

567 SANTA ANITA - TRIPLEX

567 E SANTA ANITA AVE. BURBANK, CA 91501

PROJECT DATA / CODE ANALYSIS

PROJECT ADDRESS:
567 E. SANTA ANITA AVE.
BURBANK, CA 91501

OWNER:
MOURADIAN FAMILY LIVING TRUST
567 E. SANTA ANITA AVE.
BURBANK, CA 91501

LEGAL DESCRIPTION:
APN: 2455-006-004
TRACT: 54389
LOT: SW 47 FT OF NE 95 FT OF SE 152.5 FT OF NW 320 FT OF LOT 2
BLOCK: 29

ZONE : R4
LOT AREA: 7,166 SF
CONSTRUCTION TYPE: TYPE V-B
OCCUPANCY: R-3 , U

*FIRE SPRINKLERS TO BE INSTALLED

PROJECT DESCRIPTION:
• DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF PROPOSED TRIPLEX.

ZONING CALCULATIONS

FLOOR AREA CALCS.
ZONE: R4
LOT AREA: 7,166 SF
MAX ALLOWED RFA: 7,166 x 0.40 = 2,866.4 SF

MAX LOT COVERAGE: 70% = 5,016.2 SF
OPEN TO SKY: 2,149.8 SF

PROPOSED LOT COVERAGE: 2,785 SF

FLOOR AREA CALCS:
UNIT 1:
3 BD/2.5 BATH: 1,685 SF
GARAGE/STORAGE: 590 SF
SUBTOTAL: 2,275 SF

UNIT 2:
3 BD/2.5 BATH: 1,560 SF
GARAGE/STORAGE: 620 SF
SUBTOTAL: 2,180 SF

UNIT 3:
3 BD/2.5 BATH: 1,600 SF
GARAGE/STORAGE: 560 SF
SUBTOTAL: 2,160 SF

BUILDING HEIGHT: 35' - 0"
OF STORYS: 3

CONSULTANTS

ENGINEER:

TITLE 24 CONSULTANT:

CHRIS A KAYE
ENERGLO24
4826 ALLEN COURT
EUREKA, CA 95503
P: (818) 655-4156

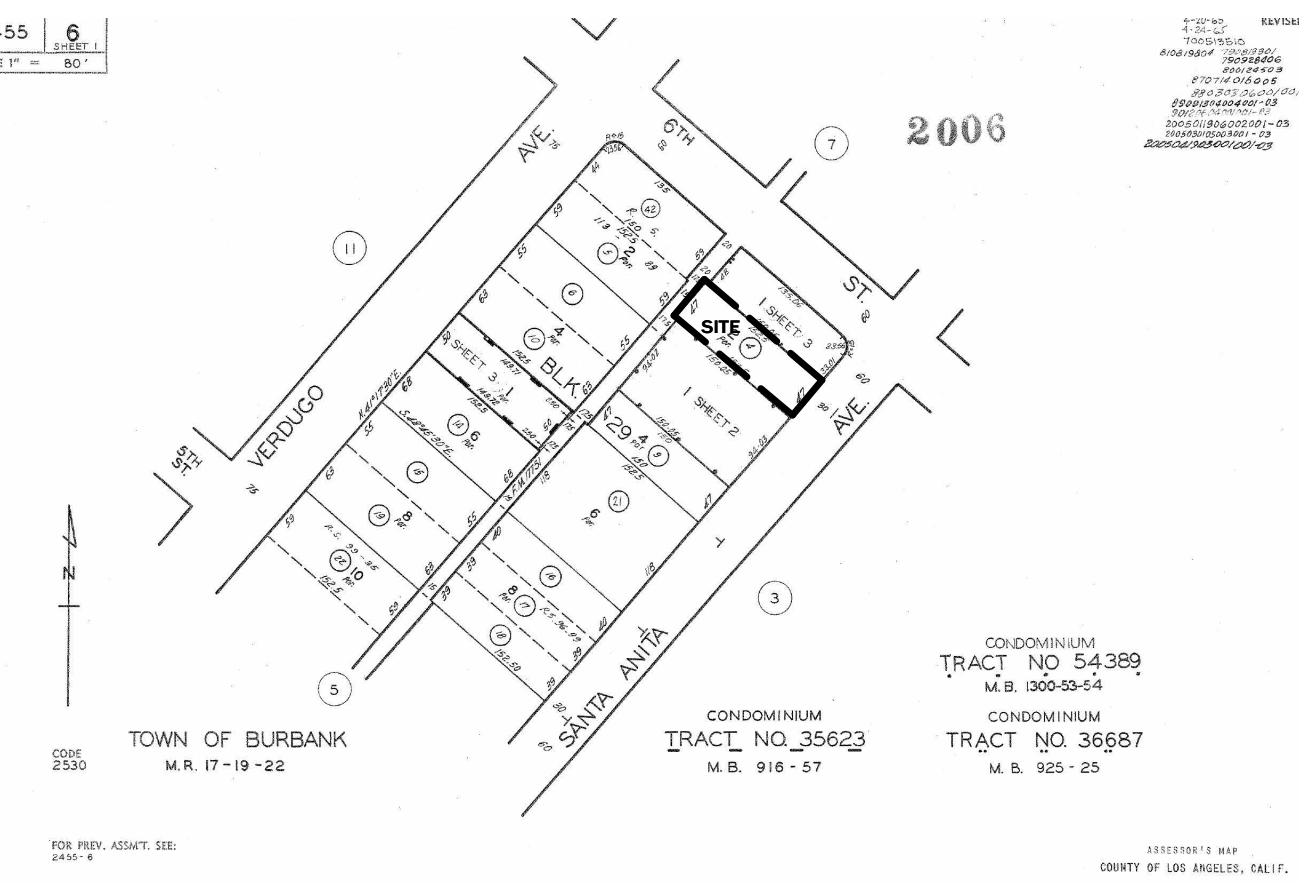
APPLICABLE CODES

- 2025 CALIFORNIA BUILDING CODE (CBC)
- 2025 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2025 CALIFORNIA MECHANICAL CODE (CMC)
- 2025 CALIFORNIA ELECTRICAL CODE (CEC)
- 2025 CALIFORNIA PLUMBING CODE (CPC)
- 2025 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
- 2025 CALIFORNIA ENERGY CODE

SHEET INDEX

SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	GENERAL NOTES 1
A0.2	GENERAL NOTES 2
A0.4	DEMO PLAN
A0.5	LANDSCAPE PLAN, ELEVATION PLAN & PEDESTRIAN CIRCULATION PLAN
A0.6	FLOOR AREA DIAGRAM
A0.7	SURVEY
A1.0	SITE PLAN
A1.1	GROUND FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0	PROPOSED ELEVATIONS
A2.1	PROPOSED ELEVATIONS
A3.0	SECTIONS
A7.0	DOOR & WINDOW SCHEDULE
A9.0	RENDERINGS & MATERIALS

ASSESSOR MAP



VICINITY MAP



☒	THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) - INCORPORATE THESE MANDATORY ITEMS IN THE DESIGN AND CONSTRUCTION OF THE PROJECT AND ADD NOTES TO PLANS AS APPLICABLE. OF THE SUBMITTED DRAWINGS.		
2022 CalGREEN Residential Mandatory Measure Notes			
SECTION	MEASURE	REQUIREMENTS	
PLANNING AND DESIGN			
4.106.2	Storm Water Drainage and Retention During Construction	A plan is developed and implemented to manage storm water drainage during construction.	
4.106.3	Grading and Paving	Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	
4.106.4.1	Electric Vehicle Charging	Provide capability for electric vehicle charging for one and two-family dwellings; townhouses with attached private garages in accordance with Section 4.106.4.1.	
4.106.4.2	Electric Vehicle Charging	Provide capability for electric vehicle charging for multifamily dwellings and hotels/motels in accordance with Sections 4.106.4.2.1 or 4.106.4.2.2, as applicable.	
4.106.4.3	Electric Vehicle Charging	Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing residential buildings in accordance with Section 4.106.4.3, as applicable.	
ENERGY EFFICIENCY			
4.201.1	General	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	
WATER EFFICIENCY AND CONSERVATION (Indoor Water Use)			
4.303.1	Water Conserving Plumbing Fixtures and Fittings	Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	
		Plumbing fixtures & fittingsMaximum	
		Water closets1.28 gallons/flush	
		Urinals0.125 gallons/flush for wall-mounted type and 0.5 gallons/flush for floor-mounted type or other type	
		Showerheads1.8 gpm @ 80 psi	
		Residential lavatory faucets1.2 gpm @ 60 psi max.	
		Lavatory faucets in common & public use areas0.8 gpm @ 20 psi min.	
		Metering faucets0.5 gpm @ 60 psi	
4.303.3	Standards for Plumbing Fixtures and Fittings	Kitchen faucets0.2 gallons/cycle	
		Metering faucets1.8 gpm @ 60 psi	
4.303.1.4.3	Metering faucets	Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.	
WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)			
4.304.1	Outdoor potable water use in landscape areas	Metering faucets in residential building shall not deliver more than 0.2 gallons per cycle	
		Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Enhanced Durability & Reduced Maintenance)			
4.406.1	Rodent proofing	1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling)			
4.408.1	Construction Waste Management	MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/	
		Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following:	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Building Maintenance & Operation)			
4.410.1	Operation and Maintenance Manual	1. Comply with a more stringent local construction and demolition waste management ordinance; or	
4.410.2	Recycling by Occupants	2. A construction waste management plan, per Section 4.408.2; or	
		3. A waste management company, per Section 4.408.3; or	
Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.			
Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.			

