



BUILDING DIVISION
Community Development Department
City of Burbank

**WATER-CONSERVING PLUMBING FIXTURES
CERTIFICATE OF COMPLIANCE**
(For buildings built on or before Jan. 1, 1994)

Project Address: _____ Permit No: _____

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: _____ Date: _____

Owner's Signature: _____

SINGLE-FAMILY RESIDENTIAL		
Fixture		CALGreen/ CPC
Water Closet		1.28 gals/flush
Showerhead		2.0 gals/min
Multiple Showerheads		2.0 gals/min combined
Lavatory Faucet		1.5 gals/min
Kitchen Faucet		1.8 gals/min

MULTI-FAMILY RESIDENTIAL		
Fixture		CALGreen/ CPC
Water Closet		1.28 gals/flush
Urinal		0.5 gals/flush
Showerhead		2.0 gals/min
Multiple Showerheads		2.0 gals/min combined
Lavatory Faucet (within units)		1.5 gals/min
Lavatory Faucet (common areas)		0.5 gals/min
Kitchen Faucet		1.8 gals/min

WATER CONSERVATION: The project shall demonstrate a 20% reduction in water use by specifying plumbing fixtures and fixtures that meet the flow rates listed below, or through a calculation showing a 20% reduction from baseline values listed in CALGreen Table 4.303.1.

Showerheads	2.0 gallons per minute (gpm) ¹
Lavatory faucet – residential	1.5 gpm
Kitchen faucets	1.8 gpm
Water closets	1.28 gallons per flush ²
Urinals	0.5 gallon per flush
Metering faucets	0.2 gallon per cycle

Notes:
¹ The combined flow rate of multiple shower heads shall not exceed the maximum flow rate, or the shower shall be designed to permit one showerhead to be in operation at a time.
² The effective flush volume for dual-flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

GENERAL NOTES:

- All construction shall comply with the 2016 edition of the CBC, CRC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and this jurisdiction.
- Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition.
- All property lines, easements, and existing buildings have been indicated on this site plan.
- A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-1-3302.3)
- Water shall be provided on the site and used to control dust.
- Temporary toilet facilities shall be provided on site. (BMC 9-1-1-3305)
- The finish grade shall slope a min. of 5%, or 6", to a point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CRC R401.3)
- The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CRC R403.1.7.3)

STORM WATER MANAGEMENT NOTES:

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or winds.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way.
- Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Schedule construction activity to reduce area and duration of soil exposed to erosion by wind, rain, runoff and vehicle tracking.

THE FOLLOWING NOTE SHALL BE REPRODUCED ON THE COVER SHEET OF THE SUBMITTED DRAWINGS:

EXISTING NONCOMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENT:
 Senate Bill 407 (SB 407) requires noncompliant plumbing fixtures to be replaced by water-conserving plumbing fixtures when a property is undergoing alterations or improvements. This bill applies to all single-family residential and multi-family residential buildings constructed on or before January 1, 1994. Fixtures include water closets, urinals, showerheads, lavatory faucets, and kitchen faucets. Noncompliant fixtures can only be replaced by fixtures complying with the requirements of CALGreen and the California Plumbing Code.

The Water-Conserving Plumbing Fixture Certificate of Compliance must be submitted to the Building Inspector prior to the final building inspection.

The SB 407 requirements are triggered by all building alterations and improvements for the following:

SINGLE-FAMILY RESIDENTIAL

- o All single-family residential additions, remodels, alterations and improvements

MULTI-FAMILY RESIDENTIAL

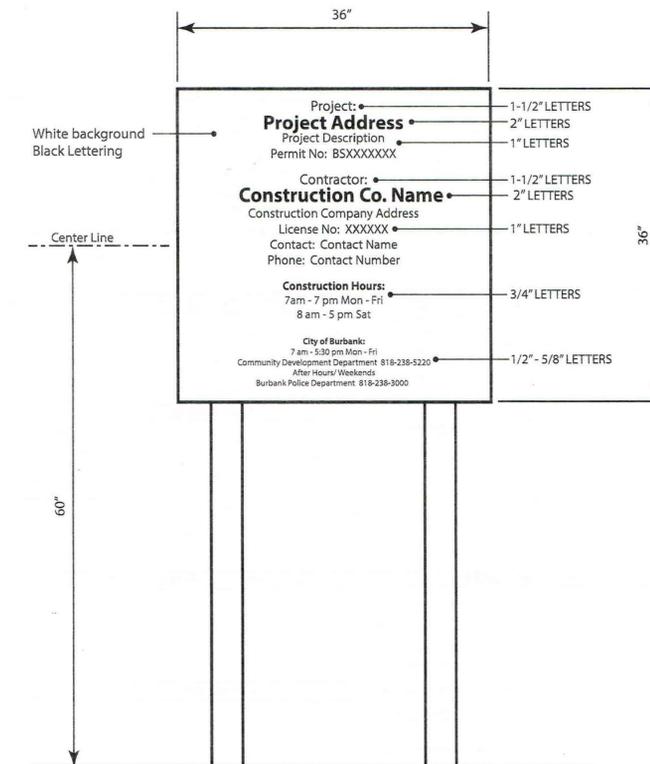
- o Building additions which increase the floor area of the space in a building by more than 10%
- o Building alterations or improvements in which the total construction cost is greater than \$150,000
- o Alterations or improvements to a room in a building that contains any noncompliant plumbing fixtures

NONCOMPLIANT FIXTURES

If the existing fixture water usage/flow rate is equal to or lower than the listing for the noncompliant fixture, it is not required to be replaced.

SINGLE-FAMILY RESIDENTIAL		
Fixture	Noncompliant	CALGreen/ CPC
Water Closet	Exceeds 1.6 gals/flush	1.28 gals/flush
Showerhead	Exceeds 2.5 gals/min	2.0 gals/min
Multiple Showerheads	Exceeds 2.5 gals/min	2.0 gals/min combined
Lavatory Faucet	Exceeds 2.2 gals/min	1.5 gals/min
Kitchen Faucet	Exceeds 2.2 gals/min	1.8 gals/min

MULTI-FAMILY RESIDENTIAL		
Fixture	Noncompliant	CALGreen/ CPC
Water Closet	Exceeds 1.6 gals/flush	1.28 gals/flush
Urinal	Exceeds 1.0 gals/flush	0.5 gals/flush
Showerhead	Exceeds 2.5 gals/min	2.0 gals/min
Multiple Showerheads	Exceeds 2.5 gals/min	2.0 gals/min combined
Lavatory Faucet (within units)	Exceeds 2.2 gals/min	1.5 gals/min
Lavatory Faucet (common areas)	Exceeds 2.2 gals/min	0.5 gals/min
Kitchen Faucet	Exceeds 2.2 gals/min	1.8 gals/min



PROJECT SIGN

- Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
- Sign may be mounted independently or on the construction fence.

RESIDENTIAL DEMOLITION NOTE:
 PARTIAL DEMOLITION OF RESIDENTIAL STRUCTURE IN ASSOCIATION WITH CONSTRUCTION PROJECT IS ONLY PERMITTED WHERE INDICATED ON THE APPROVED PLANS. ANY DEMOLITION WORK BEYOND THAT SHOWN ON THE APPROVED PLANS MAY RESULT IN A STOP WORK ORDER (CBC APPENDIX CHAPTER 1 SEC. 105.6). ADDITIONAL DEMOLITION WORK MAY ALSO REQUIRE COMPLIANCE WITH BURBANK MUNICIPAL CODE SEC.10-1-1810 IF MORE THAN 50% OF THE STRUCTURE IS DEMOLISHED.

DIVERSION OF C&D DEBRIS: A MINIMUM OF 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$56.84 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-10-1012)

NOTE:
 THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS(INCL.TUBULAR)MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

HERS VERIFICATION REQUIREMENT
 FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION

NAME: _____ LICENSE NO: _____

SPECIAL INSPECTION	
ITEMS	SPECIAL INSPECTOR
CONCRETE OVER 3,000 PSI	
BOLTS INSTALLED IN CONCRETE	
SPECIAL MOMENT-RESISTING CONCRETE FRAME	
REINFORCING STEEL AND STEEL TENDONS	
STRUCTURAL WELDING	
HIGH-STRENGTH BOLTING	
STRUCTURAL MASONRY	
REINFORCED GYPSUM CONCRETE	
INSULATING CONCRETE FILL	
SPRAY-APPLIED FIRE RESISTIVE MATERIALS	
PILING, PIERS, AND CAISSONS	
SHOTCRETE	
SPECIAL GRADING, EXCAVATION, AND FILL	
SMOKE CONTROL SYSTEM	
OTHER	SIMPSON SET-XP EPOXY

ENGINEER CONTRACTOR

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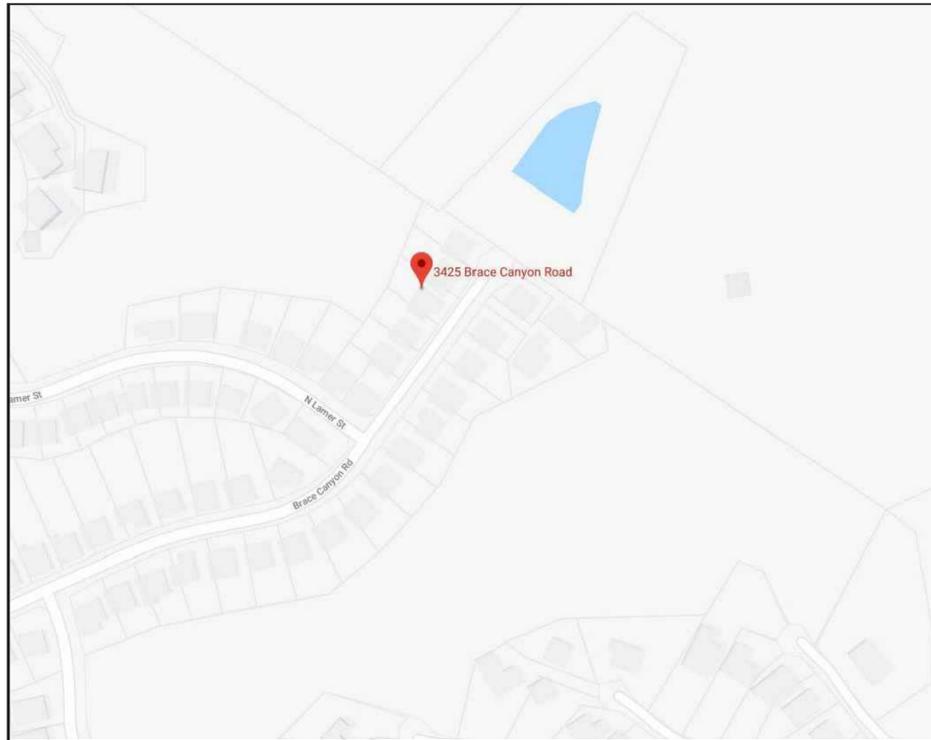
SERG PETROSIAN
 3425 BRACE CANYON RD, BURBANK CA 91504
 COVER SHEET

- 1ST B.D. SUBMITTAL 01-31-2019 GV
- 2ND B.D. SUBMITTAL 09-16-2019 GV
- 3TH B.D. SUBMITTAL 06-17-2020 GV

PROJECT #: 18084
 PLOT DATE: 08-14-2019
 DRAWN BY: AV
 CHECKED BY: GV

ALL IDEAS, ARRANGEMENTS AND DESIGN CONCEPTS ARE PROPRIETARY TO VGL DEVELOPMENT, INC. AND SHALL NOT BE USED OR REPRODUCED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION IN WRITING BY VGL DEVELOPMENT, INC.

