



APPROVED
DEC 06 2023
CITY OF BURBANK
PLANNING

*Subject to conditions of Approval
Project No 19-0005588*

PALM TOWNHOME
NEW 24-UNIT CONDOMINIUM COMPLEX

529 & 537 E PALM AVE. BURBANK, CA 91501
BOLADARCK Design + N. Battle A.I.A. Architect, Inc.

DATE: 11/08/2023
SUBMITTAL FOR PLANNING REVIEW

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like 'A.A. Architectural Association', 'A.S. Architectural Services', etc.



PROJECT DATA table containing project name, address, location, and other basic information.

SYMBOLS



NOTES

- 1. THE GENERAL NOTES AND SPECIFICATIONS GOVERN OVER THE NOTES OF ANY CONTRACT DOCUMENTS... 2. DIMENSIONS GIVEN IN PARENTHESIS ARE FOR INFORMATION ONLY...

NEIGHBORHOOD MAP



Main technical drawing area containing tables for 'RESIDENTIAL UNIT CONFIGURATION', 'PARKING ANALYSIS', 'LANDSCAPING ANALYSIS', and 'SHEET INDEX'.

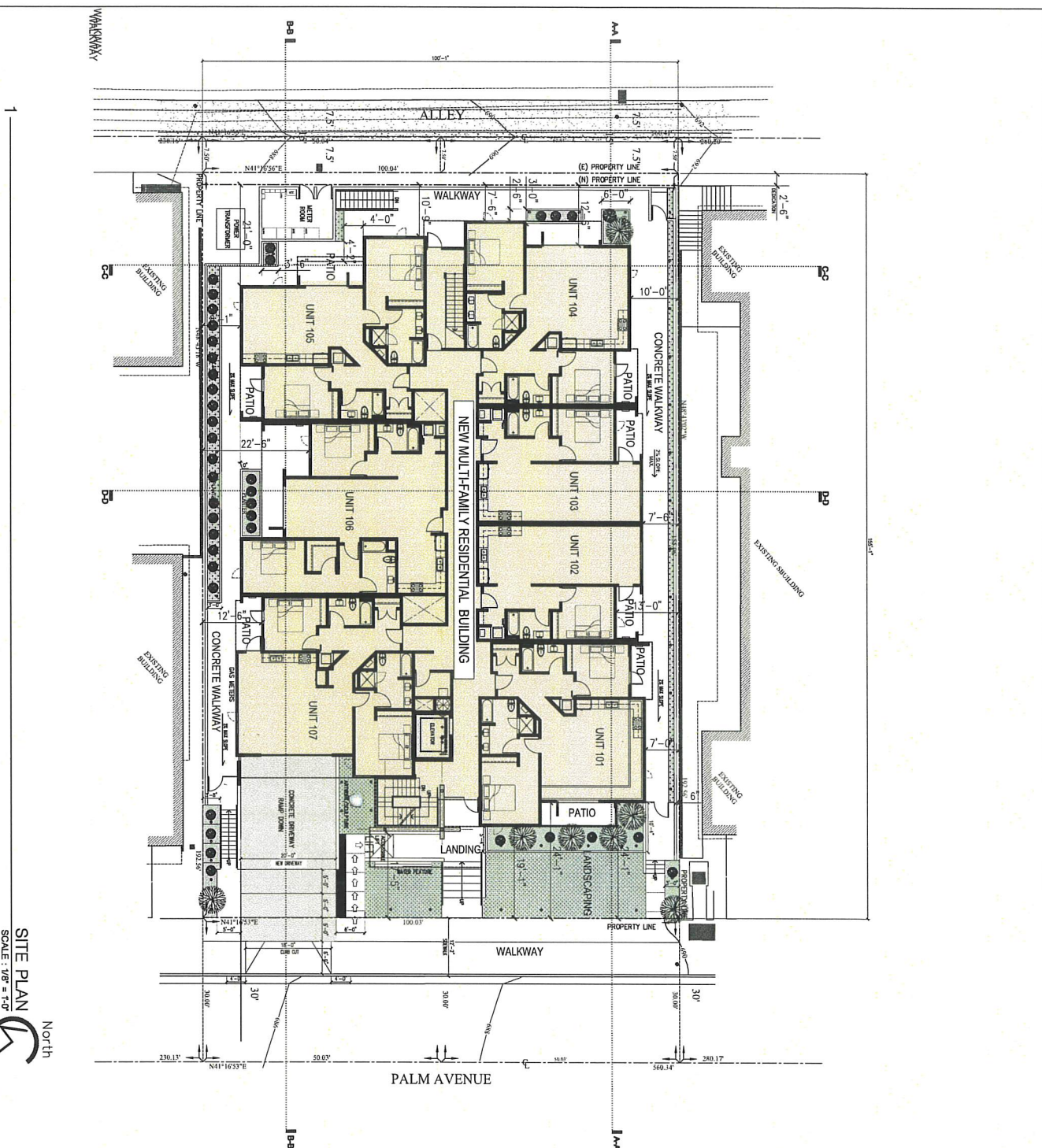
ARCHITECTURE - ENGINEERING logo for BOLADarck.

PROJECT NAME & SITE ADDRESS: 3613231 S ORANGE DR, LOS ANGELES, CA 90008

TITLE SHEET and DRAWING CONTENT information.

Professional engineer and architect seals for N. Battle A.I.A. Architect, Inc. and Boladark Design.

Revision table and drawing number T-1.0.



North
SITE PLAN
SCALE: 1/8" = 1'-0"

- LEGEND:**
- BUILDING FOOTPRINT
 - LANDSCAPE AREA
 - CONCRETE DRIVEWAY
 - LANDING (SEE A-1-09A DISCRETS)

- SITE PLAN GENERAL NOTES:**
1. ANY PLANTERS USED FOR LANDSCAPING THE FRONT YARD ARE TO BE PLANT SPECIES THAT ARE SUITABLE FOR THE CLIMATE AND SOIL CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THE PLANTERS FROM THE DATE OF INSTALLATION THROUGH THE END OF THE PROJECT.
 2. THE CITY HAS SET SPECIFIC STANDARDS WITH RESPECTS TO THE PLANTING OF TREES AND LANDSCAPING FOR THE BURNABY GENERAL PLAN'S HIGH DENSITY RESIDENTIAL AND USE DESIGNATION. THE STANDARDS WITHIN OF THE STREET ISLANDS AND SIDEWALKS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT. THE CONTRACTOR SHALL PROVIDE SPECIAL MAINT OF 12 FEET, BUILDING, FIRE ELECTRICAL, PLUMB, MECH, ETC. CODE SECTIONS, PRODUCT LISTING NUMBERS, AND REFERENCE DESCRIPTIONS FOR ALL PLANTING MATERIALS. THE CONTRACTOR SHALL MAINTAIN AND BE RESPONSIBLE TO ASSIST THE CONTRACTOR AND USER THROUGHOUT THE LIFE OF THE DEVELOPMENT IN CONFORMANCE WITH THE CITY'S ZONING CODE.
 3. THE CONTRACTOR SHALL MAINTAIN THE PLANTERS FROM THE DATE OF INSTALLATION THROUGH THE END OF THE PROJECT.
 4. THE CONTRACTOR SHALL MAINTAIN THE PLANTERS FROM THE DATE OF INSTALLATION THROUGH THE END OF THE PROJECT.
 5. THE CONTRACTOR SHALL MAINTAIN THE PLANTERS FROM THE DATE OF INSTALLATION THROUGH THE END OF THE PROJECT.
 6. THE CONTRACTOR SHALL MAINTAIN THE PLANTERS FROM THE DATE OF INSTALLATION THROUGH THE END OF THE PROJECT.