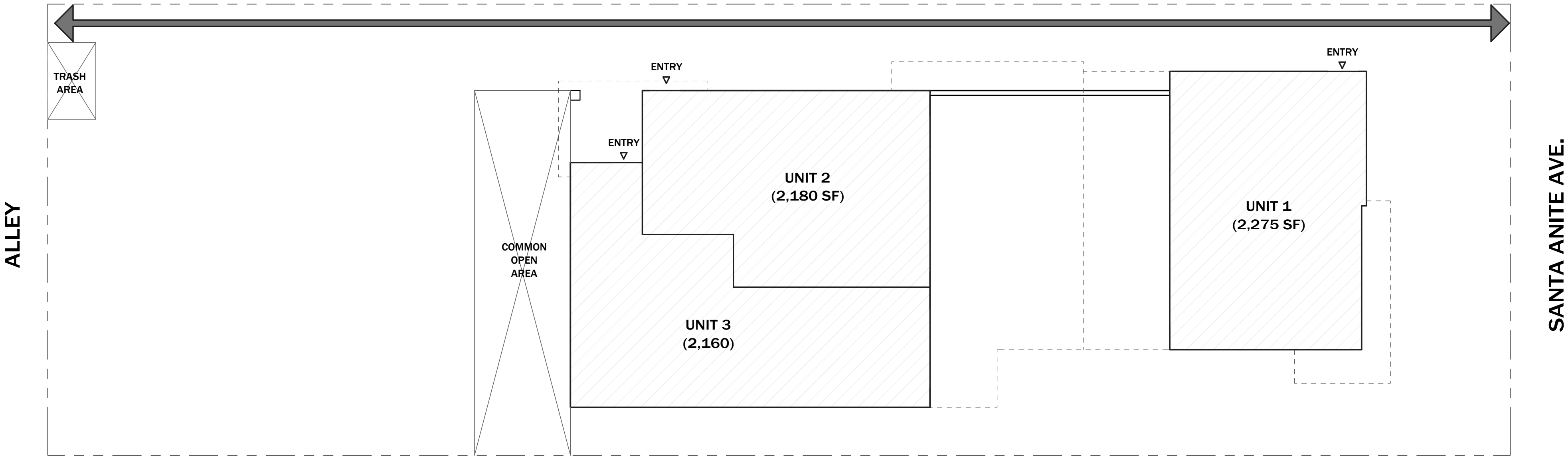
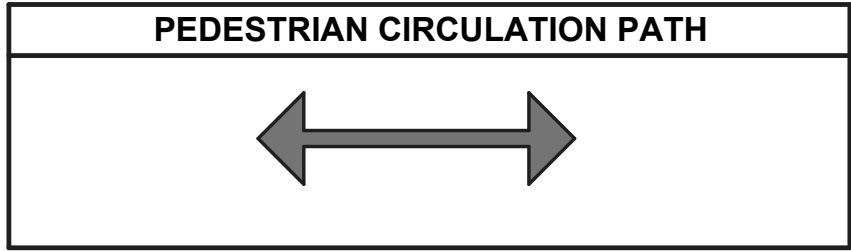
2022 CalGREEN Residential Mandatory Measure Notes		
SECTION	MEASURE	REQUIREMENTS
ENVIRONMENTAL QUALITY (Fireplaces)		
4.503.1	Fireplaces	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.
ENVIRONMENTAL QUALITY (Pollutant Control)		
4.504.1	Covering of Duct Openings & Protection of Mech. Equipment During Construction	Duct openings and other related air distribution component openings shall be covered during construction.
4.504.2.1	Adhesives, Sealants and Caulks	Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
4.504.2.2	Paints and Coatings	Paints, stains and other coatings shall be compliant with VOC limits.
4.504.2.3	Aerosol Paints and Coatings	Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.
4.504.2.4	Verification	Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
4.504.3	Carpet Systems	Carpet and carpet systems shall be compliant with VOC limits.
4.504.4	Resilient Flooring Systems	80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.
4.504.5	Composite Wood Products	Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low formaldehyde emission standards.
ENVIRONMENTAL QUALITY (Interior Moisture Control)		
4.505.2	Concrete Slab Foundations	Vapor retarder and capillary break is installed at slab-on-grade foundations.
4.505.3	Moisture Content of Building Materials	Moisture content of building materials used in wall and floor framing is checked before enclosure.
ENVIRONMENTAL QUALITY (Indoor Air Quality & Exhaust)		
4.506.1	Bathroom Exhaust Fans	Duct systems are sized, designed, and equipment is selected using the following methods:
		Each bathroom shall be mechanically ventilated and shall comply with the following:
		1. ENERGY STAR fans ducted to terminate outside the building.
ENVIRONMENTAL QUALITY (Environmental Comfort)		
4.507.2	Heating and Air Conditioning System Design	2. Fans must be controlled by a humidity control (separate or built-in), OR functioning as a component of a whole-house ventilation system.
702.1	Installer Training	3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent.
702.2	Special Inspection	Duct systems are sized, designed, and equipment is selected using the following methods:
703.1	Documentation	1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent.
		2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent.
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS (Qualifications, Verifications)		

567 SANTA ANITA - DEMO

567 E SANTA ANITA AVE. BURBANK, CA 91501

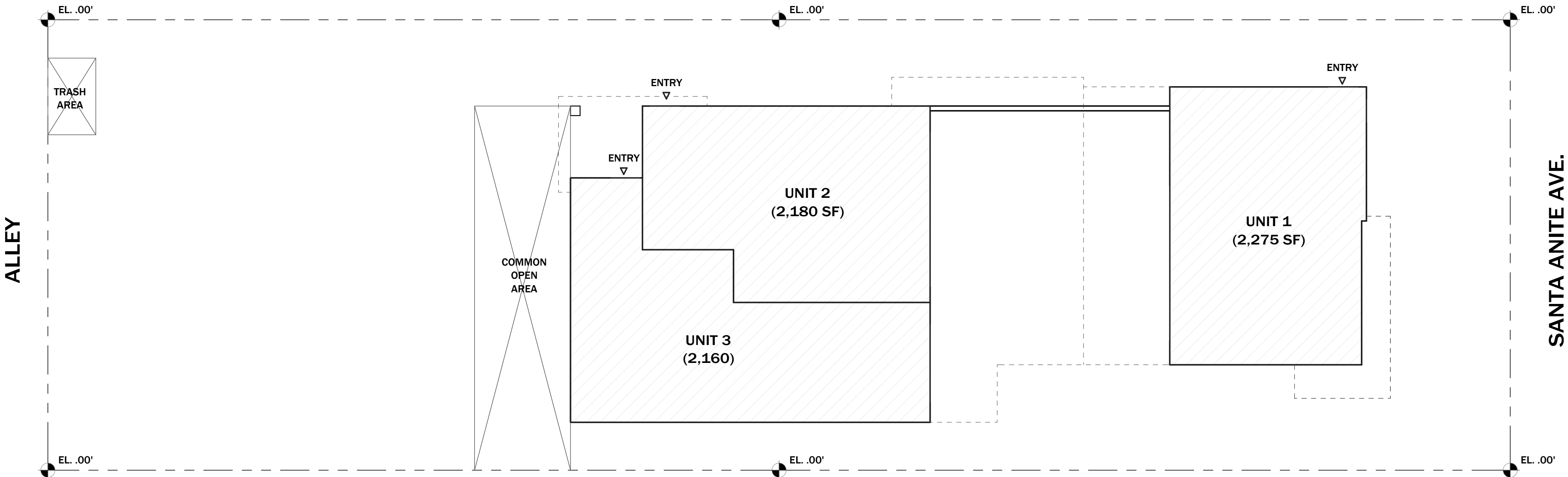
PROJECT DATA / CODE ANALYSIS

PROJECT ADDRESS: 567 E. SANTA ANITA AVE. BURBANK, CA 91501	ZONE : R4 LOT AREA: 7.166 SF CONSTRUCTION TYPE: TYPE V-B OCCUPANCY: R-3 SINGLE FAMILY DWELLING, U ALLOWABLE COVE: 40.00%
OWNER: -	PROJECT DESCRIPTION: DEMOLISH EXISTING 960 SF SINGLE FAMILY DWELLING, 468 SF SINGLE FAMILY DWELLING AND GARAGE TO CONSTRUCT A NEW TRIPLEX
LEGAL DESCRIPTION: APN: 2455-006-004 TRACT: TR 54389 LOT: SW 47 FT OF NE 95 FT OF SE 152.5 FT OF NW 320 FT OF LOT 2 BLOCK: 29	
SCAQMD RULE 1403 REQUIRES THE CONTRACTOR TO FILE A DEMOLITION NOTIFICATION WITH THE SCAQMD 10 DAYS PRIOR TO ISSUANCE OF A DEMOLITION PERMIT.	
A PERMANENT SOURCE OF WATER ON SITE MUST BE AVAILABLE THAT WILL ALLOW DUST CONTROL. RECYCLED WATER SHALL BE USED FOR THIS PURPOSE.	
BEST MANAGEMENT PRACTICES AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IN PLACE DURING AND AFTER DEMOLITION WORK.	
OBTAIN THE DEMOLITION PERMIT FROM AN APPROPRIATE CLASSED CALIFORNIA LICENSED CONTRACTOR AUTHORED TO PERFORM DEMOLITION WORK BY THE CALIFORNIA CONTRACTOR STATE LICENSED BOARD. ALL REQUIRED DOCUMENT S AND FEES SHALL BE PRESENT FOR THE ISSUANCE OF THE DEMOLITION PERMIT. FEES MAY BE APPLICABLE FROM PROJECT CONDITIONS OF APPROVAL.	
FOLLOWING THE ISSUANCE OF THE DEMOLITION PERMIT BUT PRIOR TO START OF DEMOLITION WORK, AN ONSITE PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEMOLITION CONTRACTOR AND CITY BUILDING INSPECTOR.	
THE REQUIRED CONSTRUCTION SIGN SHALL BE POSTED ON SITE WITH CONTACT INFORMATION OF THE CONTRACTOR AND PROJECT MANAGE.	
THE ESTIMATED VOLUME OR WEIGHT OF CONSTRUCTION AND DEMOLITION DEBRIS, BY MATERIAL TYPE, TO BE GENERATED ON THE PROJECT SITE. 1,428 SF X 115 = 164,220 LBS / SF	
THE ESTIMATED VOLUME OR WEIGHT OF CONSTRUCTION AND DEMOLITION DEBRIS, BY MATERIAL TYPE, TO BE DIVERTED TO RECYCLING, REUSE OR SALVAGE. 164,220 LBS / SF X .65 (65 %) =106,743 LBS / SF	
CERTIFICATION THAT THE MINIMUM DIVERSION REQUIREMENT WILL BE MET.	
THE VENDOR OR FACILITY THAT THE APPLICANT PROPOSES TO USE TO COLLECT OR RECEIVE THAT MATERIAL: COMMUNITY RECYCLING & RESOURCE RECOVERY, 9147 DEGARMO AV., SUN VALLEY, (818) 767-6000, WWW.COMMUNITYRECYCLING.NET	
COMPACTION REPORT WILL BE REQUIRED DURING CONSTRUCTION OF THE ADU.	
GENERAL NOTES: 1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2025 EDITION OF THE CRC <i>OR</i> CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 COR AND THE CITY OF BURBANK LOCAL AMENDMENTS. 2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION 3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN. 4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4) 5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST. 6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1) 7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6, TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 1804.4, CRC R401.3) 8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12 PLUS 2%. (CBC 1808.7.4, CRC R403.1.3)	
STORM WATER MANAGEMENT: STORM WATER MANAGEMENT: FOR SITES LESS THAN ONE ACRE, THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIRES ALL CONSTRUCTION PROJECTS TO PROTECT WATER QUALITY DURING CONSTRUCTION AND REDUCE POLLUTANTS IN STORM WATER RUNOFF THROUGH IMPLEMENTATION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES (BMP): a. SCHEDULING (ESC-1) b. PRESERVATION OF EXISTING VEGETATION (ESC-2) c. STABILIZED CONSTRUCTION SITE ENTRANCE/EXIT (ESC-24) d. SILT FENCE (ESC-50) e. SAND BAG BARRIER (ESC-52) f. WATER CONSERVATION PRACTICES (NS-1) g. DEWATERING OPERATIONS (NS-2) h. MATERIAL DELIVERY AND STORAGE (WM-1) i. STOCKPILE MANAGEMENT (WM-3) j. SPILL PREVENTION AND CONTROL (WM-4) k. SOLID WASTE MANAGEMENT (WM-5) l. CONCRETE WASTE MANAGEMENT (WM-8) m. SANITARY/SEPTIC WASTE MANAGEMENT (WM-9)	
DEMOLITION NOTES ALL DEMOLITION AND GRADING PERMITS WILL REQUIRE A PRE-CONSTRUCTION MEETING PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK AND A PROJECT SIGN MUST BE POSTED ON SITE. IF A SINGLE-FAMILY DWELLING IS BEING DEMOLISHED THAT IS LOCATED ON A SLOPED LOT A TOPOGRAPHIC SURVEY IS REQUIRED TO BE PERFORMED PRIOR TO THE DEMOLITION OF THE STRUCTURE. THIS MAY ALSO BE REQUIRED FOR A FLAT LOT AS DETERMINED BY THE BUILDING OFFICIAL. DOCUMENTS INDICATING RODENT AND INSECT ABATEMENT HAS BEEN PERFORMED MUST BE PRESENTED TO THE BUILDING INS	