SHEET:
A-0.1



ALL CONCENTRATED DRAINAGE INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOC AT A 2% MIN.

EXISTING NONCOMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENT: SENATE BILL 407 (SB 407) REQUIRES NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATERCONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS BILL APPLIES TO ALL SINGLE-FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS CONSTRUCTED ON OR BEFORE JANUARY 1, 1994. FIXTURES INCLUDE WATER CLOSETS, URINALS, SHOWERHEADS, LAVATORY FAUCETS, AND KITCHEN FAUCETS. NONCOMPLIANT FIXTURES CAN ONLY BE REPLACED BY FIXTURES COMPLYING WITH THE REQUIREMENTS OF CALGREEN AND THE CALIFORNIA PLUMBING CODE.

THE WATER-CONSERVING PLUMBING FIXTURE CERTIFICATE OF COMPLIANCE MUST BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO THE FINAL BUILDING INSPECTION.

SETBACK CERTIFICATION REQUIREMENT

A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1A-109.3.1)

BUILDING MAINTENANCE AND OPERATION SEC.4.410

BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, OR OTHER APPROVED MEDIA SHALL BE PLACE IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC.4.410.

APPLICABLE CODES:

- * 2019 CALIFORNIA BUILDING CODE (CBC)
- * 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- * 2019 CALIFORNIA MECHANICAL CODE (CMC)
- * 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- * 2019 CALIFORNIA PLUMBING CODE (CPC)
- * 2019 CALIFORNIA GREEN BUILDING CODE (CAL Green)

SCOPE OF WORK:

1. ADDING NEW TRELLIS, NEW BALCONY IN FRONT , NEW SECOND FLOOR ADDITION 446 S.F.

LEGAL DESCRIPTION:

SITE ADDRESS:	3425 BRACE CANYON RD BURBANK, CA 91504
ACCESSOR PARCEL No. (APN):	2471-036-003
TRACT:	30422
LOT:	108
EXISTING BUILDING HEIGHT:	22'-2"
CONSTRUCTION TYPE:	V B

AREA INFORMATION:

LOT AREA	10,005 SQ.FT.
EXISTING HOUSE AREA	2,741.75 SQ.FT.
EXISTING GARAGE AREA	586 SQ.FT.
NEW ADDITION 1	446 SQ.FT.
NEW ADDITION 2	26.25 SQ.FT.
NEW BALCONY	127 SQ.FT.
EXISTING PORCH	30 SQ.FT.

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A-11	SECTIONS



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 3425 BRACE CANYON RD, BURBANK CA 91504

COVER SHEET

- △ 1ST B.D. SUBMITTAL 01-31-2019 GV
- △ 2ND B.D. SUBMITTAL 09-16-2019 GV
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PROJECT #: 18084
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SHEET:

A-0.2

TOPOGRAPHIC SURVEY

3425 BRACE CYN. RD.
BURBANK, CA. 91504



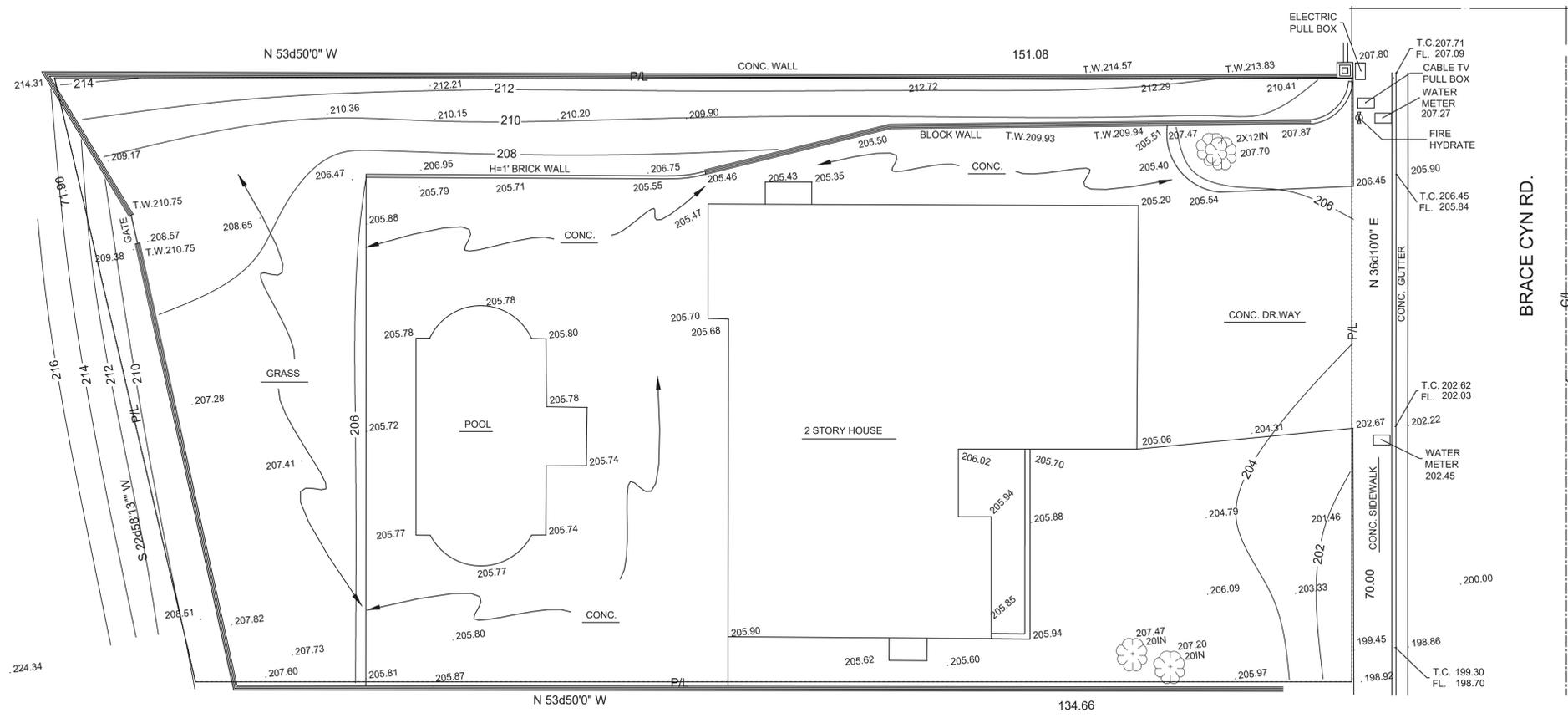
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STAMP:

LEGAL DESCRIPTION
LOT 108
TRACT 30422
M.B. 797-23/26

SERG PETROSIAN
3425 BRACE CANYON RD, BURBANK CA 91504
TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION
LOT 108
TRACT 30422
M.B. 797-23/26

ASSUMED EL=203.14
CITY OF BURBANK
SURVEY MONUMENT

BENCH MARK ASSUMED EL=203.14 ON
FD. SURVEY MONUMET CITY OF BURBANK.

AVERAGE SLOPE CALCULATION:
A=10,000 SQ. FT. (PER L.A. CO. TAX ASSESSOR'S RECORDS) = 0.230 AC.
I=2'
L=634'
S=0.00229 x I x L / A (AC.) = 0.00229 x 2' x 634' / 0.230 AC. = 12.62% <15%
MAX FAR
(7,500x0.4)+(2,500x0.3)=3,750 S.F.

NOTE
EASEMENTS IF ANY, ARE NOT SHOWN ON THIS SURVEY

FOR AVERAGE SLOPE CALCULATIONS ONLY.
PREPARED UNDER THE DIRECTION OF :

KAREN KORGANYAN PLS 8510

SURVEYED BY: GOR MKRTRCHYAN
DATE: 02-12-2019

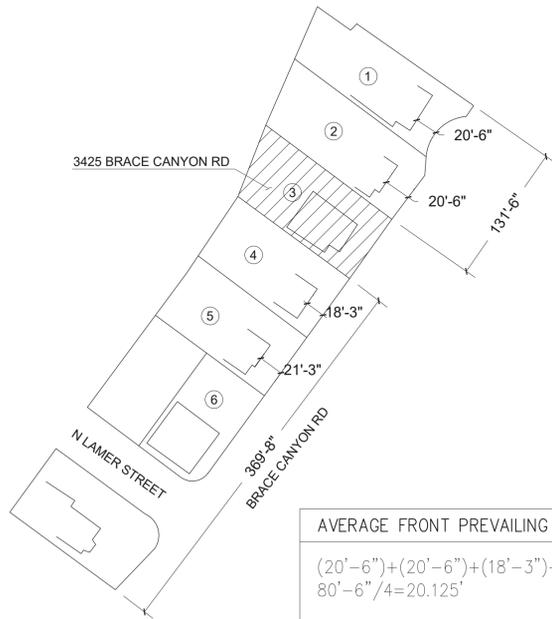
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SHEET:

A-0.3



CALC. SEE PAGE A-4, A-5

A.	13.7'x28.4'=389	SQ.FT.
A.1	25.91'x10.16'=263	SQ.FT.
B.	12'x25.9'=311	SQ.FT.
C.	14.3'x29.75'=426	SQ.FT.
D.	3.8'x7.8'=30	SQ.FT.
E.	20.91'x28'=586	SQ.FT.
F.	50.1'x13.5'=677	SQ.FT.
G.	50.01'x3.5'=176	SQ.FT.
H.	22.01'x11.41'=252	SQ.FT.
I.	28'x11.41'=320	SQ.FT.
J.	28'x15.91'=446	SQ.FT.
K.	14.3'x3.83'=55	SQ.FT.
TOTAL 3,531		SQ.FT.
3,531/10,005=0.352		

AVERAGE FRONT PREVAILING SETBACK CALC.

