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MW INVESTMENT GROUP, LLC
27702 CROWN VALLEY PARKWAY, SUITE D-4-197
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SUBDIVIDER

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CIVIL ENGINEER

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R.C.E. NO. 30560
PHONE NO. (949) 756-6440

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BURBANK,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS

PARCEL 1 OF LOT LINE ADJUSTMENT RECORDED FEBRUARY 7, 2022 AND FILED AS INSTRUMENT NO. 20220153074 OF OFFICIAL RECORDS.

AREA

AREA OF THE SUBJECT PROPERTY CONSISTS OF:

± 256,582 S.F. (5.89 ACRES)	EXISTING GROSS
± 221,901 S.F. (5.09 ACRES)	EXISTING NET
± 218,449 S.F. (5.01 ACRES)	AFTER DEDICATIONS

NOTE:
NET AREA EXCLUDES AREA WITHIN RIVERSIDE DRIVE AND MAIN STREET, PUBLIC STREETS.

FLOOD ZONE

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED), CONSIDERED TO BE AN AREA OF MINIMAL FLOOD HAZARD AND AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP NOS. 06037C1345F AND 06037C1337F WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE AO, CONSIDERED TO BE AN AREA SUBJECT TO INUNDATION BY 1% ANNUAL-CHANCE SHALLOW FLOODING (USUALLY SHEET FLOW ON SLOPING TERRAIN) WHERE AVERAGE DEPTHS ARE BETWEEN ONE AND THREE FEET, AS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 06037C1345F WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

BENCHMARK

BM #1307-2 ELEVATION: 512.187 FEET
(SUPERSEDED BM# 1307-1)

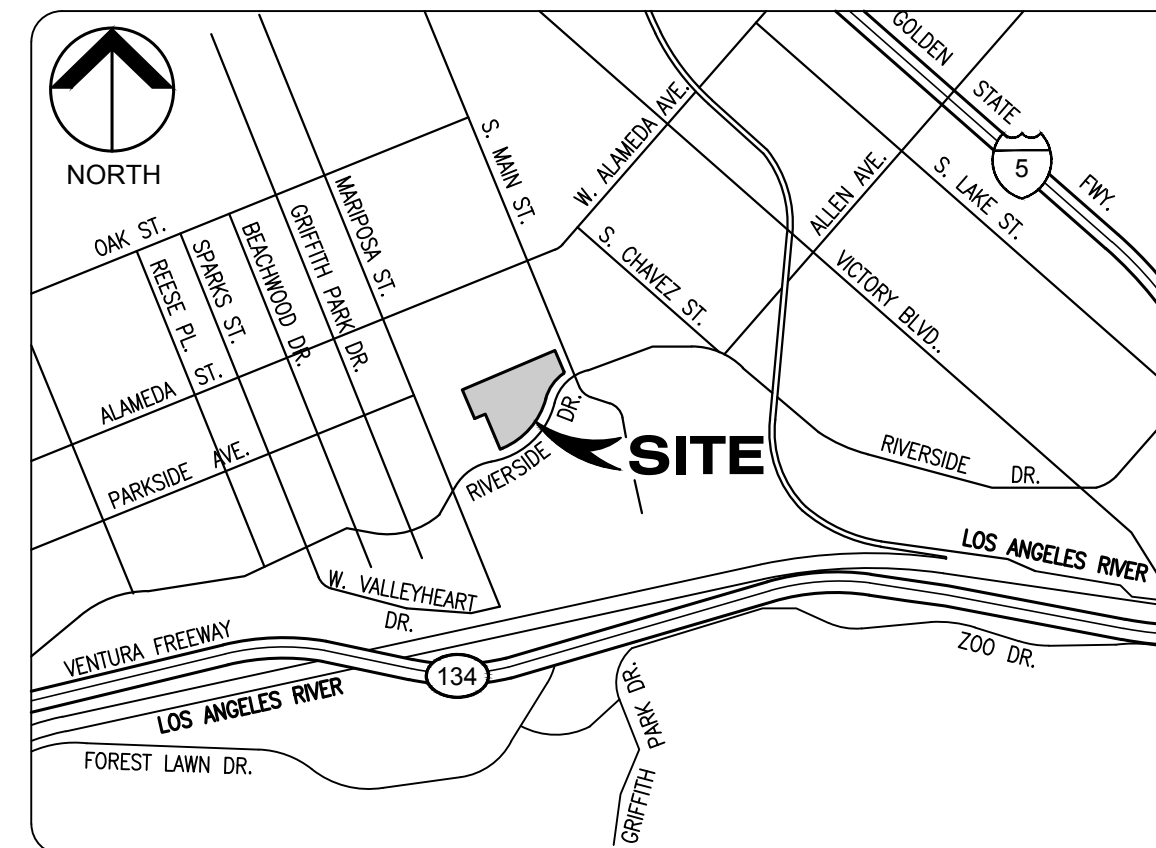
2" BRASS CAP STAMPED 1307-2 AT NORTHEAST QUADRANT ALAMEDA AVENUE AND SHELTON STREET, 4.7 FEET EAST OF THE EAST CURB OF SHELTON STREET AND 50.5 FEET NORTH OF THE NORTH CURB OF ALAMEDA AVENUE SET IN THE TOP NORTHEAST CORNER OF A 5 FOOT BY 15 FOOT CATCH BASIN.

NOTES

1. ALL EXISTING FACILITIES WITHIN THE PROPERTY BOUNDARY ARE TO BE REMOVED.
2. EXISTING COUNTY STORM DRAIN TO BE PROTECTED.
3. OVERHEAD UTILITY LINES WHICH CURRENTLY SERVE THE SUBDIVISION, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, COMMUNICATIONS, STREET LIGHTING AND CABLE TELEVISION, WILL BE PLACED UNDERGROUND.
4. ABANDONED UTILITIES WITHIN PUBLIC RIGHT OF WAY WILL BE REMOVED.

EXCEPTIONS

1. EASEMENT(S) FOR IRRIGATION PURPOSE(S) RECORDED IN BOOK 783 PAGE 120, OF DEEDS.
SAID EASEMENT IS UNDETERMINED IN NATURE.
2. EASEMENT(S) FOR THE STREET PURPOSE(S) RECORDED IN BOOK 3791 PAGE 10, OFFICIAL RECORDS.
3. EASEMENT(S) FOR STORM DRAIN PURPOSE(S) RECORDED DECEMBER 5, 1956 IN BOOK 53043, PAGE 168, OFFICIAL RECORDS.
4. EASEMENT(S) FOR STORM DRAIN PURPOSE(S) RECORDED DECEMBER 28, 1956 IN BOOK 53234 PAGE 254, OFFICIAL RECORDS.
5. EASEMENT(S) FOR DRAINAGE PURPOSE(S) RECORDED JUNE 9, 1958 IN BOOK D122 PAGE 59, OFFICIAL RECORDS.
6. EASEMENT(S) FOR THE PUBLIC ROAD AND UTILITY PURPOSES AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT NO. 9634 RECORDED IN BOOK 133 PAGE 89, OF OFFICIAL RECORDS.



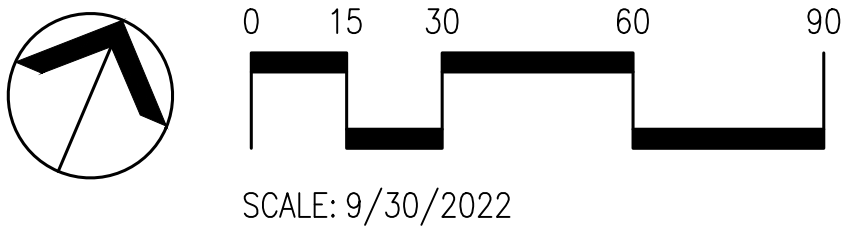
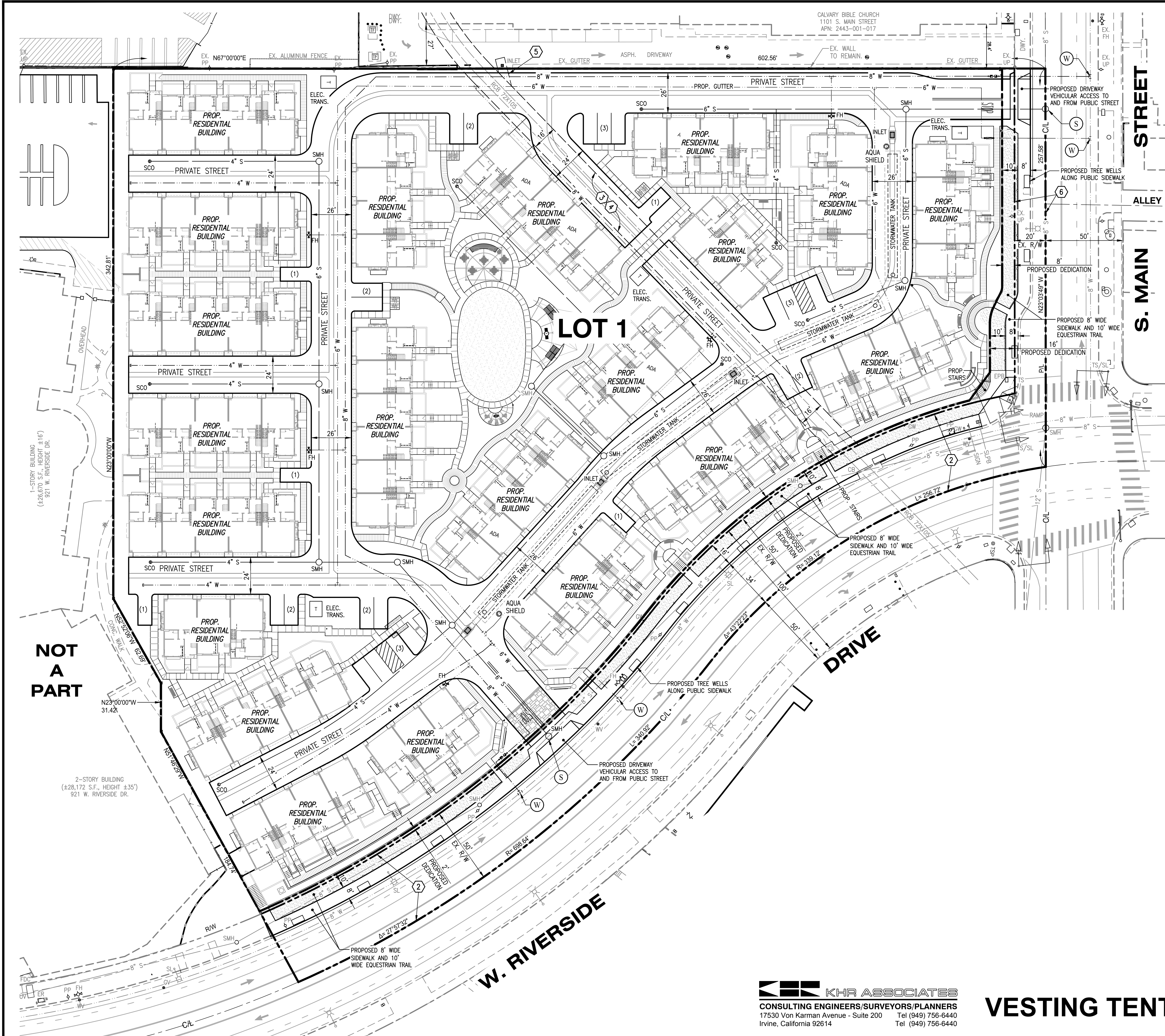
VICINITY MAP

NO SCALE

SHEET 1 OF 2

(EXISTING SITE CONDITIONS) SEPTEMBER 28, 2022

VESTING TENTATIVE TRACT MAP NO. 83627



SCALE: 9/30/2022

SITE INFORMATION

ADDRESS: 1001 W. RIVERSIDE DRIVE
APNS: 2443-001-026
ZONING/LAND USE: CR ZONE - COMMERCIAL RECREATION
OCCUPANCY TYPE: R3

DEVELOPMENT STANDARDS

FRONT YARD SETBACK: 25' MIN.
INTERIOR SIDE YARD SETBACK: 5' MIN.
STREET-FACING SIDE YARD SETBACK: 25' MIN.
REAR YARD SETBACK: 5' MIN.
BUILDING HEIGHT: 35'
MAXIMUM RESIDENTIAL DENSITY: 20 DU/AC
REQUIRED RESIDENT PARKING: 1 SPACE/UNIT

SITE PLAN SUMMARY

SITE AREA: ± 5.05 ACRES
UNITS:
12 UNITS - PLAN 1 - 1816 SF - 3BD/3.5 BA - 2 CAR/SIDE BY SIDE GARAGE
38 UNITS - PLAN 2 - 1880 SF - 4BD/3.5 BA - 2 CAR/SIDE BY SIDE GARAGE
26 UNITS - PLAN 3 - 1931 SF - 4BD/3.5 BA - 2 CAR/SIDE BY SIDE GARAGE
16 UNITS - PLAN 3X - CORNER (ALT) CONDITION
92 UNITS - TOTAL
SITE DENSITY: ±18.2 DU/AC
PARKING PROVIDED:
GARAGE 184 SPACES
GUEST OPEN SPACES 25 SPACES
TOTAL 209 SPACES (2.27 SPACES/DU)

ABBREVIATIONS

ASPH. ASPHALT
C/L CENTERLINE
CB CATCH BASIN
CONC. CONCRETE PAVEMENT
ER ELECTRICAL RISER
ELEC. ELECTRICAL
FH FIRE HYDRANT
GV GAS VALVE
GW GUY WIRE
HC HANDICAP
P/L PROPERTY LINE
PP POWER POLE
R/W RIGHT OF WAY
S SEWER
SCO SEWER CLEANOUT
SD STORM DRAIN
SDMH STORM DRAIN MANHOLE
SL STREET LIGHT
SLPB STREET LIGHT PULLBOX
SMH SEWER MANHOLE
TS TRAFFIC SIGNAL
UP UTILITY POLE
UTIL. UTILITY
UV UTILITY VAULT
W WATER
WM WATER METER
WV WATER VALVE

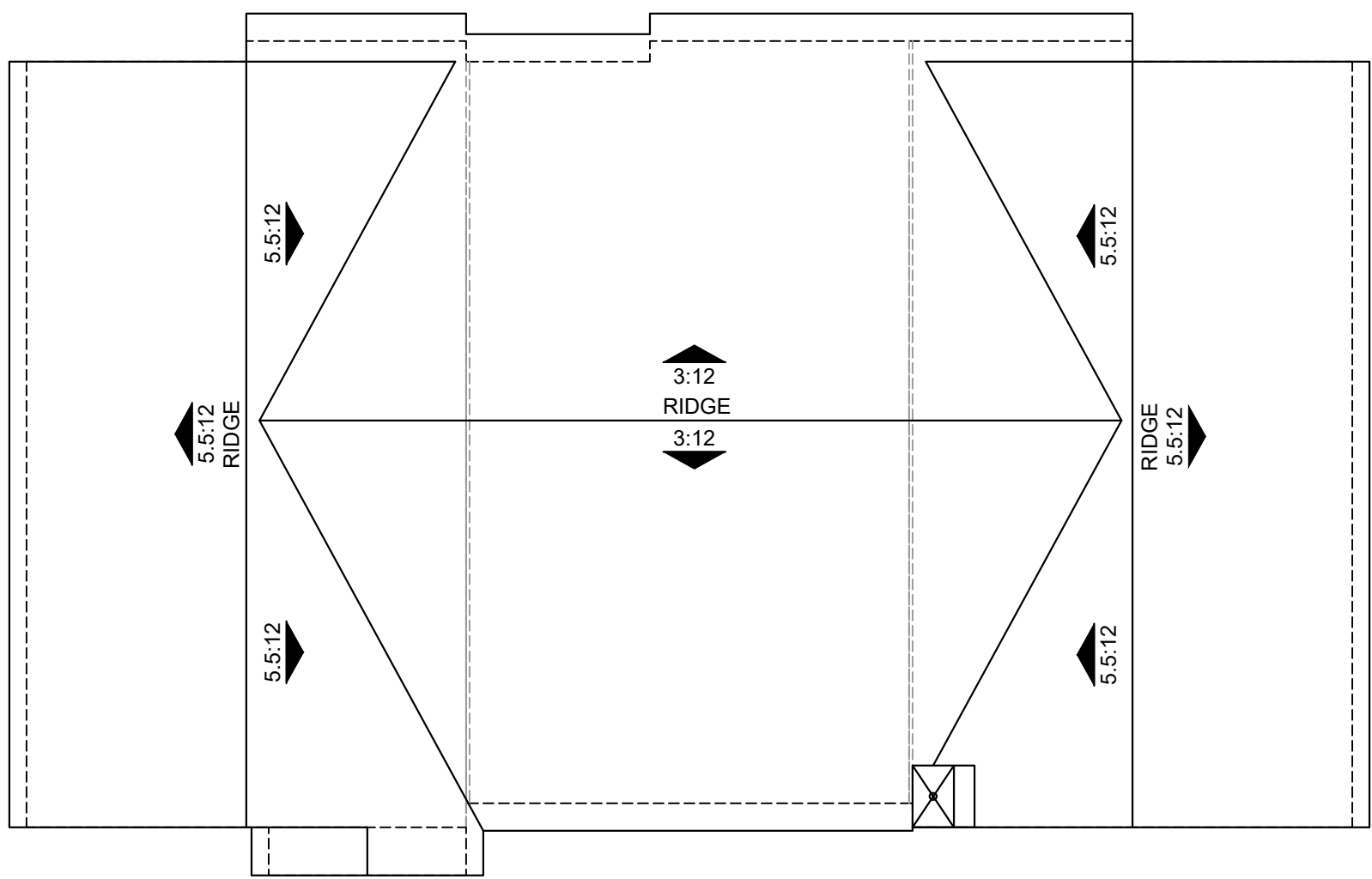
LEGEND

--- BOUNDARY LINE
--- CENTERLINE
--- RIGHT OF WAY
--- W --- WATER
--- S --- SEWER
--- SD --- STORM DRAIN
--- STREET LIGHT
--- FIRE HYDRANT
--- SIGN
--- VALVE
--- TREE