BOLADARCK
ARCHITECTURE · ENGINEERING
2001 ALVARO STREET, SUITE 100
BURNABY, BC V5A 0H3
TEL: (604) 291-8877
WWW.BOLADARCK.COM

PROJECT NAME & SITE ADDRESS
PALM TOWNHOUSE
529 & 537 E PALM AVENUE
BURNABY, BC V5A 1S1

Drawing Content
SITE PLAN

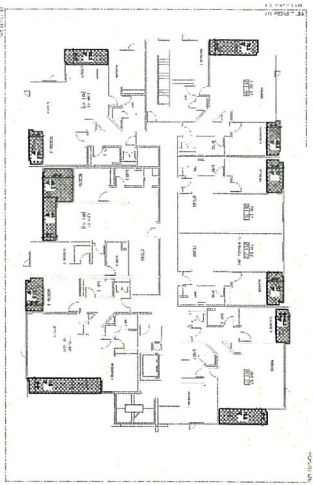
Revisions: _____ Date: _____

Designer: JPH
Manager: JPH
Checker: JPH
Date: 10/17/2023

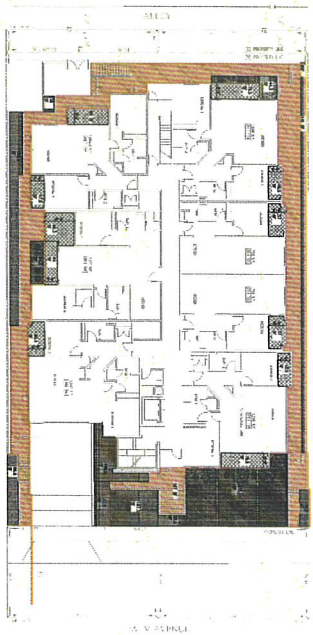


A-1.0

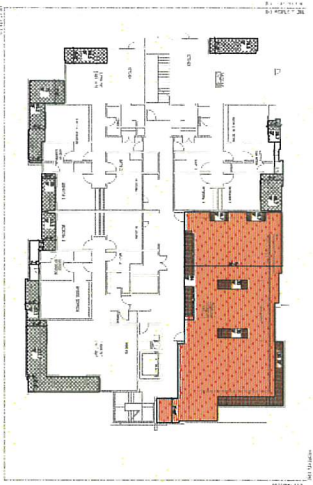
NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR COMPLYING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE ARCHITECT IN WRITING DAYS TO REVIEW AND CONTROL, DO NOT SCALE DRAWING.



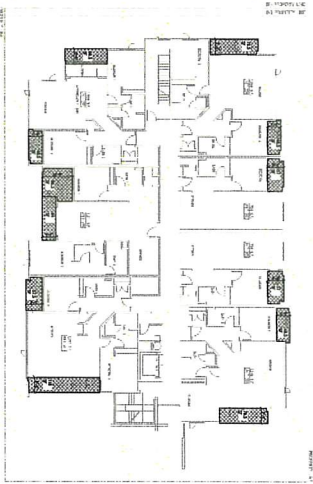
3 OPEN SPACE DIAGRAM- THIRD FLOOR
SCALE: 1/8" = 1'-0"



1 OPEN SPACE DIAGRAM- FIRST FLOOR
SCALE: 1/8" = 1'-0"



4 OPEN SPACE DIAGRAM- FOURTH FLOOR
SCALE: 1/8" = 1'-0"



2 OPEN SPACE DIAGRAM- SECOND FLOOR
SCALE: 1/8" = 1'-0"

OPEN SPACE TABULATION					
FLOOR LEVEL	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
COMMON AREA				2178 SF	2178 SF
COMMON OPEN SPACE	30284 SF			2178 SF	52074 SF
LANDSCAPING IN COMMON OPEN SPACE	17323 SF			3914 SF	22239 SF
PRIVATE OUTDOOR SPACE	7268 SF	6268 SF	6268 SF	6273 SF	30077 SF

LEGEND:	
	COMMON OPEN SPACE
	PRIVATE OUTDOOR SPACE
	COMMON AREA
	LANDSCAPE AREA
	LANDING ENCLAVES

DIAGRAMS GENERAL NOTES:

- COMMON OPEN SPACE ON THE FOURTH FLOOR EQUALS THE PROVIDED AREA SINCE ABOVE FLOORING IS PROVIDED.
- PRIVATE OPEN SPACE EQUALS THE BALCONIES AND PATIOS FOR EACH INDIVIDUAL PRIVATE OPEN SPACE AREA MUST BE ENCLOSED BY GLASS PARTITIONS LOCATIONS AS SHOWN ARE TO BE REVIEWED BY MEASUREMENTS TO BE OBTAINED BY THE CONTRACTOR UPON APPROVAL OF THE ARCHITECT.

ARCHITECTURE - ENGINEERING
BOLADARCK
 3150 N. GAVIN BLVD., SUITE 100
 LOS ANGELES, CA 90038
 TEL: 310-201-3977
 FAX: 310-201-3978
 WWW.BOLADARCK.COM

PROJECT NAME & SITE ADDRESS
 3150 N. GAVIN BLVD.
 LOS ANGELES, CA
 90038

Drawing Content:
 OPEN SPACE DIAGRAMS

Revisions:

No.	Date	Description

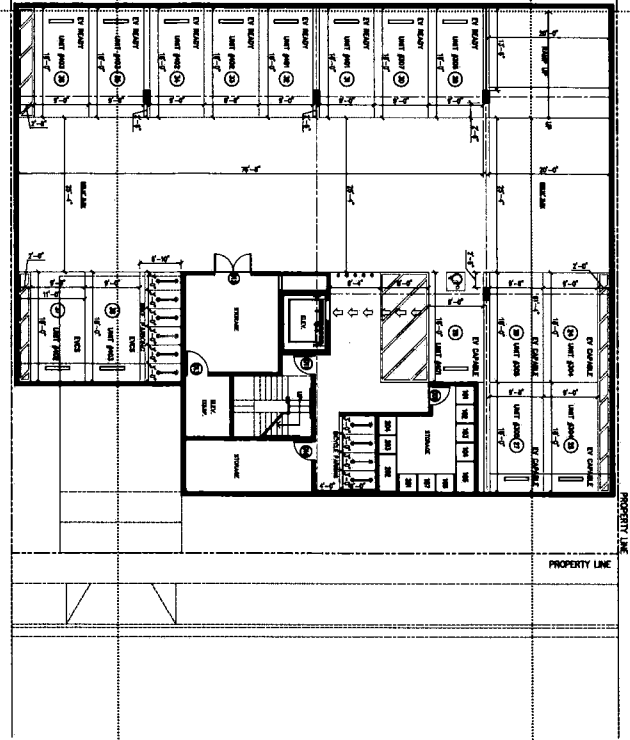
Designer: JDB
Checker: JDB
Date: 11-14-2023
Job No.: 23-108-051 1004
Drawing No.:

BOLADARCK Design + N. Battle A.I.A. Architect, Inc.

A-1.3

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR CONSTRUCTION METHODS, MATERIALS, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GETTING THE ARCHITECT IN WRITING AND CONFIRMING FOR ANY SCALE DRAWING.

- GARAGE PLAN GENERAL NOTES:**
1. WHERE INFORMATION IS UNCLEAR OR CONFLICTS WE FOUND CONTACT THE ARCHITECT FOR CLARIFICATION FROM THE PROCEEDING.
 2. BENCHMARK MARKS MUST BE CONSTRUCTED PER BENCHMARK SYMBOL FROM BS-102.
 3. NO VERTICAL OBSTRUCTION SHALL BE EXCEPT OR MAINTAINED ABOVE GARAGE FLOOR FINISH.
 4. EVERY RESIDENTIAL PARKING SPACE SHALL MAINTAIN A VERTICAL CLEARANCE OF 7' FOR BENCHMARK STANDING FROM BS-102.
 5. TURN AREAS AND PARKING SPACES ADJACENT TO OBSTRUCTIONS MUST BE CONSTRUCTED PER BENCHMARK STANDING FROM BS-102.
 6. PARKING SPACES MUST BE CONSTRUCTED PER B.M.C. 10-1-102.
 7. DIM STUBS SHALL BE A MINIMUM OF 1" WIDE ON THE CORNER AND MUST EXCEED 3' BEYOND THE BAY PER BENCHMARK STANDING FROM BS-102.
 8. PROVIDE MINIMUM 60 CLEAR FEET OF SECURED STORAGE SPACE FROM EACH DWELLING UNIT IN THE DESIGNATED AREAS SHOWN ON PLAN.