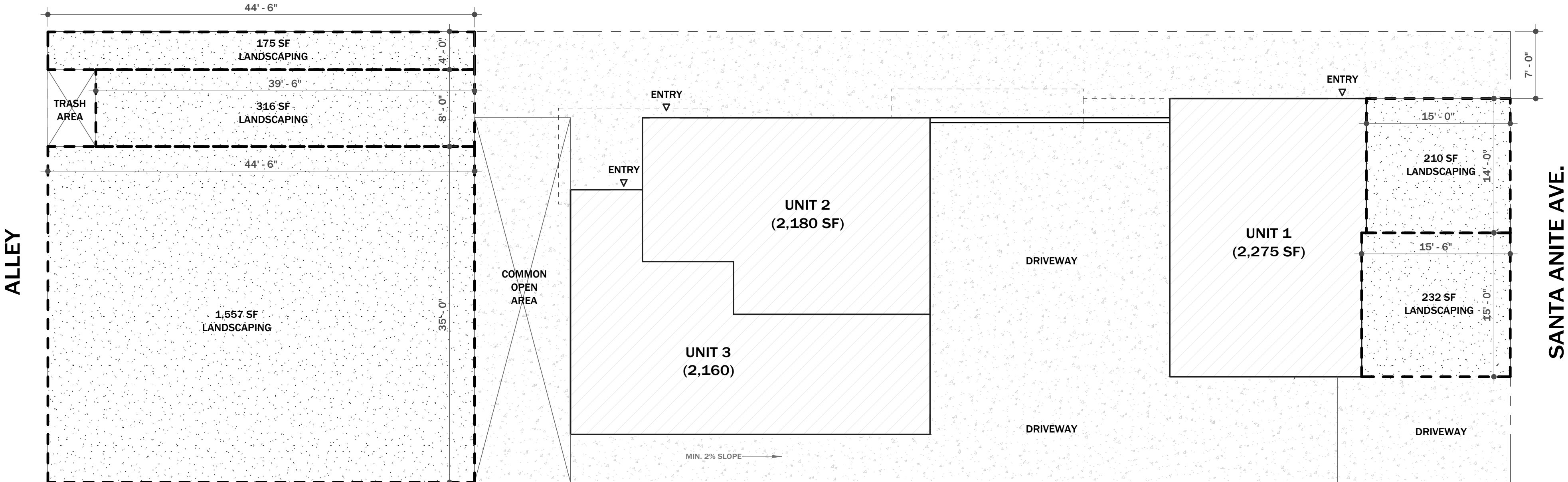
3 PEDESTRIAN CIRCULATON PLAN
SCALE: 1/8" = 1'-0"

AVERAGE GRADE CALCULATIONS:
AVERAGE GRADE:
AVERAGE GRADE:
MEDIAN SITE ELEVATION EL. ':



2 ELEVATION PLAN
SCALE: 1/8" = 1'-0"

LANDSCAPE CALCULATIONS
LANDSCAPE REQUIRED: 15% MIN. 7,166x .15 = 1,075 SF
A: 1,557 SF
B: 316 SF
C: 175 SF
D: 232 SF
E: 210 SF
TOTAL: 2,301 SF OF LIVE PLANTING LANDSCAPE
2,301 / 7,166 = 0.321 OR 32.1% LIVE PLANTING LANDSCAPE PROVIDED
LANDSCAPE - LAWN & GROUND COVER



1 LANDSCAPING PLAN
SCALE: 1/8" = 1'-0"

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LANDSCAPE PLAN,
ELEVATION PLAN &
PEDESTRIAN CIRCULATION PLAN

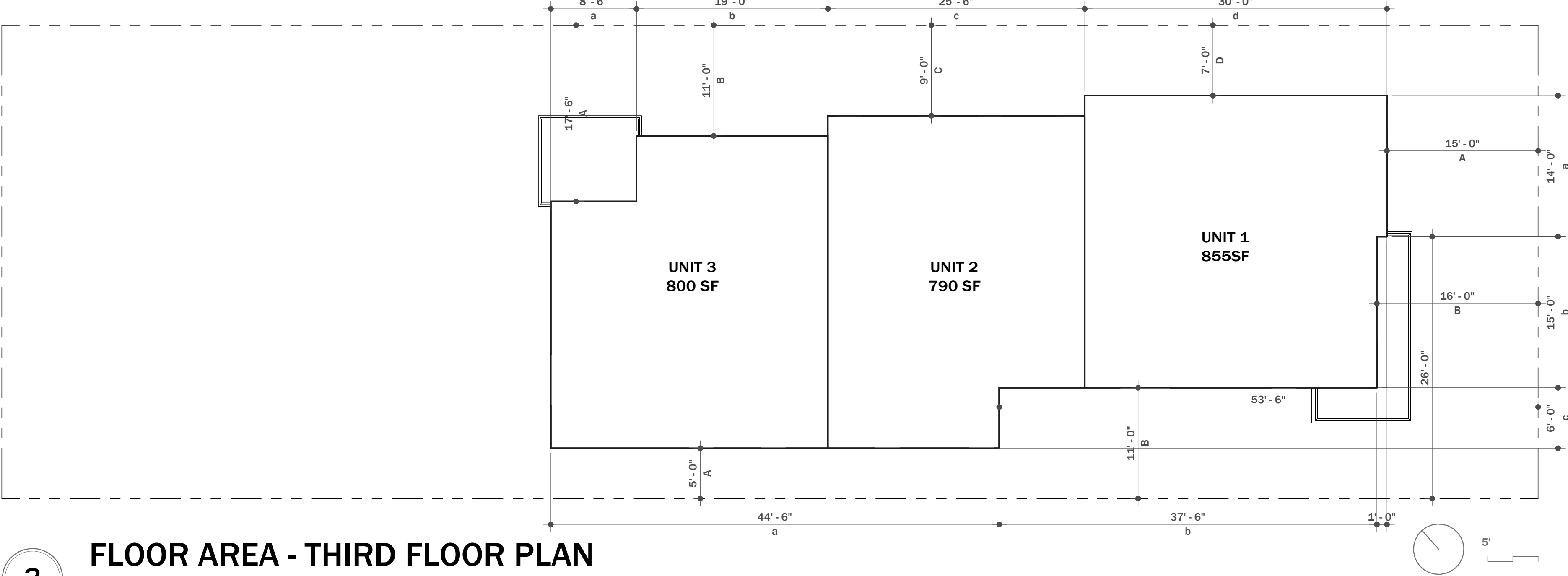
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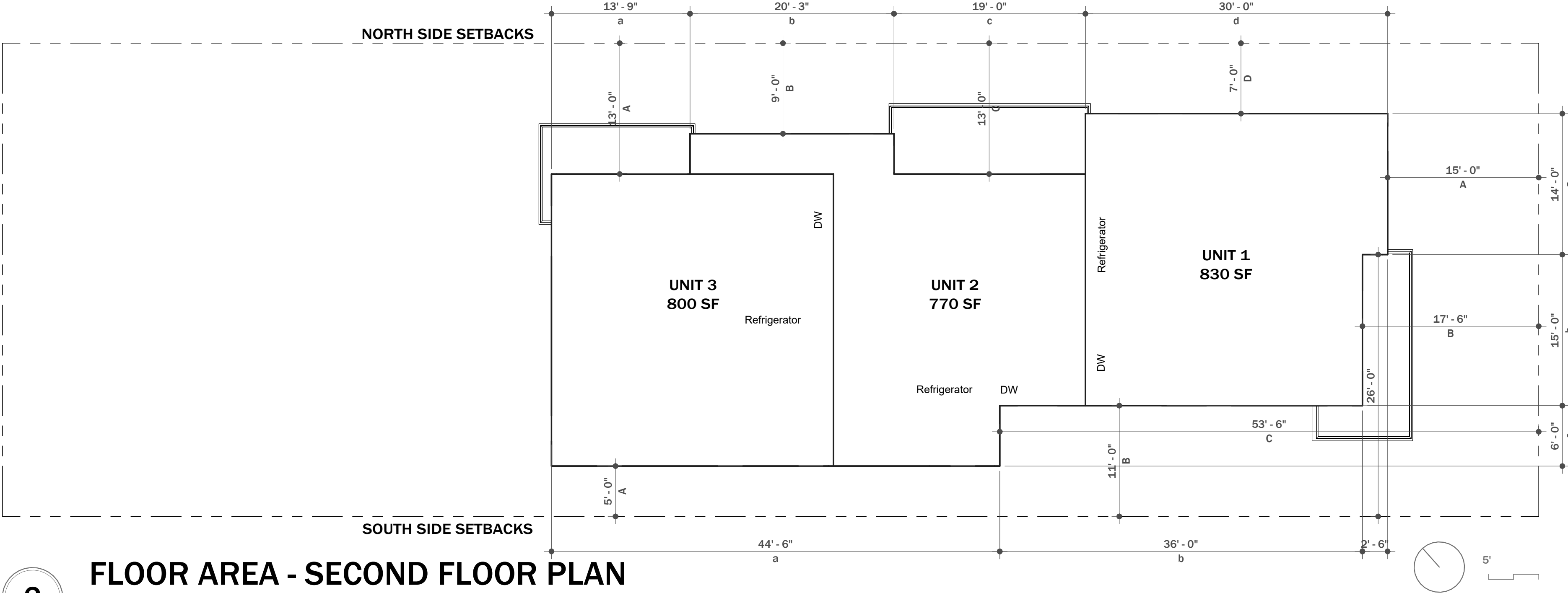
THIRD FLOOR SETBACK CALCULATIONS
<u>NORTH SIDE SETBACK CALCULATIONS</u>
Axa = 17.50x8.50 = 148.75 Bxb = 11.00x19.00 = 209.00 Cxc = 9.00x25.50 = 229.50 Dxd = 7.00x30.00 = 210.00 148.75+209.00+229.50+210.00 = 797.25 SF
LENGTH =8.50+19.00+25.50+30.00 = 83.0'
797.25/83.0 = 9.61' AVERAGE NORTH SIDE SETBACK
<u>SOUTH SIDE SETBACK CALCULATIONS</u>
Axa = 5.00x44.50 = 222.50 Bxb = 11.00x37.50 = 412.50 Cxc = 1.00x26.00 = 26.00
222.50+412.50 +26.00 = 661.00 SF
LENGTH =44.50+37.50 + 1.00 = 83.0'
661.00/83.0 = 7.96' AVERAGE SOUTH SIDE SETBACK