$$(20'-6") + (20'-6") + (18'-3") + (21'-3") = 80'-6"$$

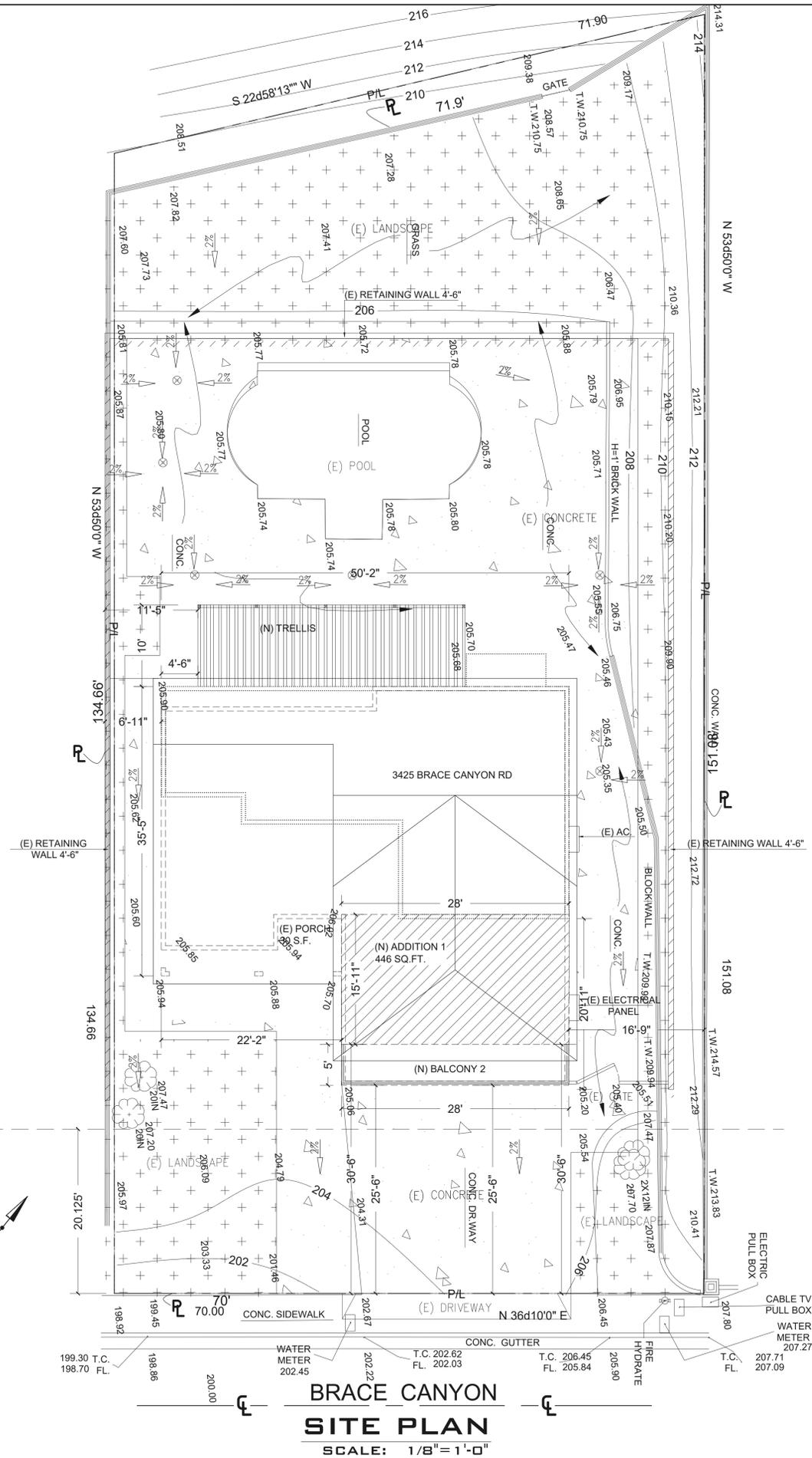
$$80'-6" / 4 = 20.125'$$

FLOOR AREA RATIO (LIVING AREA) MAX. FAR PER PAGE A-1 CALC. 3,750 SQ/FT.

LOT SIZE 10,005 SQ/FT		LIVING AREA TOTAL	
EXISTING HOUSE	3,085 SQ/FT	3085 SQ/FT + 446 SQ/FT =	3531 SQ/FT
NEW ADDITION 1	446 SQ/FT	3,531 <	3,750 (SEE A-.0.3)
EXISTING GARAGE AREA	586 SQ/FT	PROVIDED <	ALLOWABLE
EXISTING PORCH	30 SQ/FT	MAX FAR	(7,500x0.4)+(2,500x0.3)=3,750 S.F.

FLOOR AREA RATIO (LOT COVERAGE) NO CHANGE

LOT SIZE 10,005 SQ/FT		LOT COVERAGE TOTAL MAX. 50%	
EXISTING HOUSE	3,085 SQ/FT	3,085 SQ/FT + 446 SQ/FT =	3,531 SQ/FT
NEW ADDITION 1	446 SQ/FT	3,531 SQ/FT / 10,005 SQ/FT =	0.352 = 35.2%
EXISTING GARAGE AREA	586 SQ/FT		
EXISTING PORCH	30 SQ/FT		
TOTAL	3,531 SQ/FT		



**BRACE CANYON
SITE PLAN**
SCALE: 1/8" = 1'-0"

ENGINEER CONTRACTOR

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SITE PLAN

- △ 1ST B.D. SUBMITTAL 01-31-2019 GV
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SHEET:
A-1

RESIDENTIAL DEMOLITION :

PROVIDE A SCALED FLOOR PLAN SHOWING ALL AREAS OF DEMOLITION WORK AND THE CALCULATION FOR THE PERCENT OF DEMOLITION

- o All remodel and addition projects that strip or remove the exterior walls and/or finish material of an existing structure must obtain a separate Demolition Permit at the time the Building Permit is issued.
- o To be included as a remaining wall, the existing framing must retain a bearing or nonbearing structural function with a top plate. Existing studs sistered to new taller studs will not be considered as existing walls and must be calculated as demolished.
- o The percentage of the demolition calculation will be based on only the linear measurement of both interior and exterior walls removed. Door and window openings and any openings with a header must be included as part of the existing wall length in the calculation.
- o Calculation:
Percent of Demolition = Length of walls removed / Length of all existing walls
 (Walls where only the exterior finish material is removed but the wall framing remains, will not be calculated as walls removed)

NOTES SHALL BE REPRODUCED ON THE DEMOLITION PLAN SHEET OF THE SUBMITTED DRAWINGS:

DEMOLITION NOTE:

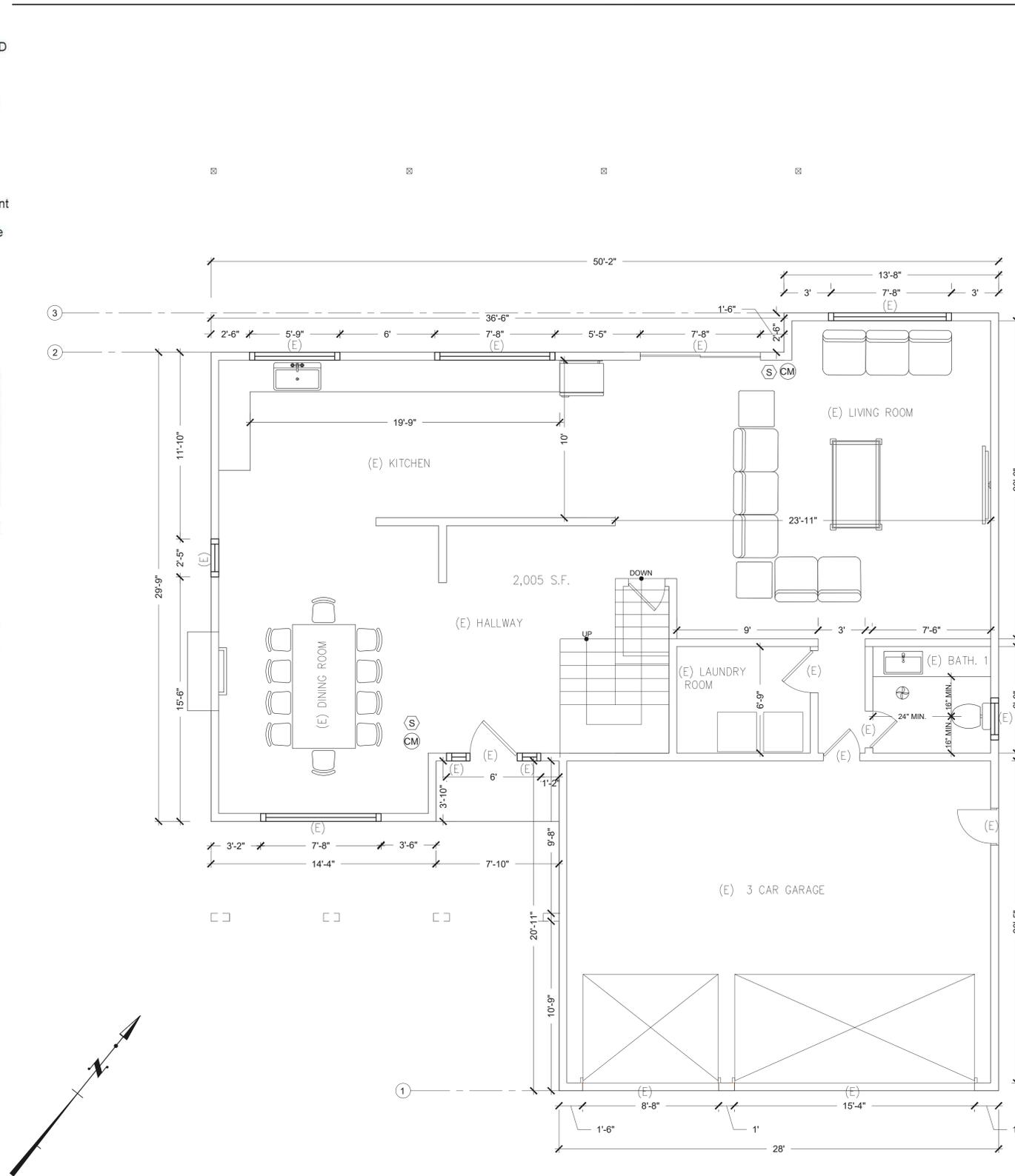
- o All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site.
- o If a Single Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure. This may also be required for a flat lot as determined by the Building Official.

NOTES SHALL BE REPRODUCED ON THE DEMOLITION PLAN SHEET OF THE SUBMITTED DRAWINGS

RESIDENTIAL DEMOLITION NOTE:

Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. **Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Appendix Chapter 1 Sec. 113.2) and/or revocation of the permit (CBC Appendix Chapter 1 Sec. 105.6).** Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.

2,005 (1st Floor) - 400 (Exempt portion of garage) + 1,480 (2nd Floor) = 3,085 S.F.