PARKING PLAN - LEVEL 2
SCALE: 1/8" = 1'-0"
North

LEGEND:
↔ ↔ ACCESSIBLE PATH OF TRAVEL

BOLADarck Design + N. Battle A.I.A. Architect, Inc.

PARKING PLAN - LEVEL 2

PROJECT NAME & SITE ADDRESS:
PALM TOWNHOUSE
528 S. 27TH PALM AVE
BURBANK, CA 91501

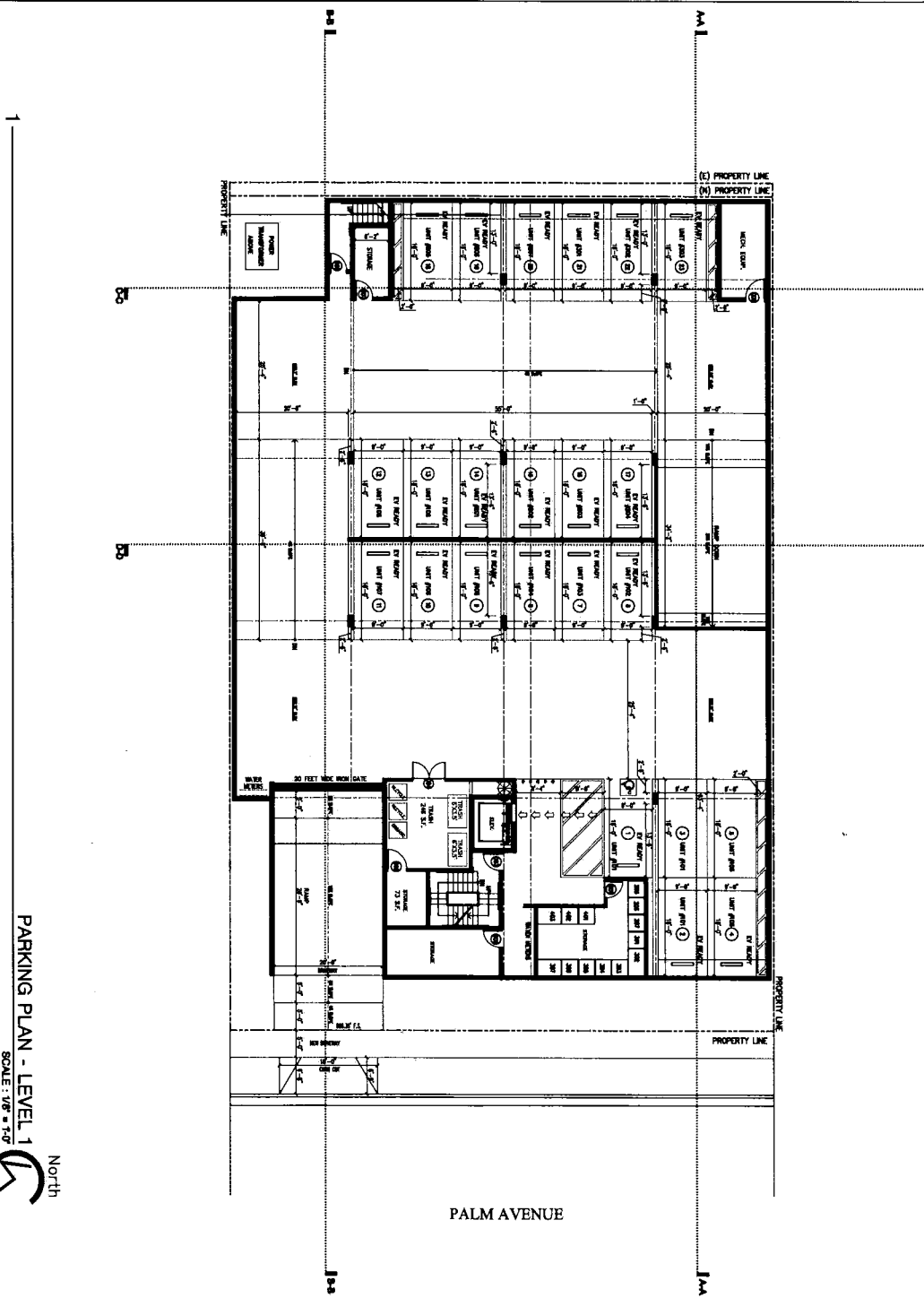


Designer:	JOB
Checker:	1/1/2023
Manager:	1/1/2023
Date:	1/1/2023
Scale:	1/8" = 1'-0"
Drawing No.:	

A-2.0

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR CONSTRUCTION METHODS, MATERIALS, TECHNICAL SPECIFICATIONS, AND PROCEDURES AND FOR CORRECTING ALL PORTIONS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR CORRECTING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE APPROPRIATE WORKING DAYS TO REVIEW AND CORRECT. DO NOT SCALE DRAWING.

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR CONSTRUCTION METHODS, MATERIALS, SEQUENCES, AND PROCEDURES AND FOR CORRECTING ALL PORTIONS OF THE WORK. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR COMMUNING AND SERVING ALL DIMENSIONS. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CORRECT. DO NOT SCALE DRAWING.



- GARAGE PLAN GENERAL NOTES:**
1. BEFORE APPROVAL IS INITIATED ON CONCRETE, ALL FOUNDATION CONTRACTS SHALL BE REVIEWED BY THE ARCHITECT FOR PROCEEDING.
 2. DIMENSIONS SHALL BE CONSIDERED PER BUREAU OF STANDARDS PLAN 85-102.
 3. NO SIGNAGE OR IDENTIFICATION SHALL BE DISPLAYED OR MAINTAINED OUTSIDE AT INTERSECTION OF STREET AND DRIVEWAY (BANK 10-1-13000).
 4. EVERY RESIDENTIAL PARKING SPACE SHALL MAINTAIN A VERTICAL CLEARANCE OF 7' PER BUREAU OF STANDARDS PLAN 85-102.
 5. SIGNAGE AND PARKING SPACES ADJACENT TO DRIVEWAYS SHALL BE CONSIDERED PER BUREAU OF STANDARDS PLAN 85-102.
 6. PARKING SPACES MUST BE CONSIDERED PER BUREAU OF STANDARDS PLAN 85-102.
 7. THE SIGNAGE SHALL BE A MINIMUM OF 1' AWAY FROM THE DRIVEWAY.
 8. PROVIDE MINIMUM 80 CLEAR FEET OF SECURED STORAGE SPACE FOR EACH DRIVING UNIT IN THE DESIGNATED AREAS SHOWN ON PLAN.

LEGEND:

⊠ ACCESSIBLE PARKING SPACE

BOLADARCK

ARCHITECTURE - ENGINEERING
 529 S 301 E PALM AVE
 RIVERSIDE, CA 92501
 TEL: 951-509-4444
 FAX: 951-509-4445
 WWW.BOLADARCK.COM

PROJECT NAME & SITE ADDRESS
 PALM TOWNHOUSE
 529 S 301 E PALM AVE
 RIVERSIDE, CA 92501

Drawing Content:
PARKING PLAN - LEVEL 1

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____
 DATE: _____



BOLADARCK Design + N. Battle A.I.A. Architect, Inc.