SECOND FLOOR SETBACK CALCULATIONS
<u>NORTH SIDE SETBACK CALCULATIONS</u>
Axa = 13.00x13.75 = 178.75 Bxb = 9.00x20.25 = 182.25 Cxc = 13.00x19.00 = 247.00 Dxd = 7.00x30.00 = 210.00 178.75+182.25+247.00+210.00 = 818.00SF
LENGTH =13.75+20.25+19.00+30.00 = 83.00'
818.0/83.0 = 9.86' AVERAGE NORTH SIDE SETBACK
<u>SOUTH SIDE SETBACK CALCULATIONS</u>
Axa = 5.00x44.50 = 222.50 Bxb = 11.0x36.00 = 396.00 Cxc= 26.00x2.50= 65.00
222.50+396.00+65.00 = 683.50SF
LENGTH =44.50+36.00 +2.50= 83.00'
683.50/83.00 = 8.23' AVERAGE SOUTH SIDE SETBACK

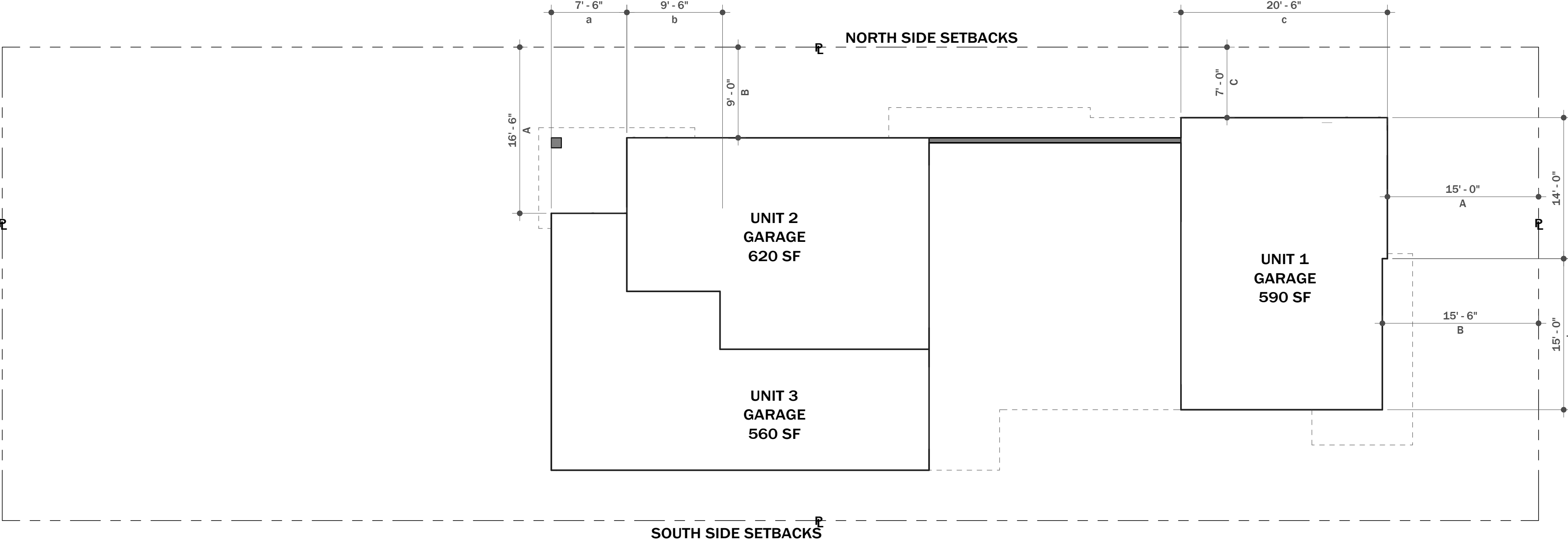
GROUND FLOOR SETBACK CALCULATIONS
<u>NORTH SIDE SETBACK CALCULATIONS</u>
Axa = 16.50x7.50 = 123.75 Bxb = 9.00x9.50 = 85.50 Cxc = 7.00x20.50 = 143.50 123.75+85.50+143.50 = 352.75 SF
LENGTH =7.5+9.50+20.5 = 37.50'
352.75/37.50 = 9.41' AVERAGE NORTH SIDE SETBACK
<u>SOUTH SIDE SETBACK CALCULATIONS</u>
(PARKING GARAGES AREA EXEMPT FROM SETBACK CALCS)



3 FLOOR AREA - THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FLOOR AREA - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



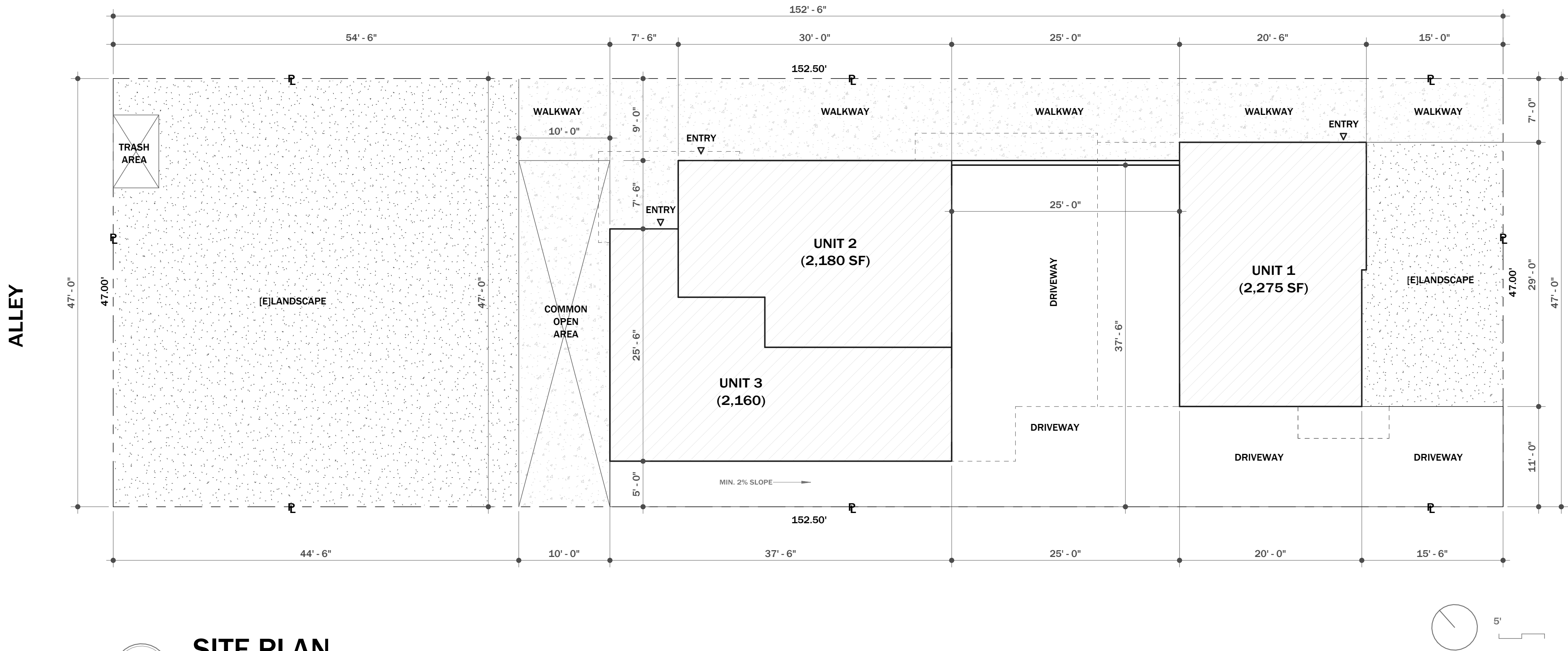
1 FLOOR AREA - GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

THIRD FLOOR AREA:
UNIT 1: 855 SF UNIT 2: 790 SF UNIT 3: 8

L. AMENITIES.

1. On-site amenities must be provided as follows. Any of the amenity items listed below may be substituted with a comparable amenity subject to approval by the Director.
- a. For projects with 20 or fewer units, two (2) different items from the following: gazebo, spa, cooking/eating area with built-in barbeque, fountain, reflection pool, water garden, or permanently affixed outdoor seating.
2. All amenities must comply with the following requirements:
- a. All amenities must be constructed of high quality materials and permanently installed as part of the project, unless otherwise approved by the Director.
- b. All amenities must follow the same design concept and architecture as the structures.
- c. All outdoor amenities must be located in a required common open space area or other common area that is readily accessible by all tenants. All indoor amenities must be readily accessible by all tenants.
- d. If located within a required common open space area, the area occupied by the amenities may still be counted toward the required common open space area and minimum dimensions. Indoor amenities may not count toward the common open space requirement.

Please provide two (2) different amenities for this project within a required common open space area.