EXISTING & DEMO 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL INFO

GENERAL LEGEND:

- (E) = EXISTING ELEMENT
- (N) = NEW ELEMENT
- 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1
- S SMOKE DETECTOR PER CBC
- CM CARBON MONOXIDE DETECTOR PER CBC

WALL LEGEND:

- (E) WALLS TO REMAIN
- (N) WALLS
- (E) WALLS TO BE DEMO'D
- 1 HR. RATED & STR 50 SOUND RATED WALLS

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 EXISTING 1ST FLOOR PLAN

- 1ST B.D. SUBMITTAL 01-31-2019 GV
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SHEET:
A-2

RESIDENTIAL DEMOLITION :

PROVIDE A SCALED FLOOR PLAN SHOWING ALL AREAS OF DEMOLITION WORK AND THE CALCULATION FOR THE PERCENT OF DEMOLITION

- o All remodel and addition projects that strip or remove the exterior walls and/or finish material of an existing structure must obtain a separate Demolition Permit at the time the Building Permit is issued.
- o To be included as a remaining wall, the existing framing must retain a bearing or nonbearing structural function with a top plate. Existing studs sistered to new taller studs will not be considered as existing walls and must be calculated as demolished.
- o The percentage of the demolition calculation will be based on only the linear measurement of both interior and exterior walls removed. Door and window openings and any openings with a header must be included as part of the existing wall length in the calculation.
- o Calculation:
Percent of Demolition = Length of walls removed / Length of all existing walls
 (Walls where only the exterior finish material is removed but the wall framing remains, will not be calculated as walls removed)

NOTES SHALL BE REPRODUCED ON THE DEMOLITION PLAN SHEET OF THE SUBMITTED DRAWINGS:

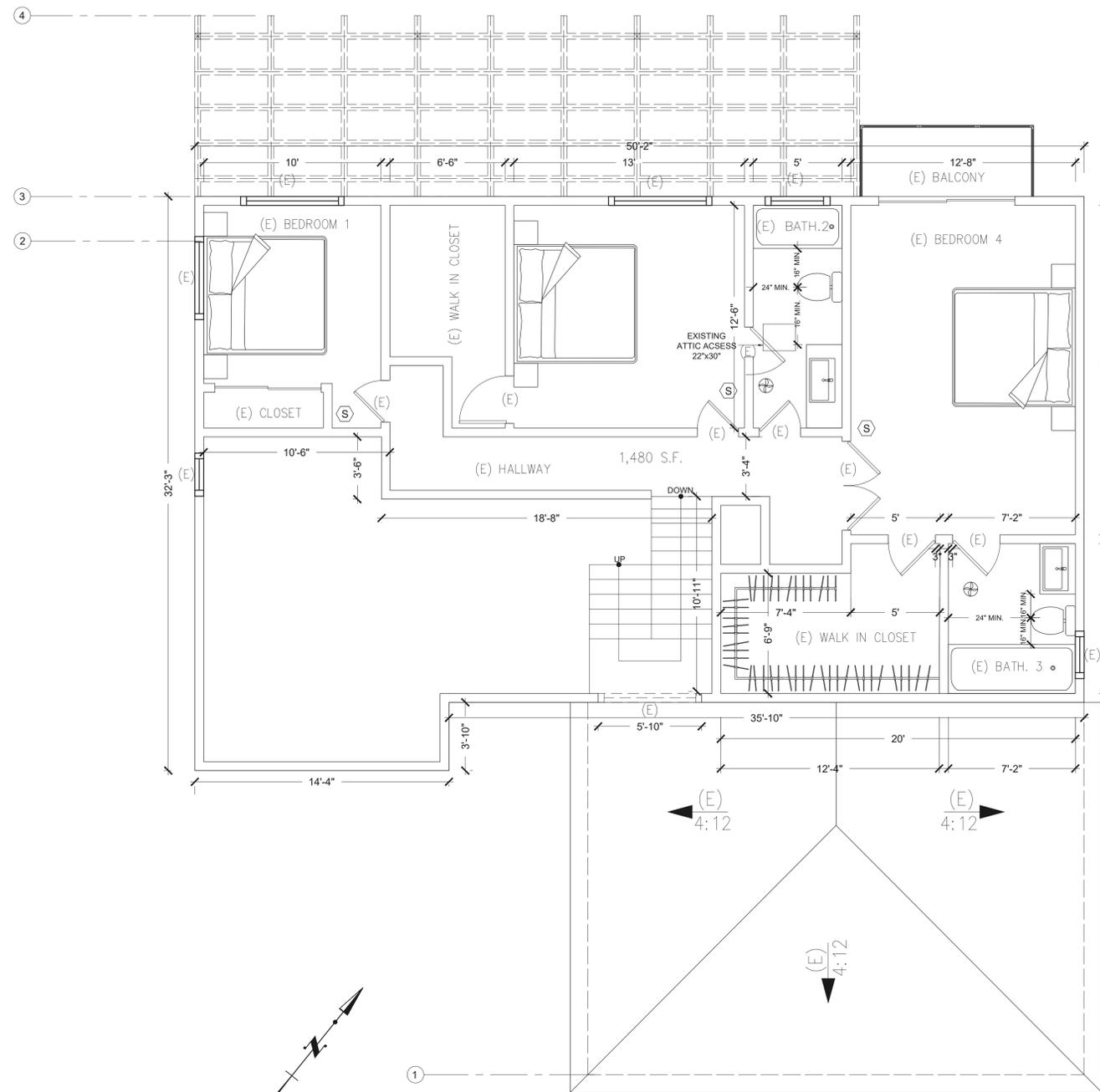
DEMOLITION NOTE:

- o All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site.
- o If a Single Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure. This may also be required for a flat lot as determined by the Building Official.

NOTES SHALL BE REPRODUCED ON THE DEMOLITION PLAN SHEET OF THE SUBMITTED DRAWINGS

RESIDENTIAL DEMOLITION NOTE:

Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. **Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Appendix Chapter 1 Sec. 113.2) and/or revocation of the permit (CBC Appendix Chapter 1 Sec. 105.6).** Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.



(N) = NEW ELEMENT
 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1
 (S) SMOKE DETECTOR PER CBC
 (CM) CARBON MONOXIDE DETECTOR PER CBC

WALL LEGEND:
 (E) WALLS TO REMAIN
 (N) WALLS
 (E) WALLS TO BE DEMO'D
 1 HR. RATED & STR 50 SOUND RATED WALLS

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SERG PETROSIAN
 3425 BRACE CANYON RD, BURBANK CA 91504
 EXISTING 2ND FLOOR PLAN

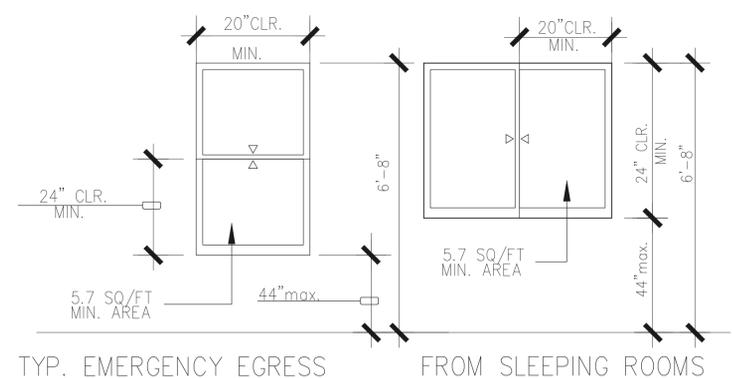
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PROJECT #: 18084
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SHEET:

A-3



EXISTING & DEMO 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NEW WINDOWS SCHEDULE

TAG	SIZE	LOCATION	U-FACTOR	SHGC	MATERIAL
(A)	5'-0" x 5'-0"	SLIDING/FIXED GLASS	0.53	0.33	WOOD FRAMED
(B)	5'-0" x 4'-0"	SLIDING/FIXED GLASS	SEE TITLE-24		WOOD FRAMED

NEW DOOR SCHEDULE

TAG	SIZE	LOCATION	THK.	MATERIAL	REMARK
(1)	2'-3'-0" x 9'-0"	DOUBLE SWING (ENTRANCE)	1-3/4"	WOOD FRAMED	
(2)	2'-8" x 6'-8"	SINGLE SWING (MASTER BDRM.)	1-3/8"	METAL FRAMED	
(3)	2'-3'-0" x 8'-0"	DOUBLE SLIDING (BALCONY)	1-3/8"	WOOD FRAMED	

NOTE: VERIFY DOOR SIZE, LOCATION AND TYPE WITH OWNER AND ARCHITECT PRIOR TO THE PURCHASE AND INSTALLATION OF ANY DOORS.

NON-COMBUSTIBLE EXTERIOR DOORS, 1-3/4" INCH THK. SOLID CORE WOOD OR HAVE FIRE RESISTIVE RATING OF NOT LESS THAN 20 MINUTES.

PROVIDE AN ALLOWANCE FOR ALL HARDWARE. VERIFY WITH OWNER AND ARCHITECT.

FLOOR PLAN KEYNOTES:

- (S.D.) SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: EACH BEDROOM, CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND EACH STORY INCLUDING BASEMENTS (NEW CONSTRUCTION) WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314.1)
- (CMA) AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- (50 CFM) 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1
- (001) ALL WATER CLOSET SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH.
- (002) HOT-MOP SHOWER PAN WITH CERAMIC TILE WAINSCOT UP TO CEILING, (SEE FLOOR PLAN FOR SIZE OF SHOWER), PROVIDE SHATTERPROOF GLASS ENCLOSURE. PROVIDE SOAP DISH AT TUB AND SHOWER.
- (003) ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- (004) PROVIDE 72" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER.
- (005) MINIMUM DIMENSION OF SHOWER TO BE 1024 SQ. INCH WITH 30" DIAMETER CLEAR.
- (006) PROVIDE TEMPERED GLASS ON DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE).
- (007) 2X6 STUDS AT 16" O.C. PLUMBING WALL.
- (008) G.F.I. OUTLET
- (009) PROVIDE SOUND INSULATION AT ALL BATHROOM & LAUNDRY ROOM WALLS.
- (010) GAS TANKLESS WATER HEATER (TAKAGI T-H3-05-N)
- (011) GLAZING IN EXTERIOR DOORS OR 40 INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS, OR RATED BURGLARY RESISTANT GLAZING.
- (012) A. MINIMUM OF 22"x30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM.
- (013) R-4 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES.
- (014) (E) WATER HEATER
- (015) (E) HVAC UNIT IN THE ROOF
- (016) A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED DRYER EXHAUST DUCT IS LIMITED TO 14' WITH TWO 90° ELBOWS. A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6'-0" AND CANNOT BE CONCEALED.
- (017) NEW WASHER AND DRYER
- (018) NEW COUNTER W/ CABINETS ABV.
- (019) NEW REFRIGERATOR BY OWNER
- (020) NEW SINK BY OWNER
- (021) NEW STOVE BY OWNER
- (022) NEW DISHWASHER BY OWNER
- (023) NEW FULL HEIGHT CABINETS
- (024) (E) ELECTRIC METER
- (025) WASHER/DRYER SPACE, ROUGH-IN PLUMBING FOR HOT/COLD WATER & WASTE. VENT DRYER TO OUTSIDE AIR, PROVIDE 120V & 220V ELEC. OUTLET AND FUEL GAS OUTLET.
- (026) 12"x12" MINIMUM PLUMBING ACCESS FOR TUBS.