A-2.1

FLOOR PLAN GENERAL NOTES:

BOLADarck

ARCHITECTURE • ENGINEERING
3913 W. 39th Street, Suite 200
Los Angeles, CA 90008
Tel: 310.441.1000
Fax: 310.441.1001
www.boladarck.com

PROJECT NAME & SITE ADDRESS:
3913 W. 39th Street
LOS ANGELES, CA
90008

Drawing Content:

SECOND FLOOR PLAN



Revisions: Date:

Revision	Date

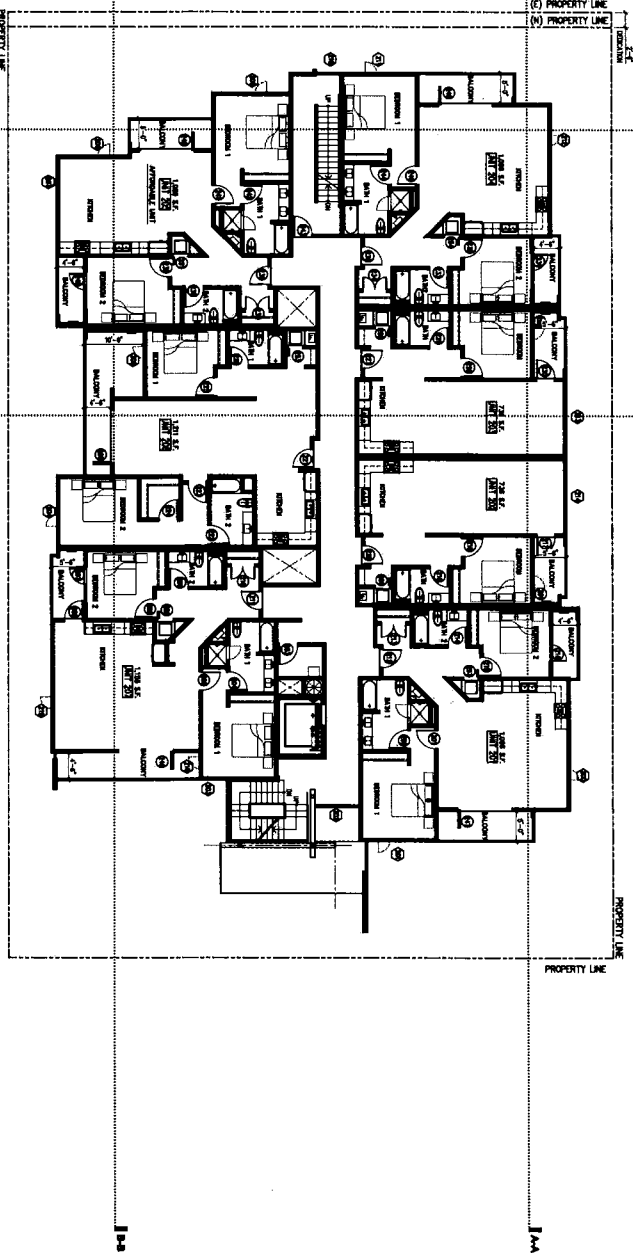
Drawing No.:

A-2.3

BOLADarck Design + N. Battle A.I.A. Architect, Inc.

LEGEND:

↳ ↻ ↻ ACCESSIBLE PATH OF TRAVEL

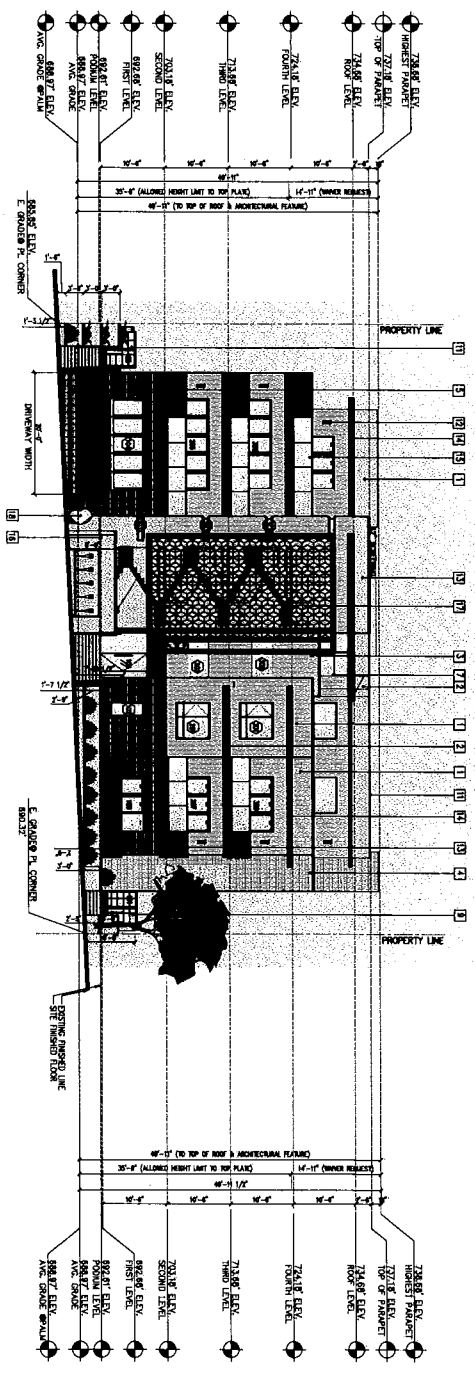


SECOND FLOOR PLAN

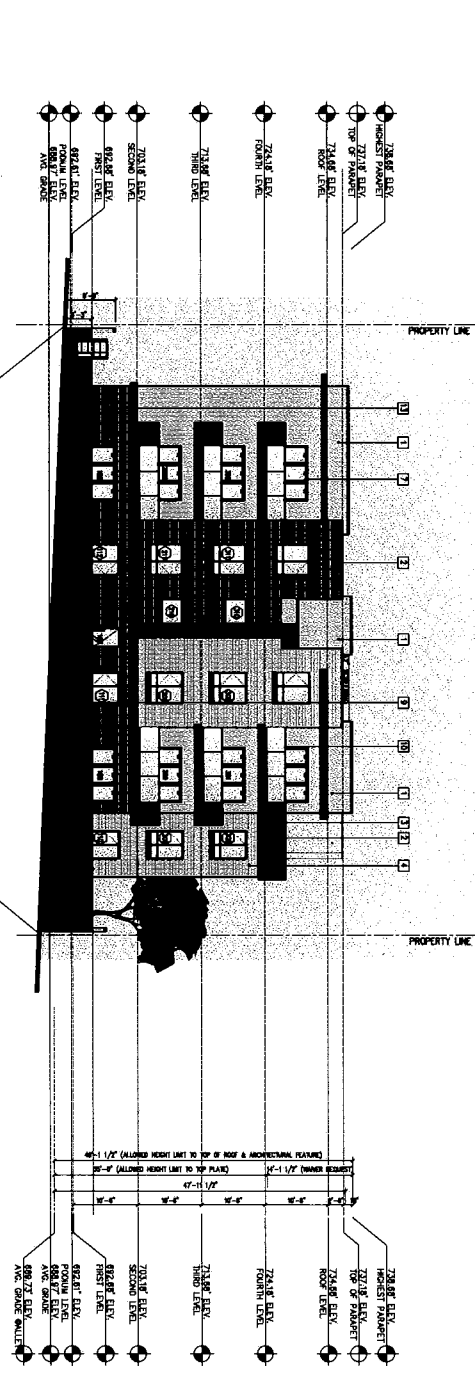
SCALE: 1/8" = 1'-0"



NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MATERIALS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR OBTAINING ALL PERMITS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR COMMANDING AND OBTAINING ALL DISPOSITIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND CARE THE APPLICABLE TO REVISIONS AND CORRECTIONS ON SHOP DRAWINGS.