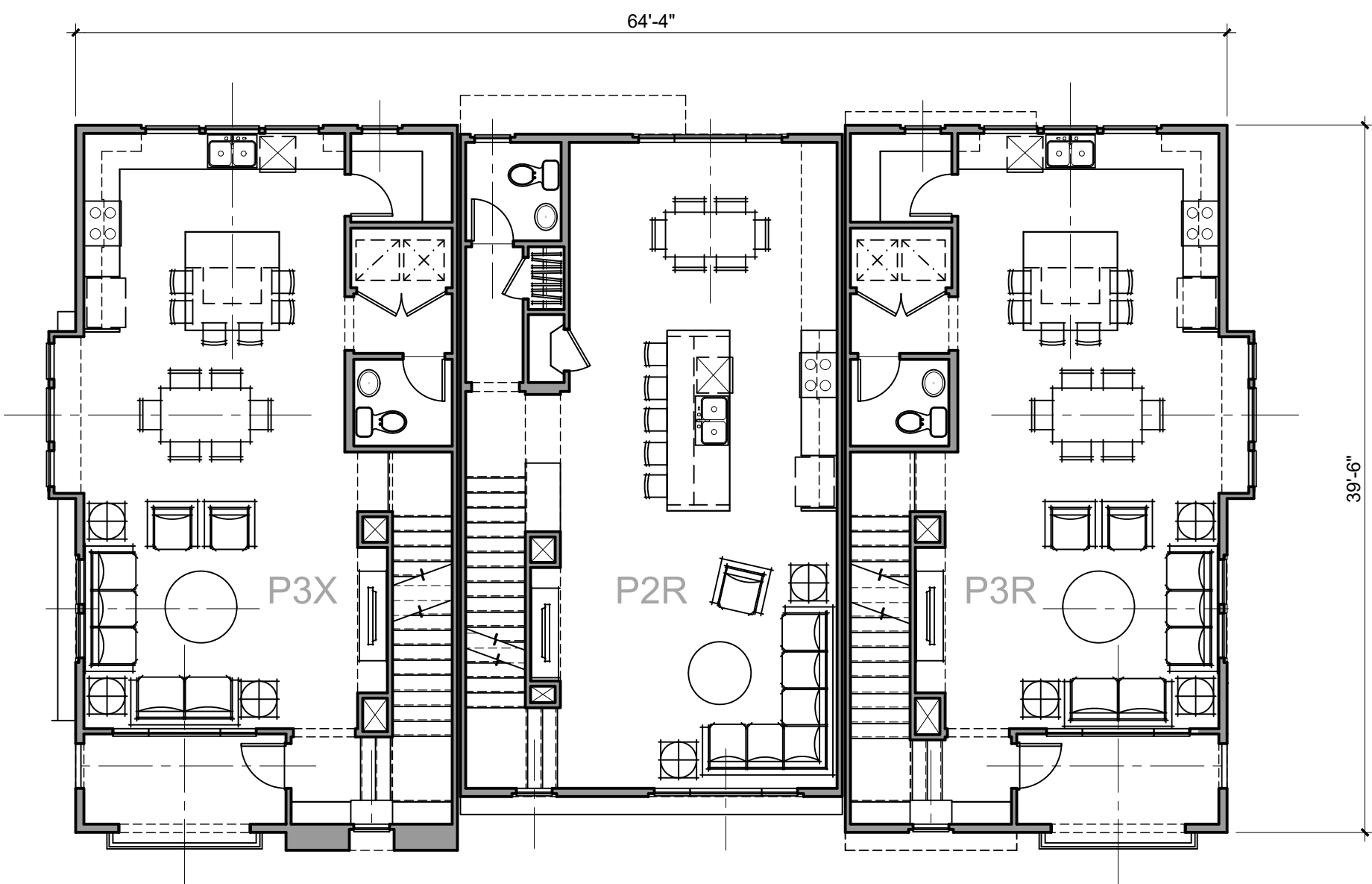
NOTES

1. PROPOSED WATER POINT OF CONNECTION. (W)
2. PROPOSED SEWER OR STORM DRAIN POINT OF CONNECTION. (S)

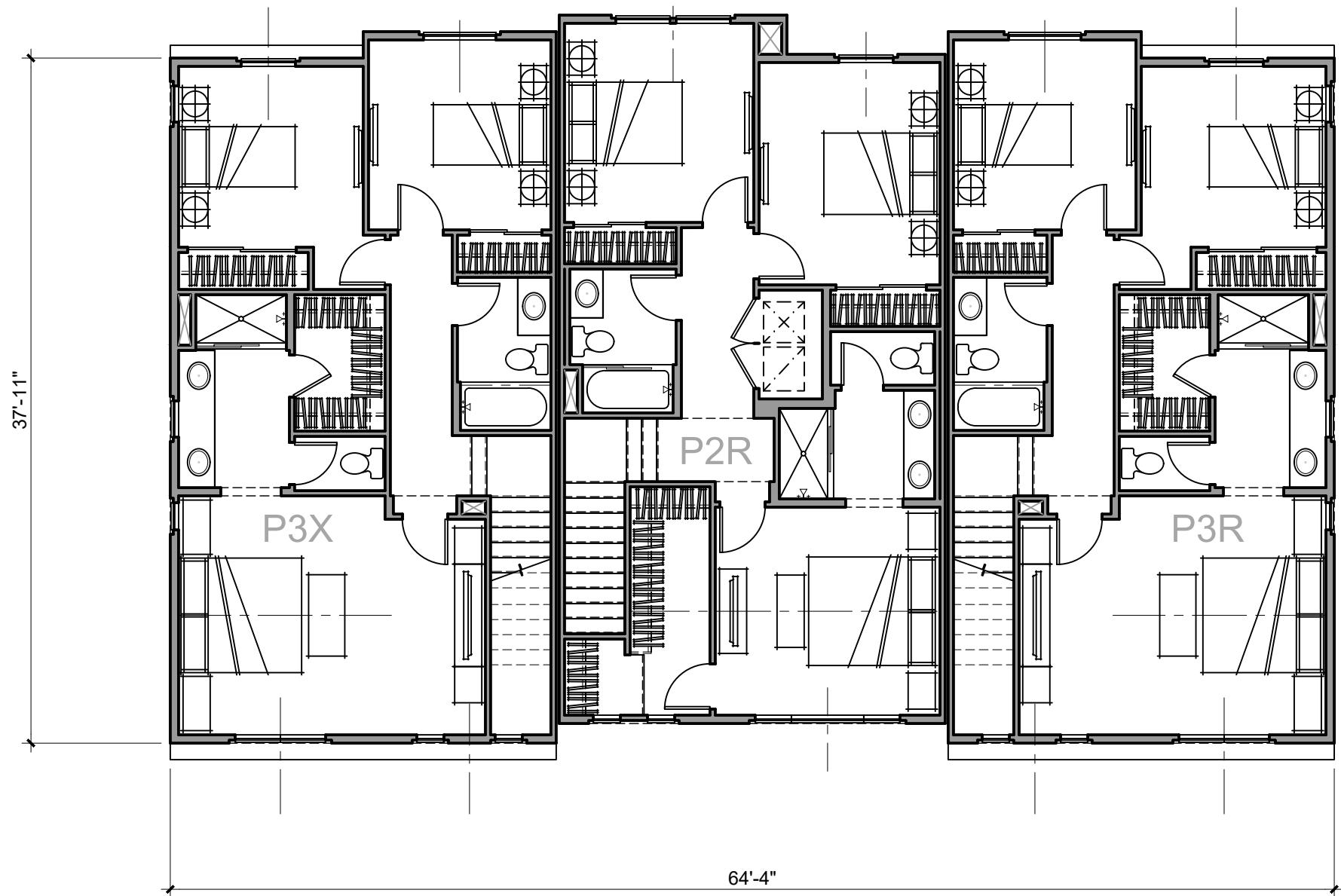
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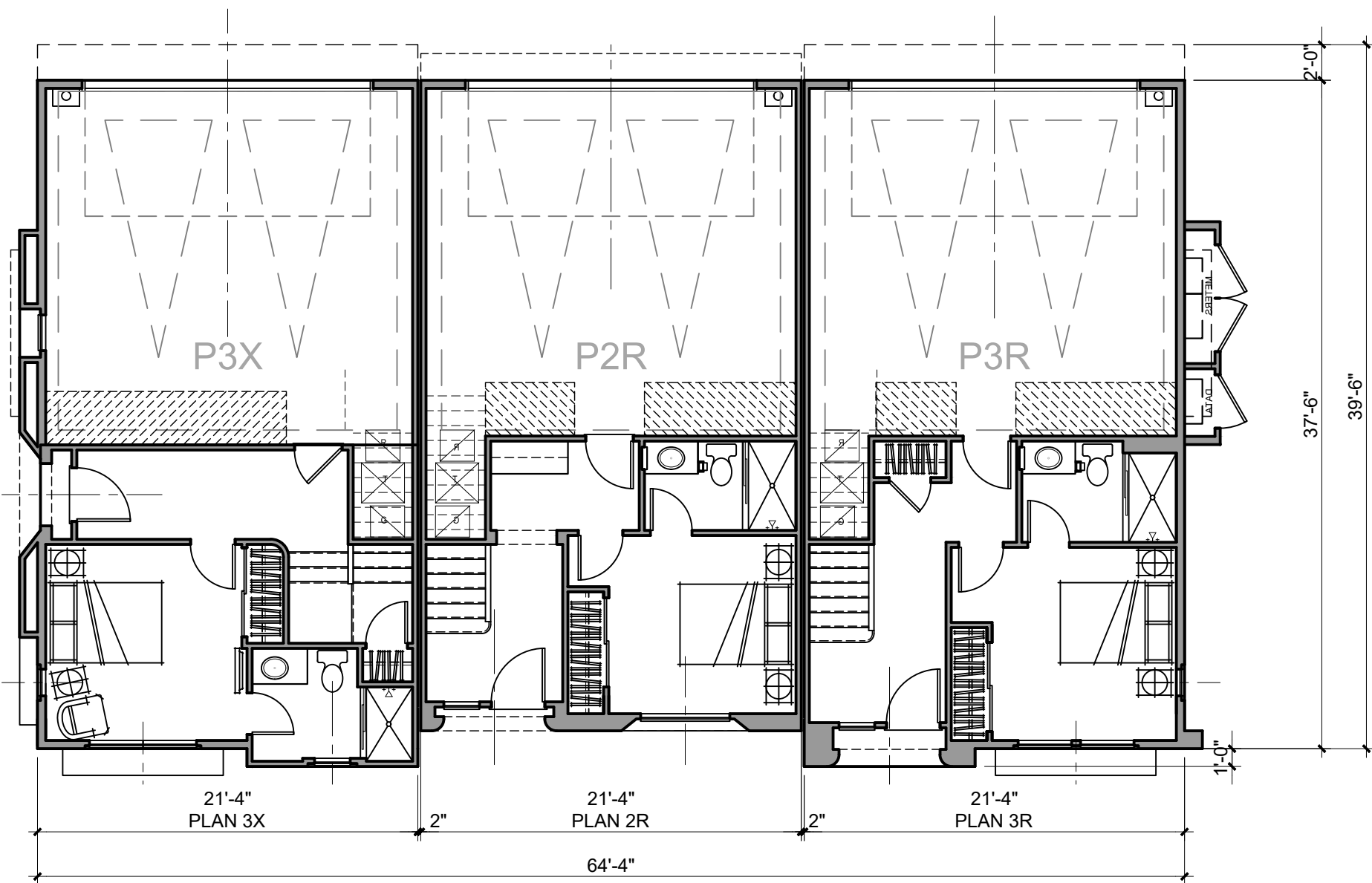
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



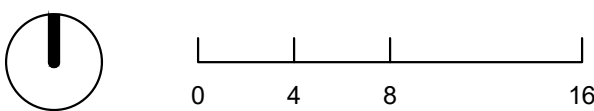
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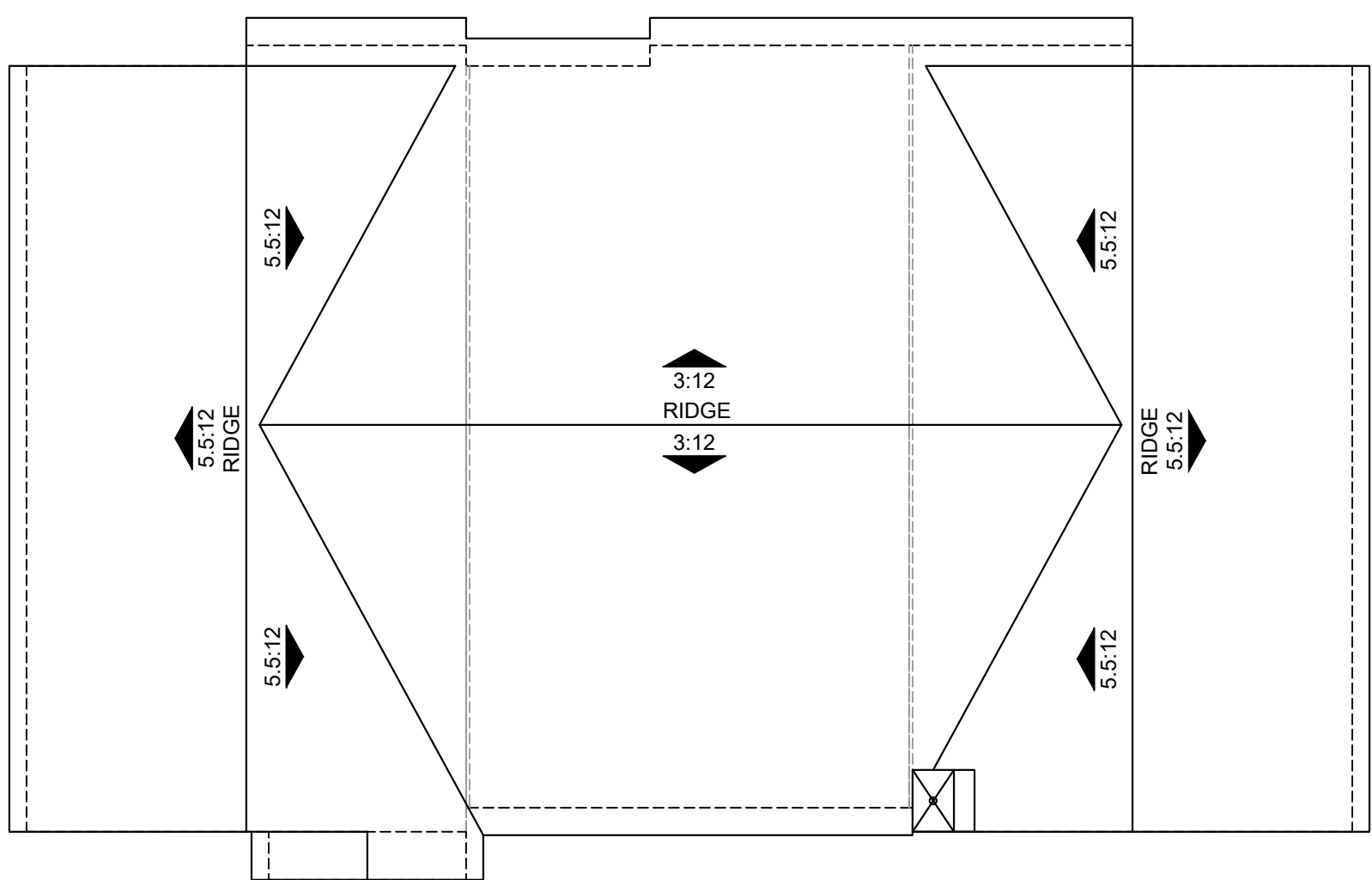
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Re-Submittal: 2022-10-04

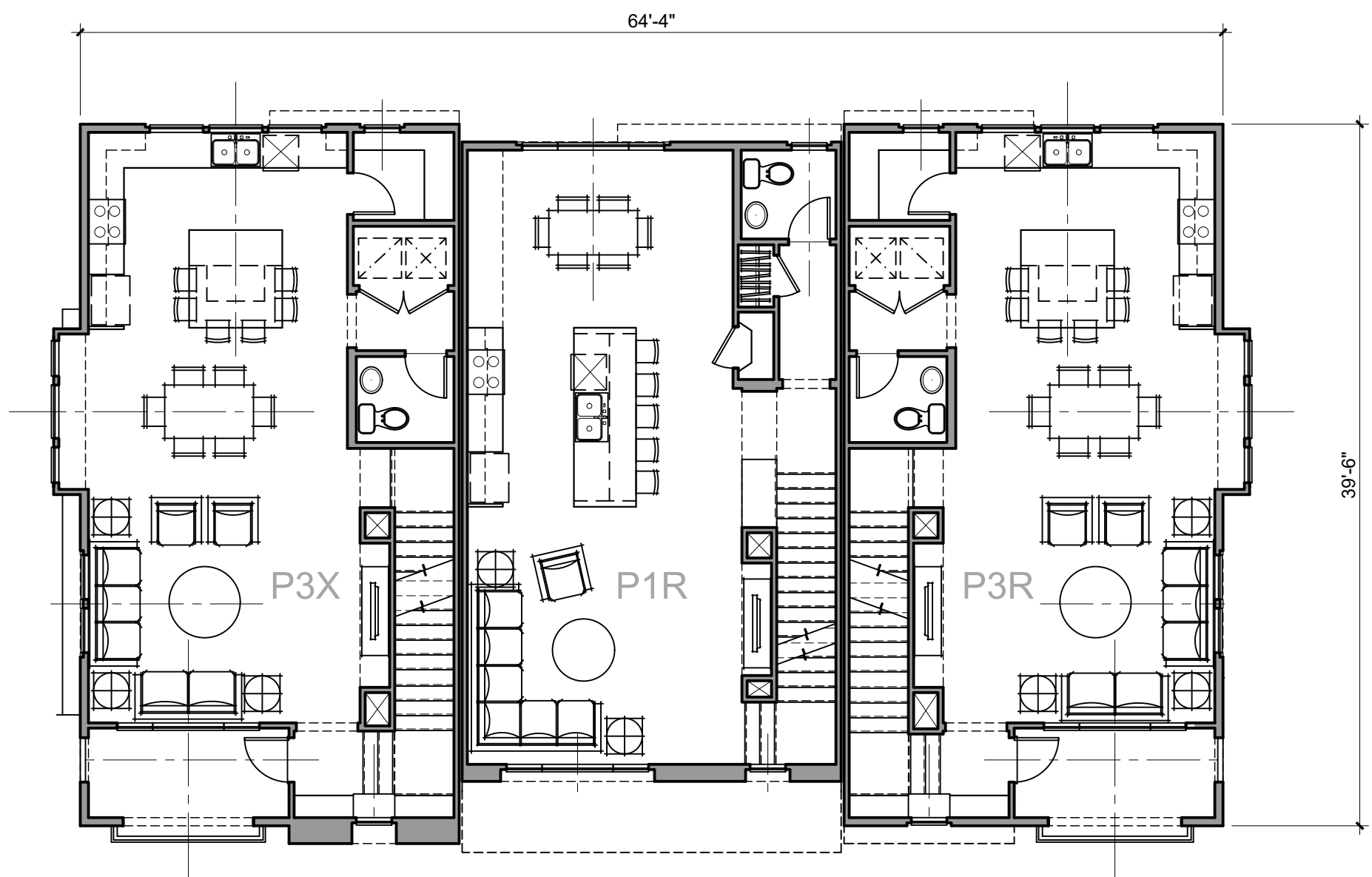


BT-100 (3-PLEX)
BUILDING & ROOF PLANS

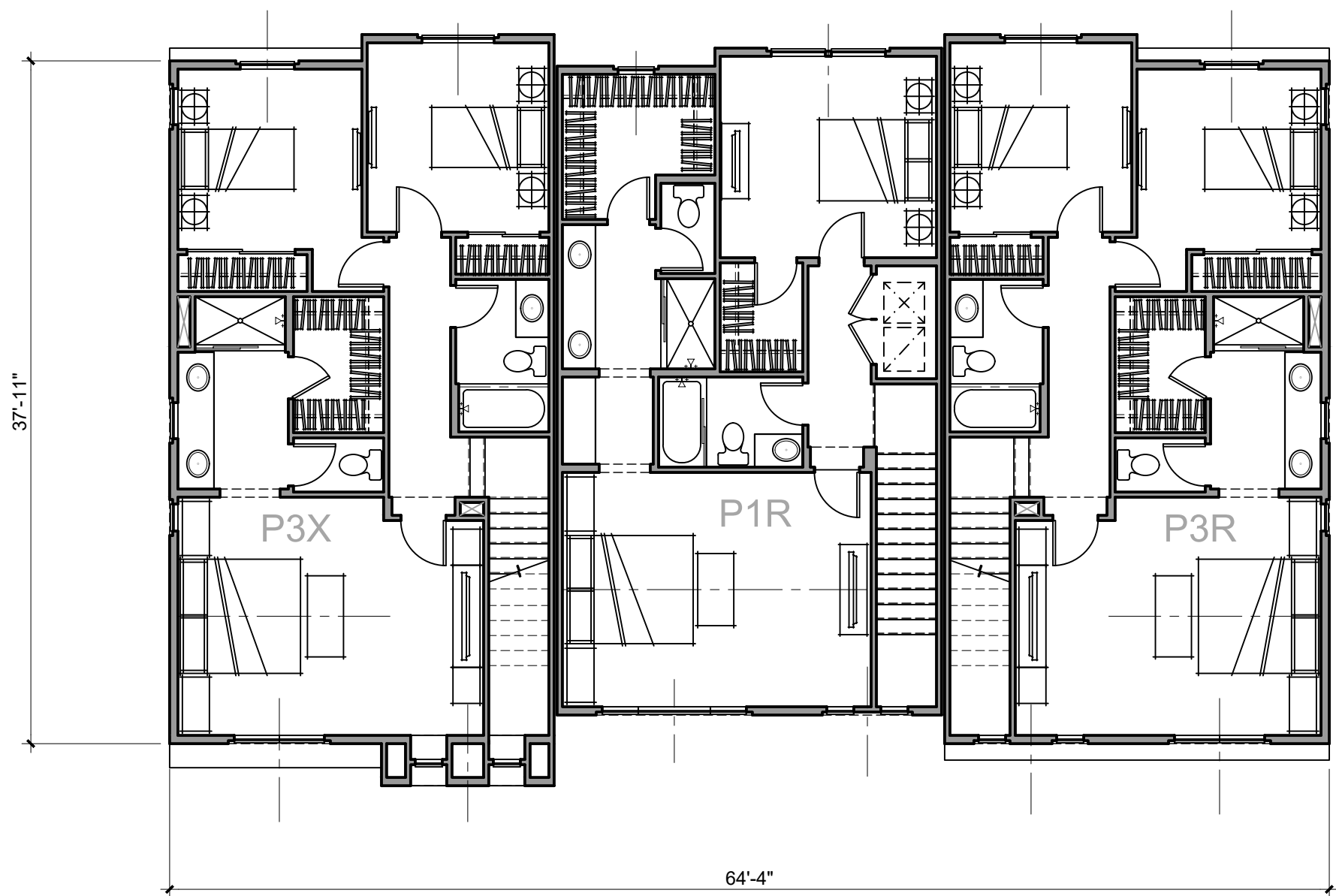
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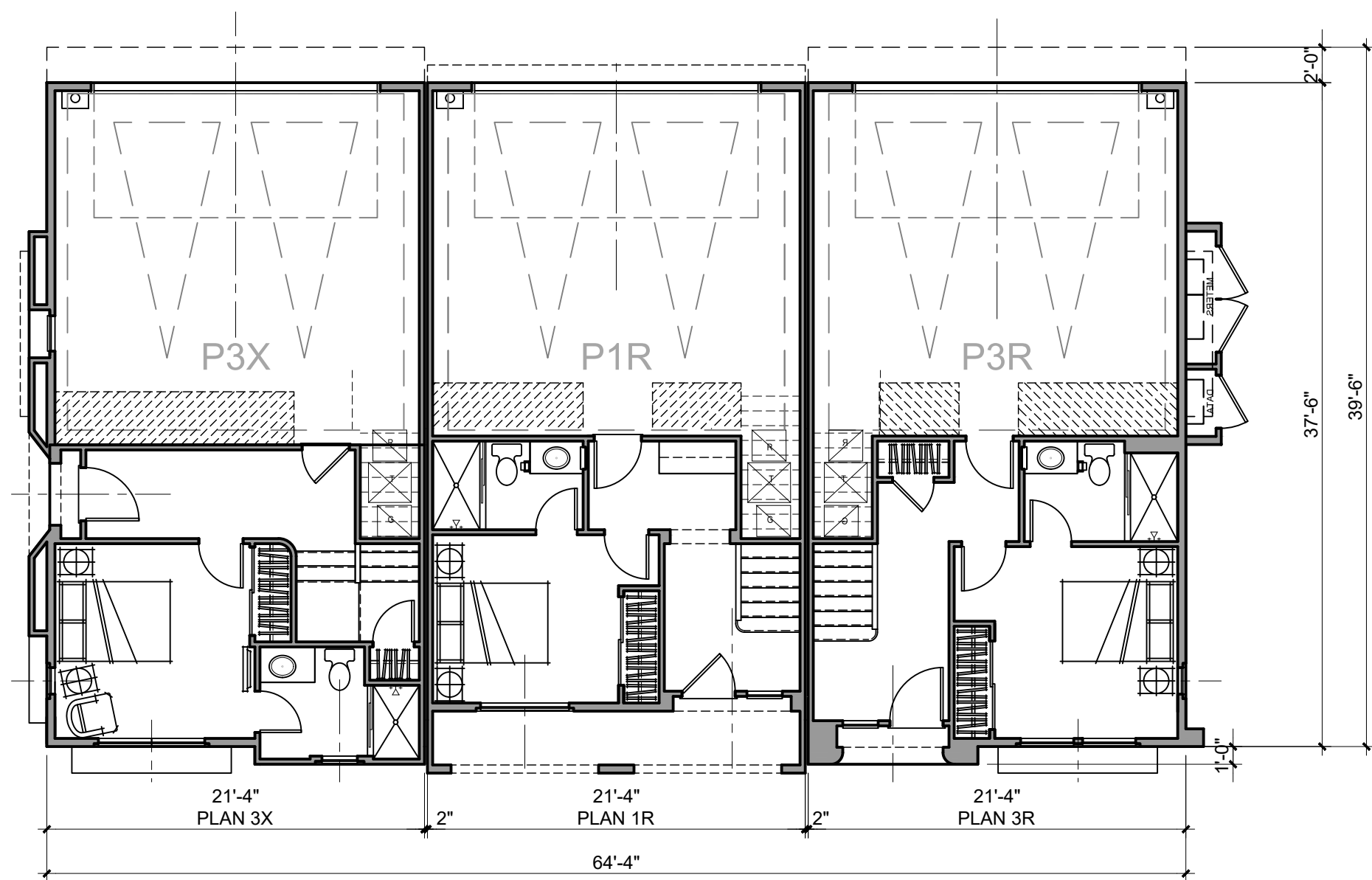
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SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



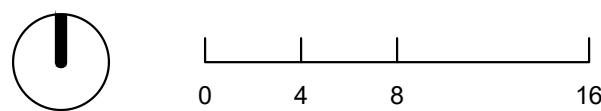
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BT-101 (3-PLEX)
BUILDING & ROOF PLANS

A2.3

ATTACHMENT B

LEGEND

- 1

Stucco, 16/20 Sand Finish
- 2

Concrete 'S' Tiles
- 3

Gable End Faux Decorative Vent (Recesses)
- 4

Recessed 1" Stucco /Simulated Wood Header Trim
- 5

Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
- 6

Accent Ceramic Tile
- 7

Stucco Recess /Reveal at Windows/Doors
- 8

Exposed Wood Truss Tails with 2x3 Wood Fascia

- 9

Decorative Stucco Eave
- 10

Decorative Metal Railing / Jacket Balcony
- 11

Decorative Metal Grille Work
- 12

Decorative Tile Cap
- 13

Decorative Scalloped Stucco Sill Trim/Shelf
- 14

Decorative Simulated Wood Corbel
- 15

Decorative Canvas/Metal Spear Awning
- 16

Fiberglass Decorative Front Door
- 17

Metal Scupper with Decorative Trim
- 18

Fiber Cement Trim at Bay Window

- 19

Fiber Cement Bd. Panel
- 20

Stucco Arch
- 21

Low Tile Wall w/ Tile Cap (Barranca)
- 22

Decorative Shutters with Metal Faux Straps
- 23

Decorative Stucco Chimney/Stucco Final
- 24

Alternative "Saltillo" Tile Veneer
- 25

Decorative Shaped Stucco Hood/Awning
- 26

Decorative Metal Tube and Wood Plank Pot Holder
- 27

Vinyl Windows
- 28

Decorative Stucco Corbel

- 29

Exposed Decorative Rafter Tails with 2x3 Wood Fascia (At Bay Windows Only)
- 30

Accent Battered Ceramic Tile Surround
- 31

Prefab/Precast Entry Surround (EL)
- 32

Prefab/Precast Clad at Low Barranca (EL)
- 33

Metal Decorative Sectional Garage Door
- 34

Decorative Exterior Lights & Address
- 35

Metal Utility Door
- 36

Wood Post
- EL - Enhancement Locations

Only Along Street Frontage



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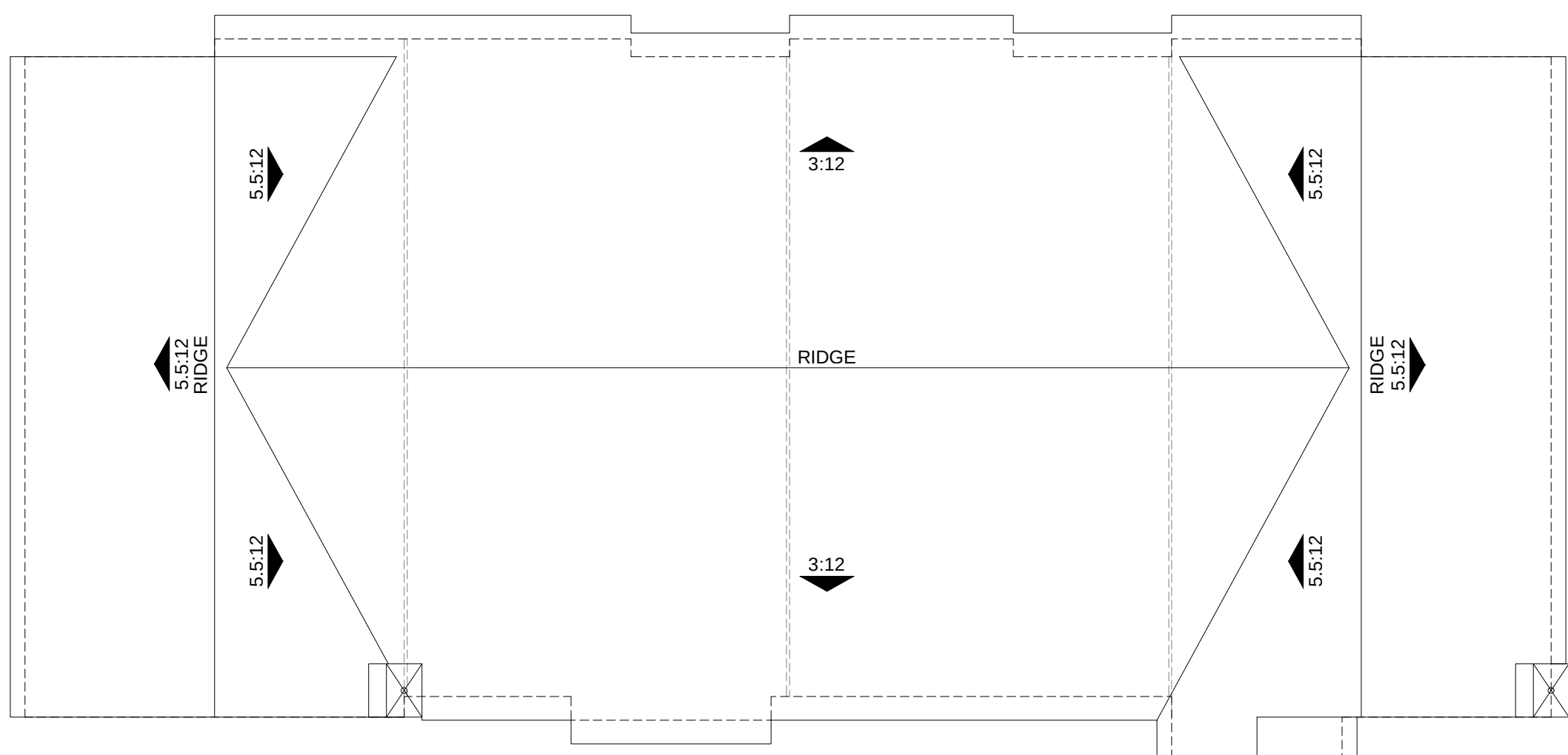
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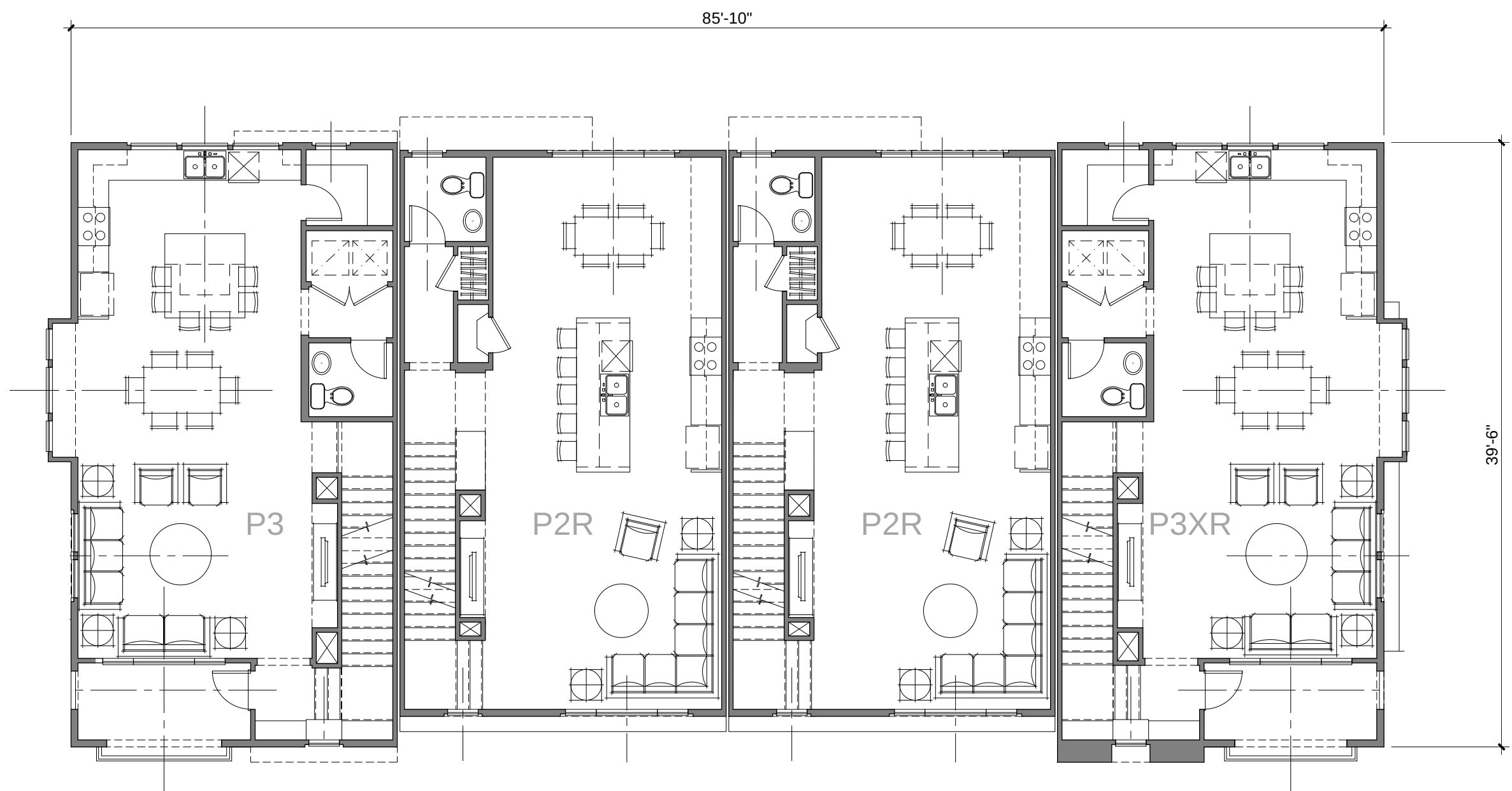