WALL LEGEND:

- (E) WALLS TO REMAIN
- (N) STUD WALLS
- (E) WALLS TO BE DEMO'D
- 1 HR. RATED & STR 50 SOUND RATED WALLS

GENERAL LEGEND:

- (E) = EXISTING ELEMENT
- (N) = NEW ELEMENT

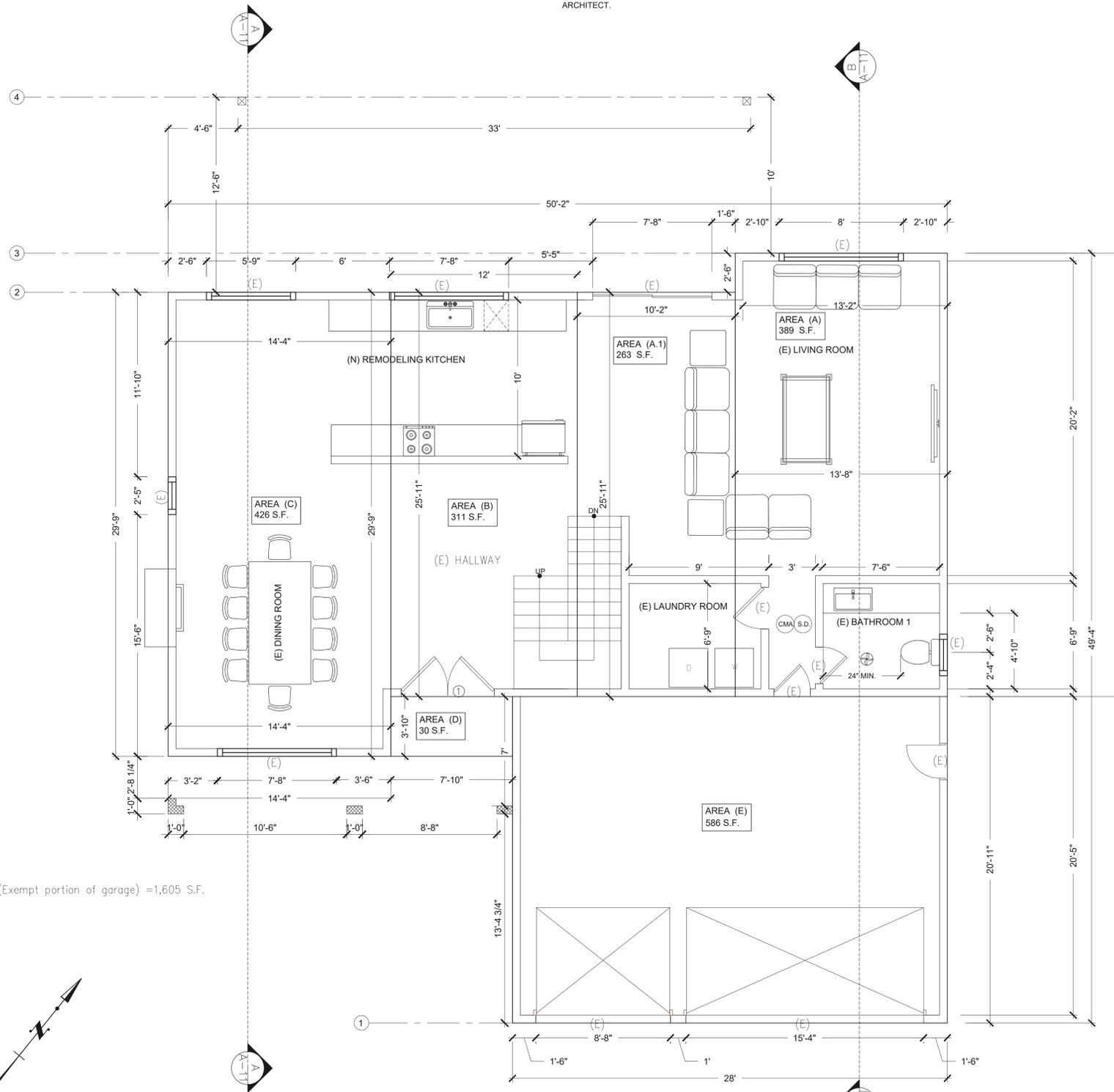
HVAC
R-6 DUCT INSULATION REQUIRED
SPACE HEATING MINIMUM AFUE: 80%
CENTRAL - AIR CONDITIONING - SINGLE PACKAGE OR SPLIT SYSTEM. MINIMUM SEER: 14
REQUIRED:
REFRIGERANT CHARGE MEASUREMENT/ DUCT SEALING

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

DIVERSION OF C&D DEBRIS: A MINIMUM OF 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$56.84 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-10-1012)

HERS VERIFICATION REQUIREMENT
FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION

NAME: _____ LICENSE NO: _____



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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SERG PETROSIAN
3425 BRACE CANYON RD, BURBANK CA 91504
PROPOSED 1ST FLOOR PLAN

- 1ST B.D. SUBMITTAL 01-31-2019 GV
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SHEET:

A-4

NEW WINDOWS SCHEDULE

TAG	SIZE	LOCATION	U-FACTOR	SHGC	MATERIAL
(A)	5'-0" x 5'-0"	SLIDING/FIXED GLASS	0.53	0.33	WOOD FRAMED
(B)	5'-0" x 4'-0"	SLIDING/FIXED GLASS	SEE TITLE-24		WOOD FRAMED

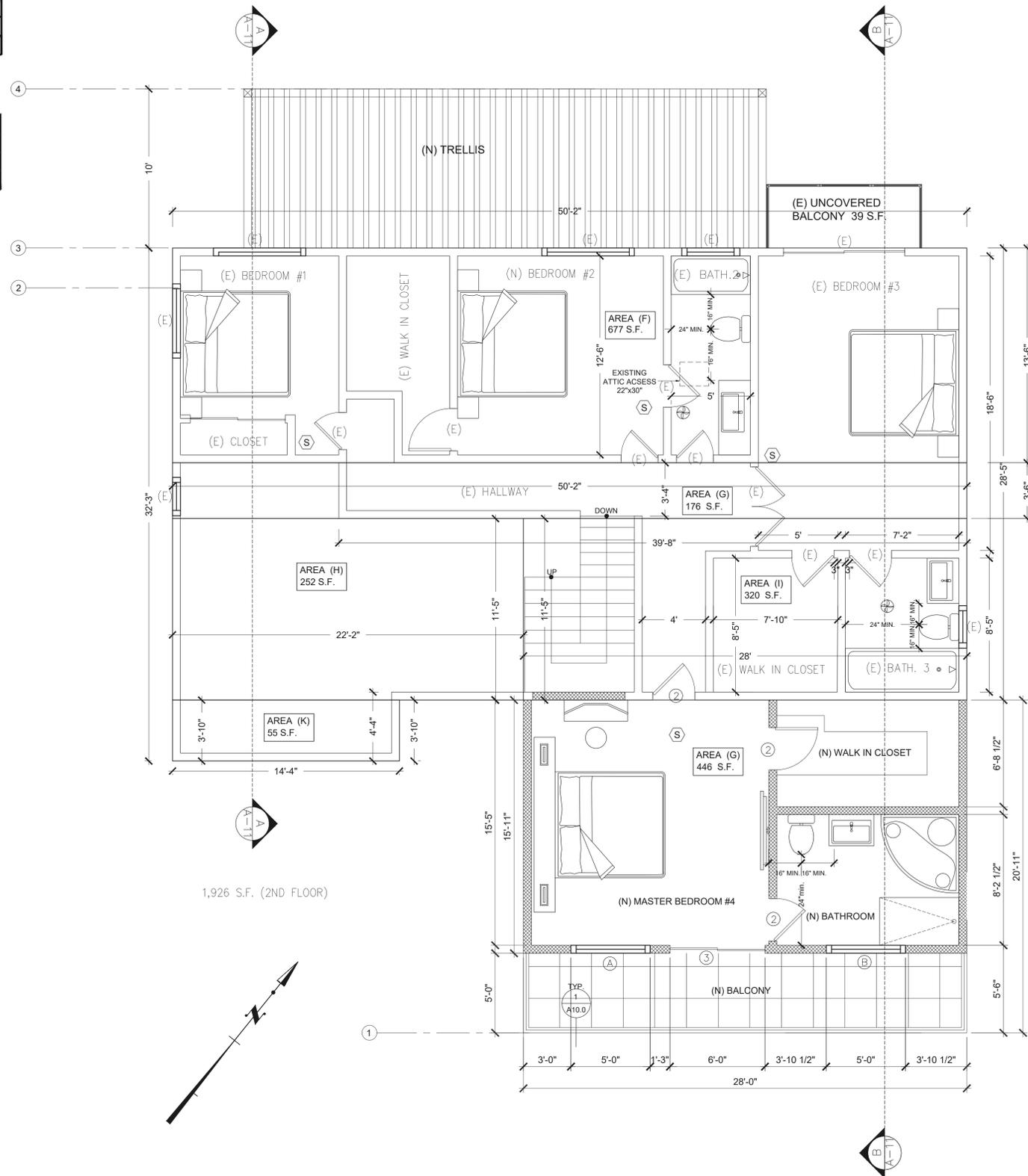
NEW DOOR SCHEDULE

TAG	SIZE	LOCATION	THK.	MATERIAL	REMARK
(1)	(2) 3'-0" x 9'-0"	DOUBLE SWING (ENTRANCE)	1-3/4"	WOOD FRAMED	
(2)	2'-8" x 6'-8"	SINGLE SWING (MASTER BDRM.)	1-3/8"	METAL FRAMED	
(3)	2-3'-0" x 8'-0"	DOUBLE SLIDING (BALCONY)	1-3/8"	WOOD FRAMED	

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PROVIDE AN ALLOWANCE FOR ALL HARDWARE. VERIFY WITH OWNER AND ARCHITECT.



1,926 S.F. (2ND FLOOR)

PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL INFO

GENERAL LEGEND:

(E) = EXISTING ELEMENT
 (N) = NEW ELEMENT
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(S) SMOKE DETECTOR PER CBC

(CM) CARBON MONOXIDE DETECTOR PER CBC

WALL LEGEND:

(E) WALLS TO REMAIN
 (N) WALLS
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PROPOSED 2ND FLOOR PLAN

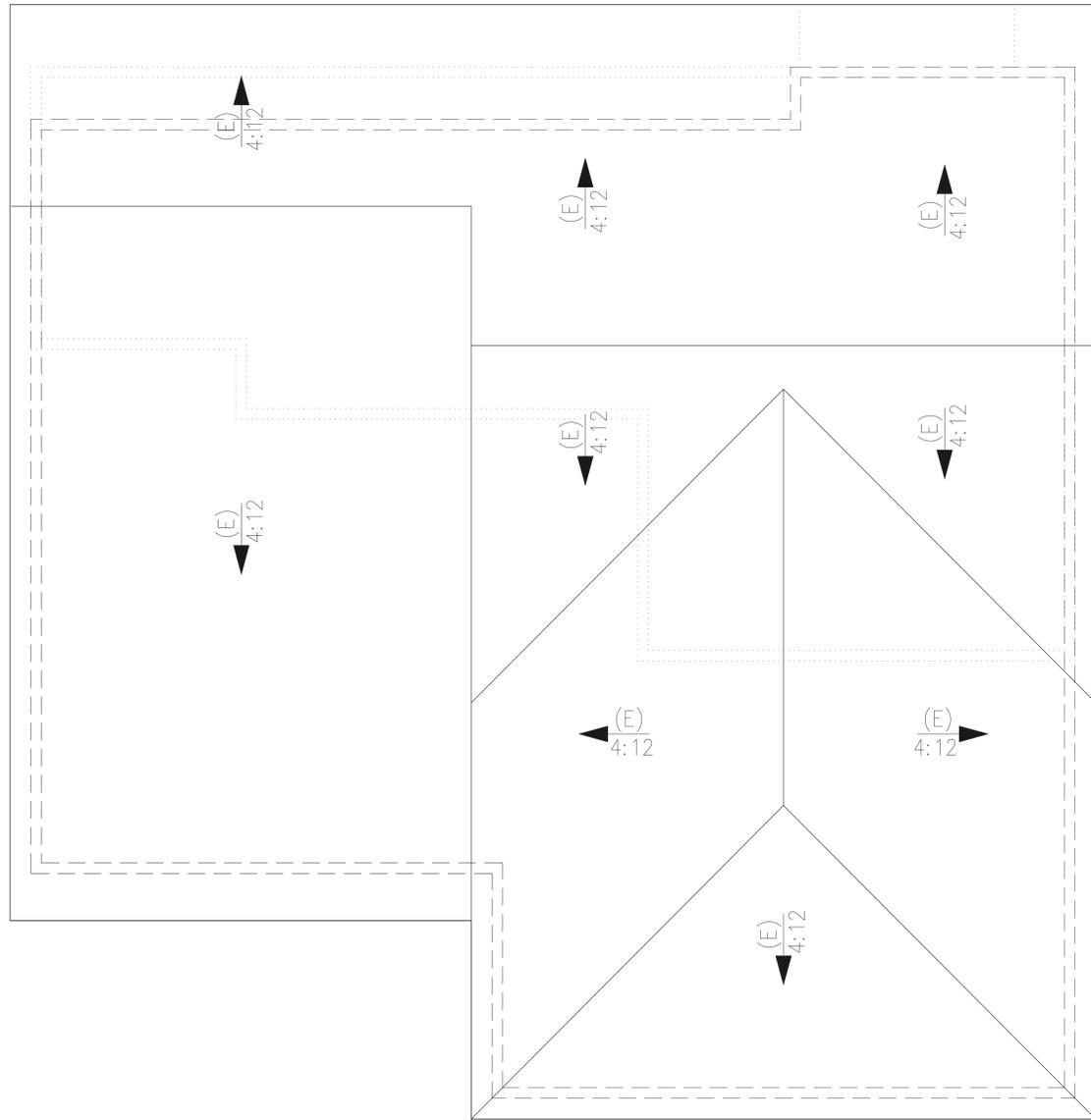
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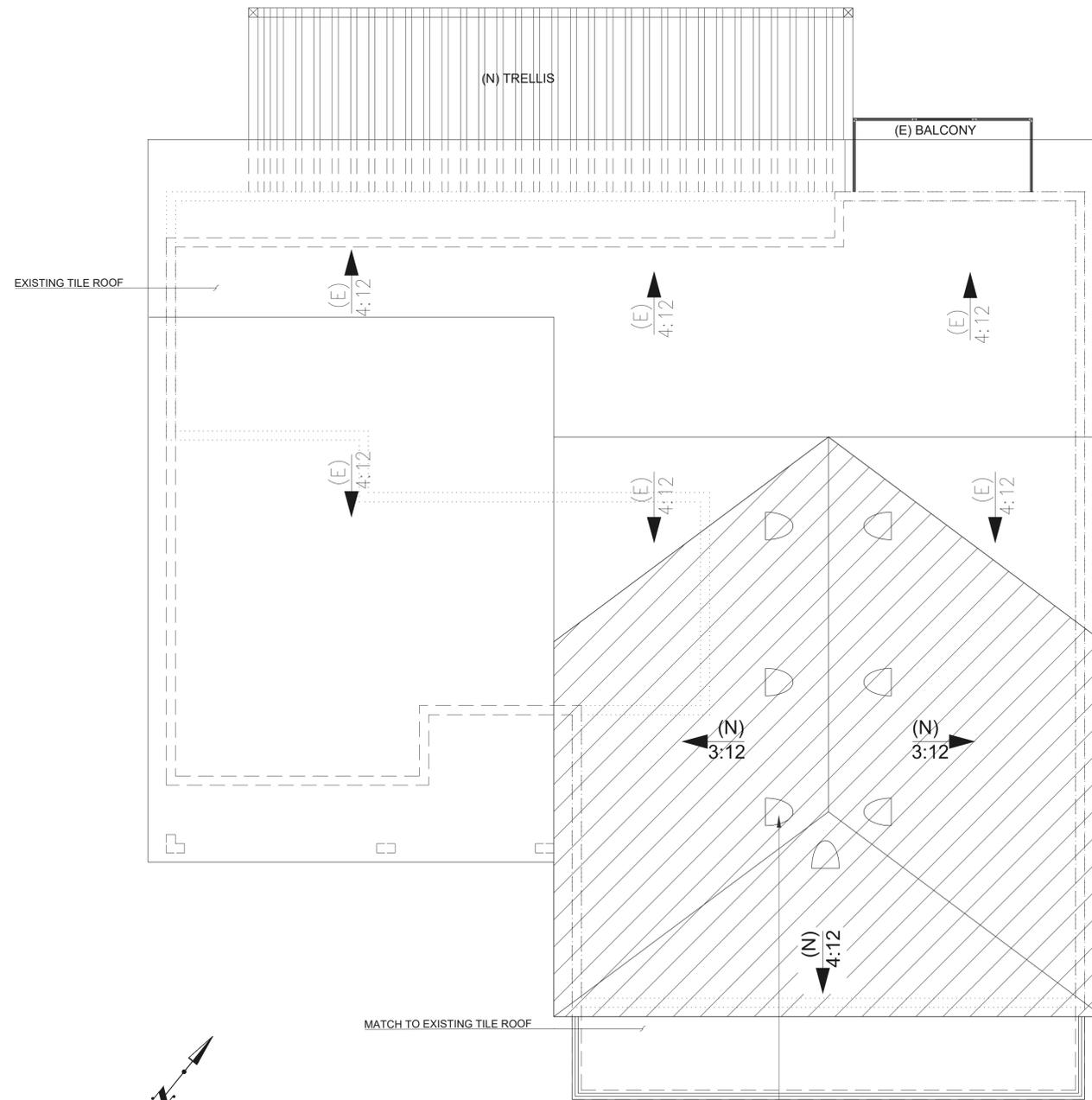
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SHEET:

A-5



EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



ATTIC VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. OF ATTIC AREA) IS REQUIRED. (TO MATCH EXISTING)

778.0 SQ.FT. : 150.0 SQ.FT = 5.18 S.F.
EACH ATTIC PROVIDED 1 S.F.
REQUIREMENT < PROVIDED
5.18 S.F. < 6 S.F.

PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



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EXISTING & PROPOSED ROOF PLAN

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A-6



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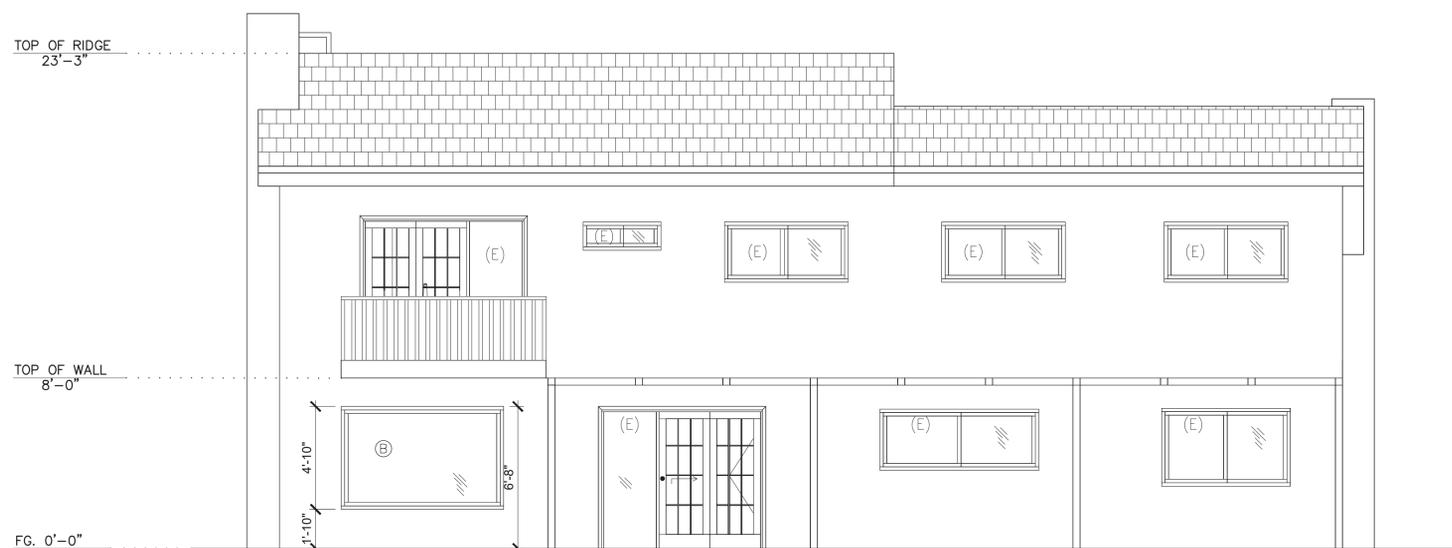
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EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