1 SITE PLAN
SCALE: 1/8" = 1'-0"

567 SANTA ANITA - TRIPLEX
MOURADIAN FAMILY LIVING TRUST
567 E SANTA ANITA AVE. BURBANK, CA 91501

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revisions:	
submit - planning	07/01/2020
p.c.	
project no:	2020-32
sheet name:	SITE PLAN
sheet no:	

A1.0

SMOKE DETECTOR

- SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA SECTION 29.8.3.4. [CRC R314.3.3]
- AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. [CRC R314.2.2]
- BATTERY OPERATED SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. [CRC R314.6 EXCEPTIONS 1.3]
- SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CRC R314.4]
- SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CRC R314.6]

CARBON MONOXIDE DETECTOR

- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. [CRC R315.2.1, R315.2.2]
- CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CRC R315.5]
- CO ALARM SHALL BE LISTED FOR COMPLIANCE WITH UL 2034,UL 217, UL 2075, AND MAINTAINED PER NFPA 720. [CRC R315.1.1, R315.6.1, R315.6.2]
- CO ALARM SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENT. [CRC R315.3]
- CO ALARM SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CRC R315.7]
- IN EXISTING DWELLING UNIT, A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. [CRC R315.5 EXCEPTIONS 4]

- EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68° MINIMUM AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. THE INSTALLATION OF PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE. (R303.9 CRC)
- SHOWER FLOOR AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR.
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM OF 6'8" CEILING HEIGHT ABOVE A MINIMUM AREA OF 30"x30" AT THE SHOWERHEAD.
- MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT. 4.506.1

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALLS
- 1HR RATED WALL - SEE A8.0 DETAIL #3
- SD

SMOKE DETECTOR
- CM

CARBON MONOXIDE DETECTOR
- 11

WINDOW TAGS
- 101B

DOOR TAGS
- EXHAUST FAN CONTROLLED BY HUMIDISTAT:
50 CFM FOR INTERMITTENT VENTILATION
AND 25 CFM FOR CONTINUOUS VENTILATION
*ENERGY STAR COMPLIANT

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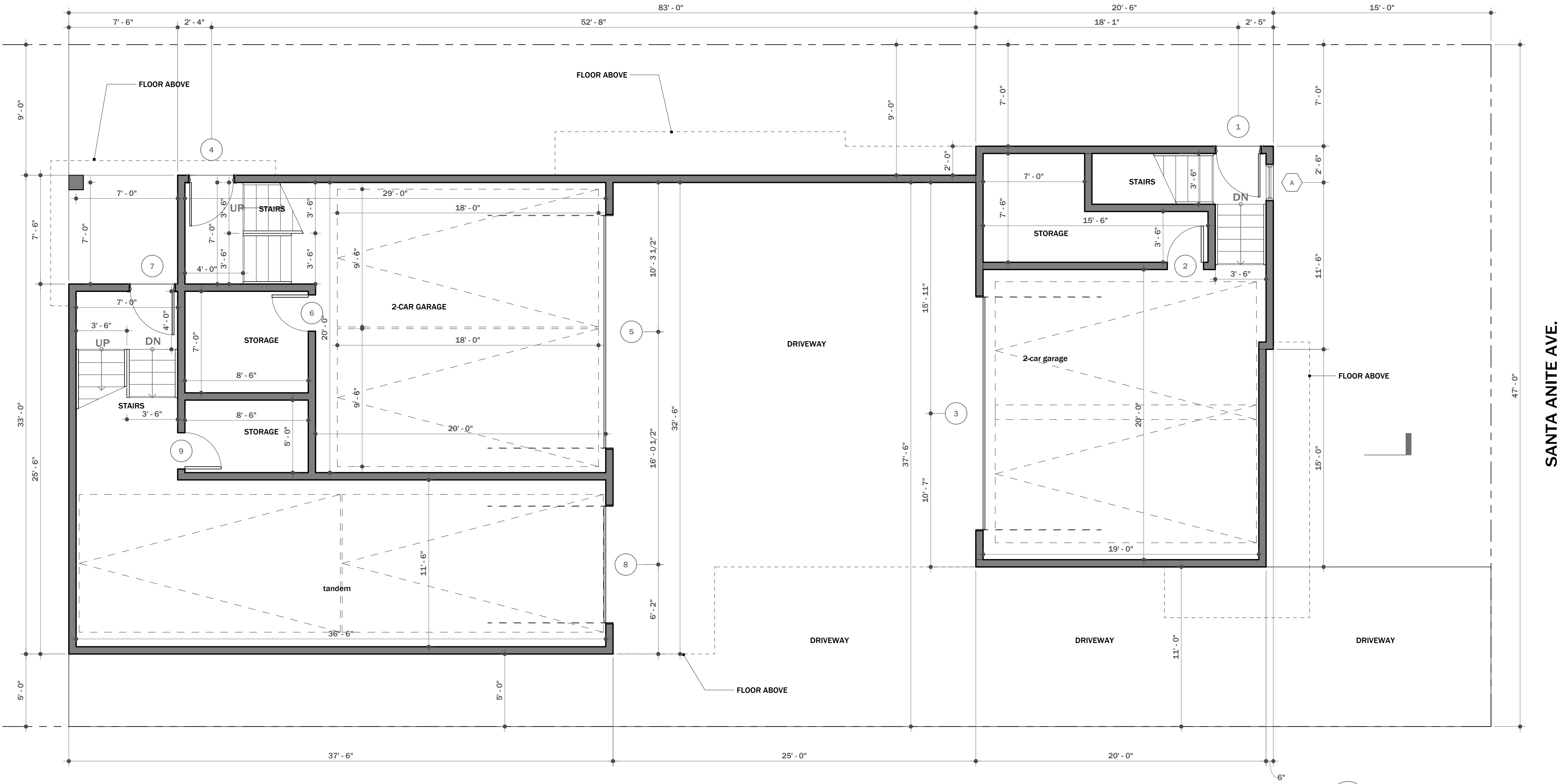
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sheet name:	

GROUND FLOOR PLAN

sheet no:

A1.1



SANTA ANITE AVE.

1 GROUND FLOOR PLAN

SCALE:

SMOKE DETECTOR

- SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA SECTION 29.8.3.4. [CRC R314.3.3]
- AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. [CRC R314.2.2]
- BATTERY OPERATED SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. [CRC R314.6 EXCEPTIONS 1.3]
- SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CRC R314.4]
- SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CRC R314.6]

CARBON MONOXIDE DETECTOR

- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. [CRC R315.2.1, R315.2.2]
- CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CRC R315.5]
- CO ALARM SHALL BE LISTED FOR COMPLIANCE WITH UL 2034,UL 217, UL 2075, AND MAINTAINED PER NFPA 720. [CRC R315.1.1, R315.6.1, R315.6.2]
- CO ALARM SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENT. [CRC R315.3]
- CO ALARAM SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CRC R315.7]
- IN EXISTING DWELLING UNIT, A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. [CRC R315.5 EXCEPTIONS 4]

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- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALLS
- 1HR RATED WALL - SEE A8.0 DETAIL #3
- SD

SMOKE DETECTOR
- CM

CARBON MONOXIDE DETECTOR
- 11

WINDOW TAGS
- 101B

DOOR TAGS
- EXHAUST FAN CONTROLLED BY HUMIDISTAT:
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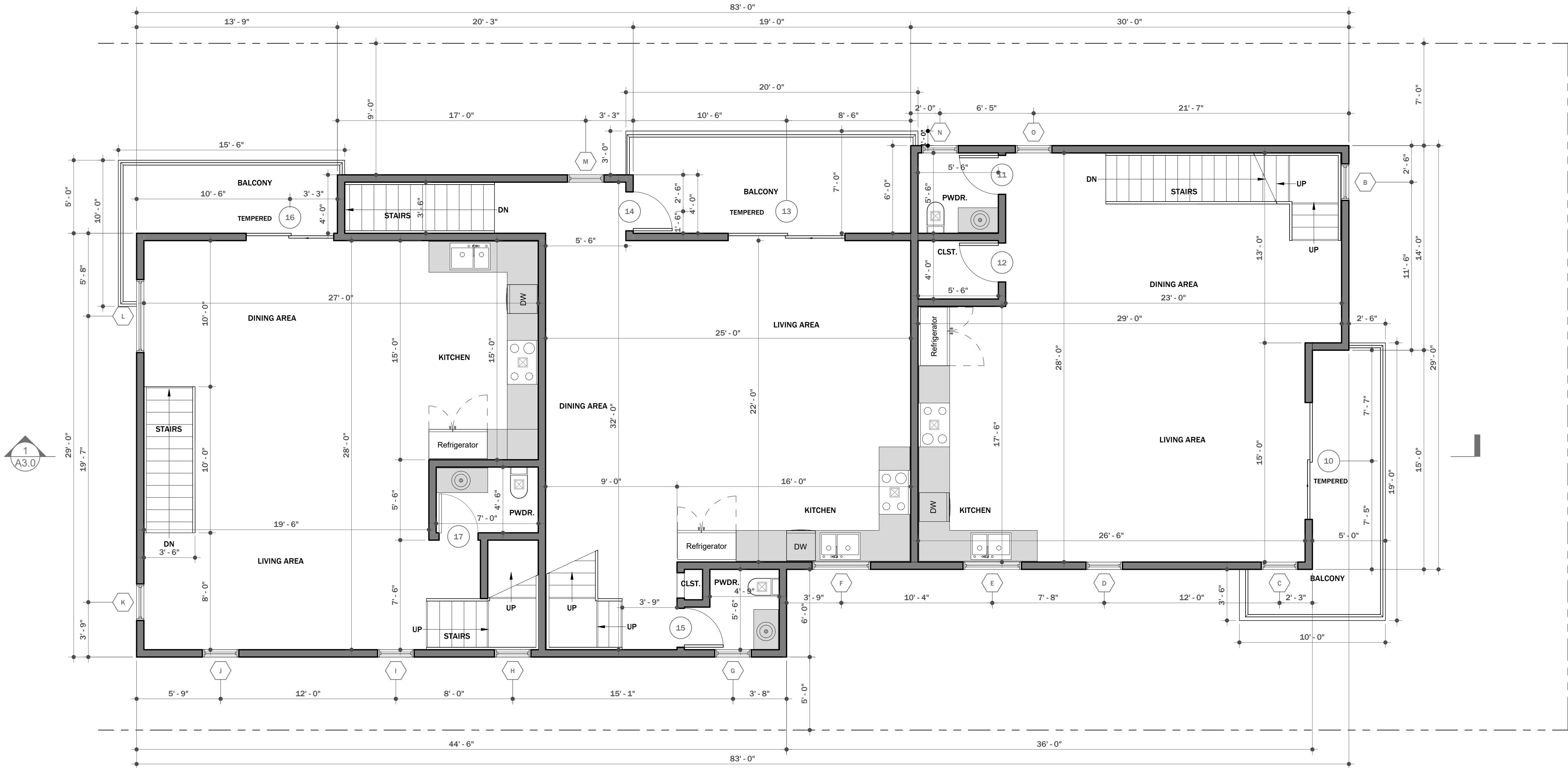
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SECOND FLOOR PLAN

sheet no:

A1.2



1

SECOND FLOOR PLAN</

SMOKE DETECTOR

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- NEW WALLS
- 1HR RATED WALL - SEE A8.0 DETAIL #3
- SD