BT-200 ELEVATION
SPANISH COLONIAL

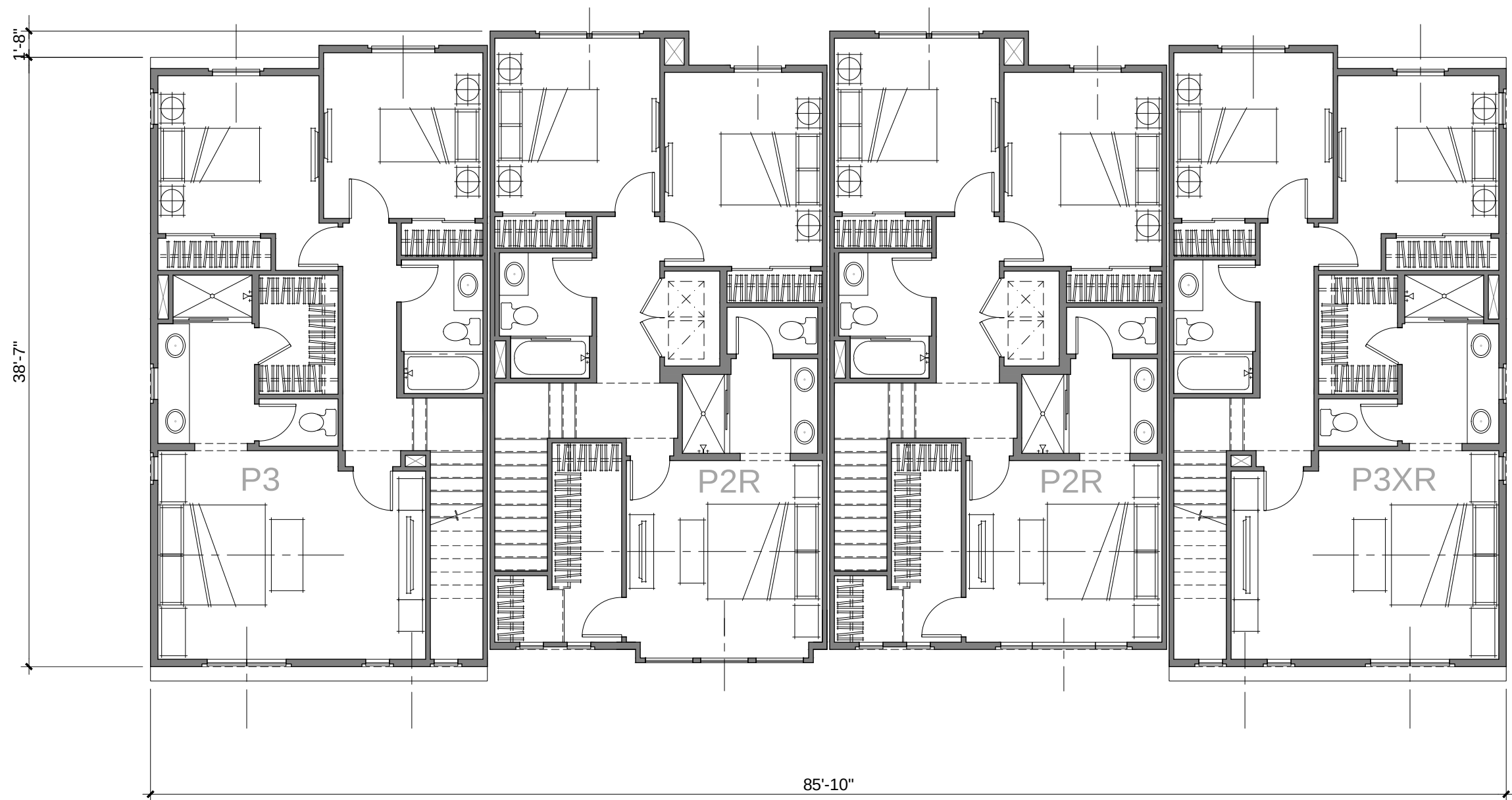
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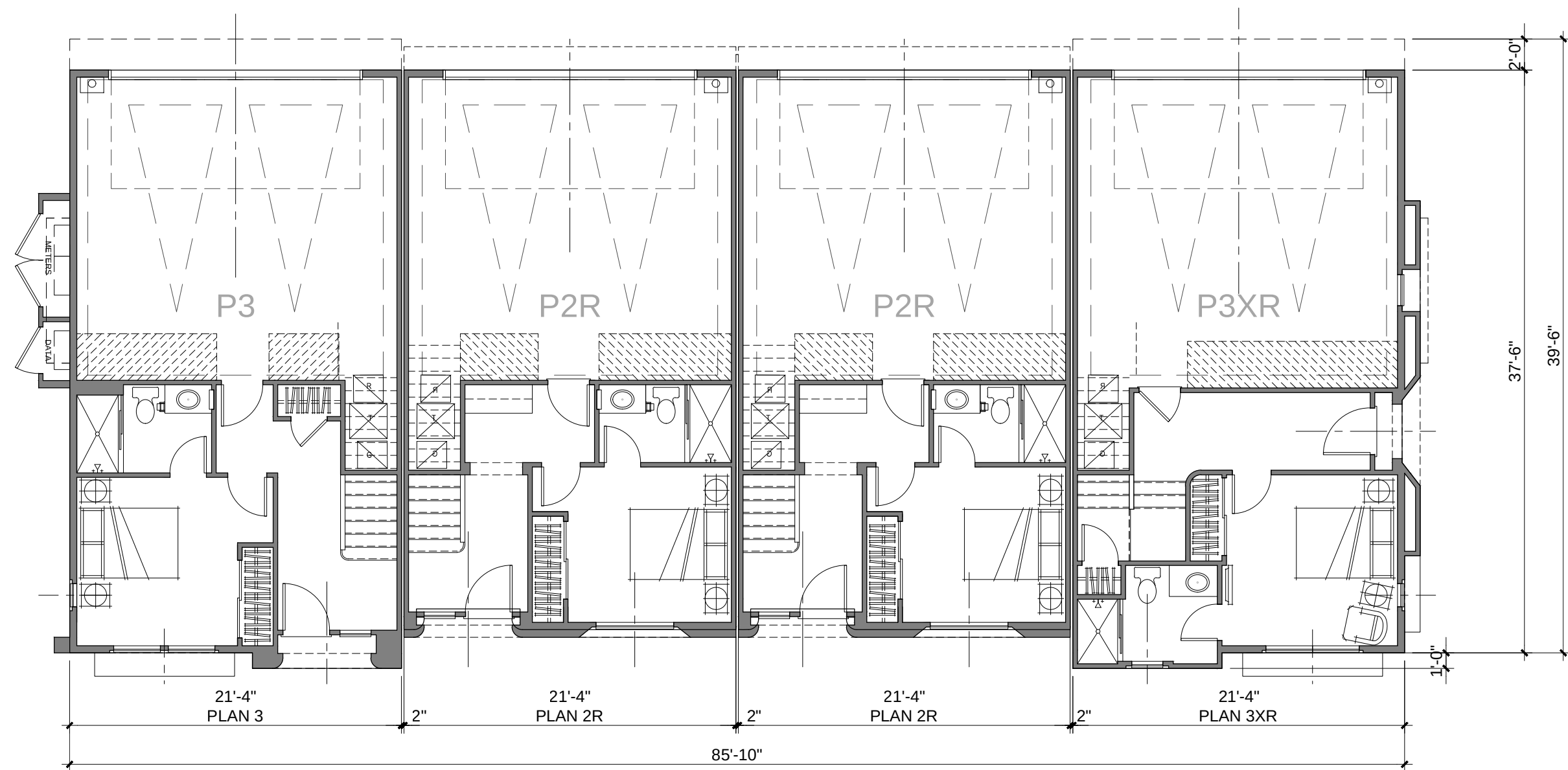
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



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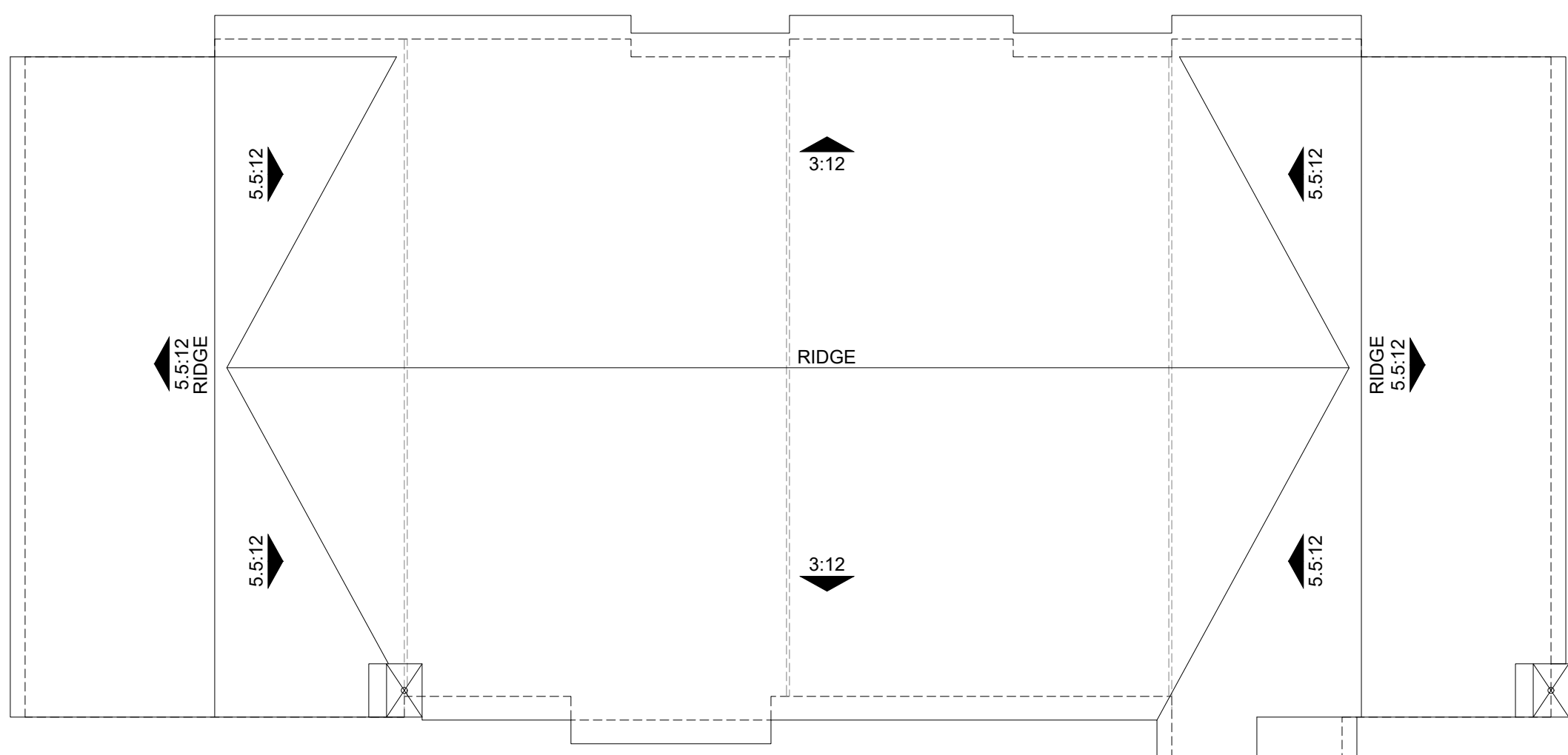
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2022-02-01
2022-10-04