SERG PETROSIAN
3425 BRACE CANYON RD, BURBANK CA 91504

EXISTING ELEVATIONS

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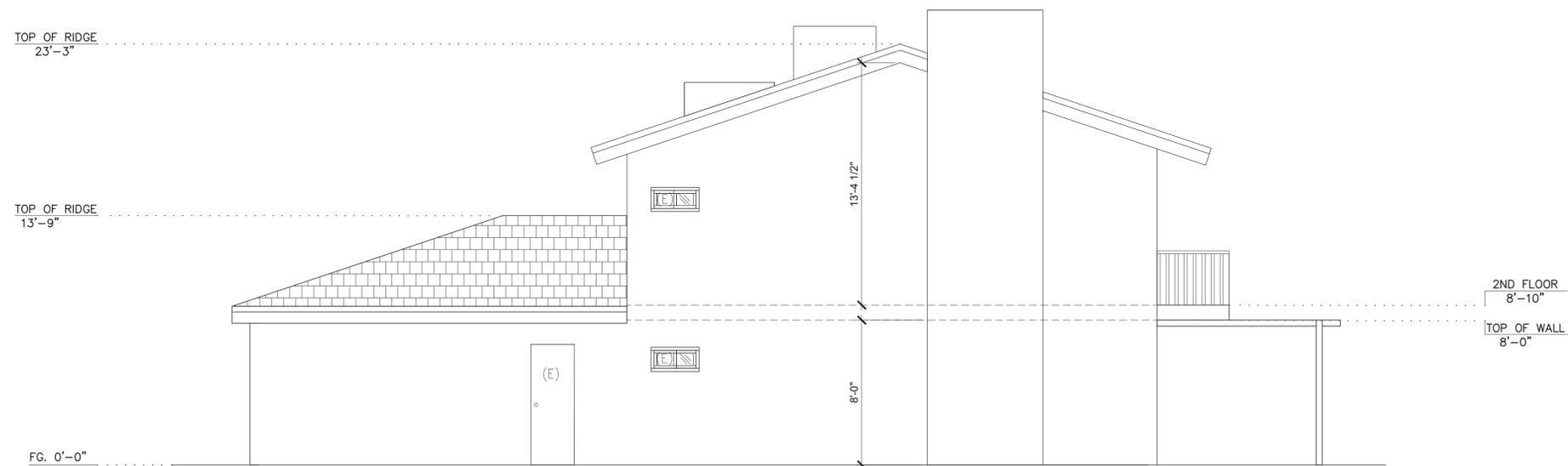
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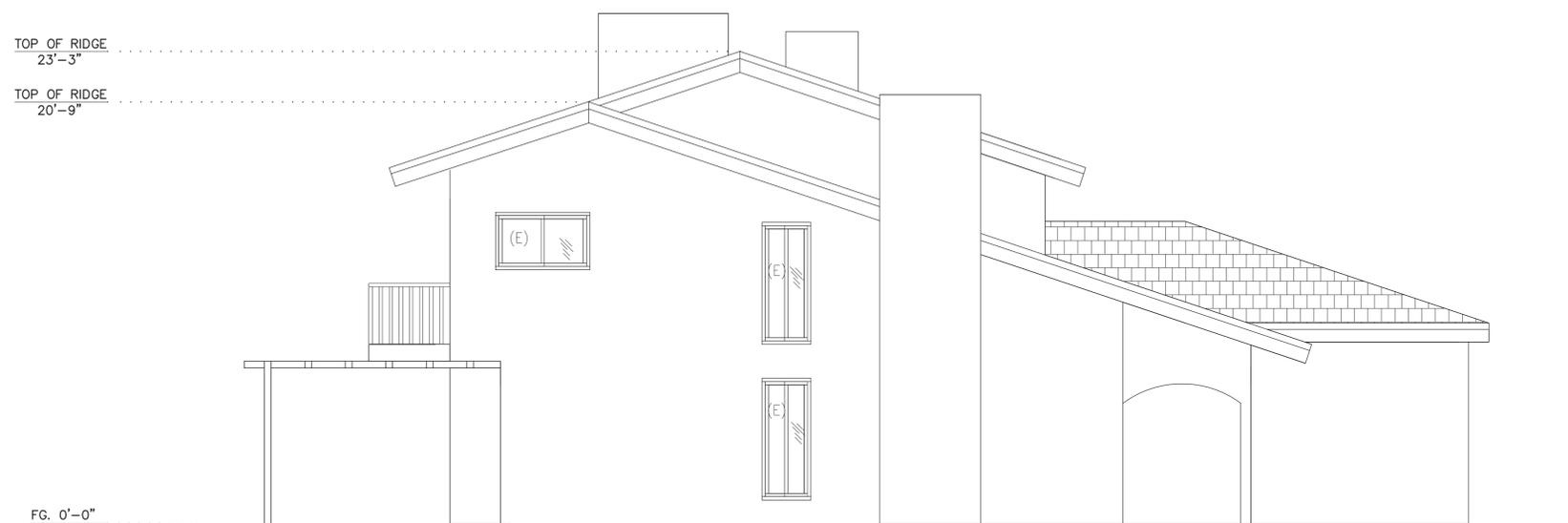
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EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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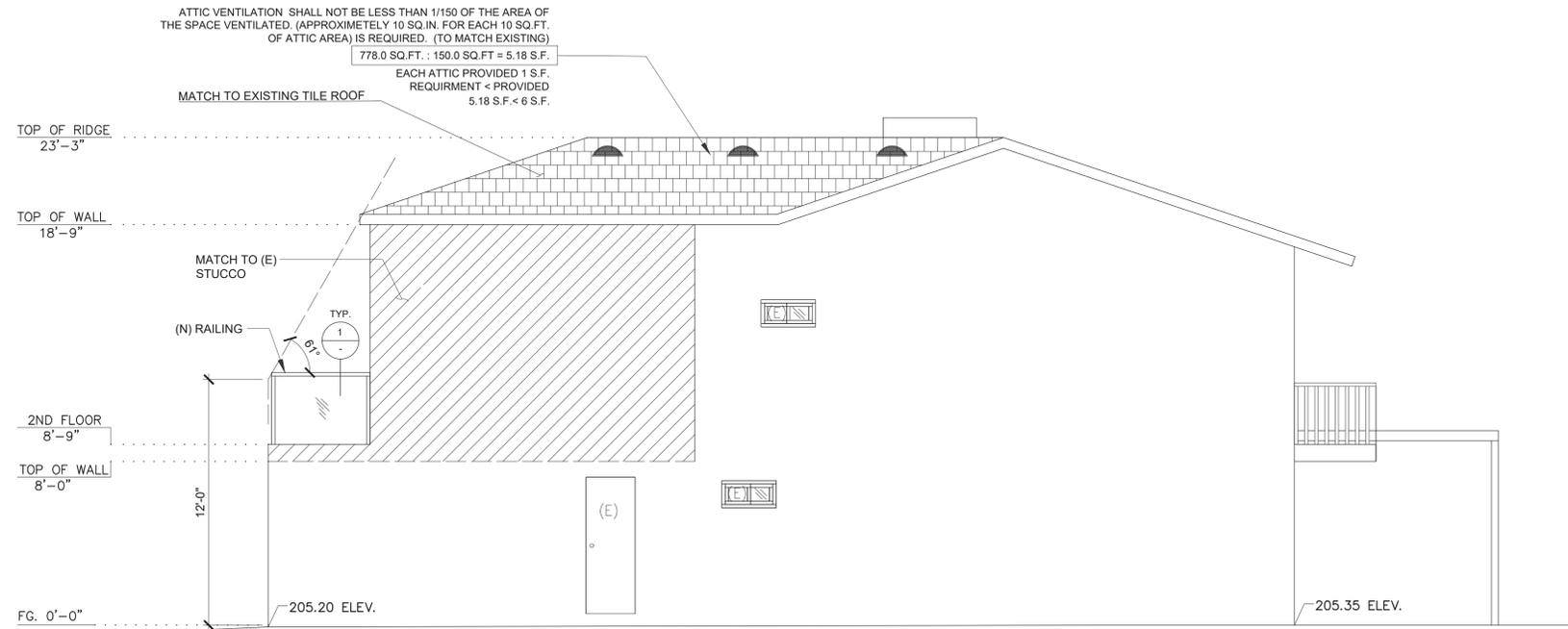
NEW WINDOWS SCHEDULE

TAG	SIZE	LOCATION	U-FACTOR	SHGC	MATERIAL
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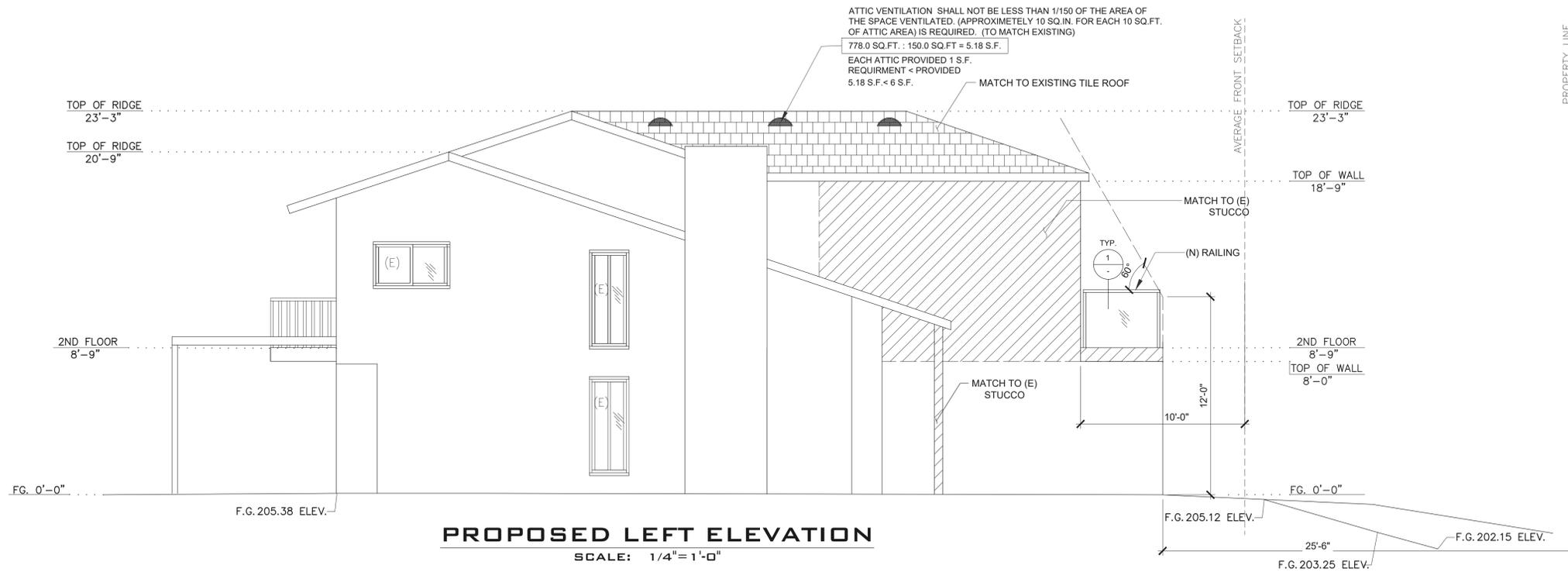
NEW DOOR SCHEDULE

TAG	SIZE	LOCATION	THK.	MATERIAL	REMARK
①	(2) 3'-0" x 9'-0"	DOUBLE SWING (ENTRANCE)	1-3/4"	WOOD FRAMED	
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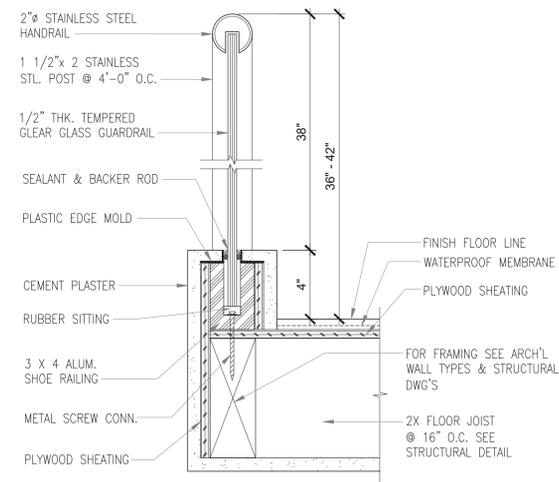
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 PROVIDE AN ALLOWANCE FOR ALL HARDWARE. VERIFY WITH OWNER AND ARCHITECT.



PROPOSED RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



1 GLASS RAILING DETAIL N.T.S



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A-9

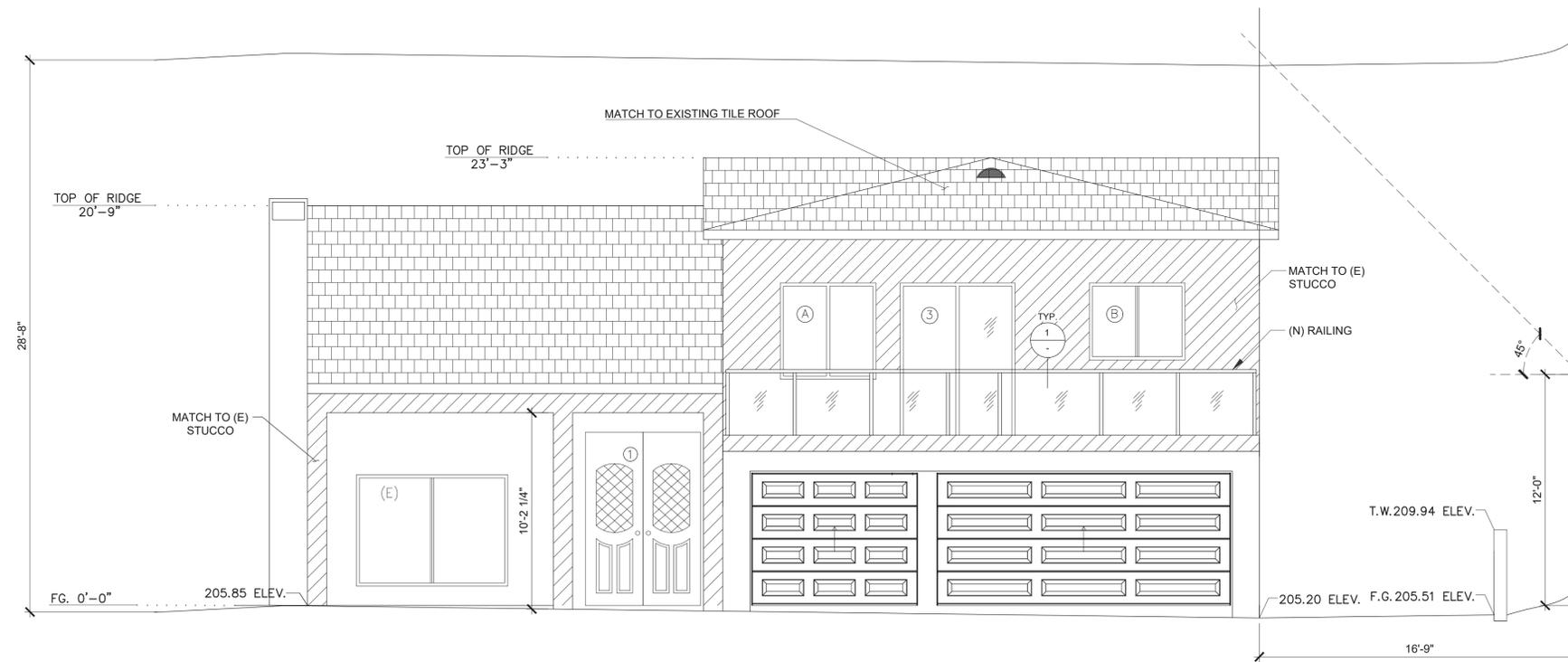
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NEW DOOR SCHEDULE