2 EAST ELEVATION ALONG PALM AVE (FRONT) SCALE: 1/8" = 1'-0"



2 WEST ELEVATION ALONG ALLEY (REAR) SCALE: 1/8" = 1'-0"

- MATERIALS**
- 1 LIGHT GRAY MASONRY CLAY BRICK WITH SANDY SILTY MORTAR
 - 2 REDDISH MASONRY CLAY BRICK WITH SANDY SILTY MORTAR
 - 3 LIGHT GRAY MASONRY CLAY BRICK WITH SANDY SILTY MORTAR
 - 4 LIGHT GRAY MASONRY CLAY BRICK WITH SANDY SILTY MORTAR
 - 5 POLISHED LIGHT GRAY MARBLE
 - 6 LIGHT GRAY MASONRY CLAY BRICK WITH SANDY SILTY MORTAR
 - 7 POLISHED LIGHT GRAY MARBLE
 - 8 POLISHED LIGHT GRAY MARBLE
 - 9 POLISHED LIGHT GRAY MARBLE
 - 10 POLISHED LIGHT GRAY MARBLE
 - 11 POLISHED LIGHT GRAY MARBLE
 - 12 POLISHED LIGHT GRAY MARBLE
 - 13 POLISHED LIGHT GRAY MARBLE
 - 14 POLISHED LIGHT GRAY MARBLE
 - 15 POLISHED LIGHT GRAY MARBLE
 - 16 POLISHED LIGHT GRAY MARBLE
 - 17 POLISHED LIGHT GRAY MARBLE

- ELEVATION NOTES:**
1. REFER TO DETAILLED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
 2. ALL FINISHED WALLS SHALL BE CHASED OUT AND APPROVED PRIOR TO CONSTRUCTION.
 3. EXTERIOR LIGHT FIXTURES SHALL HAVE FLAME RATED GLASS ENCLOSURES, OR WHEN LIGHT APPEARANCE IS REQUIRED, SHALL BE APPROVED.
 4. ALL BALCONY RAILINGS SHALL BE FINISHED BRASSWARE.
 5. FINISH OF CLADDING/SCREENING SHALL MATCH THE COLOR OF THE BUILDING WALL.

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATORS ARE SOLE RESPONSIBLE FOR CONSTRUCTION METHODS, MATERIALS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COMPLYING WITH ALL PORTIONS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR COMPLYING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE ARCHITECT IS WORKING PLANS TO REVIEW AND CORRECT, DO NOT SCALE DRAWING.

BOLADARCK

ARCHITECTURE • ENGINEERING

3815 N. GARDNER DR.
LOS ANGELES, CA 90008

PROJECT NAME & SITE ADDRESS:

3815 N. GARDNER DR.
LOS ANGELES, CA
90008

DESIGNED BY:

ELEVATIONS

DESIGNED BY:

BOLADARCK DESIGN + N. BATTLE A.I.A. ARCHITECT, INC.

3815 N. GARDNER DR.
LOS ANGELES, CA 90008

DATE:

11/14/2023

PROJECT NO.:

2315350102A

DRAWING NO.:

A-3.0

REVISIONS:

No.	Description	Date

DESIGNED BY:

JMB

CHECKED BY:

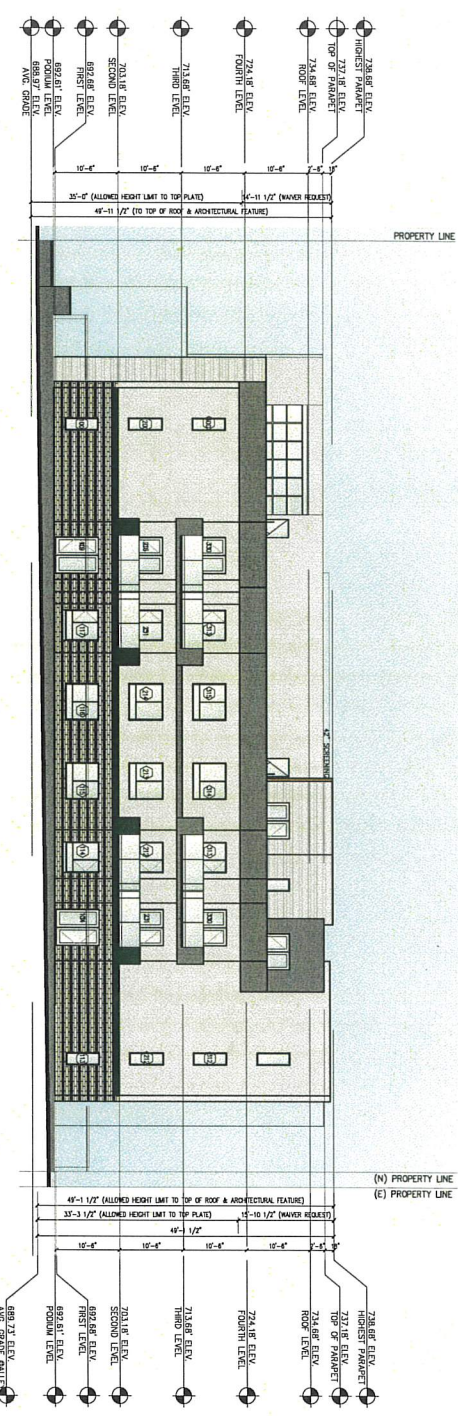
11/14/2023

PROJECT NO.:

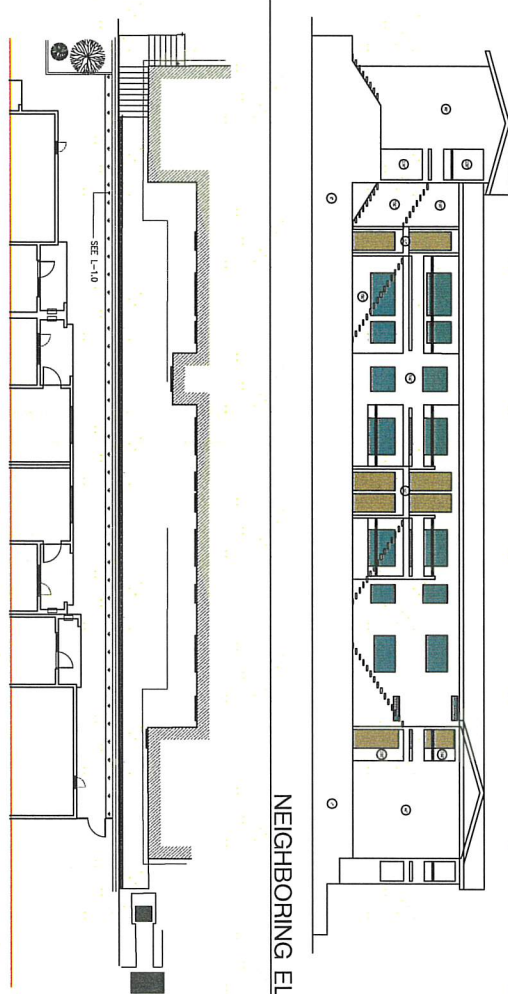
2315350102A

DRAWING NO.:

A-3.0



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NEIGHBORING ELEVATION
SCALE: 1/8" = 1'-0"

3 NEIGHBORING OPENINGS STUDIES
SCALE: 1/4" = 1'-0"

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNICALS, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CORRECT, DO NOT SCALE DRAWING.

MATERIALS

- 1 STAINLESS STEEL CLADDING
- 2 STAINLESS STEEL CLADDING
- 3 ALUMINUM CLADDING
- 4 ALUMINUM CLADDING
- 5 ALUMINUM CLADDING
- 6 ALUMINUM CLADDING
- 7 STAINLESS STEEL CLADDING
- 8 ALUMINUM CLADDING
- 9 ALUMINUM CLADDING
- 10 ALUMINUM CLADDING
- 11 ALUMINUM CLADDING
- 12 ALUMINUM CLADDING
- 13 STONE
- 14 ALUMINUM CLADDING
- 15 GLASS BALCONY RAILING
- 16 GLASS BALCONY RAILING
- 17 METAL GRATING
- 18 METAL GRATING

ELEVATION NOTES:

1. REFER TO ENLARGED PLANS, ROOM/ANNO SCHEDULE FOR ADDITIONAL INFORMATION.
2. ALL FRAMED WALLS SHALL BE CHECKED OUT AND APPROVED PRIOR TO CONSTRUCTION.
3. EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP 1,000 KELVIN RECESSES FOR WHEN LIGHT TO APPEARANCE.
4. ALL BALCONY RAILINGS SHALL BE FINISHED BALCONIES.
5. PARPET FLASHING/JCRCING SHALL MATCH THE COLOR OF THE BUILDING WALL.