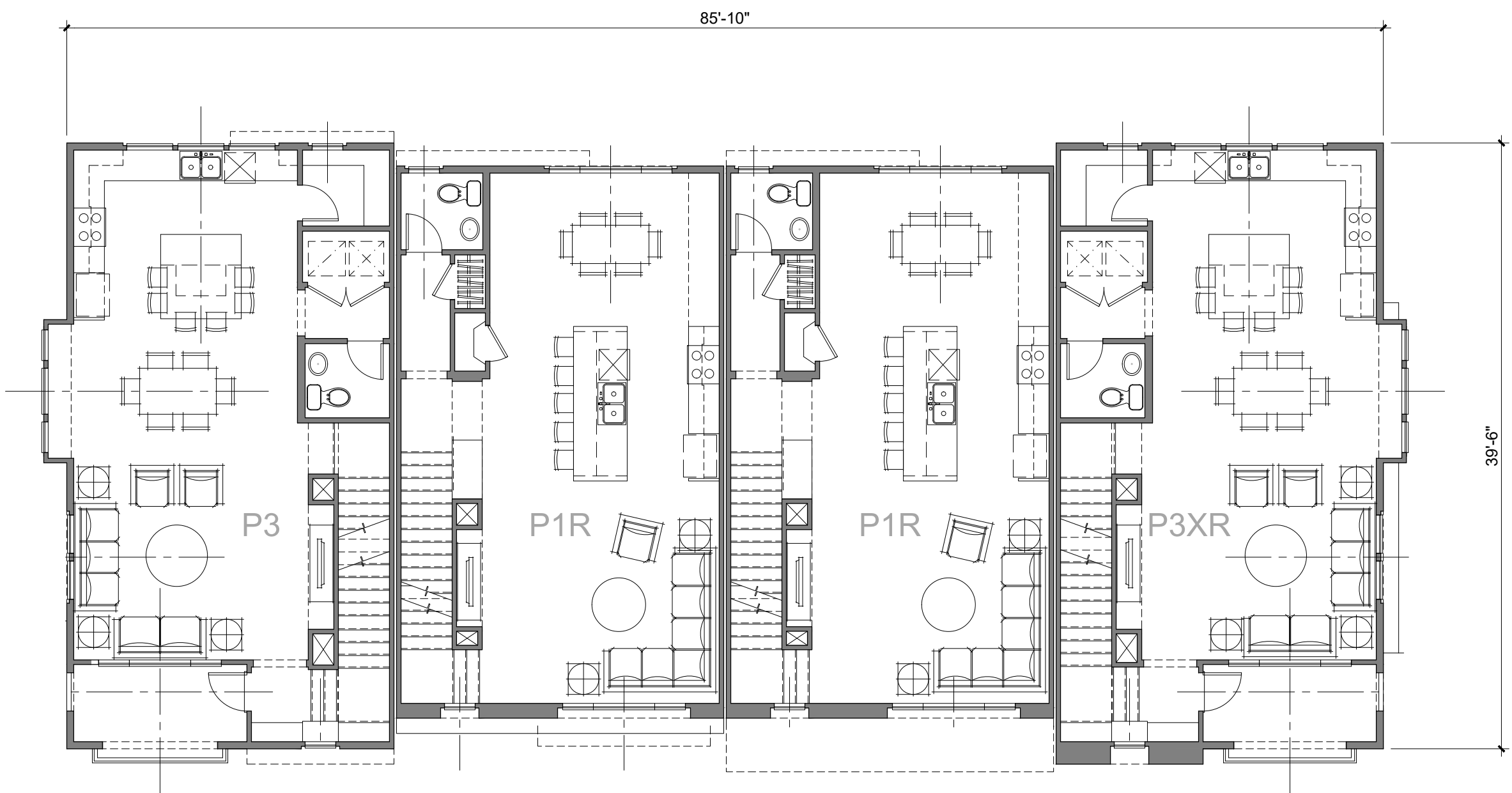


BT-200 (4-PLEX)
BUILDING & ROOF PLANS

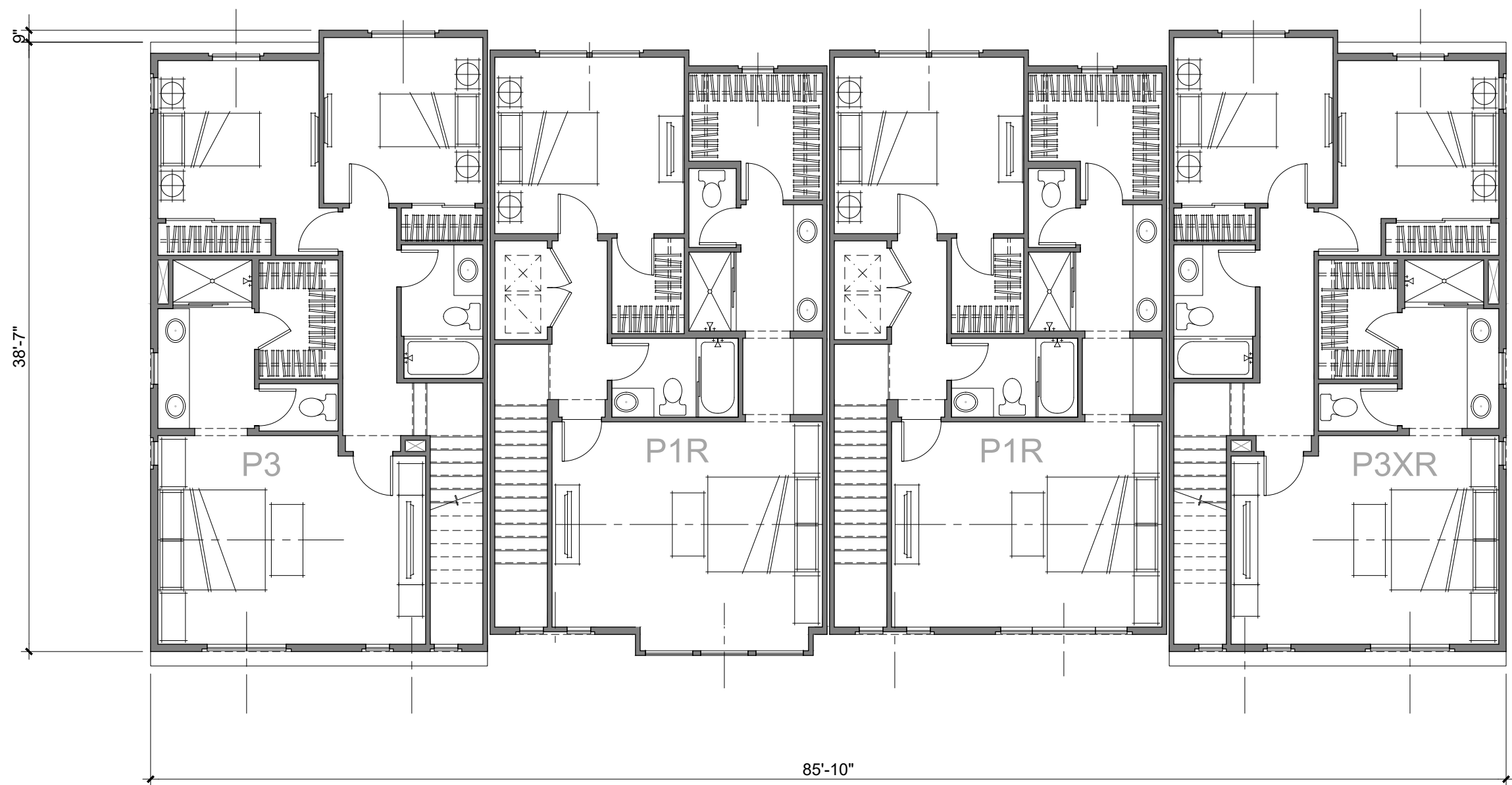
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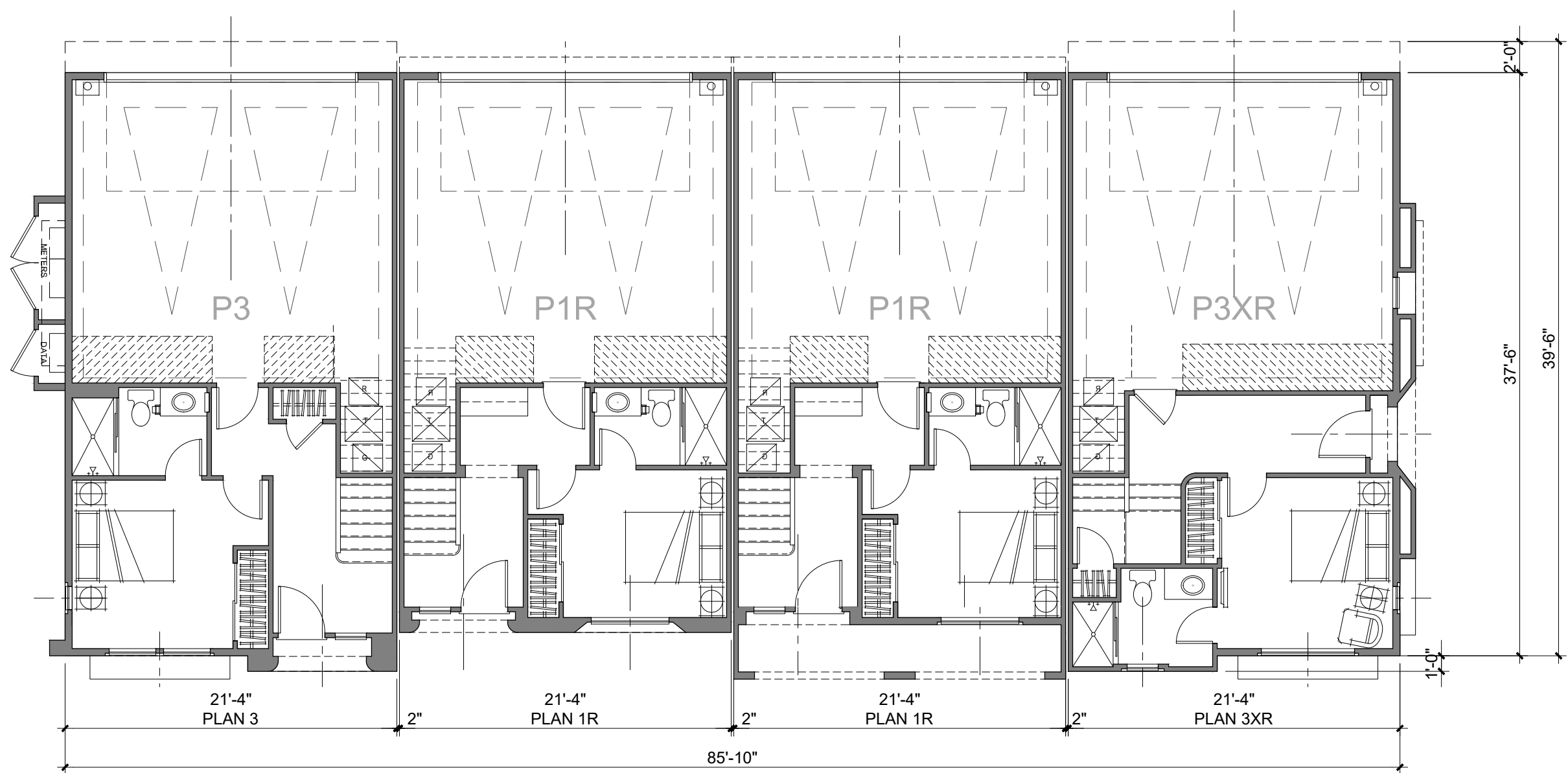
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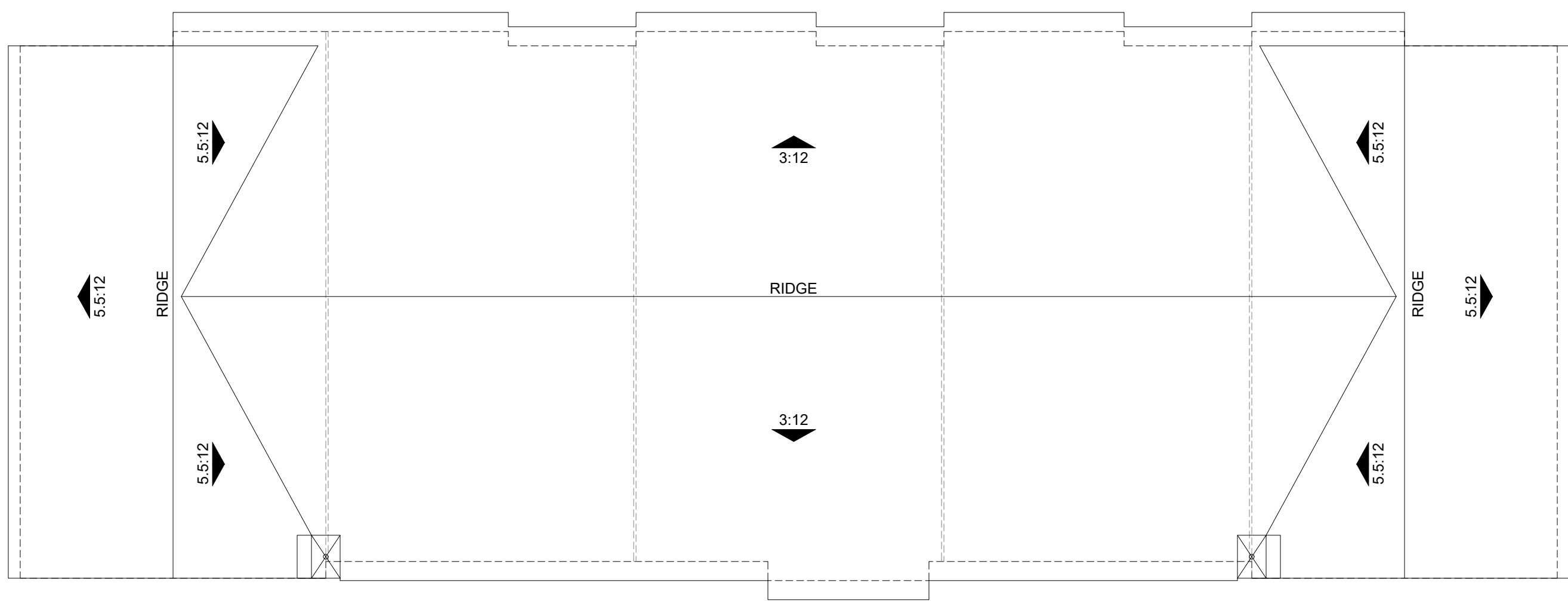
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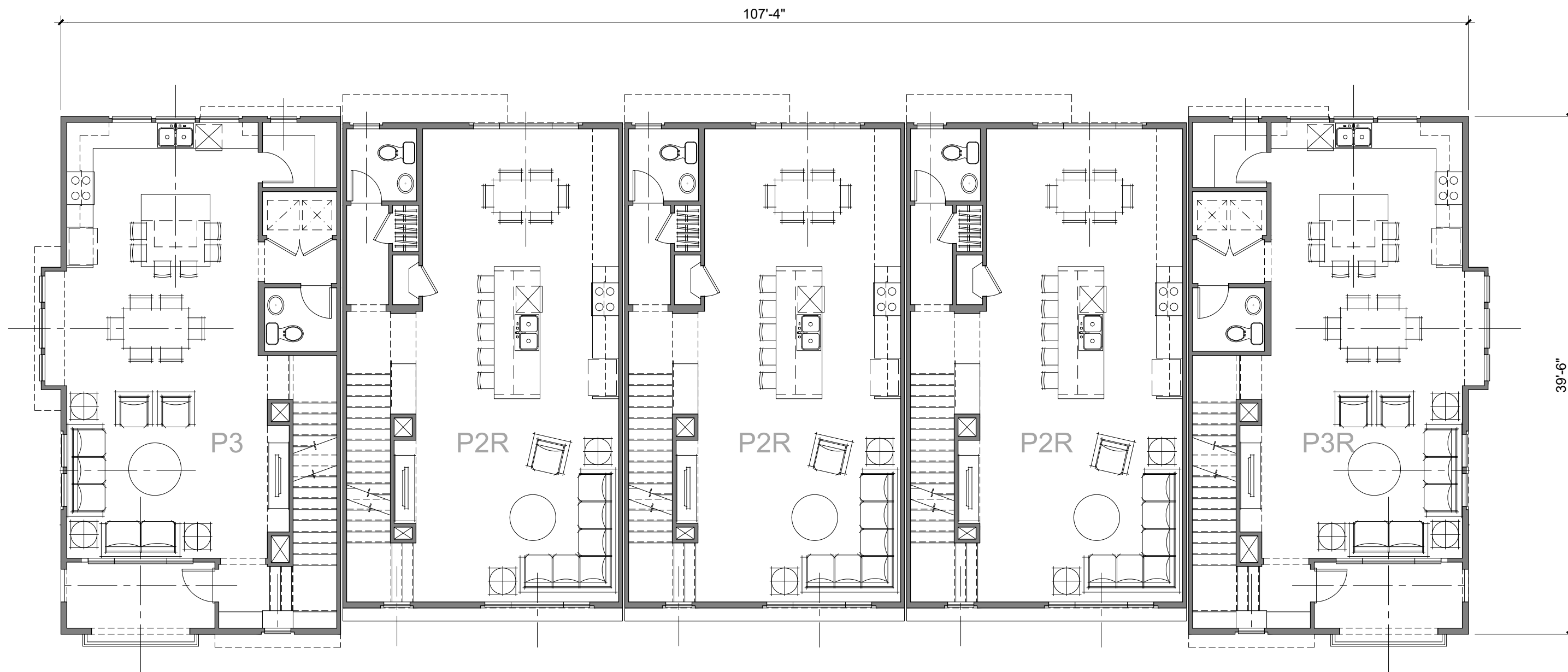
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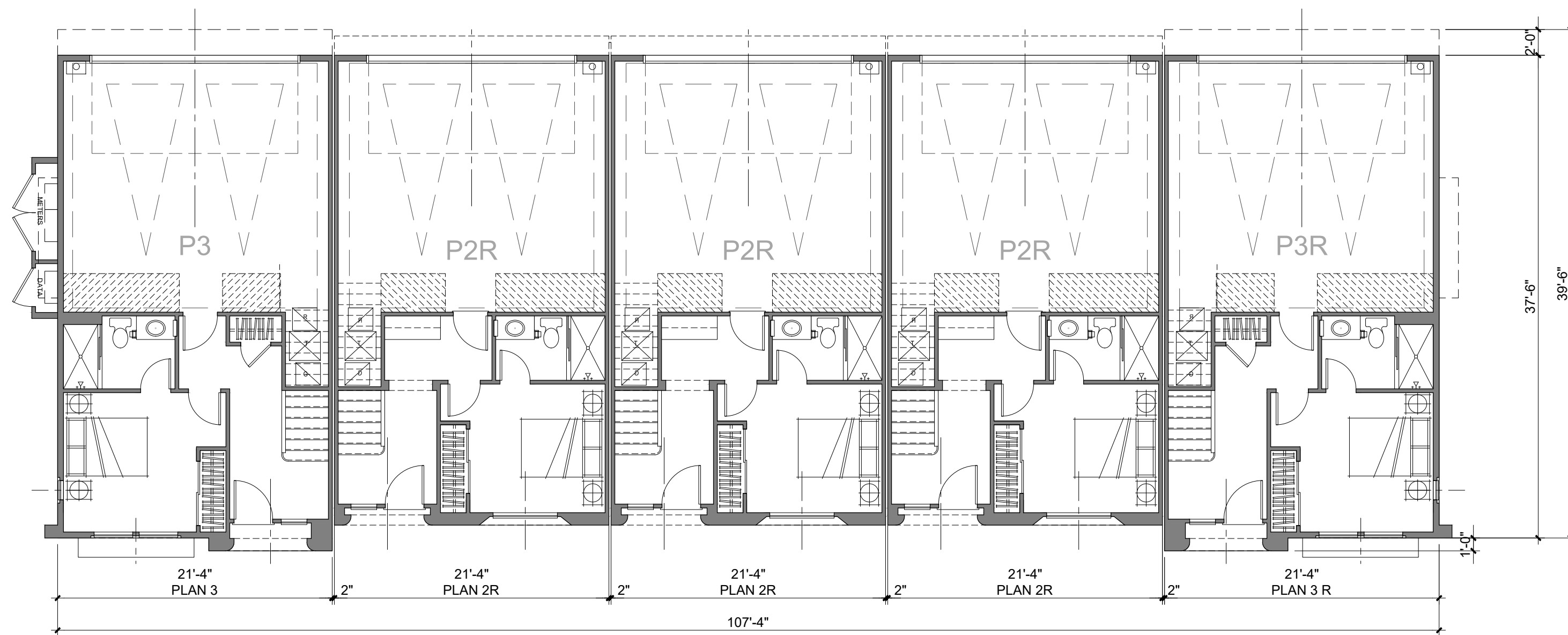
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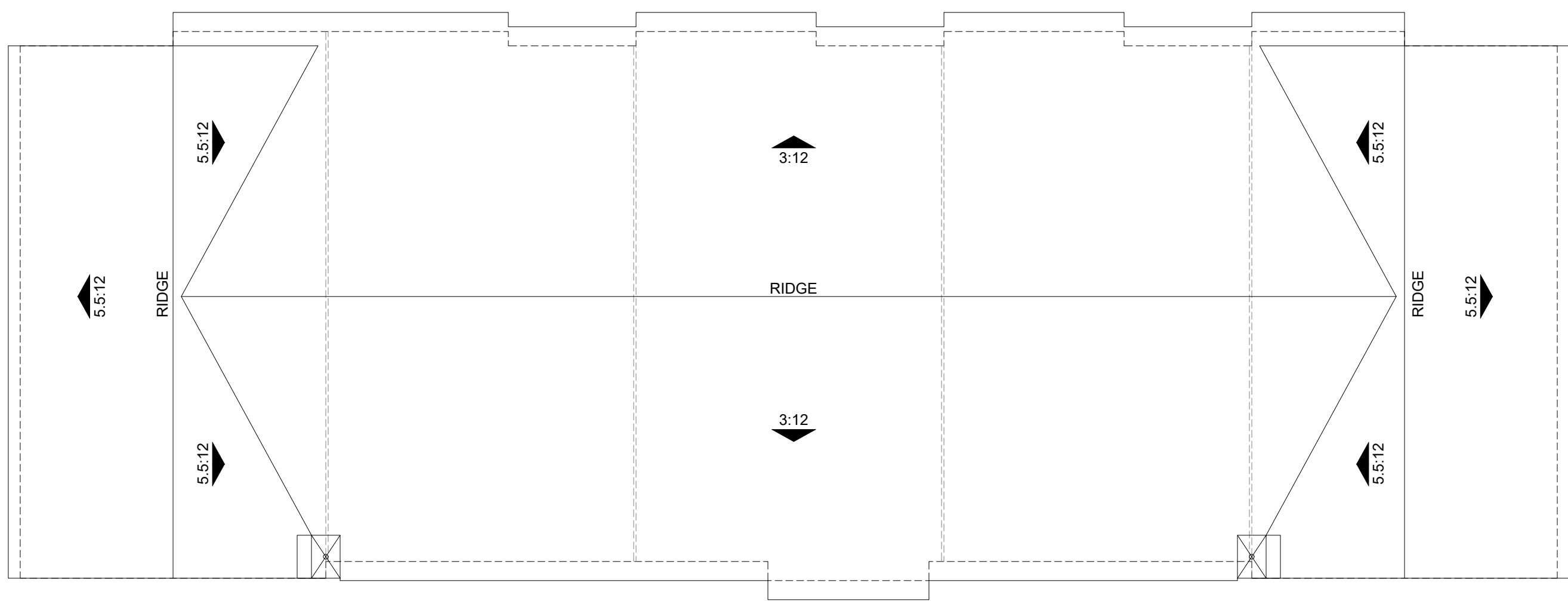
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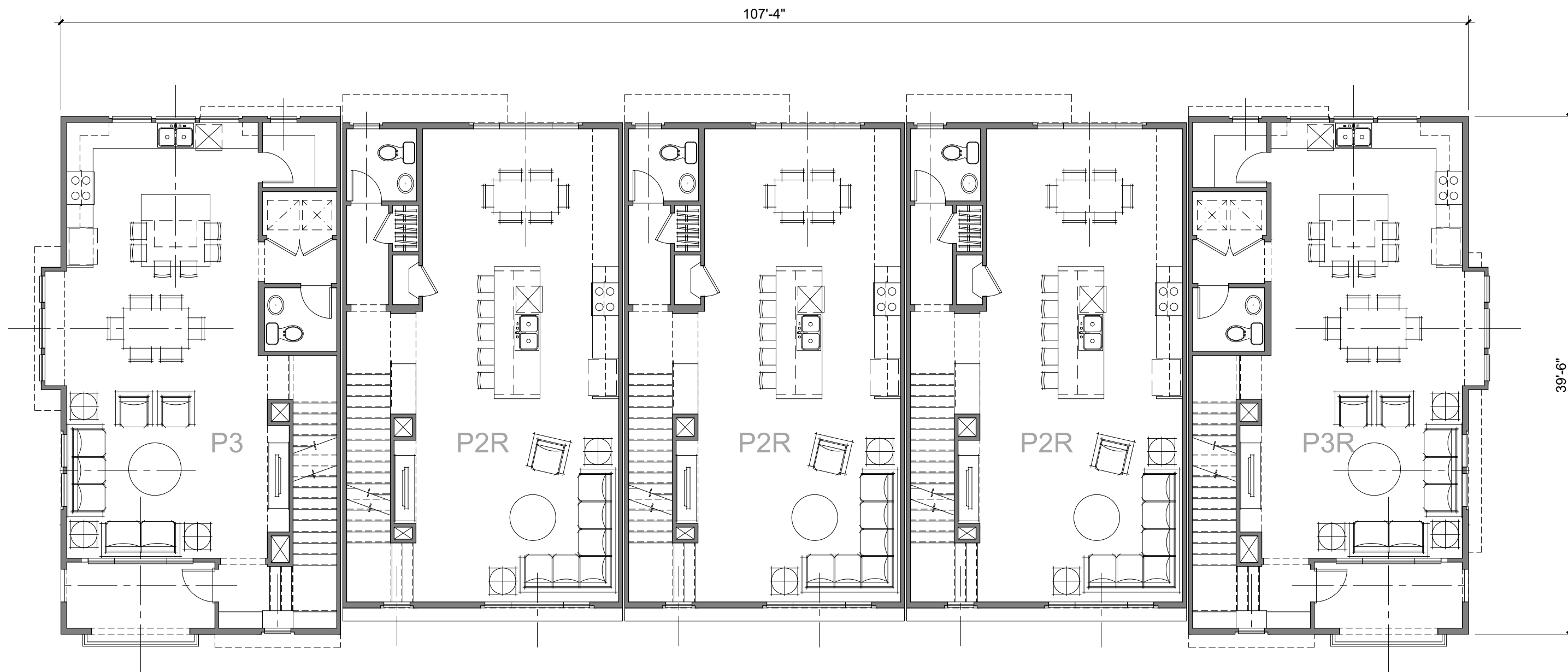
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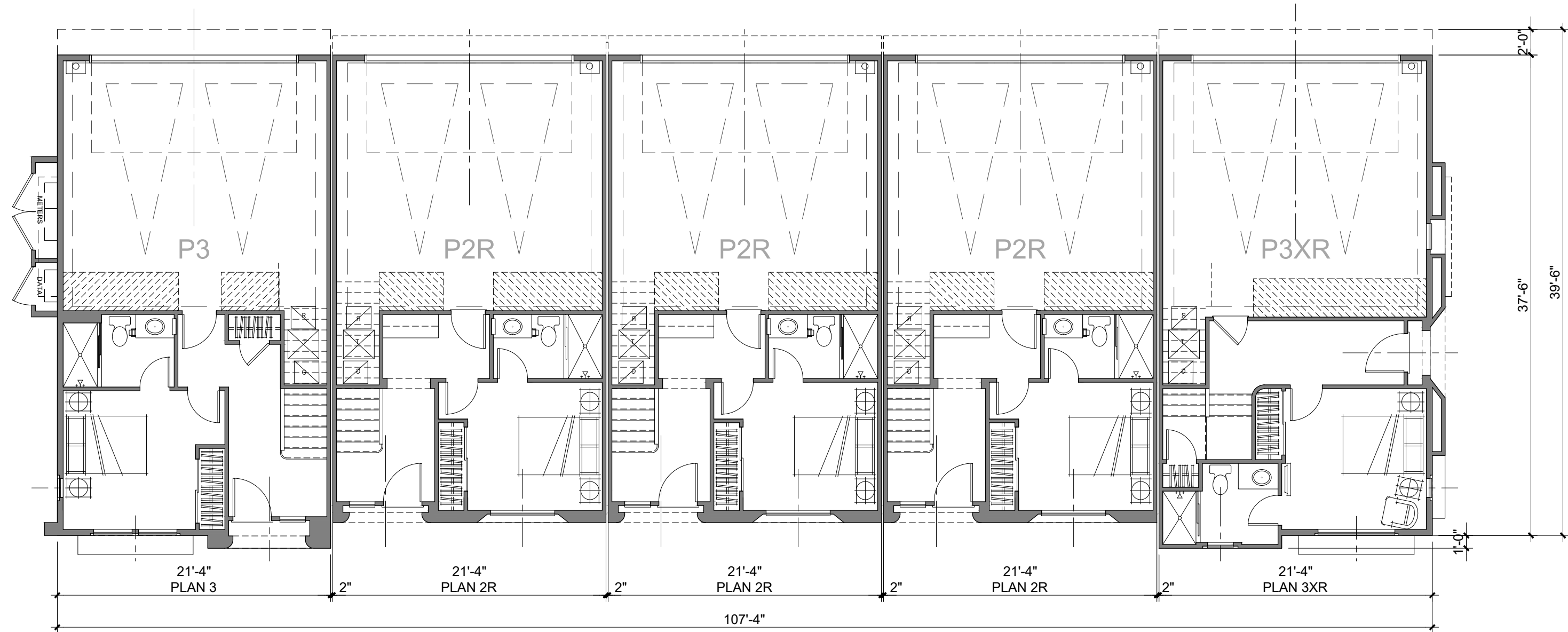
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



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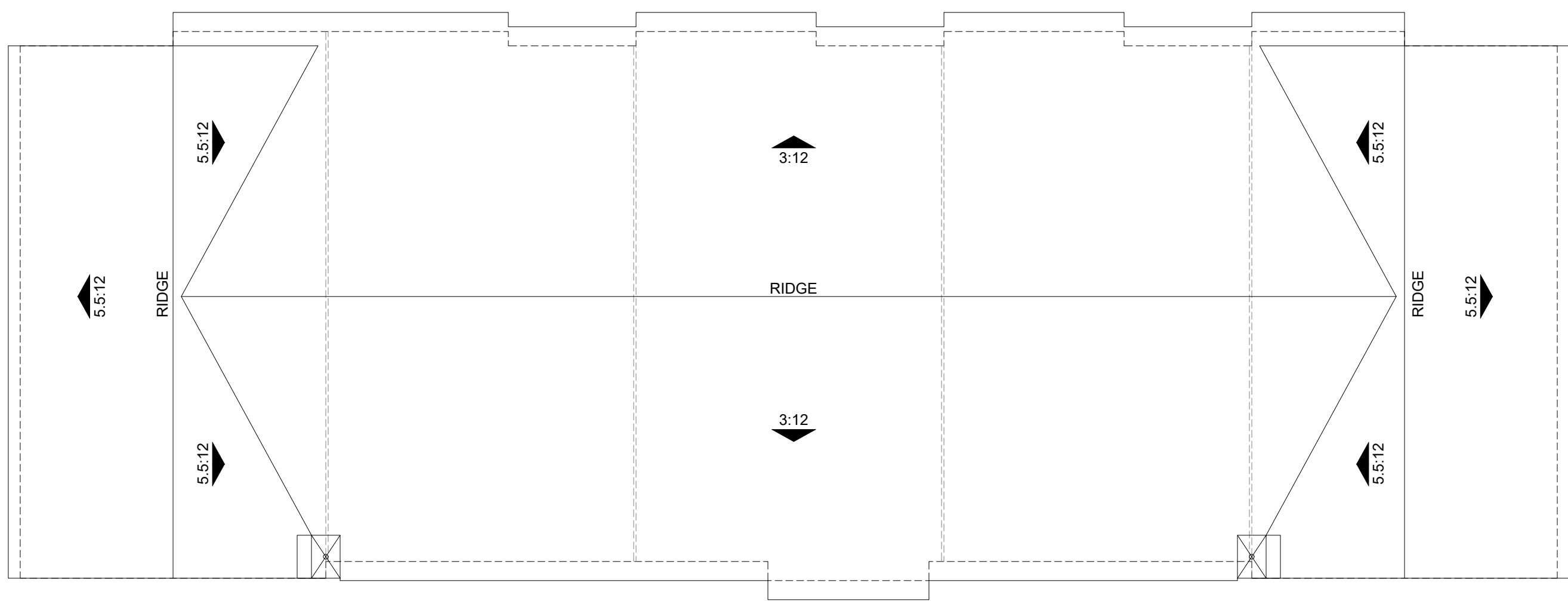
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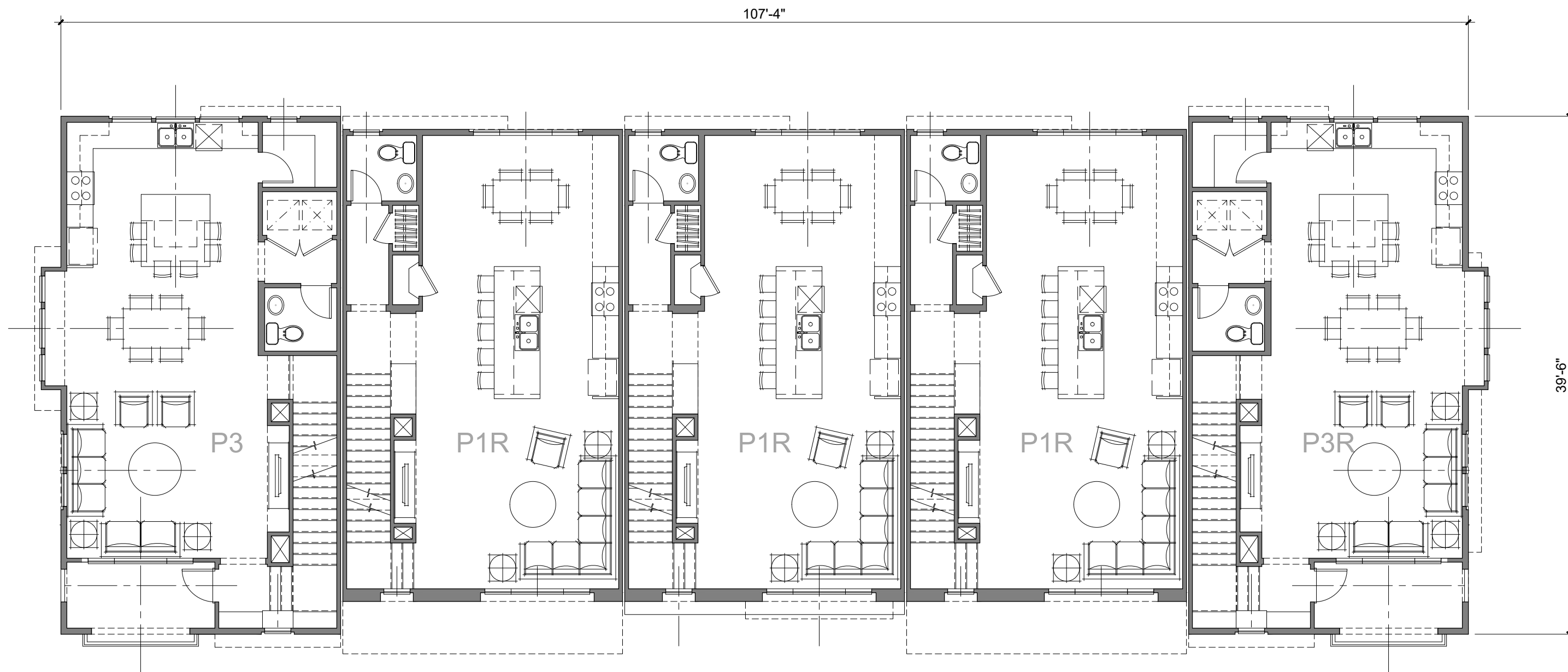


