARE FROM CITY OR COUNTY FILES. ONLY PLOTTABLE UTILITIES WILL BE SHOWN. WE DO NOT GUARANTEE THE ACCURACY OR EXTENT OF THE INFORMATION BY OTHERS.
6. THE TITLE POLICY OR PRELIMINARY TITLE REPORT USED TO PREPARE THIS SURVEY WAS PREPARED BY: NAME OF TITLE COMPANY CLIENT DID NOT PROVIDE
TITLE REPORT OR POLICY NUMBER: XXXXXXXXXXXX Date: XXXXXXXX

BENCH MARK:

ELEVATION: 820.538 BM #2007-1
2-1/2" BRASS CAP STMP CITY OF BURBANK BM 2007-1 AT THE NORTHWEST QUADRANT OF THE "T" INTERSECTION OF UNIVERSITY AVENUE AND BEL AIRE DRIVE, ABOUT 22 FEET NORTH OF THE CENTERLINE OF BEL AIRE DRIVE AND ABOUT 20 FEET WEST OF THE PROD OF THE CENTERLINE OF UNIVERSITY AVENUE, SET IN THE TOP NORTHWEST CORNER OF A 3.5X3.5 FOOT CATCH BASIN ON THE NORTH SIDE OF BEL AIRE AND ABOUT 35 FEET WEST OF GUY POLE.

SURVEY PREPARED FOR:

CRAIG UPDIKE & SHARRA UPDIKE
1025 CORNELL DRIVE
BURBANK, CA 91504-3020



RAYMOND J SCOTT, RCE 14356

RS ENGINEERING CO. INCORPORATED
LAND SURVEYS
(310) 396-1140
ray@rayscott.us

ARCHITECTURAL SURVEY

JOB ADDRESS:
1025 CORNELL DRIVE
BURBANK, CA 91504

SCALE: 1/8" = 1.0'
DATE: 4-7-21
ASSESSOR NUMBER: 2470-007-012
SURVEY V1.0