BOLADARCK

ARCHITECTURE • ENGINEERING

301 CHAS N DRONNER DR
LOS ANGELES, CA 90035

PROJECT NAME & SITE ADDRESS

301 CHAS N DRONNER DR
LOS ANGELES, CA
90035

Drawing Content

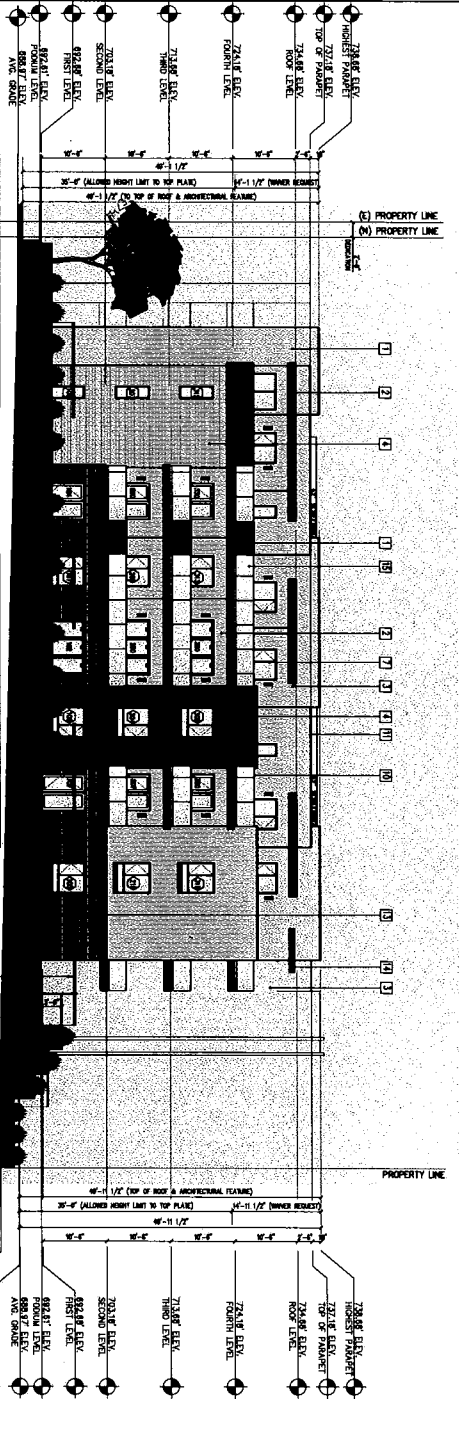
ELEVATIONS

BOLADARCK Design + N. Battle A.I.A. Architect, Inc.

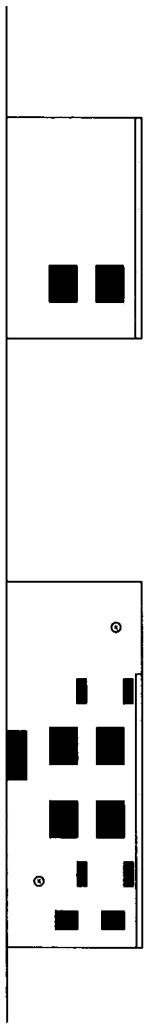
Designer: JPH
Manager: JPH
Date: 2/20/2024
Drawing No: A-3.1

Professional Seal: JPH, AIA, No. 21122, State of California

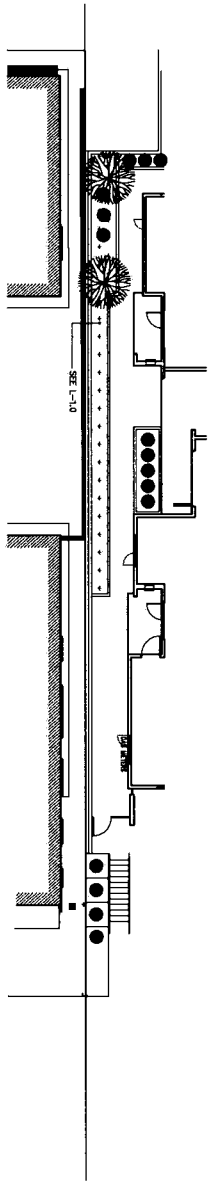
A-3.1



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NEIGHBORING ELEVATION
SCALE: 1/8" = 1'-0"



NEIGHBORING OPENINGS STUDIES
SCALE: 1/8" = 1'-0"

MATERIALS

1. STUCCO MASONRY CLADDING
2. STUCCO MASONRY CLADDING
3. STUCCO MASONRY CLADDING
4. STUCCO MASONRY CLADDING
5. STUCCO MASONRY CLADDING
6. STUCCO MASONRY CLADDING
7. STUCCO MASONRY CLADDING
8. STUCCO MASONRY CLADDING
9. STUCCO MASONRY CLADDING
10. STUCCO MASONRY CLADDING
11. STUCCO MASONRY CLADDING
12. STUCCO MASONRY CLADDING
13. STUCCO MASONRY CLADDING
14. STUCCO MASONRY CLADDING
15. STUCCO MASONRY CLADDING
16. STUCCO MASONRY CLADDING
17. STUCCO MASONRY CLADDING

ELEVATION NOTES:

1. REFER TO ENLARGED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
2. ALL FINISHED WALLS SHALL BE CHASED OUT AND APPROVED PRIOR TO CONSTRUCTION.
3. EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP HOUSING AND BULBS PROTECTED FROM VIEW AND APPROVED.
4. ALL BALCONY RAILINGS SHALL BE FINISHED WITH STUCCO MASONRY CLADDING OR APPROVED BALCONY FINISHES. THESE SHALL MATCH THE COLOR OF THE BUILDING WALL.
5. PARAPET FLASHING/COVERING SHALL MATCH THE COLOR OF THE BUILDING WALL.

BOLADARCK

ARCHITECTURE · ENGINEERING
3913 S. LA BREA AVE., SUITE 200
LOS ANGELES, CA 90008
TEL: (213) 875-1234
FAX: (213) 875-5678
WWW.BOLADARCK.COM

PROJECT NAME & SITE ADDRESS:
3913 S. LA BREA AVE.
LOS ANGELES, CA
90008

ELEVATIONS



Revisions:

No.	Date	Description

Drawings:
 Title: A-3.2
 Date: 11-20-23
 Scale: 1/8" = 1'-0"
 Drawing No.: 23-00-001-001

A-3.2

NOTE: DRAWINGS ARE INTENDED TO COMPLY WITH LOCAL, STATE, FEDERAL AND/OR INTERNATIONAL REQUIREMENTS FOR CONSTRUCTION METHODS, MATERIALS, TECHNICAL STANDARDS, AND PROCEDURES AND FOR COMPLYING ALL PORTIONS OF THE WORK. CONTRACTOR/FURNISHER IS SOLE RESPONSIBLE FOR STRUCTURAL, INTERIOR AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FURNISHER IS SOLE RESPONSIBLE FOR COMPLYING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FURNISHER IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CORRECT, DO NOT SCALE DRAWING.

BOLADarck

**ARCHITECTURE • ENGINEERING
AND INTERIOR DESIGN**
3811 S. MAIN STREET, SUITE 200
LOS ANGELES, CA 90008
TEL: 310.553.2222
WWW.BOLADARCK.COM

PROJECT NAME & SITE ADDRESS:

3811 S. MAIN STREET
LOS ANGELES, CA
90008

Drawing Content:

**DETAILS
CUTSHEETS**



Revisions: _____ Date: _____

Design:	JFB
Checker:	EF
Date:	02-24-2023
Scale:	AS SHOWN
Sheet No.:	20/05/2023 (20A)
Project No.:	

AD-2

BOLADarck Design + N. Battle A.I.A. Architect, Inc.