BT-501 (5-PLEX)
BUILDING & ROOF PLANS

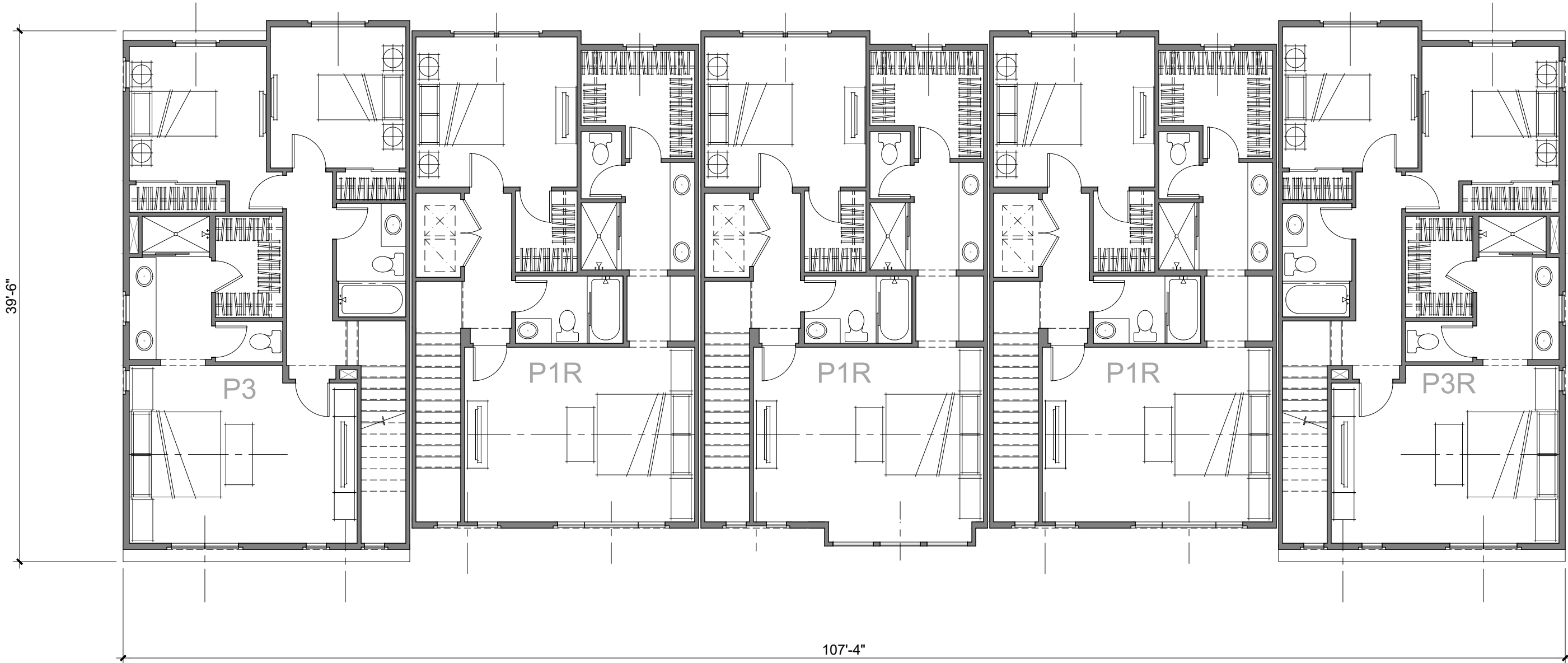
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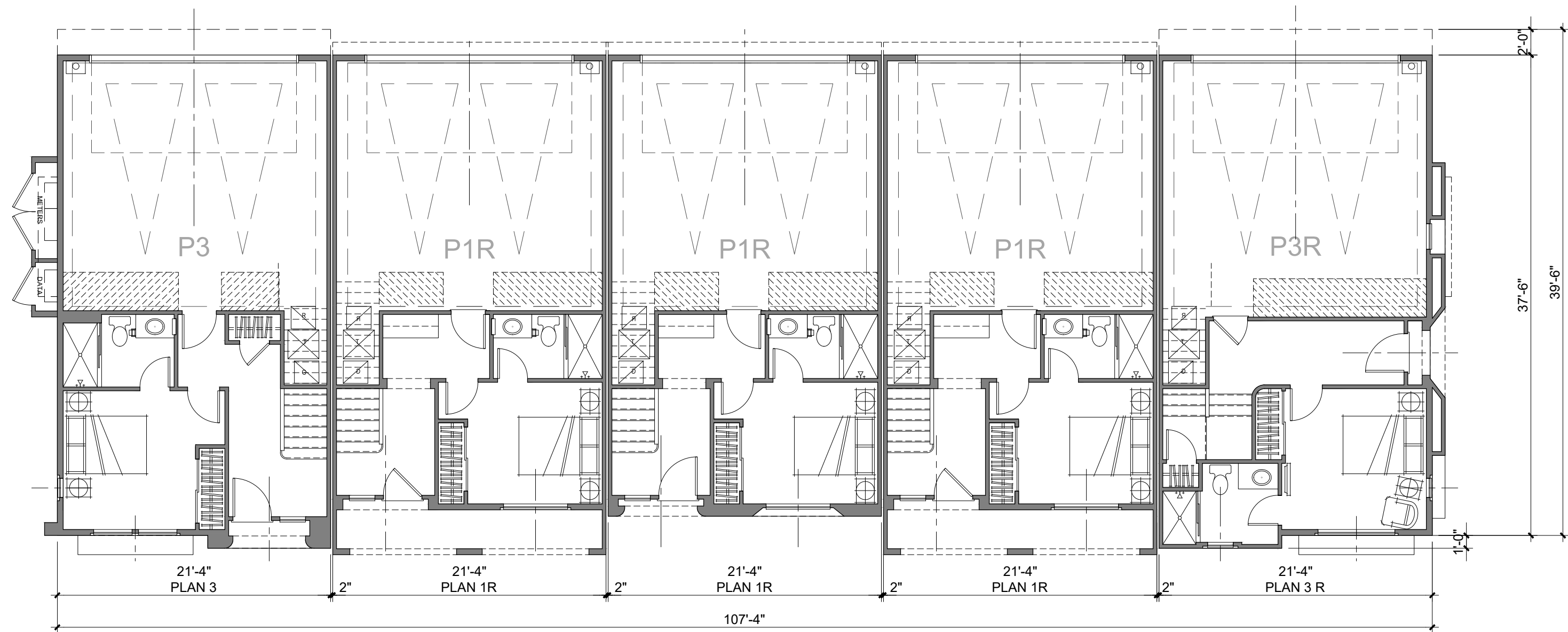
ROOF



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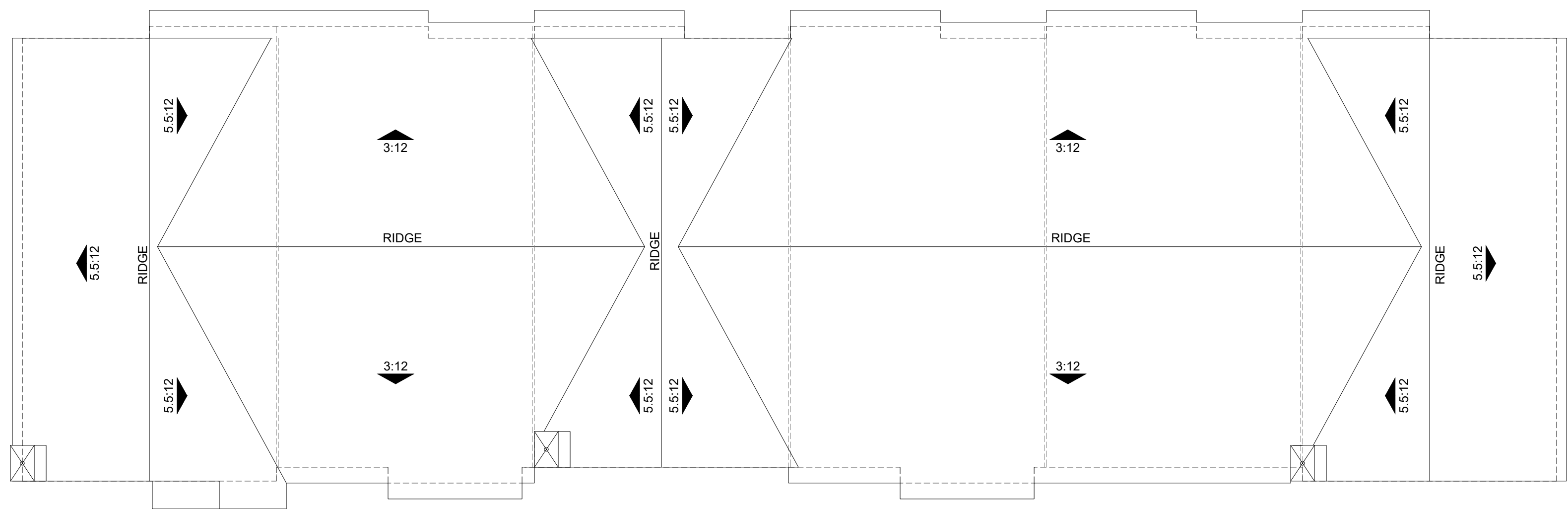
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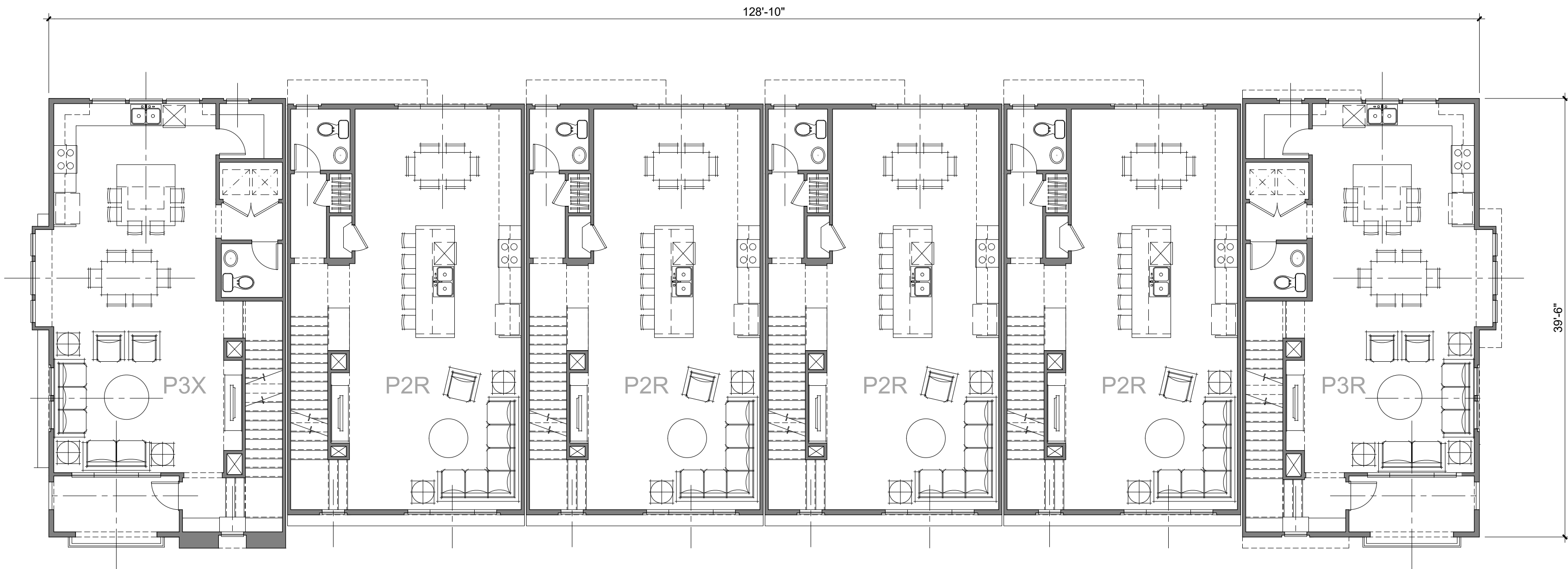


BT-502 (5-PLEX)
BUILDING & ROOF PLANS

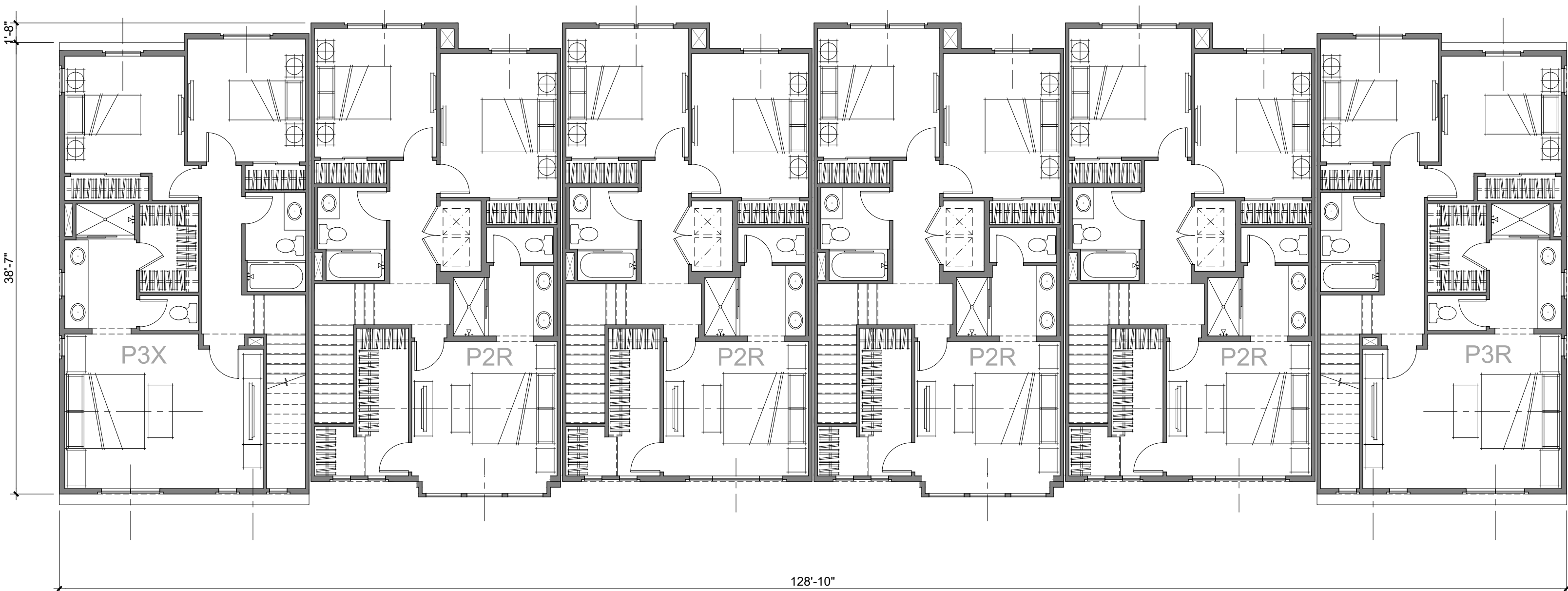
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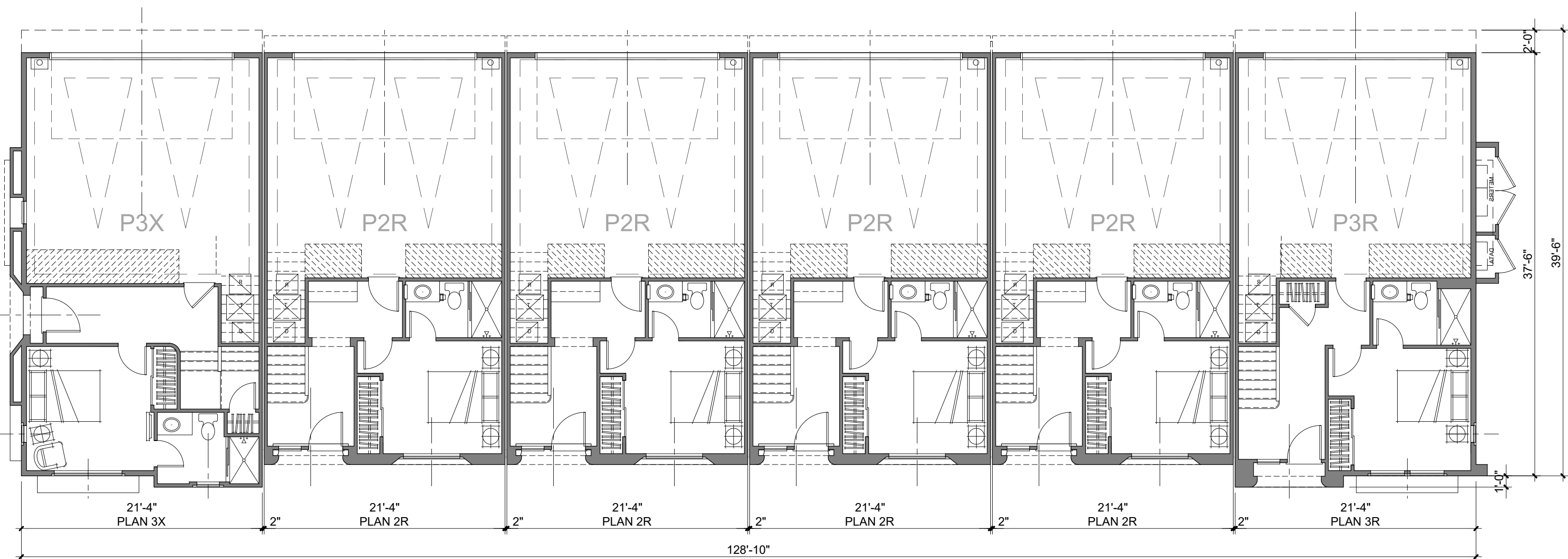
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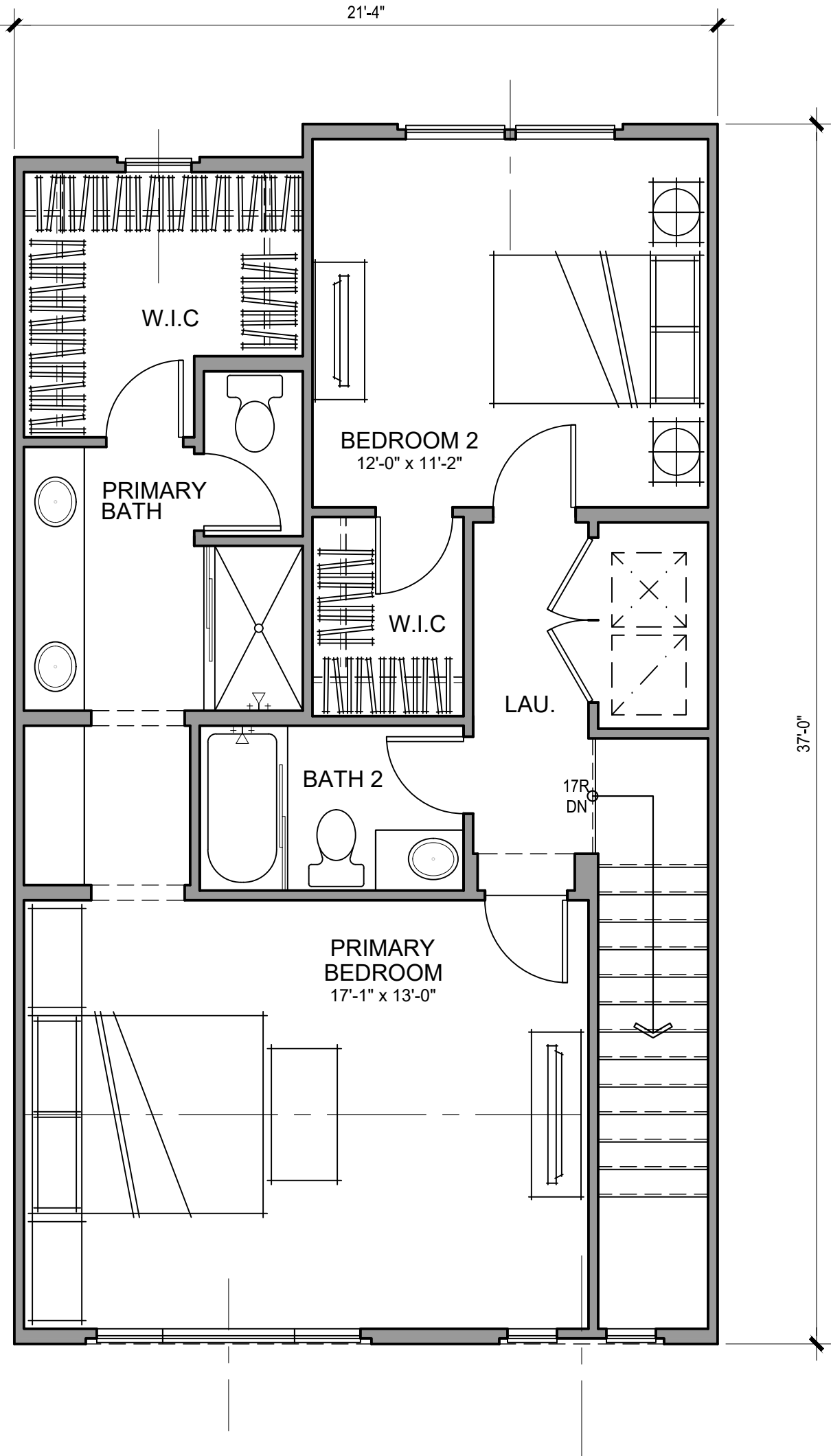
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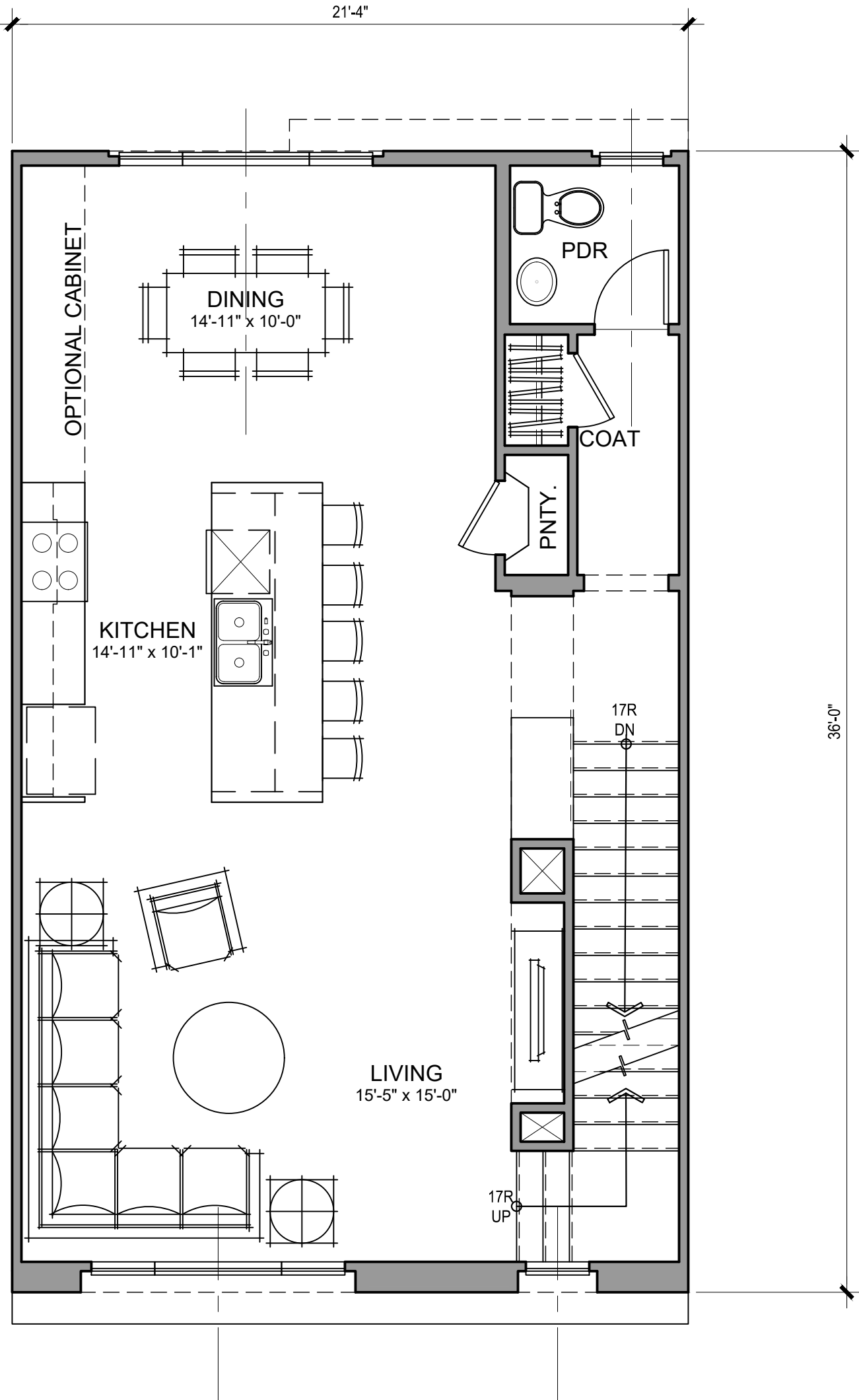