SMOKE DETECTOR
- CM

CARBON MONOXIDE DETECTOR
- 11

WINDOW TAGS
- 101B

DOOR TAGS
- EXHAUST FAN CONTROLLED BY HUMIDISTAT:
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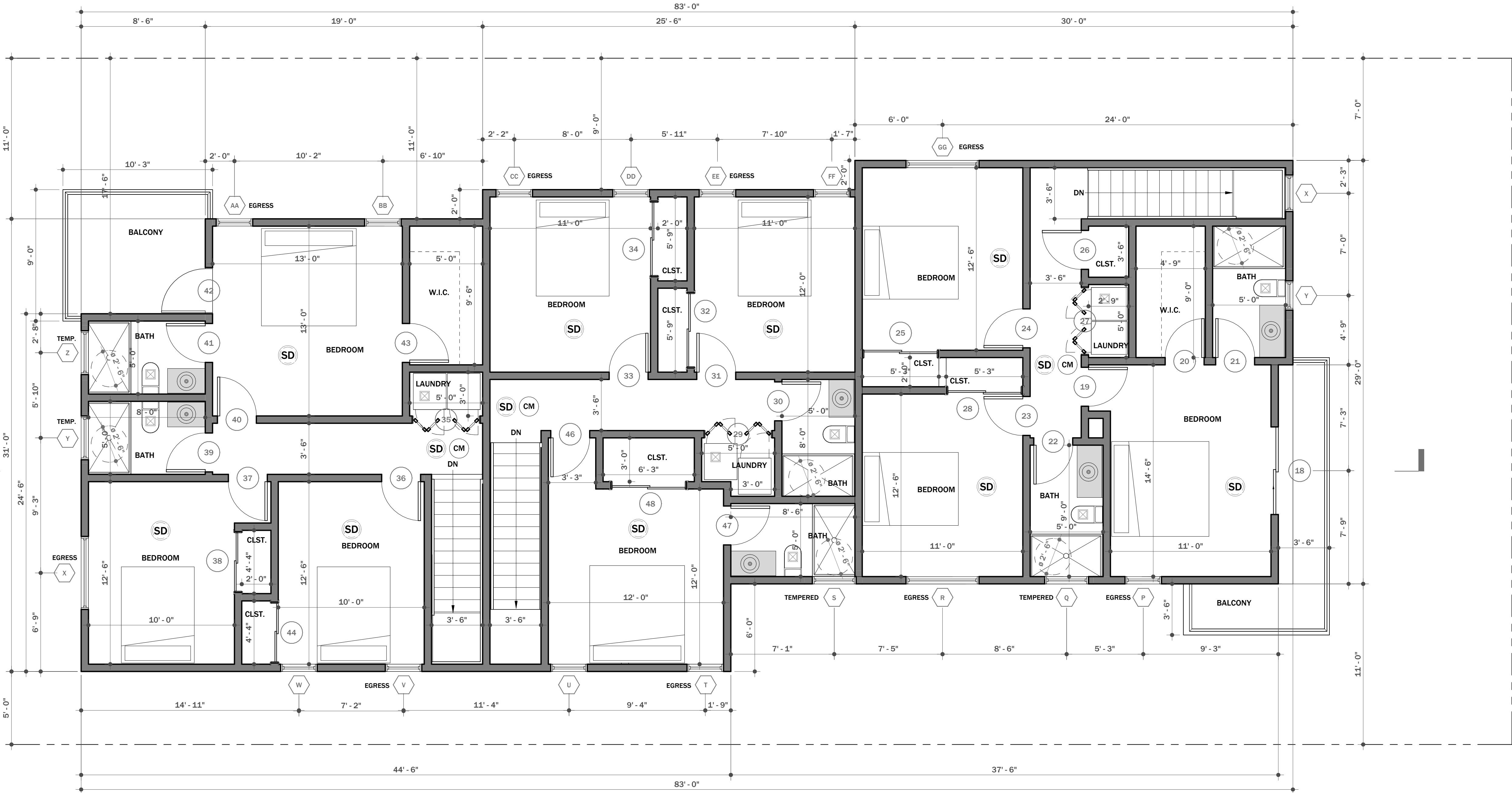
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THIRD FLOOR PLAN

sheet no:

A1.3



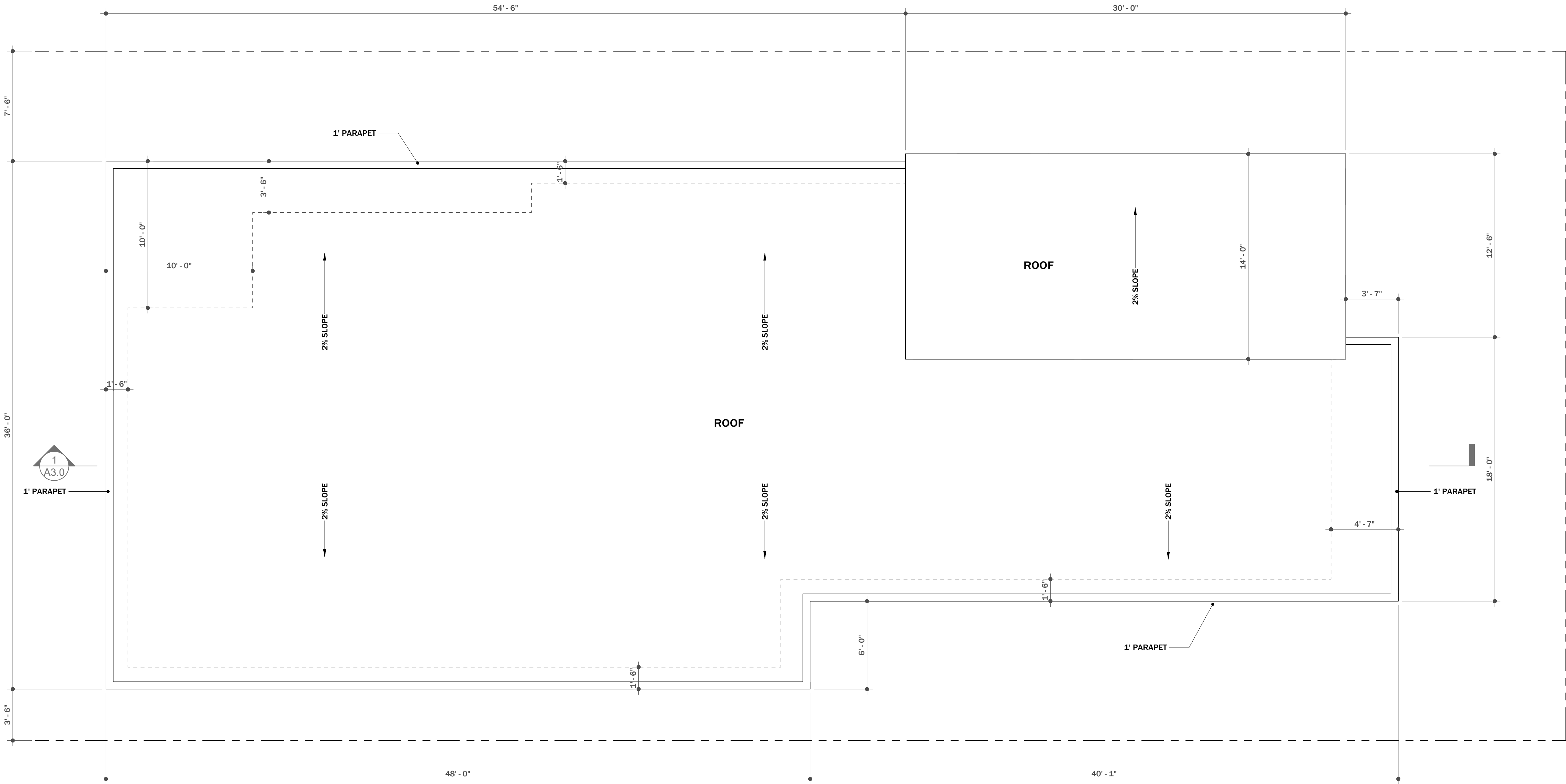
567 SANTA ANITA - TRIPLEX

MOURADIAN FAMILY LIVING TRUST

567 E SANTA ANITA AVE. BURBANK, CA 91501

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ROOF PLAN	
sheet no:	

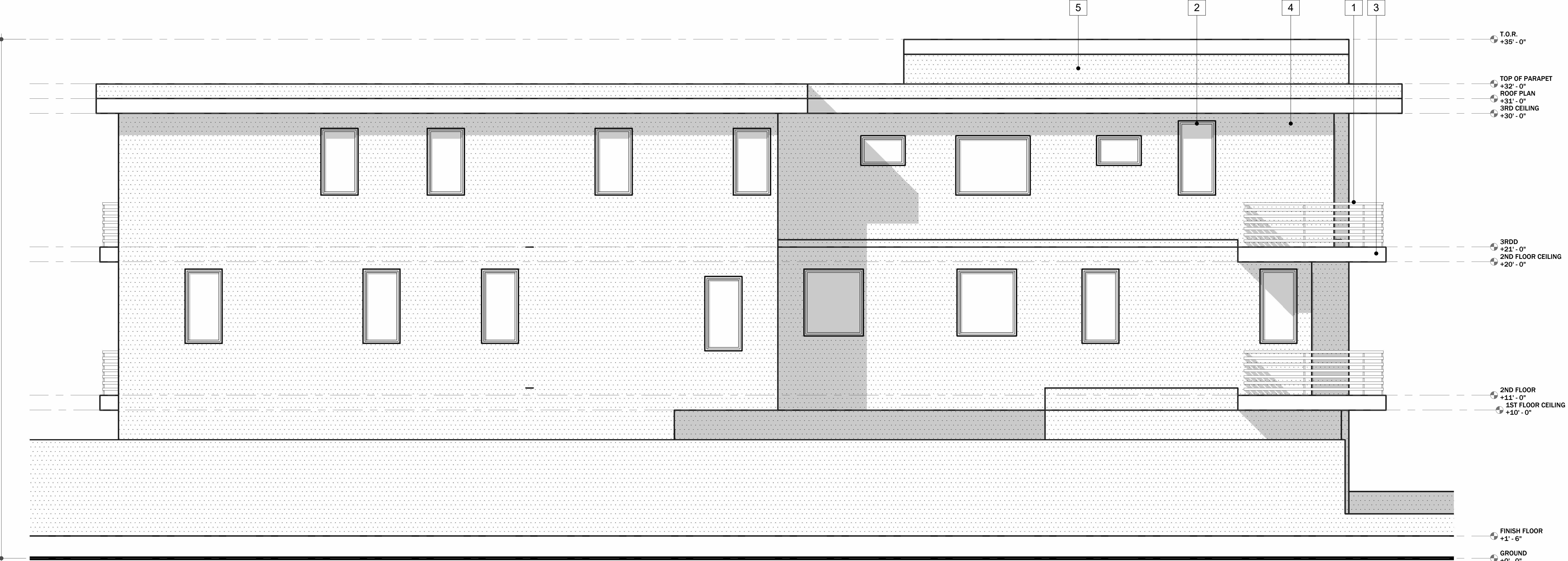
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1

A2.1

NOTE:
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.