ATLANTIS
ARCHITECTURAL
3811 S. MAIN STREET, SUITE 200
LOS ANGELES, CA 90008
TEL: 310.553.2222
WWW.BOLADARCK.COM

HINKLEY

ATLANTIS
ARCHITECTURAL
3811 S. MAIN STREET, SUITE 200
LOS ANGELES, CA 90008
TEL: 310.553.2222
WWW.BOLADARCK.COM

NO.	DATE	DESCRIPTION	BY	CHKD.
1	02/24/23	ISSUED FOR PERMIT	JFB	EF
2	02/24/23	REVISION	JFB	EF
3	02/24/23	REVISION	JFB	EF
4	02/24/23	REVISION	JFB	EF
5	02/24/23	REVISION	JFB	EF
6	02/24/23	REVISION	JFB	EF
7	02/24/23	REVISION	JFB	EF
8	02/24/23	REVISION	JFB	EF
9	02/24/23	REVISION	JFB	EF
10	02/24/23	REVISION	JFB	EF



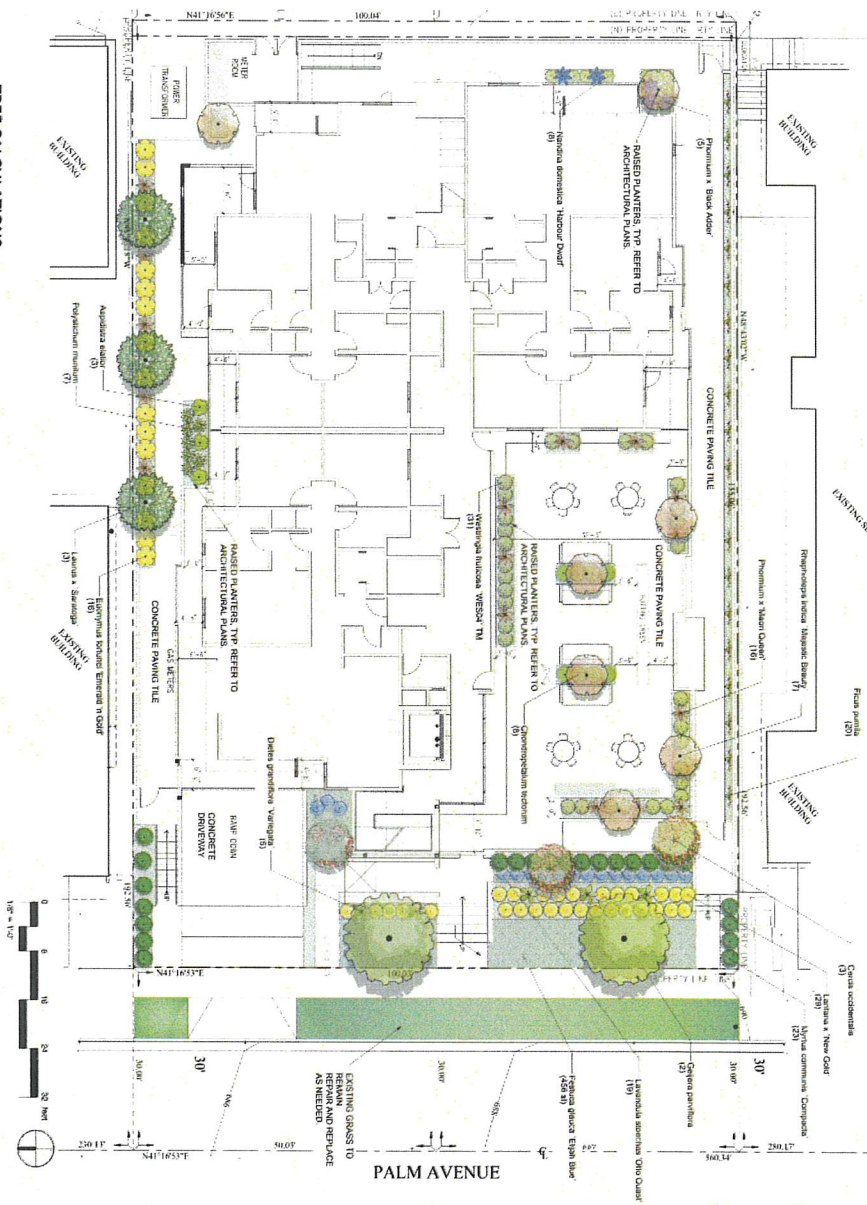
ATLANTIS
ARCHITECTURAL
3811 S. MAIN STREET, SUITE 200
LOS ANGELES, CA 90008
TEL: 310.553.2222
WWW.BOLADARCK.COM

HINKLEY

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR CORRECTING ALL PORTIONS OF THE WORK. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/FABRICATOR IS SOLE RESPONSIBLE FOR COMMANDING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND ONE THE ARCHITECT IN WRITING DAYS TO REVIEW AND CORRECT. DO NOT SCALE DRAWING.

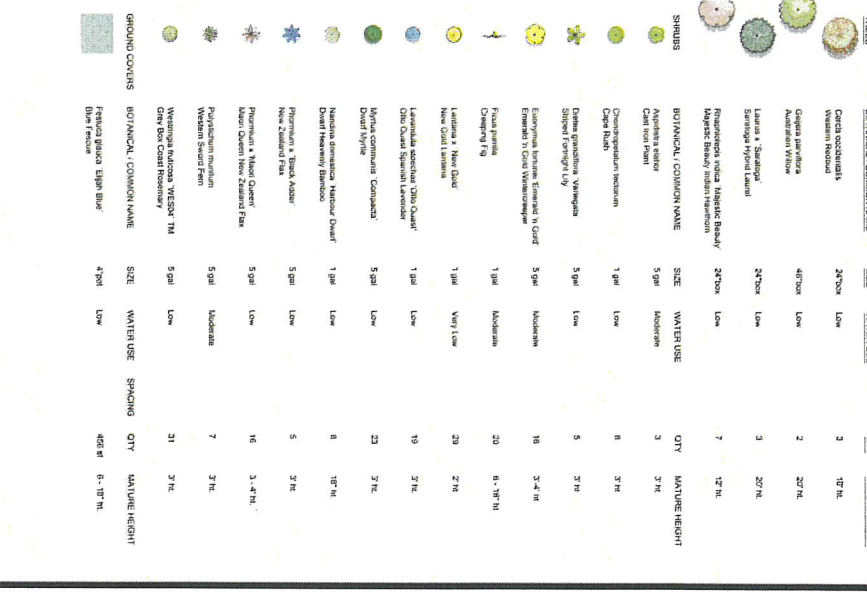
NOTE: PROVIDE MINIMUM SOIL DEPTH OF 18" FOR ALL PLANTERS, AND 36" FOR PLANTERS WITH TREES.

FROM THESE TREE PLANS TO BE COMPLETED AND VERIFY ALL CITY SPACES AND INSTALLATION SPECIFICATIONS.



PLANT SCHEDULE

TREES	BOTANICAL COMMON NAME	SIZE	WATER USE	QTY	MATURE HEIGHT
	Cercis canadensis Flowering Dogwood	24"DBH	Low	3	17' Ht.
	Quercus garbiniana Australian White Oak	48"DBH	Low	2	20' Ht.
	Lantana "Shirley" Lantana	24"DBH	Low	3	20' Ht.
	Raphanobrassica Majestic Beauty	24"DBH	Low	7	12' Ht.
	BOLMICAL COMMON NAME	5gal	Moderate	3	3' Ht.
	Agave "Vulcan" Agave	1gal	Low	8	3' Ht.
	Cyperus "Cyperus" Cyperus	5gal	Low	5	3' Ht.
	Ficus "Ficus" Ficus	1gal	Moderate	20	8-10' Ht.
	Lantana "Lantana" Lantana	1gal	Very Low	20	2' Ht.
	Lantana "Lantana" Lantana	1gal	Low	10	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.
	Lantana "Lantana" Lantana	1gal	Low	20	3' Ht.