BT-600 (6-PLEX)
BUILDING & ROOF PLANS

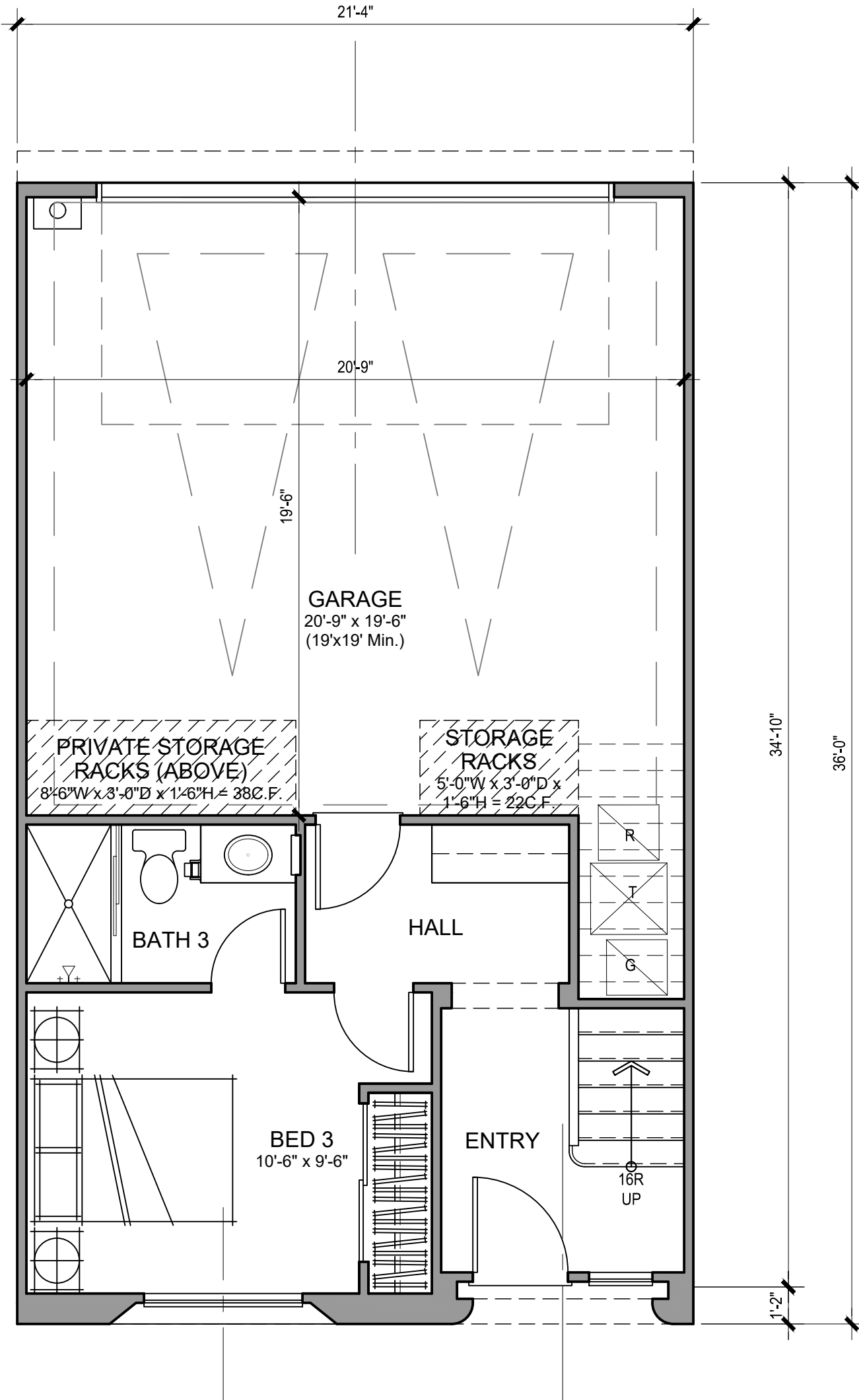
A7.1



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P1 - GROSS SF	
1ST FLOOR	334 SQ. FT.
2ND FLOOR	768 SQ. FT.
3RD FLOOR	714 SQ. FT.
TOTAL LIVING	1816 SQ. FT.
GARAGE	447 SQ. FT.



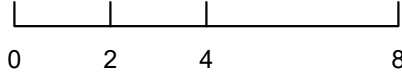
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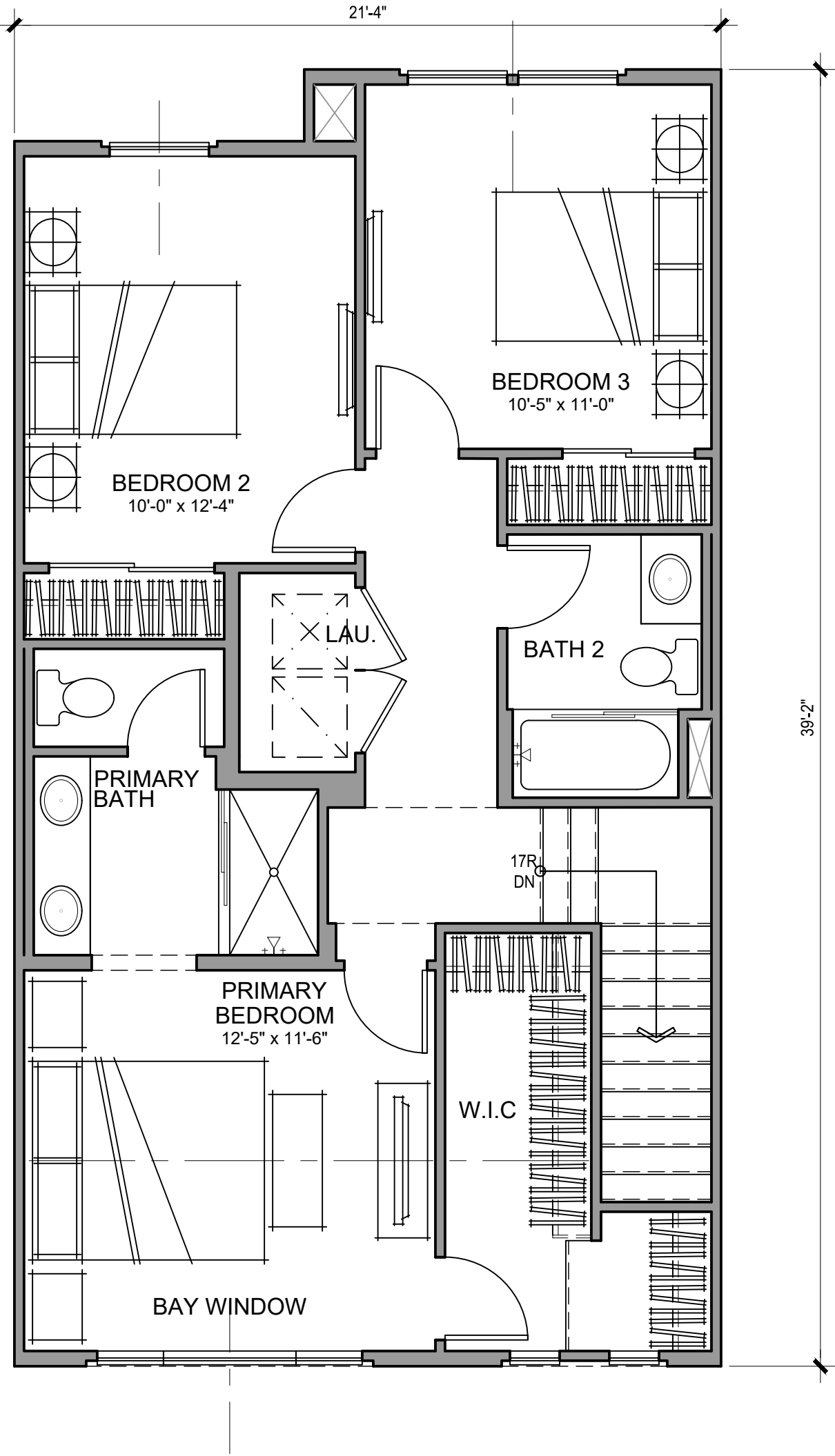
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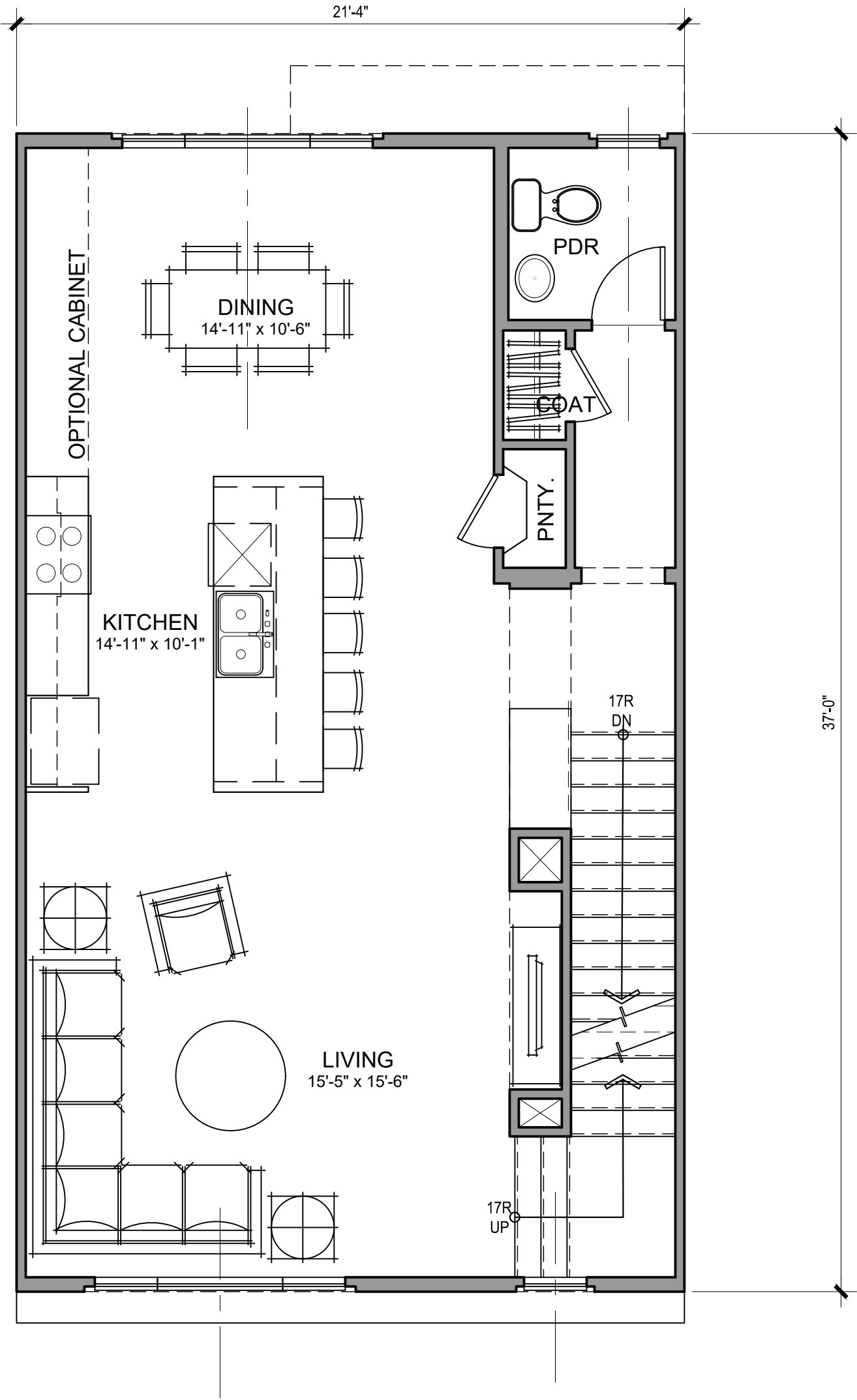


PLAN 1 FLOOR PLANS

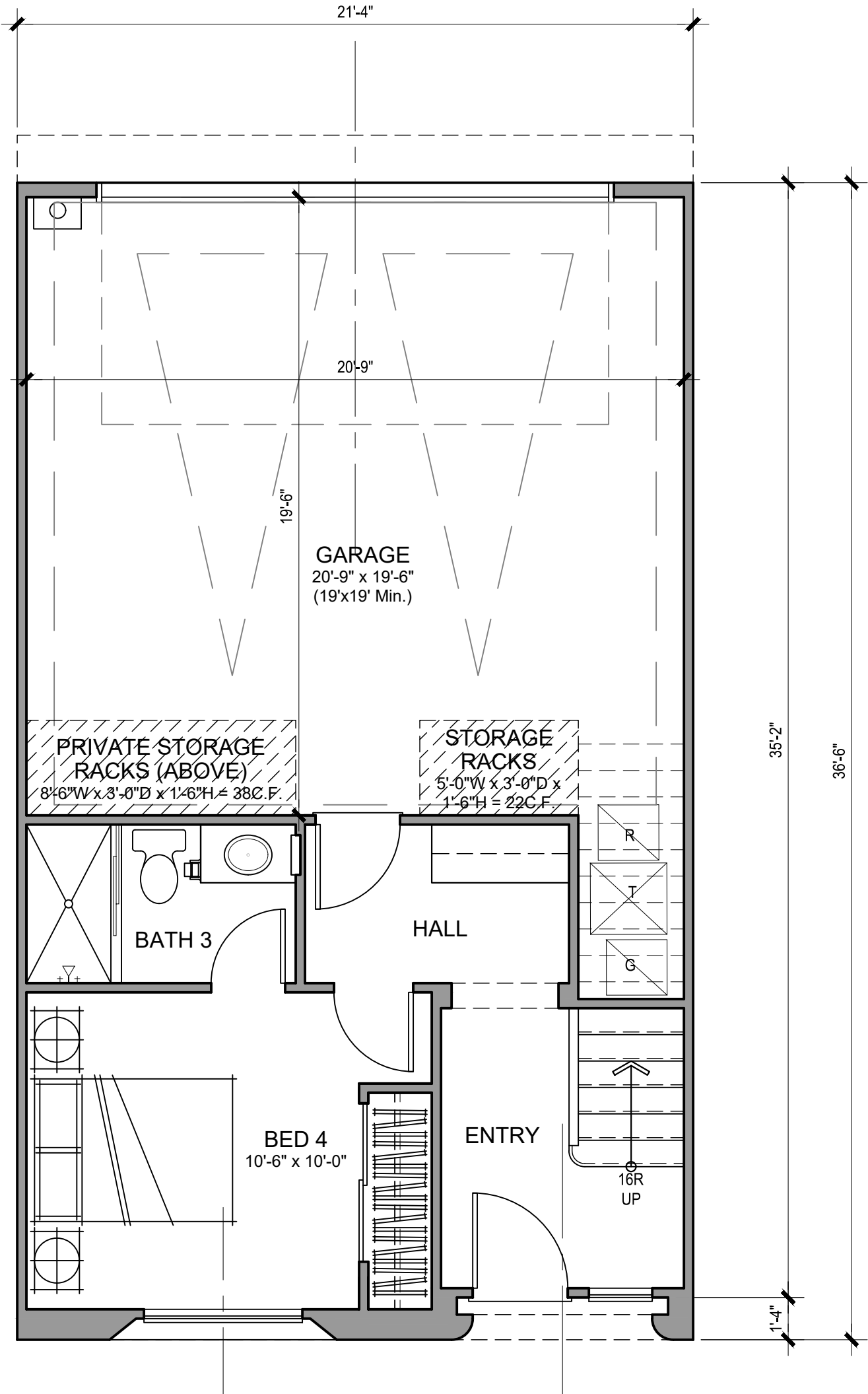
A8.0



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P2 - GROSS SF	
1ST FLOOR	345 SQ. FT.
2ND FLOOR	786 SQ. FT.
3RD FLOOR	749 SQ. FT.
TOTAL LIVING	1880 SQ. FT.
GARAGE	447 SQ. FT.



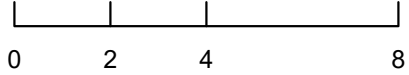
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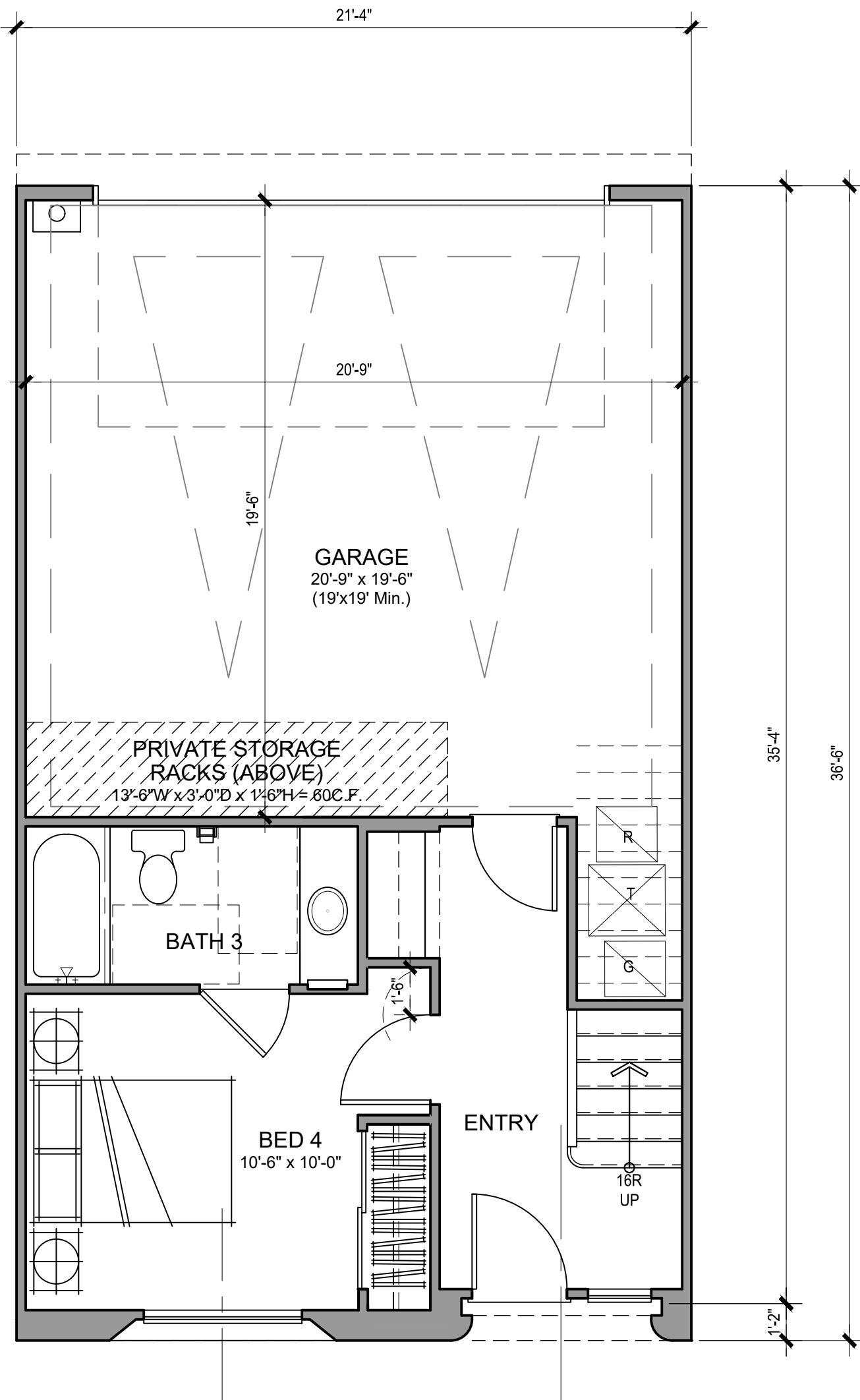
THE PICKWICK
RIVERSIDE & MAIN
BURBANK, CA # 2021-0094

Plot Date: 10.04.2022
1st (Full) Planning Submittal: 2022-02-01
Re-Submittal: 2022-10-04