MATERIAL LIST	
1	METAL RAILING - BLACK
2	VINYL WINDOW - BLACK
3	STUCCO - BROWN
4	STUCCO - WHITE
5	STUCCO - GRAY
6	GARAGE DOOR - PAINTED GRAY

567 SANTA ANITA - TRIPLEX
MOURADIAN FAMILY LIVING TRUST
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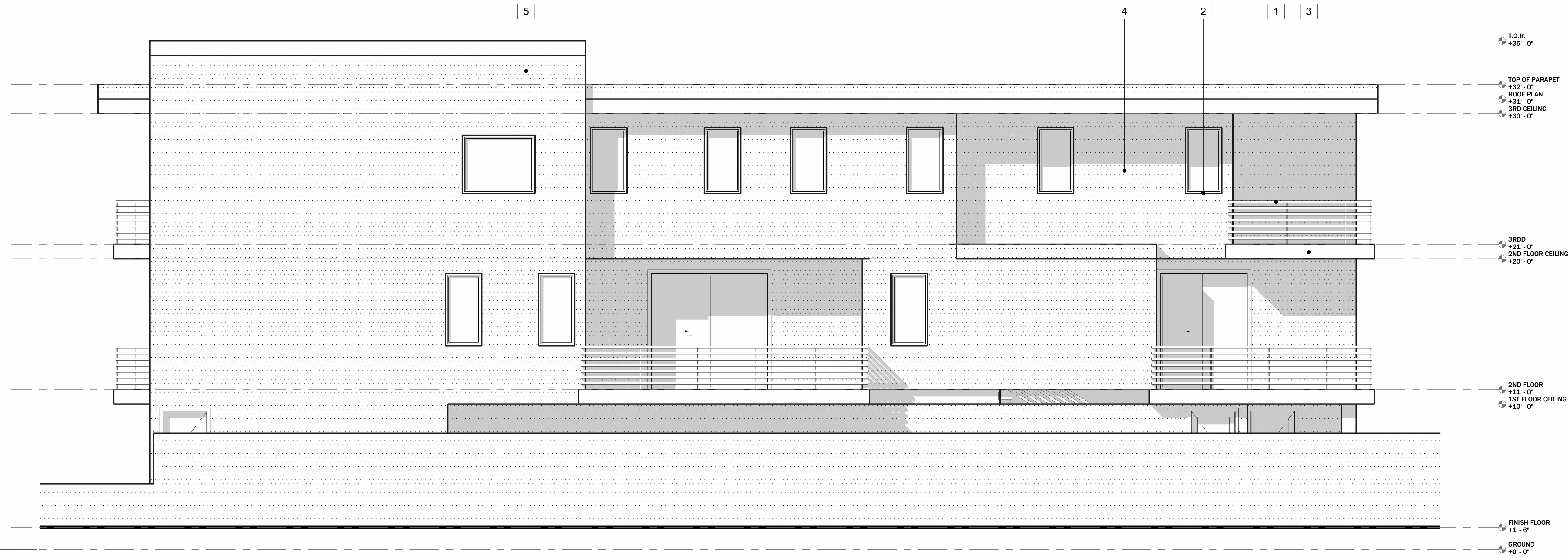
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sheet name:	

PROPOSED ELEVATIONS

sheet no:

A2.0



1

PROPOSED NORTH ELEV.

SCALE: 1/4" = 1'-0"

NOTE:
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.

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PROPOSED ELEVATIONS

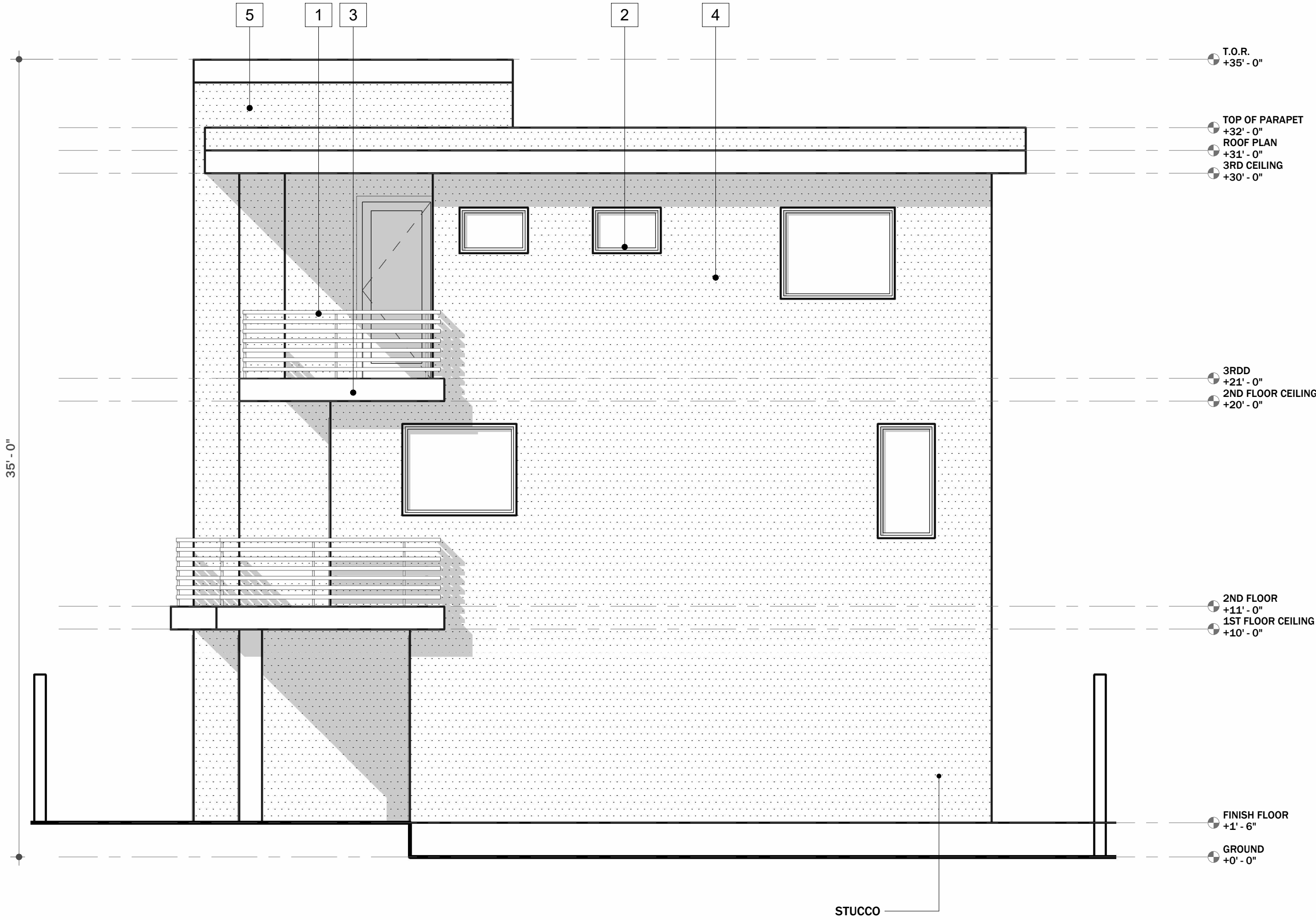
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A2.1

2

PROPOSED WEST ELEV.

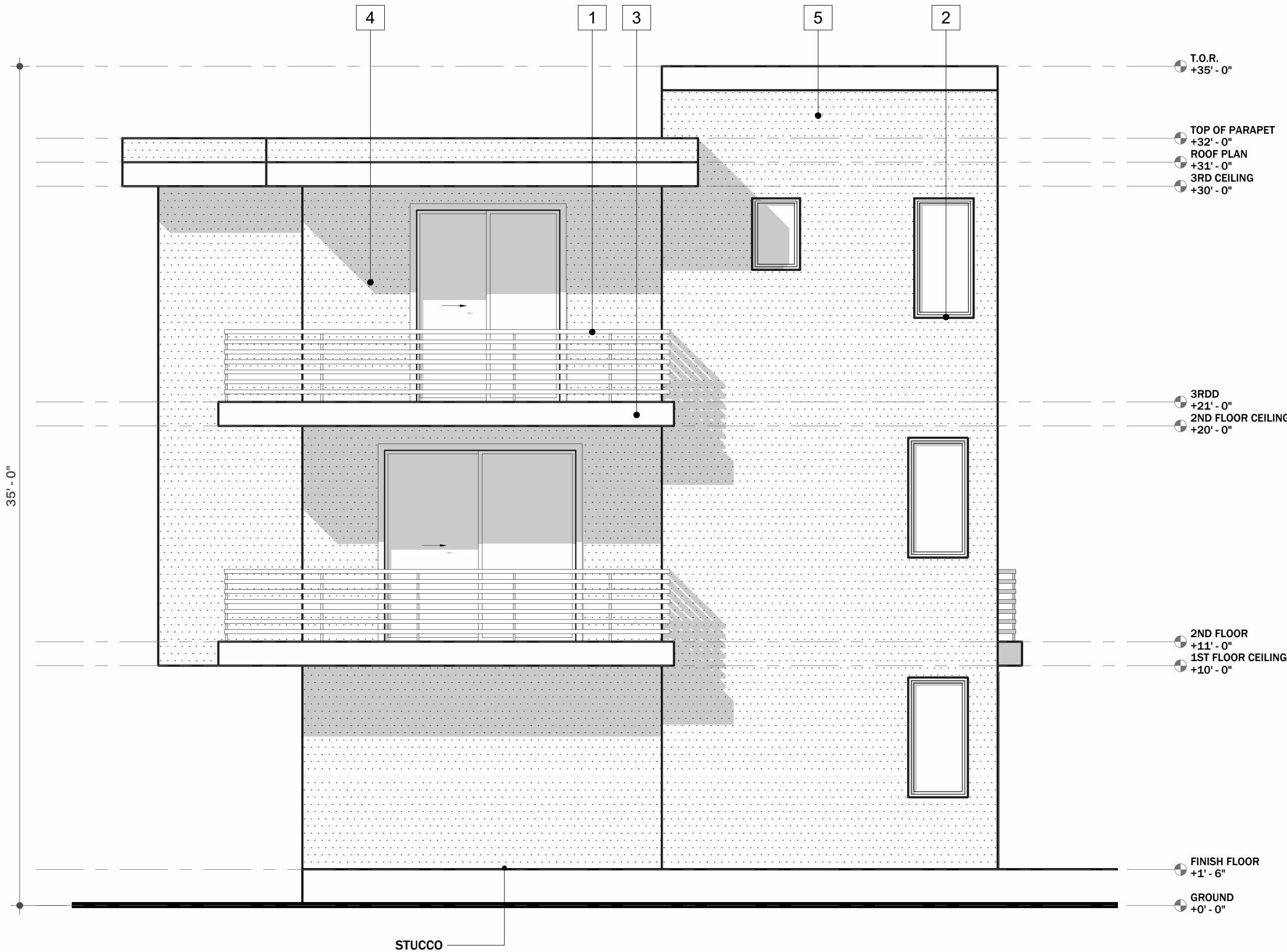
SCALE: 1/4" = 1'-0"



1

PROPOSED EAST ELEV.