EXISTING GRASS TO BE REMOVED AND REPLACED AS NEEDED

0 6 12 24 36 48 60 72 84 96 108 120 132 144 156 168 180 192 204 216 228 240 252 264 276 288 300 312 324 336 348 360 372 384 396 408 420 432 444 456 468 480 492 504 516 528 540 552 564 576 588 600 612 624 636 648 660 672 684 696 708 720 732 744 756 768 780 792 804 816 828 840 852 864 876 888 900 912 924 936 948 960 972 984 996 1000

TREE CALCULATIONS

NEAR TOWNHOME PLANTING: 21 TREES REQUIRED, 2 SPECIES

NORTH SIDE CANYON DENSITY: 120 PER ACRE, 3 TREES REQUIRED, 3 SPECIES

PLANTED AREA = 1792 SF

100/177 = 1.1 PLANTS PER 10 SQUARE FEET



PROJECT AND CLIENT NAME: PALM TOWNHOME LLC
529-537 E. PALM AVE BUREBANK, CA 91901

SHEET DESCRIPTION: PLANTING PLAN

DATE: 11-08-20
SCALE: AS SHOWN
DRAWN BY: SH
CHECKED BY: AM

REVISIONS: PLAN LOG
 Revision 01/12/20
 Revision 02/11/20

SHEET NUMBER: L-1.0 of 1

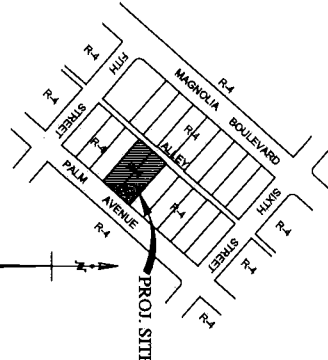
SEED GROUP LANDSCAPE ARCHITECTURE
 1833 Lakeside Avenue
 Northridge, CA 91324
 T: 818.708.0253 F: 818.708.7529

REGISTERED PROFESSIONAL ARCHITECT
 STATE OF CALIFORNIA
 No. 47713
 SEED GROUP LANDSCAPE ARCHITECTURE, INC.
 1833 LAKESIDE AVENUE, NORTH RIDGE, CA 91324
 A 501 (C) 2019 BY SEED GROUP

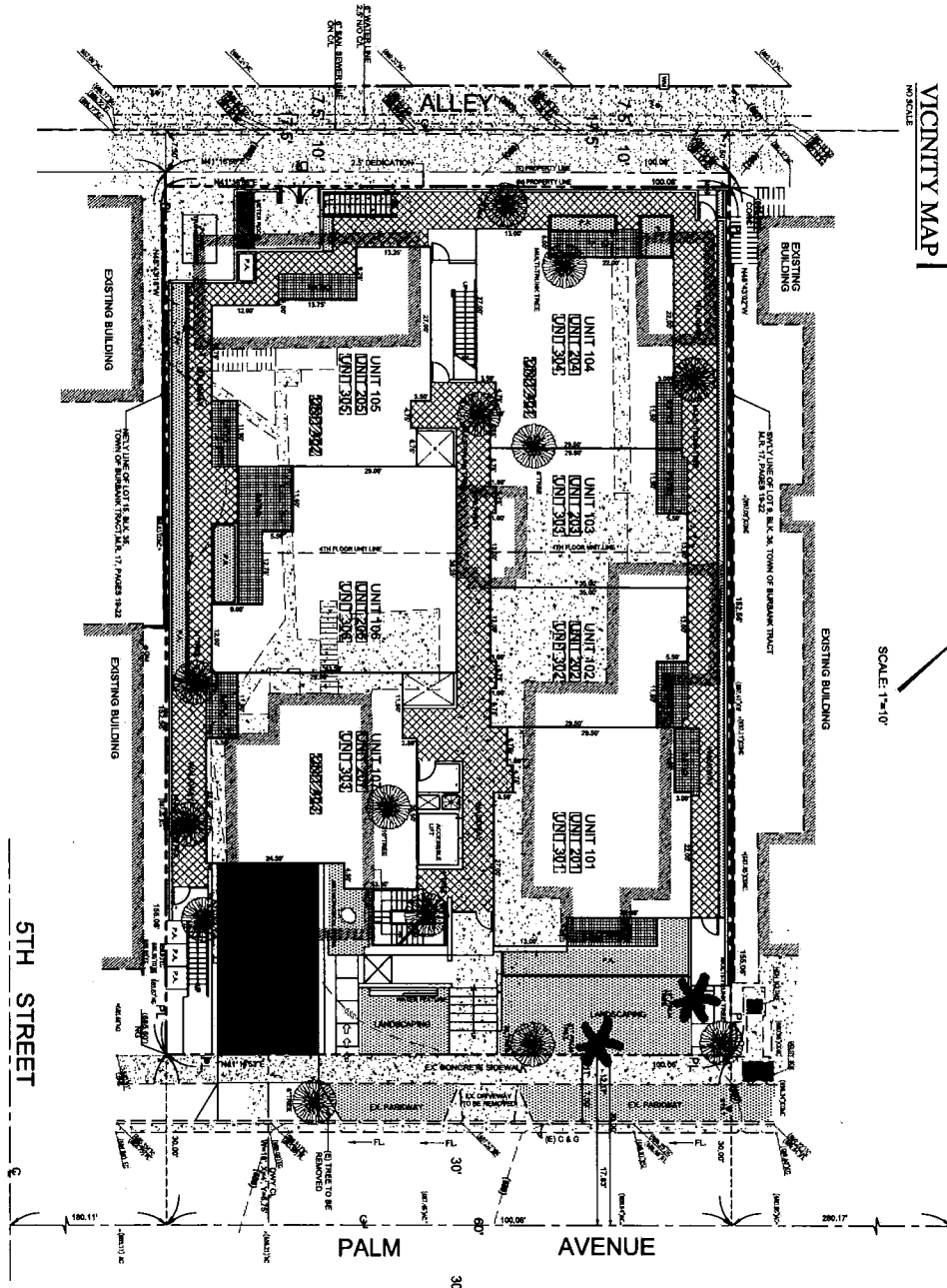
TENTATIVE TRACT MAP NO. 84031

IN THE CITY OF BURBANK, STATE OF CALIFORNIA
FOR NEW CONDOMINIUM PURPOSES

DATE: OCTOBER 24, 2023



VICINITY MAP
NO SCALE



SCALE: 1"=10'

OWNER / SUBDIVIDER

PLATE TOWN OF BURBANK
500 S. GLENDALE BLVD. STE. 200
BURBANK, CA 91502
TEL: (818) 266-9277

PROJECT ADDRESS

529 AND 537 E. PALM AVENUE
BURBANK, CA 91501

LEGAL DESCRIPTION

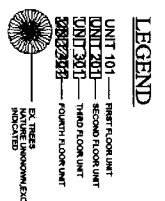
LOTS 11 AND 13 IN BLOCK 35 OF TOWN OF BURBANK TRACT
M.B. 17, PAGES 19-22

PROJECT DATA

EXIST. ZONE: R4
GENERAL PLAN: HIGH DENSITY RESIDENTIAL
EXIST. USE: 1-SINGLE FAMILY DWELLING UNITS, 2-DUPLEX UNITS + 1-DETACHED STRUCTURE, 1-DETACHED GARAGE
PROP. USE: 24-UNITS CONDOMINIUM BUILDING
NO. OF STORES: 16 UNITS BY RIGHT + 8 UNITS STATE DENSITY / 8 UNITS OPEN SPACE + 8 GUEST + 1 ACCESSIBLE PARKING
PROVD. PARKING: 38 (31 STANDARD + 6 GUEST + 1 ACCESSIBLE PARKING)
PROVD. PVT. OPEN SPACE: 2247 SQ. FT.
PROVD. COMMON OPEN SPACE: 3780 SQ. FT.
LOT AREA BEFORE DEDICATION: 15,516.85 SQ. FT. (0.358 AC (WITHIN EX. BUILDING AREAS))
LOT AREA AFTER DEDICATION: 15,207.71 SQ. FT. (0.35 AC.)
ASSESSOR PARCEL NO.: 2455-030-011; 2455-030-013

EASEMENT:

NONE
NOTE: PER CHICAGO TITLE CO., POLICY NO. CA-FI-AC-IMP-72067-1-19-00587741
ORDER NO. 00587741-988-LA-BL-A, DATED APRIL 26, 2019, APN: 2455-030-013
PER STEWART TITLE CO., POLICY NO. C-0000291307888
DATED: NOV. 30, 2018, APN: 2455-030-011



TENT. TR. NO. 84031

TECHNICAL LAND CO., INC.
ENGINEERING AND PLANNING CONSULTANTS
1545 N. VERBODEN RD., # 2 BURBANK, CA 91508
TEL: (818) 266-9543 FAX: (818) 266-9543

DATE: 10-24-23