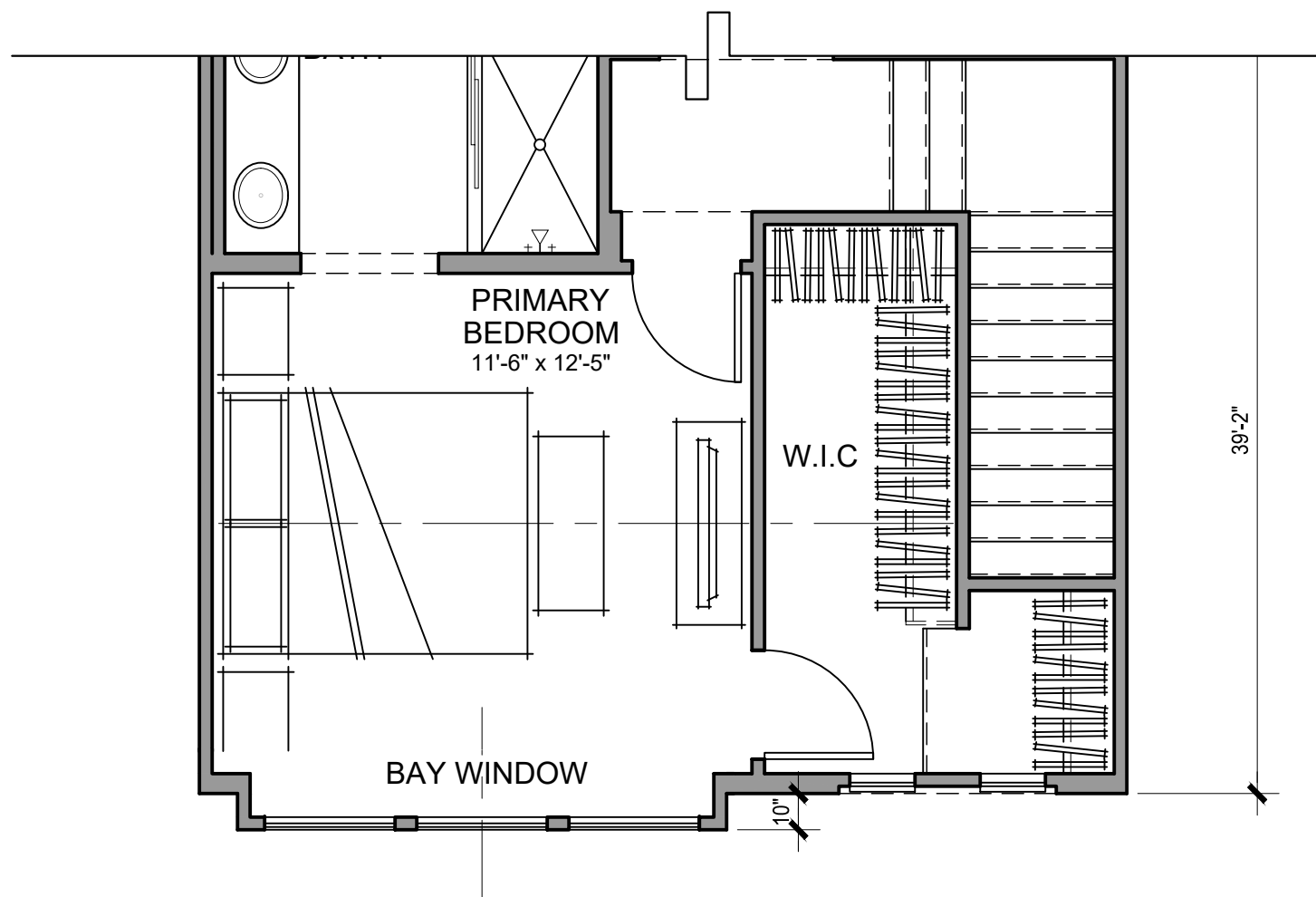


PLAN 2 FLOOR PLANS

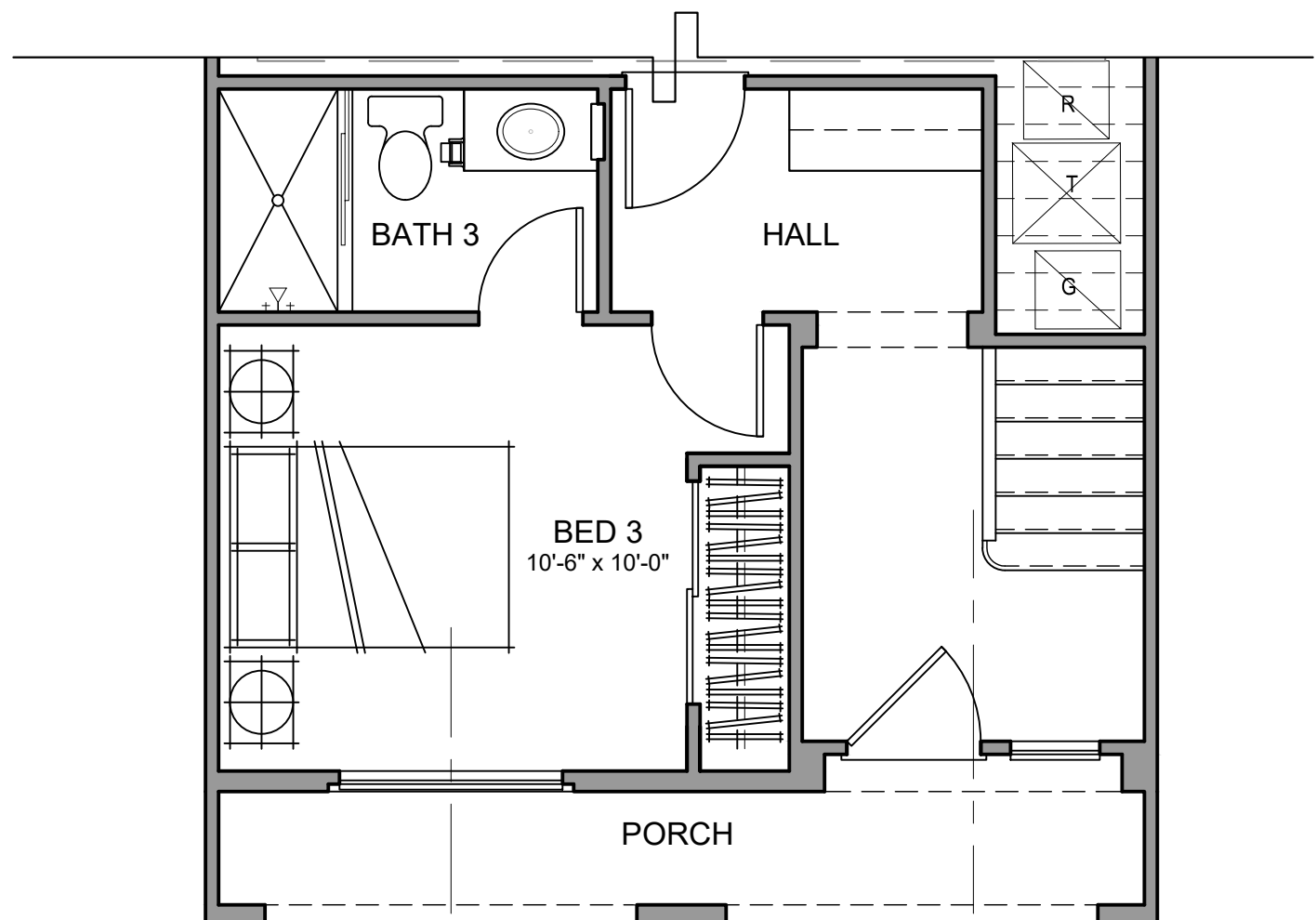
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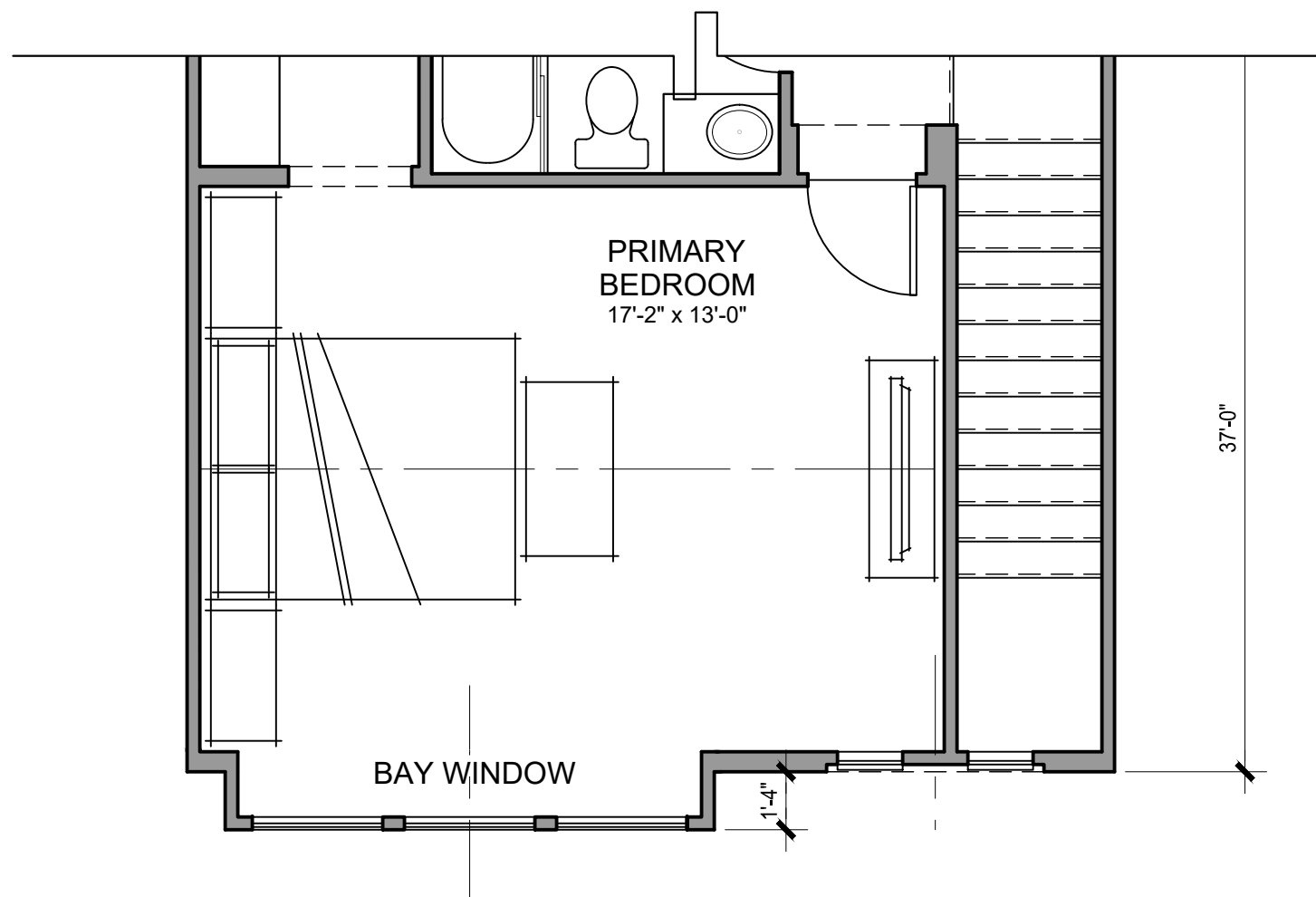
PLAN 2
ACCESSIBLE PLAN FIRST FLOOR



PLAN 2
ALTERNATIVE ELEVATION BAY WINDOW
THIRD FLOOR
10" POP OUT



PLAN 1
ALTERNATIVE ENHANCED ELEVATION
FIRST FLOOR
PORCH (STREET FACING ONLY)



PLAN 1
ALTERNATIVE ELEVATION BAY WINDOW
THIRD FLOOR
16" POP OUT



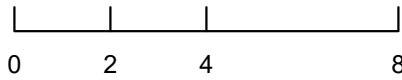
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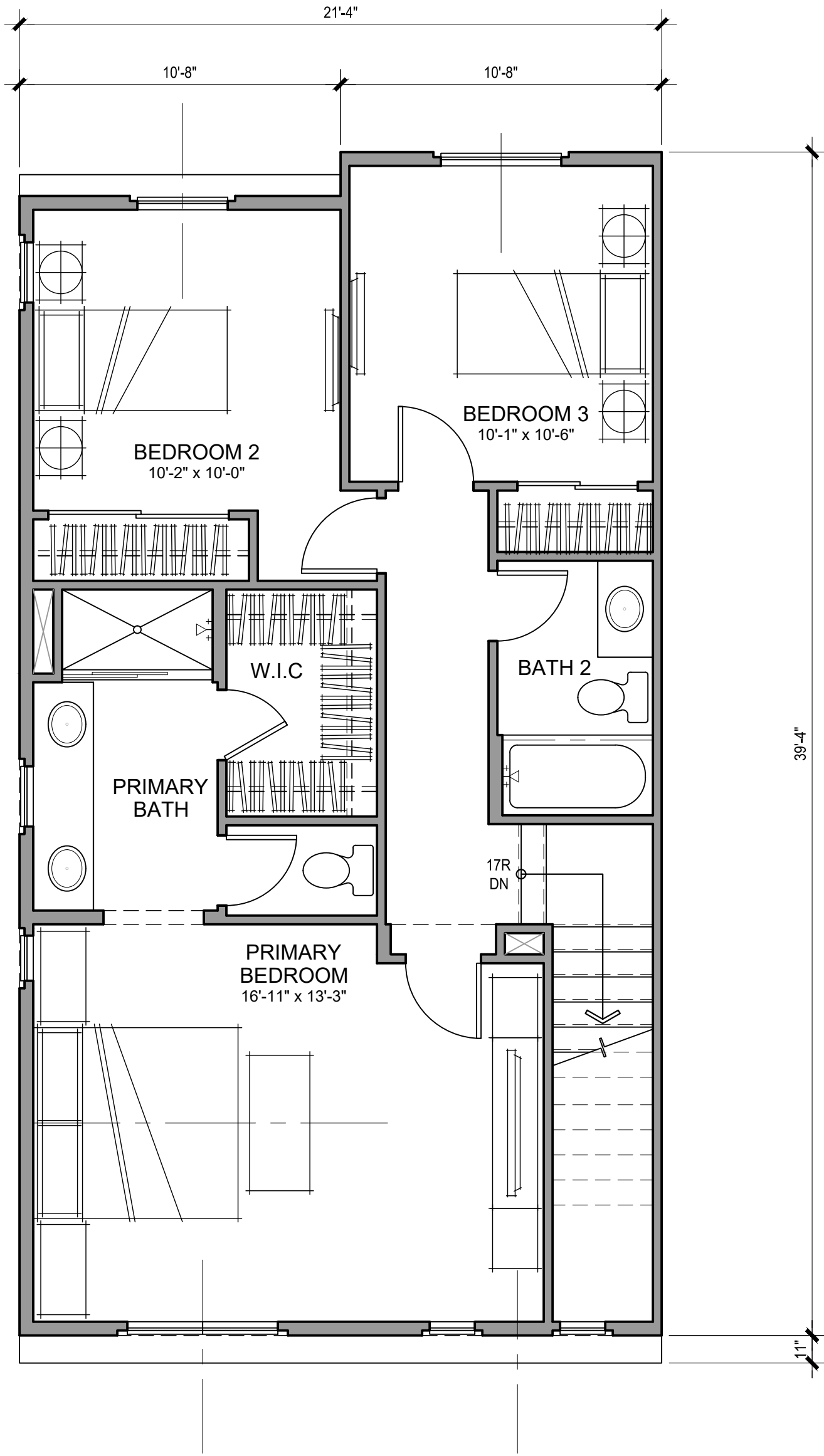
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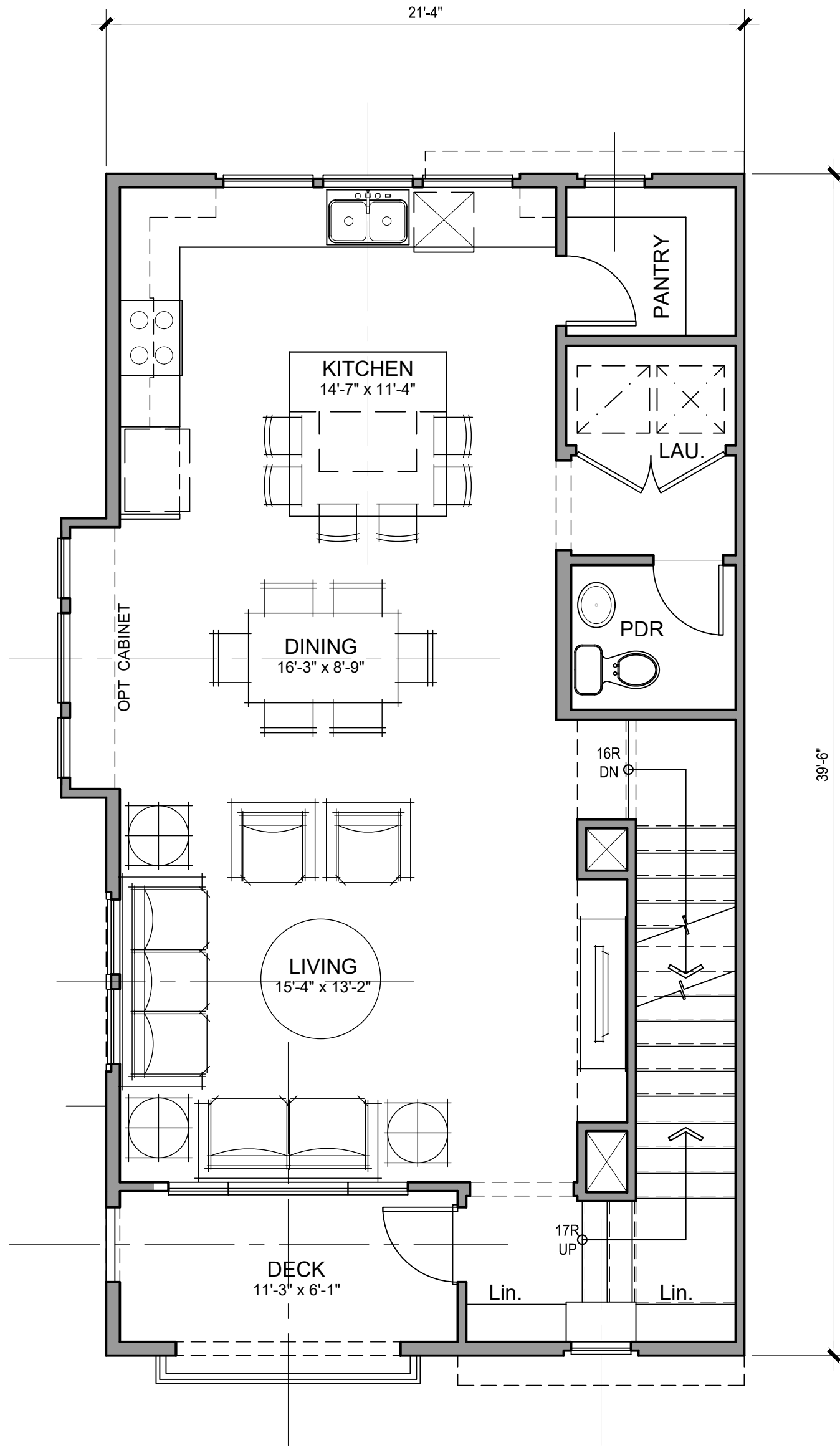


PLAN 1 & 2 ALT. FLOOR PLANS

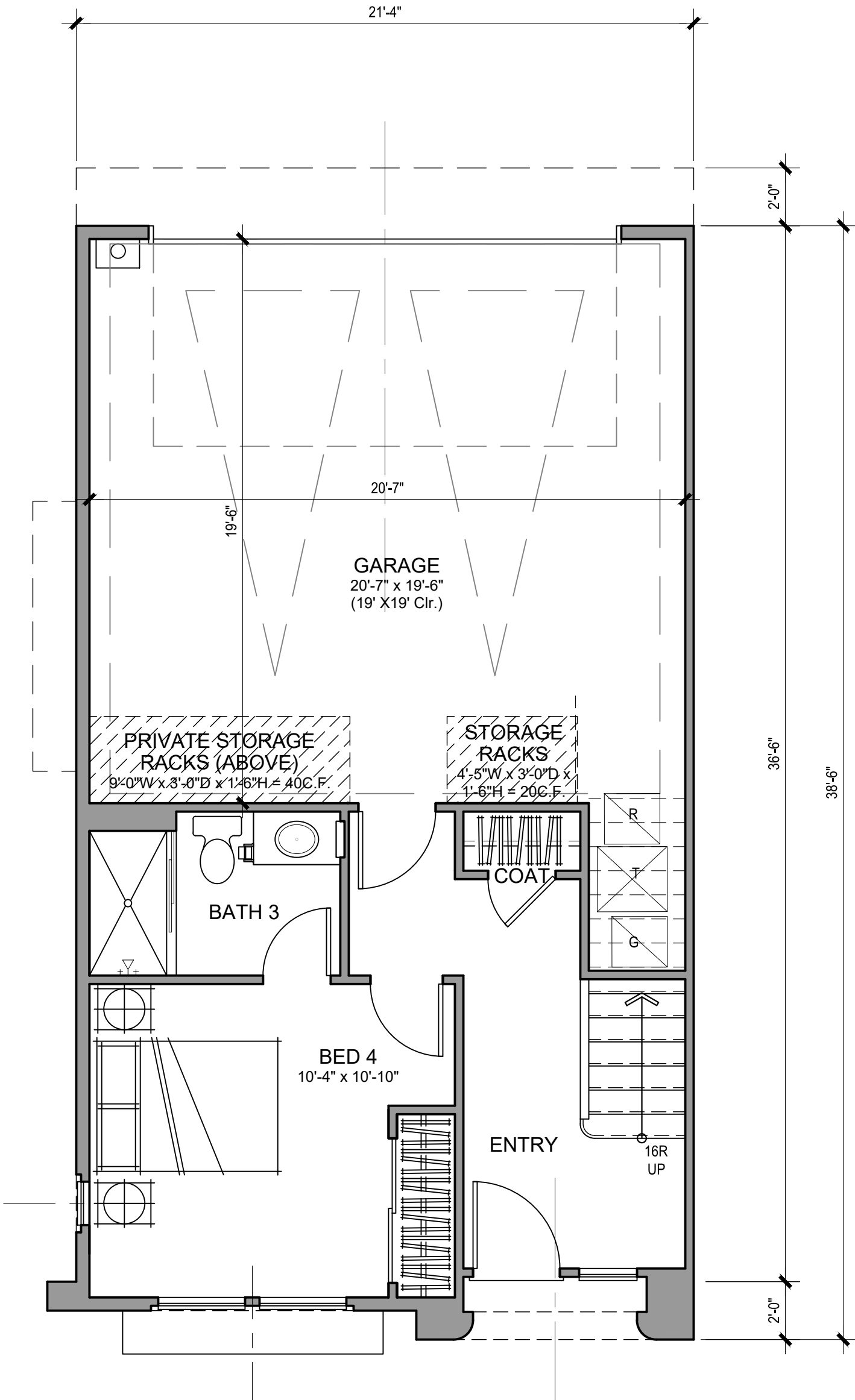
A8.2



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P3 - GROSS SF	
1ST FLOOR	381 SQ. FT.
2ND FLOOR	792 SQ. FT.
3RD FLOOR	758 SQ. FT.
TOTAL LIVING	1931 SQ. FT.
PORCH	15 SQ. FT.
GARAGE	447 SQ. FT.
DECK	72 SQ. FT.



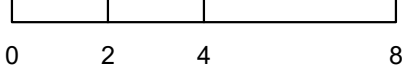
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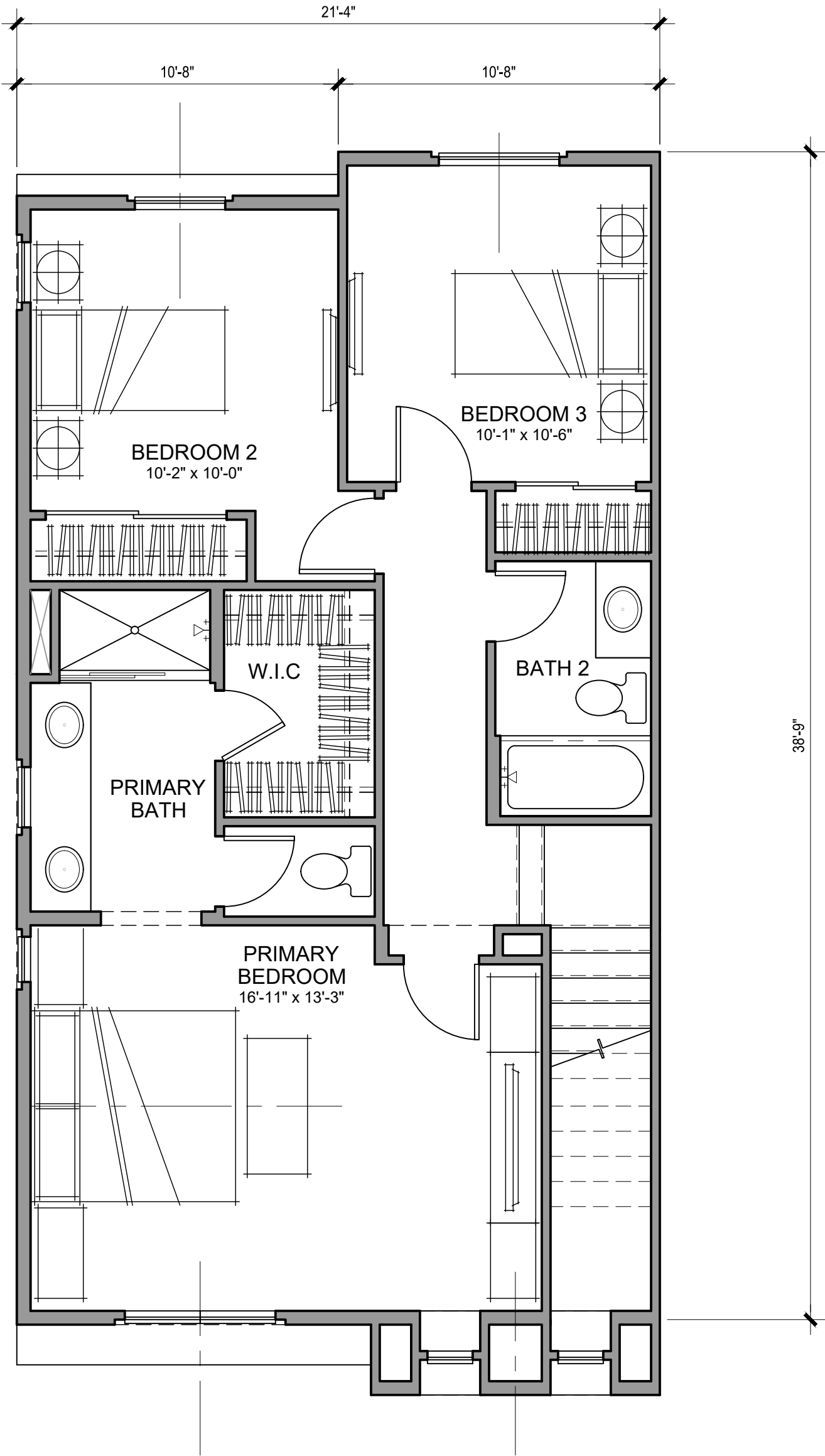
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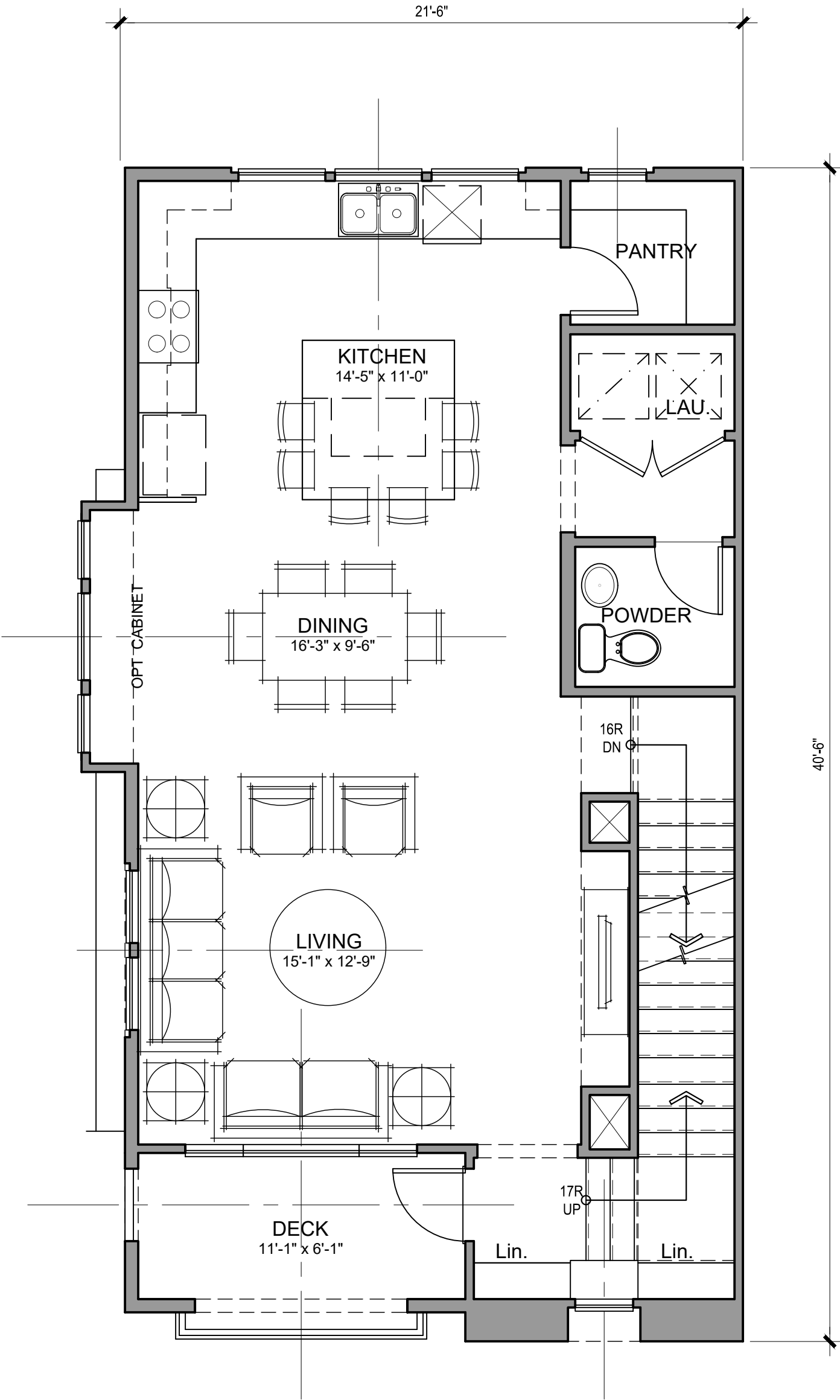