SCALE: 1/4" = 1'-0"



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SECTIONS

sheet no:

A3.0

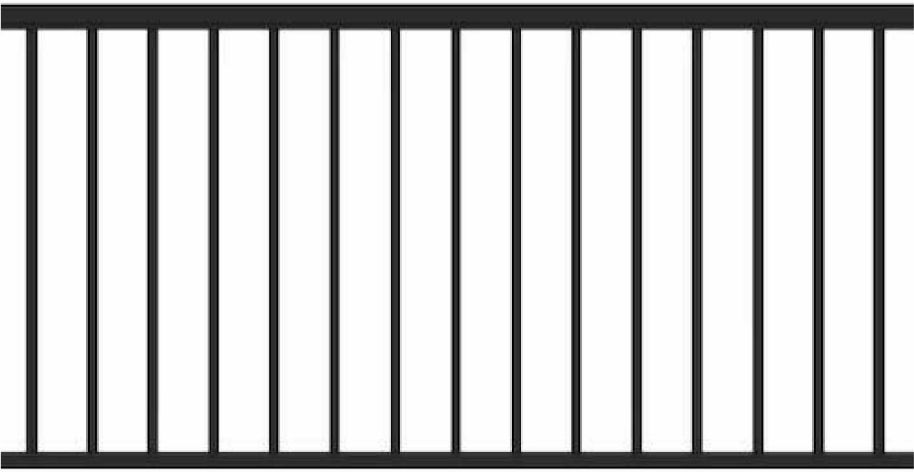


1 SECTION A
SCALE: 1/4" = 1'-0"

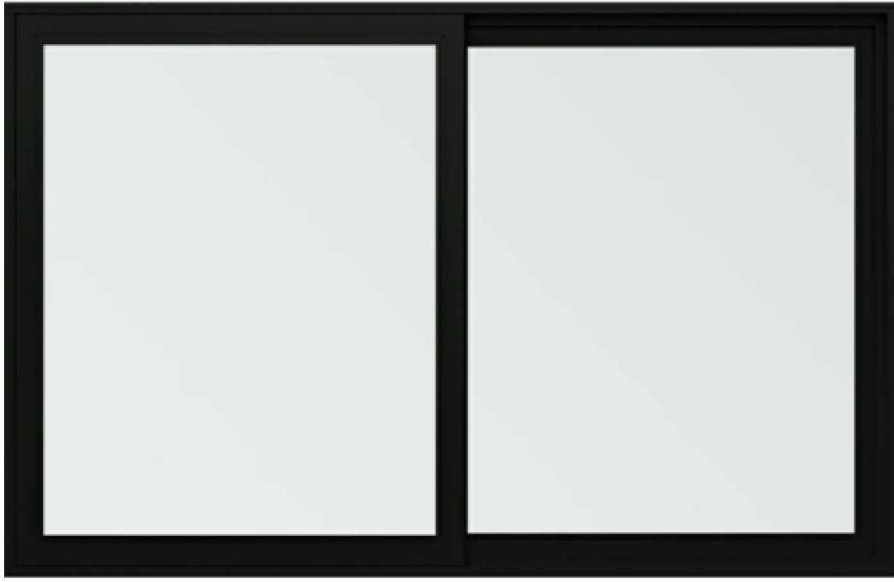
DOOR SCHEDULE				
Mark	Width	Height	Door Type	NOTES
1	3' - 0"	8' - 0"	ENTRY DOOR - EXTERIOR SWING	
2	2' - 6"	7' - 0"	INTERIOR SWING	
3	16' - 0"	7' - 0"	GARAGE	
4	3' - 0"	8' - 0"	ENTRY DOOR - EXTERIOR SWING	
5	16' - 0"	7' - 0"	GARAGE	
6	2' - 6"	7' - 0"	INTERIOR SWING	
7	3' - 0"	8' - 0"	ENTRY DOOR - EXTERIOR SWING	
8	8' - 0"	7' - 0"	GARAGE	
9	2' - 6"	7' - 0"	INTERIOR SWING	
10	8' - 0"	8' - 0"	EXTERIOR SLIDER	TEMPERED
11	2' - 8"	6' - 8"	INTERIOR SWING	
12	2' - 8"	6' - 8"	INTERIOR SWING	
13	8' - 0"	8' - 0"	EXTERIOR SLIDER	TEMPERED
14	2' - 8"	6' - 8"	EXTERIOR SWING	
15	2' - 8"	6' - 8"	INTERIOR SWING	
16	6' - 0"	8' - 0"	EXTERIOR SLIDER	TEMPERED
17	2' - 8"	6' - 8"	INTERIOR SWING	
18	6' - 0"	8' - 0"	EXTERIOR SLIDER	TEMPERED
19	2' - 8"	6' - 8"	INTERIOR SWING	
20	2' - 8"	6' - 8"	INTERIOR SWING	
21	2' - 8"	6' - 8"	INTERIOR SWING	
22	2' - 8"	6' - 8"	INTERIOR SWING	
23	2' - 8"	6' - 8"	INTERIOR SWING	
24	2' - 8"	6' - 8"	INTERIOR SWING	
25	5' - 0"	8' - 0"	INTERIOR SLIDER	
26	2' - 8"	6' - 8"	INTERIOR SWING	
27	4' - 6"	6' - 8"	BIFOLD	
28	5' - 0"	8' - 0"	INTERIOR SLIDER	
29	4' - 6"	6' - 8"	BIFOLD	
30	2' - 8"	6' - 8"	INTERIOR SWING	
31	2' - 8"	6' - 8"	INTERIOR SWING	
32	5' - 0"	8' - 0"	INTERIOR SLIDER	
33	2' - 8"	6' - 8"	INTERIOR SWING	
34	5' - 0"	8' - 0"	INTERIOR SLIDER	
35	4' - 6"	6' - 8"	BIFOLD	
36	2' - 8"	6' - 8"	INTERIOR SWING	
37	2' - 8"	6' - 8"	INTERIOR SWING	
38	4' - 0"	8' - 0"	INTERIOR SLIDER	
39	2' - 8"	6' - 8"	INTERIOR SWING	
40	2' - 8"	6' - 8"	INTERIOR SWING	
41	2' - 8"	6' - 8"	INTERIOR SWING	
42	3' - 0"	7' - 9"	EXTERIOR SWING	
43	2' - 8"	6' - 8"	INTERIOR SWING	
44	4' - 0"	8' - 0"	INTERIOR SLIDER	
46	2' - 8"	6' - 8"	INTERIOR SWING	
47	2' - 8"	6' - 8"	INTERIOR SWING	
48	5' - 0"	8' - 0"	INTERIOR SLIDER	

DOOR NOTES:

1. ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED AT HEAD, SILL AND JAMB.
2. ALL DOORS AND WINDOWS SHALL HAVE ALUMINUM DRIP CAPS AT HEAD.
3. ALL DOORS AND WINDOWS SHALL BE 6'-8" HEAD HEIGHT FROM FINISH FLOOR UNLESS NOTED OTHERWISE.
4. ALL DOORS SHALL BE PELLA WOOD CLADDING ARCHITECT SERIES OR EQUAL.
5. ALL EXTERIOR DOORS SHALL BE PAINTED WITH INTERIOR DOORS STAINED TO MATCH EXISTING.
6. ALL SINGLE AND DOUBLE DOORS W/SIDELIGHTS SHALL BE DUAL-GLAZED TEMPERED GLASS.
7. CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR DOOR HARDWARE AND INCLUDE THIS IN HIS BID.
8. ALL GLASS IN DOORS AND WINDOWS MUST BE TEMPERED (CRC



1.METAL RAILING - BLACK



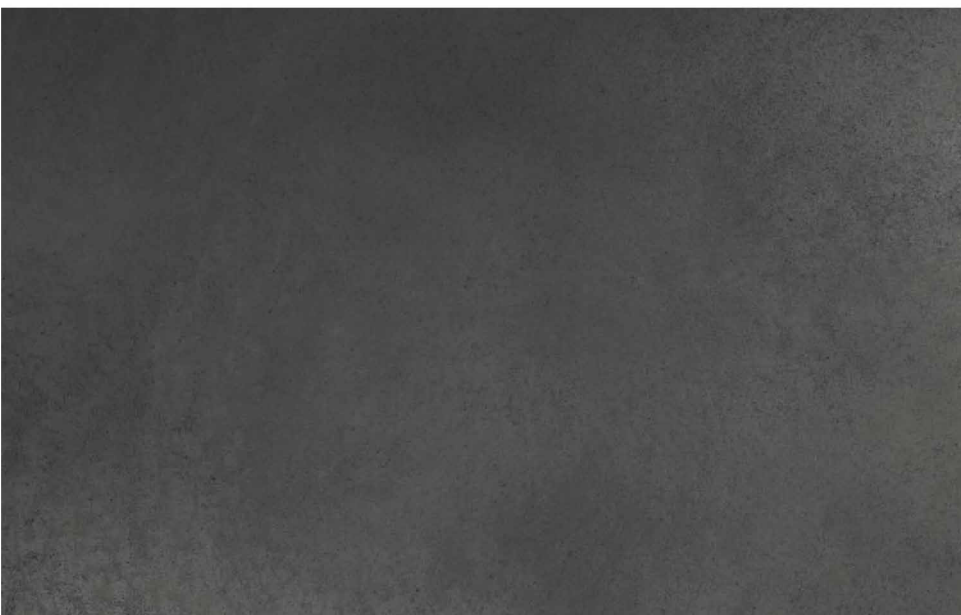
2.VINYL WINDOWS - BLACK



3.STUCCO - BROWN



4.STUCCO - WHITE



5.STUCCO - GRAY



6.GARAGE DOOR - PAINTED GRAY

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RENDERINGS & MATERIALS

sheet no:

A9.0