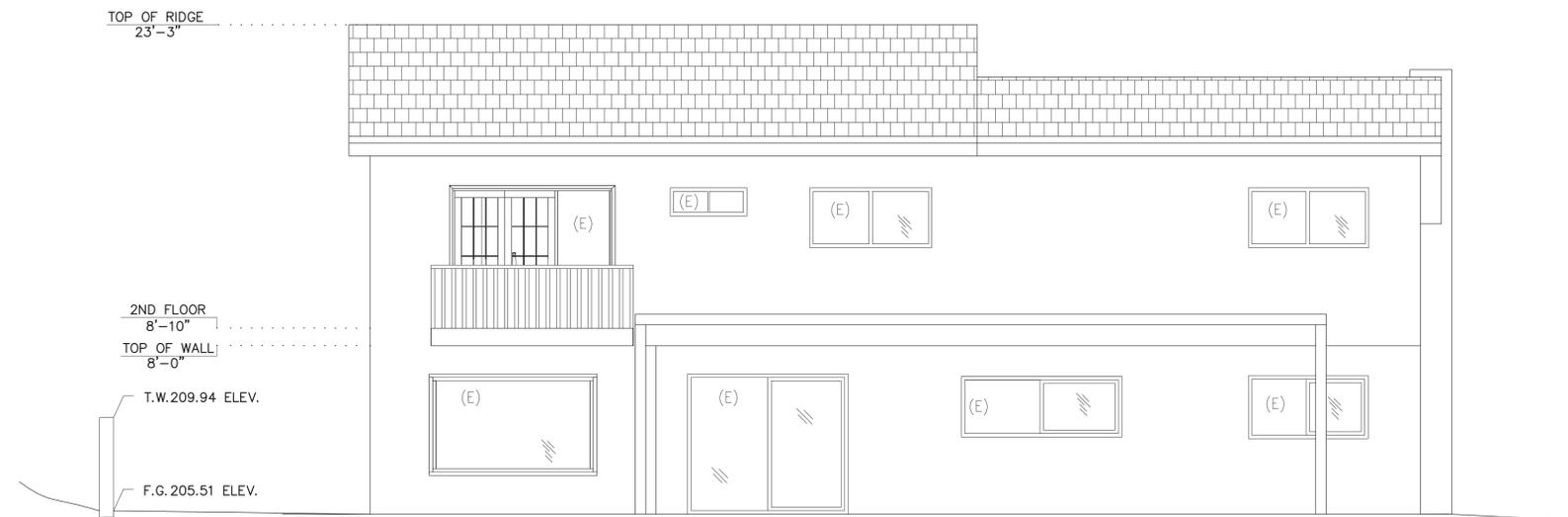
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 PROVIDE AN ALLOWANCE FOR ALLHARDWARE. VERIFY WITH OWNER AND ARCHITECT.



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

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3425 BRACE CANYON RD, BURBANK CA 91504

SECTION

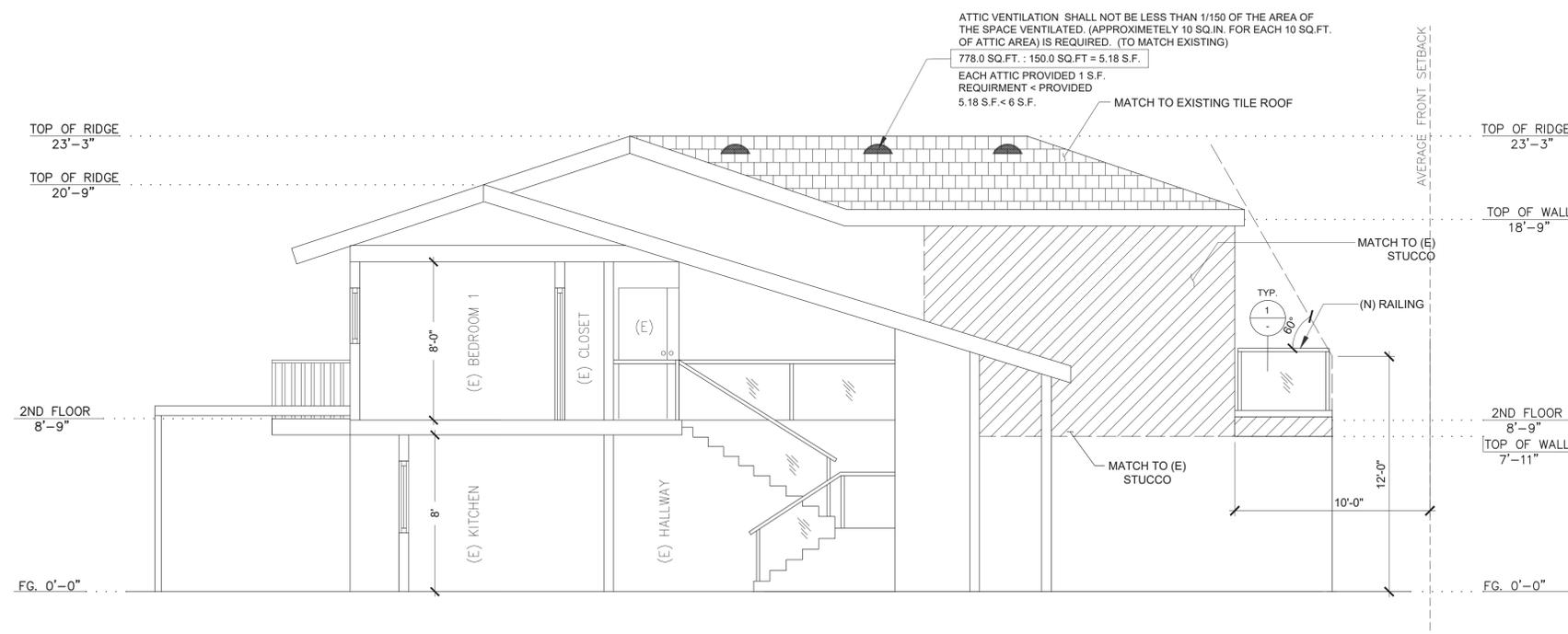
- △ 1ST B.D. SUBMITTAL 01-31-2019 GV
- △ 2ND B.D. SUBMITTAL 09-16-2019 GV
- △ 3TH B.D. SUBMITTAL 06-17-2020 GV
- △
- △
- △

PROJECT #: 18084
 PLOT DATE: 08-14-2019
 DRAWN BY: AV
 CHECKED BY: GV

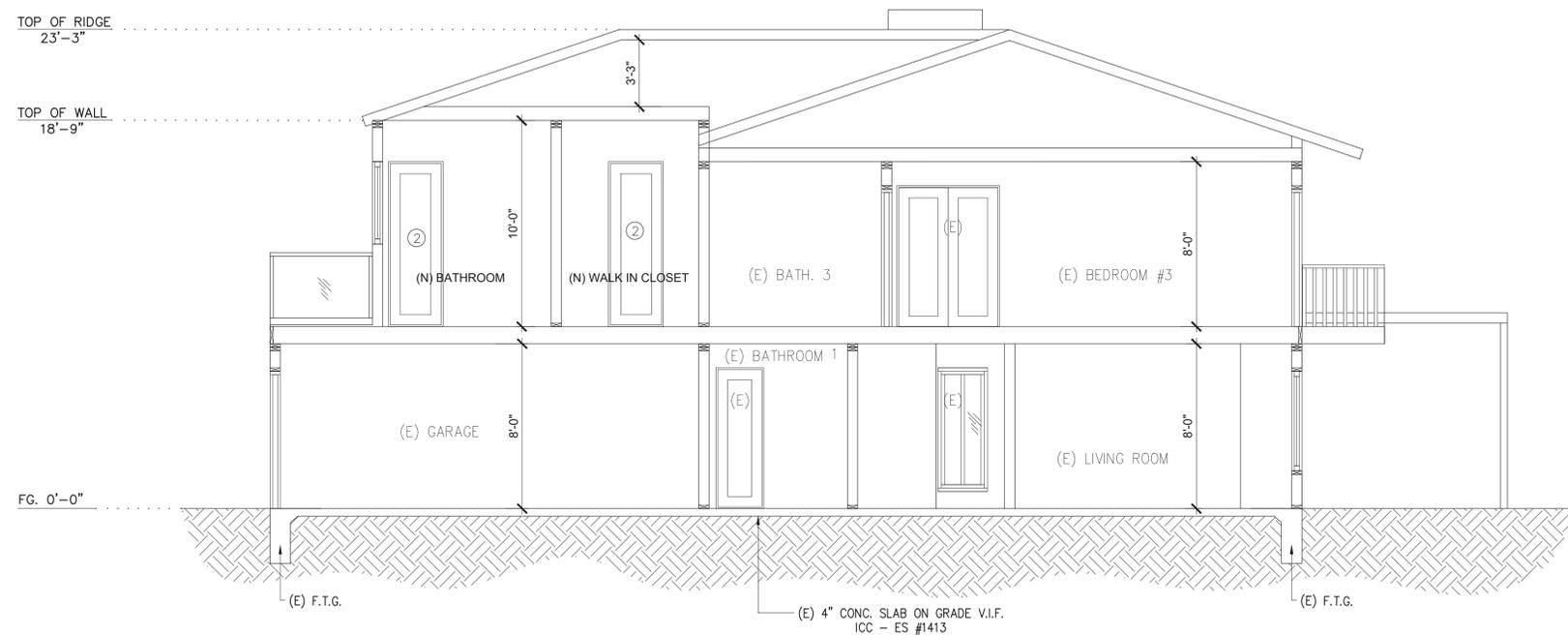
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SHEET:

A-11



A-A SECTION
 SCALE: 1/4" = 1'-0"



B-B SECTION
 SCALE: 1/4" = 1'-0"