PLAN 3 FLOOR PLANS

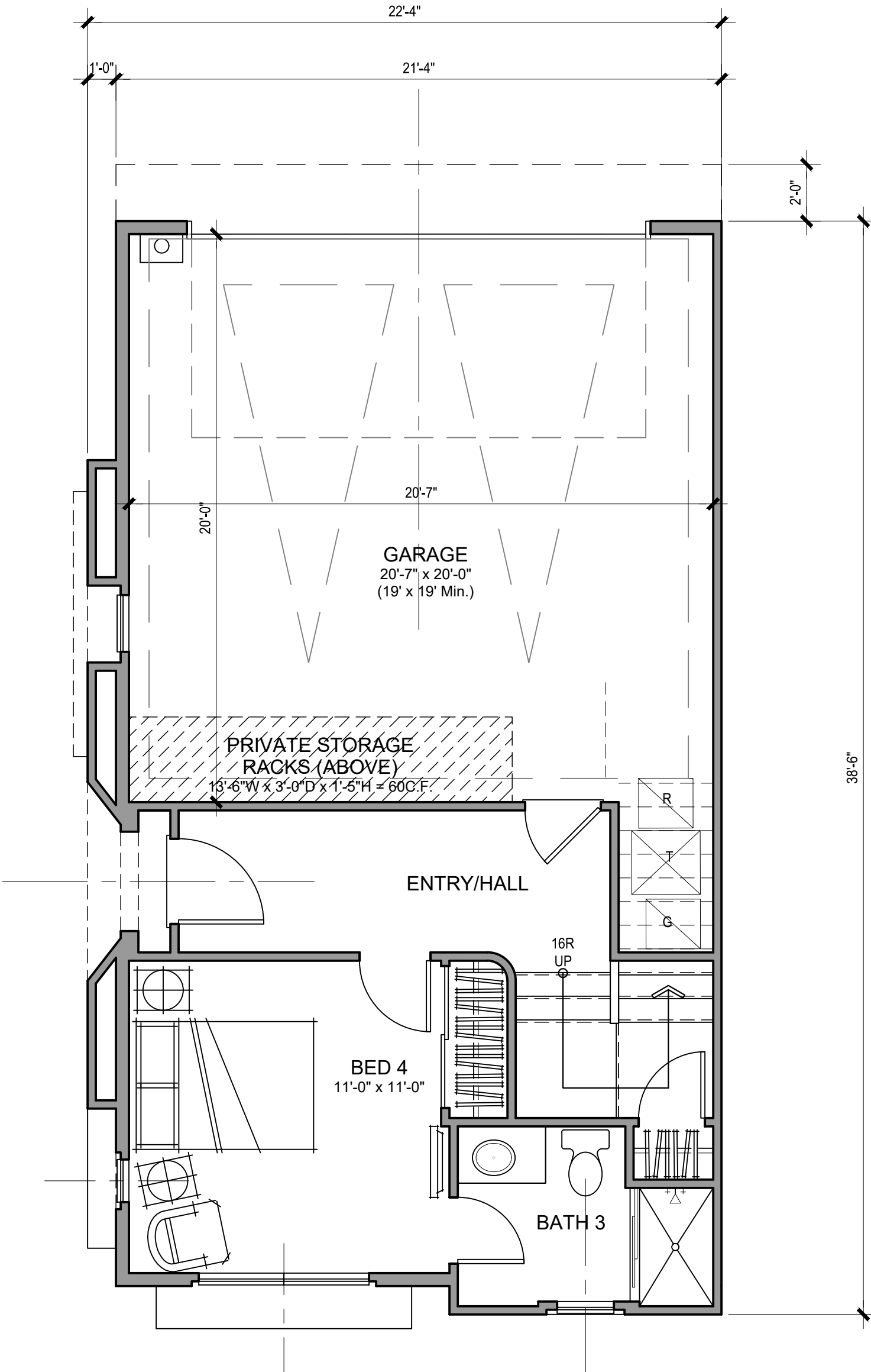
A8.3



ALTERNATE THIRD FLOOR



ALTERNATIVE SECOND FLOOR
@ CORNER



ALTERNATIVE FIRST FLOOR
@ ENTRY CORNER

P3X/CORNER - GROSS SF	
1ST FLOOR	381 SQ. FT.
2ND FLOOR	792 SQ. FT.
3RD FLOOR	758 SQ. FT.
TOTAL LIVING	1931 SQ. FT.
PORCH	15 SQ. FT.
GARAGE	457 SQ. FT.



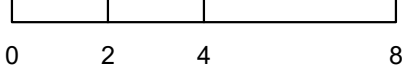
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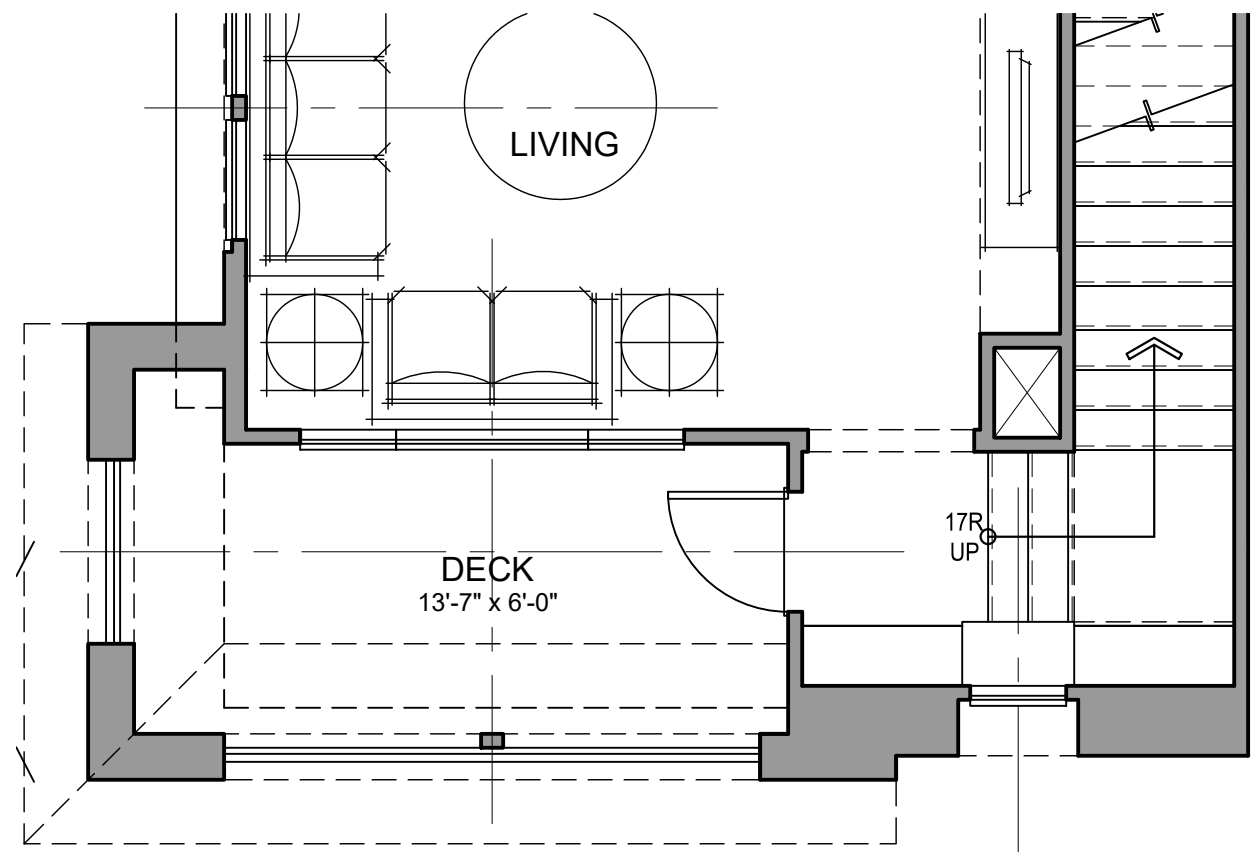
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Plot Date: 10.04.2022
1st (Full) Planning Submittal: 2022-02-01
Re-Submittal: 2022-10-04



PLAN 3X FLOOR PLANS

A8.4



ALTERNATIVE ENHANCEMENT SECOND FLOOR
@ CORNER - DECK 94 SF



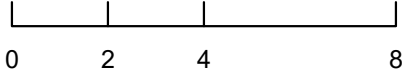
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PLAN 3X ENHANCEMENT

A8.5

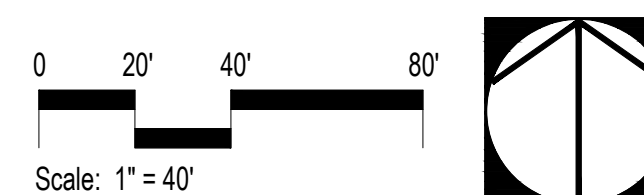


LEGEND

1. Central community open space area with large turf area, dining area with BBQ, seating for small gathering, play area with ping-pong tables and fire-pit with Adirondacks. Refer to Enlargement Sheet L2.
2. North, south pocket parks and reading nooks with specimen tree for shade with bench seating. Refer to Enlargement sheet L3.
3. Eight community cluster mailboxes, per USPS review and approval.
4. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
5. Enhanced paving at main project entry.
6. Integral colored concrete paving at open space gathering.
7. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
8. 6' wide stoop unit entry natural colored concrete walk, with light top-cast finish and saw-cut joints.
9. Accessible parking stall and striping, per Civil plans.
10. Guest parking stall.
11. Natural colored concrete driveway, with light broom finish and tooled joints.
12. Pot on pedestal at pedestrian entry.
13. Project monument sign. Refer to Section-Elevation Sheet L5.
14. Private patio / yard area, homeowner maintained.
15. Common area landscape, builder installed and HOA maintained.
16. Community dog bag station (black in color), for pet owners.
17. Property line.
18. Public street R.O.W.
19. Proposed public street sidewalk, per Civil plans.
20. Transformer to be screened with landscape, quantity and final locations to be determined.
21. Short term bike parking (6 bike stalls to accommodate 12 bike parking).
22. Easement, per Civil plans.
23. Existing Buildings to remain.
24. Proposed tree, per Planting Plan.
25. Line of Sight.
26. Entry Secondary Monument. Refer to Section-Elevation Sheet L5.
27. Proposed 8'-0" Wide DG Equestrian Trail, along Riverside Dr. & Main Street. See L-12 Exhibit.



Schematic Landscape Plan



Revision 1 Date: Oct., 03, 2022
MJW Investments, LLC

Project No.: MJW04

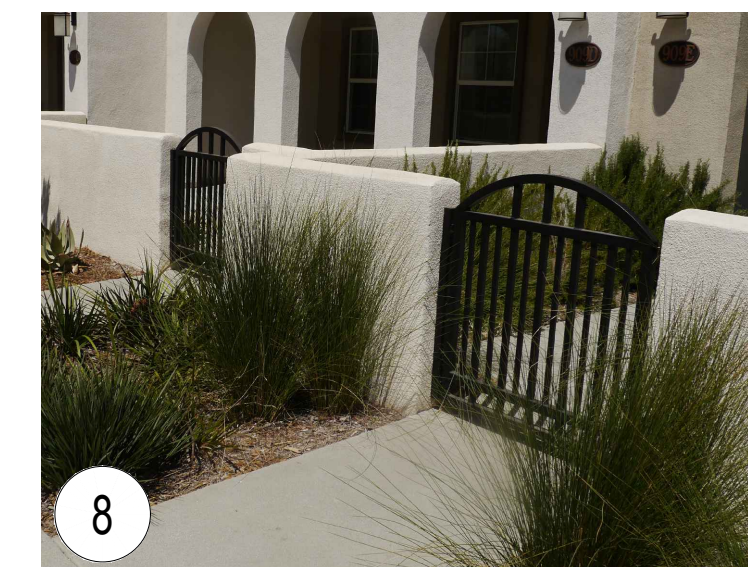
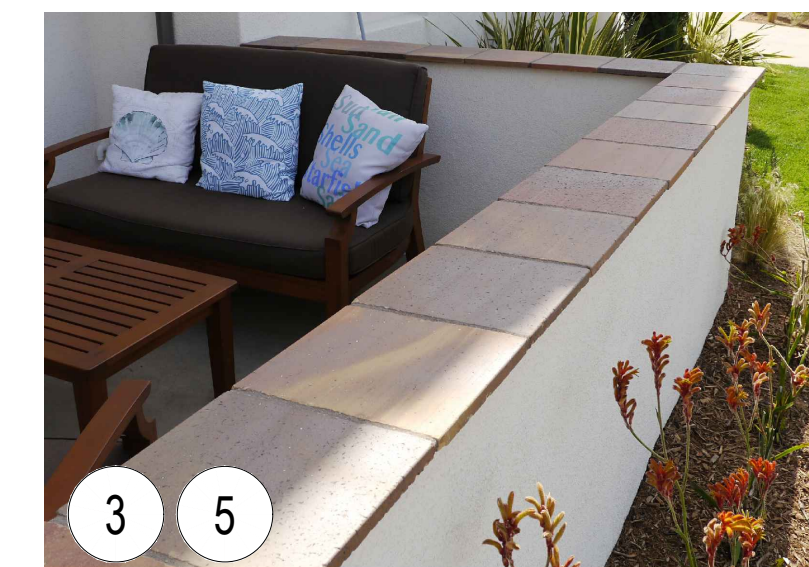
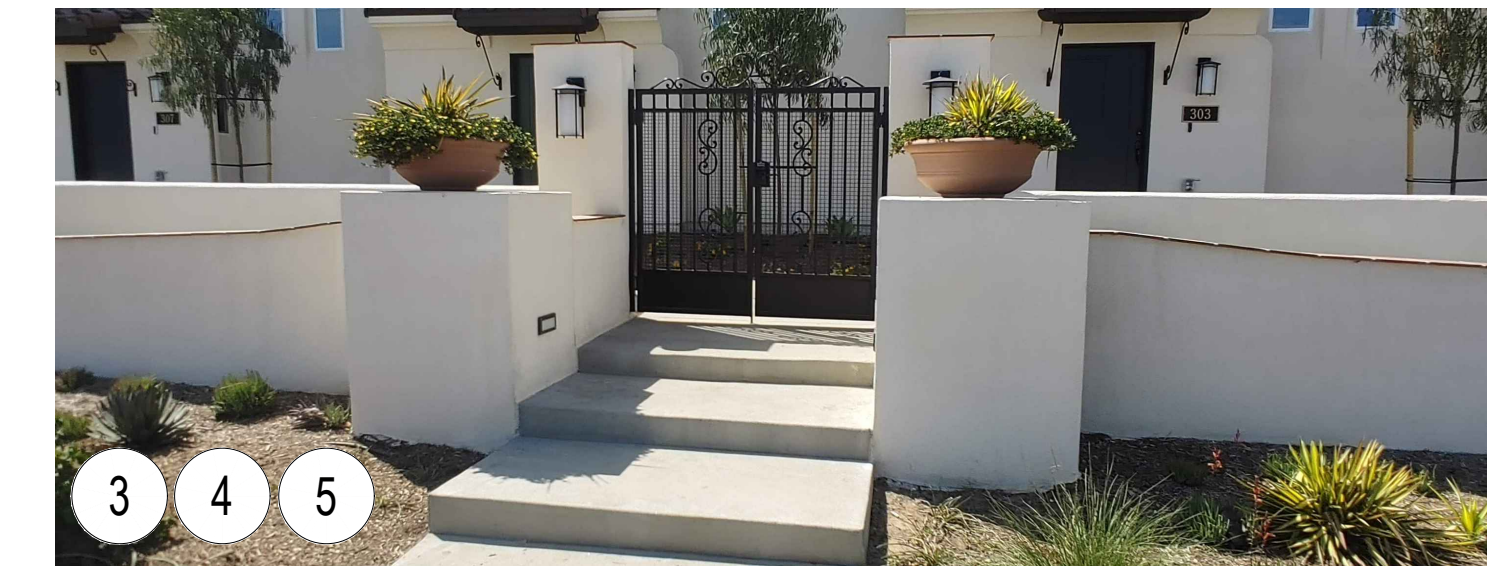
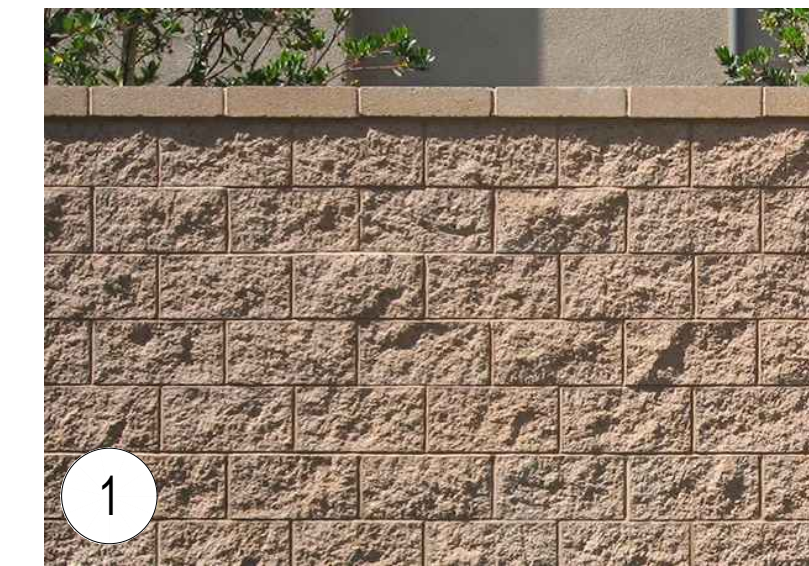
L-1

Burbank-Riverside

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WALL & GATE LEGEND

- 1 6'-0" High split-face CMU wall, with 2" high precision CMU cap (tan color).
 - 2 4'-0" High wooden fence
 - 3 3'-0" High stucco over CMU wall, with enhanced precast concrete cap (tan color).
 - 4 3'-6" High stucco over CMU patio wall, with flat stucco cap (retaining per Civil plans; tan color).
 - 5 3'-0" High retaining stucco wall, with enhanced precast concrete cap (tan color).
 - 6 6'-6" High (16" sq.) split-face block pilaster, with 18" sq. (4" H). CMU cap (tan color).
 - 7 5'-6" High wood private yard gate (dark brown stain color).
 - 8 3'-6" High metal pedestrian patio gate (black color).
- ADA Path of Travel



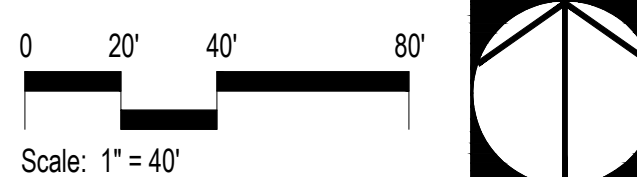
*Conceptual images (provided herein are conceptual and subject to change)

WALL REFERENCE NOTES (as pertained to ARTICLE 24. RANCHO MASTER PLAN ZONES, DIVISION 6. COMMERCIAL RECREATION (CR) ZONE)

10-1-1113.1 Commercial and Industrial Design Standards:

J. FENCE AND WALLS

- Height - Except as otherwise provided for property located at an intersection, the height of walls, fences and hedges may not exceed:
- Three (3) feet above the finished grade of the lot within any required front yard and within the required side yard on the street side of a corner or reverse corner lot; provided, however, that where a parking lot abuts or is across the street from a residential zone, a six (6) foot high masonry wall may be constructed within the required front yard and within the required side yard on the street side of a corner or reverse corner lot to the extent specified in Article 14, Division 4 of this Chapter or in a Conditional Use Permit granted by the Board or the Council.
- Eight (8) feet above the finished grade of the lot within any yard area behind the required front yard or required side yard on the street side of a corner or reverse corner lot except cutoff area.
- All fences and walls must comply with the corner cutoff provisions of Section 10-1-1303:
- No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area. The corner cutoff area is defined by a horizontal plane making an angle of 45 degrees with the front, side, or rear property lines as the case may be, and passing through points as follows:
- STREETS: At intersecting streets, ten (10) feet from the intersection at the corner of a front or side property line.
- ALLEYS: At the intersection of an alley with a street or another alley, ten (10) feet from the edges of the alley where it intersects the street or alley right-of-way.
- DRIVEWAYS: At the intersection of a driveway with a street or alley, five (5) feet from the edges of the driveway where it intersects the street or alley right-of-way. [Formerly numbered Section 31-152; Renumbered by Ord. No. 3058, eff. 2/21/87; Amended by Ord. No. 3750, eff. 10/17/08; 3690; 2301.]
- The subdivider shall construct Portland cement concrete sidewalks on both sides of all streets in the subdivision. The sidewalks shall be at least five feet (5') wide and three and one-half inches (3 1/2") thick, and otherwise constructed in accordance with City specifications. Sidewalks on one side of a street may be deleted where the approving body determines that they are not needed.



Revision 1 Date: Oct. 03, 2022
MJW Investments, LLC

Project No.: MJW04

L-4

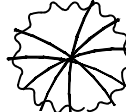
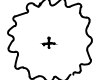
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Burbank-Riverside

Schematic Wall Plan



PLANTING LEGEND

Planting Legend				WUCOLS (R3)		
Symbol	Type/Form	Suggestions	Trunk	Size		Qty.
		Botanical Name (Common Name)				
TREES						
	Specimen	Erythrina caffra (Kaffirboom Coral Tree) Olive sp. (Fruitless Olive)	Single Natural	48" Box B&B	Low	3
	Focal	Magnolia grandiflora 'Little Gem' (Southern Magnolia)	Single	24" Box	Mod.	15
	Canopy Deciduous	Sycamore racemosa (California Sycamore)	Single	36" Box	Mod.	22
	Deciduous Flowering	Lagerstroemia ix 'Natchez' (Crape Myrtle) Chilopsis linearis (Desert Willow)	Single Multi	24 Box 15 Gal	Mod. Low	28
	Street	Tristania conferta (Brisbane Box)	Single	36"/24" Box	Mod.	32
	Medium	Rhus lancea (African Sumac)	Single	24" Box	Low	23
	Street Frontage	Geijera parviflora (Australian Willow)	Single	36" Box	Low	31
	Columnar	Cupressus sempervirens (Italian Cypress) Podocarpus macrophyllus (Yew Pine)	Single	15 Gal	Low	32
	Vertical	Prunus caroliniana 'Monus' (Bright n Tight)	Single	15 Gal	Mod.	21
	Vines	Macfadyena unguis-cati (Cat's Claw Vine) Bougainvillea x 'Monka' (Oo-La-La Bougainvillea)	Single	5 Gal	Low	24
Total =						236

SHRUBS and GROUND COVER

	WUCOLS (R3)
Anigozanthos	Low
Agave sp.	Low
Aloe sp.	Low
Artemisia californica	Low
Bougainvillea sp.	Low
Callistemon citrinus 'Little John'	Low
Carex divulsa	Low
Carissa m. 'Green Carpet'	Low
Ceanothus sp.	Low
Cordylone 'Pink Passion'	Low
Delosperma cooperi	Low
Dianella revoluta 'Little Rev'	Low
Epilobium cancum	Low
Kalanchoe thyrsiflora	Low
Lavandula stoechas 'Larkman Hazel'	Low
Ligustrum japonicum "Texanum"	Low
Nassella pulchra	Low
Muhlenbergia rigens	Low
Rhaphiolepis indica 'Clara'	Low
Rosmarinus p. 'Huntington Carpet'	Low
Salvia 'Bee's Bliss'	Low
Salvia leucophylla	Low
Westringia sp.	Low
Xylosma congestum 'Compact'	Low
Yucca gloriosa	Low
Kangaroo Paw	Low
Agave	Low
Aloe	Low
California Sagebrush	Low
Bougainvillea	Low
Dwarf Bottlebrush	Low
Berkeley Sedges	Low
Dwarf Natal Plum	Low
California lilac	Low
Pink Passion Dracaena Palm	Low
Trailing Ice Plant	Low
Little Rev™ Flax Lily	Low
California Fuchsia	Low
Flapjack Paddle Plant	Low
Hazel™ Spanish Lavender	Low
Japanese Privet	Low
Purple Needlegrass	Low
Deer Grass	Low
India Hawthorn	Low
Groundcover Rosemary	Low
Sage	Low
Purple Sage	Low
Westringia	Low
Compact Xylosma	Low
Spanish Dagger	Low

WUCOLS (R3)

VINES & ESPALIERS

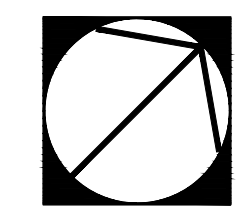
Antigonon leptopus	Coral Vine
Bougainvillea 'Monka' (Oo-La-La® Bougainvillea)	Bougainvillea
Macfadyena unguis-cati	Cat's Claw Vine
Pandorea jasminoides 'Lady Di'	White Bower Vine
Trachelospermum jasminoides	Star Jasmine

- NOTES:
- Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881); Plans must comply with Municipal Water Efficient Landscape Ordinance (MWELO) requirements if over 500 square feet of landscape – .
 - Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted per local codes & regulations.
 - The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this project. However, substitutions may be required due to availability, soils tests, or other conditions.
 - All trees within 5' of hardscape to be installed with deep root barriers.
 - Refer to Sheets L-8, L-9 for additional open space, landscape area calculations & notes.

ARTICLE 6. RESIDENTIAL USES AND STANDARDS - DIVISION 4. MULTIPLE FAMILY RESIDENTIAL ZONE (R-3)

- C. Vegetation
- Landscape must include the following types of trees and vegetation, or similar species complementary to the existing Rancho environment that are approved by the Community Development Director:
- California pepper
 - Olive
 - Live oak
 - California holly
 - Eucalyptus
 - Cactus and succulents

Schematic Planting Plan



Revision 1 Date: Oct. 03, 2022
MJW Investments, LLC

Project No.: MJW04 **L-12**

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