

FLOOR AREA RATIO AND LOT COVERAGE ANALYSIS

LOT AREA (SF)	11,077 SF	
ZONING	R-1 SINGLE FAMILY RESIDENTIAL	
STORIES	1	
MAIN DWELL (E)	1,736 SF	
GARAGE (E)	418 SF	(400-SF EXEMPT FAR)
POOL (E)	530 SF	(ALL EXEMPT FAR/LOT COVERAGE)
POOL STORAGE (N)	224 SF	
LOT COVERAGE (SF)	2,378 SF	(EXISTING + PROPOSED)
LOT COVERAGE (%)	21.5%	(2,378 SF/11,077 SF)
LOT COVERAGE ALLOWABLE (%)	50.0%	
FLOOR AREA RATIO (SF)	1,978 SF	(EXISTING + PROPOSED)
FLOOR AREA RATIO (%)	17.9%	(1,978 SF/11,077 SF)
FLOOR AREA RATIO ALLOWABLE (%)	40%	

JRS ENGINEERING & DESIGN

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3325 E 4th St.
 Long Beach, CA 90814

No.	Revision/Issue	Date

Sheet Name

SITE AND TOPOGRAPHY PLAN

Project Name and Address

ACCESSORY STRUCTURE
 POOL STORAGE SHED
 1024 BETHANY, RD
 BURBANK, CA

Project	21-1075	Sheet	A102
Date			
Scale	1/8" = 1'0"		



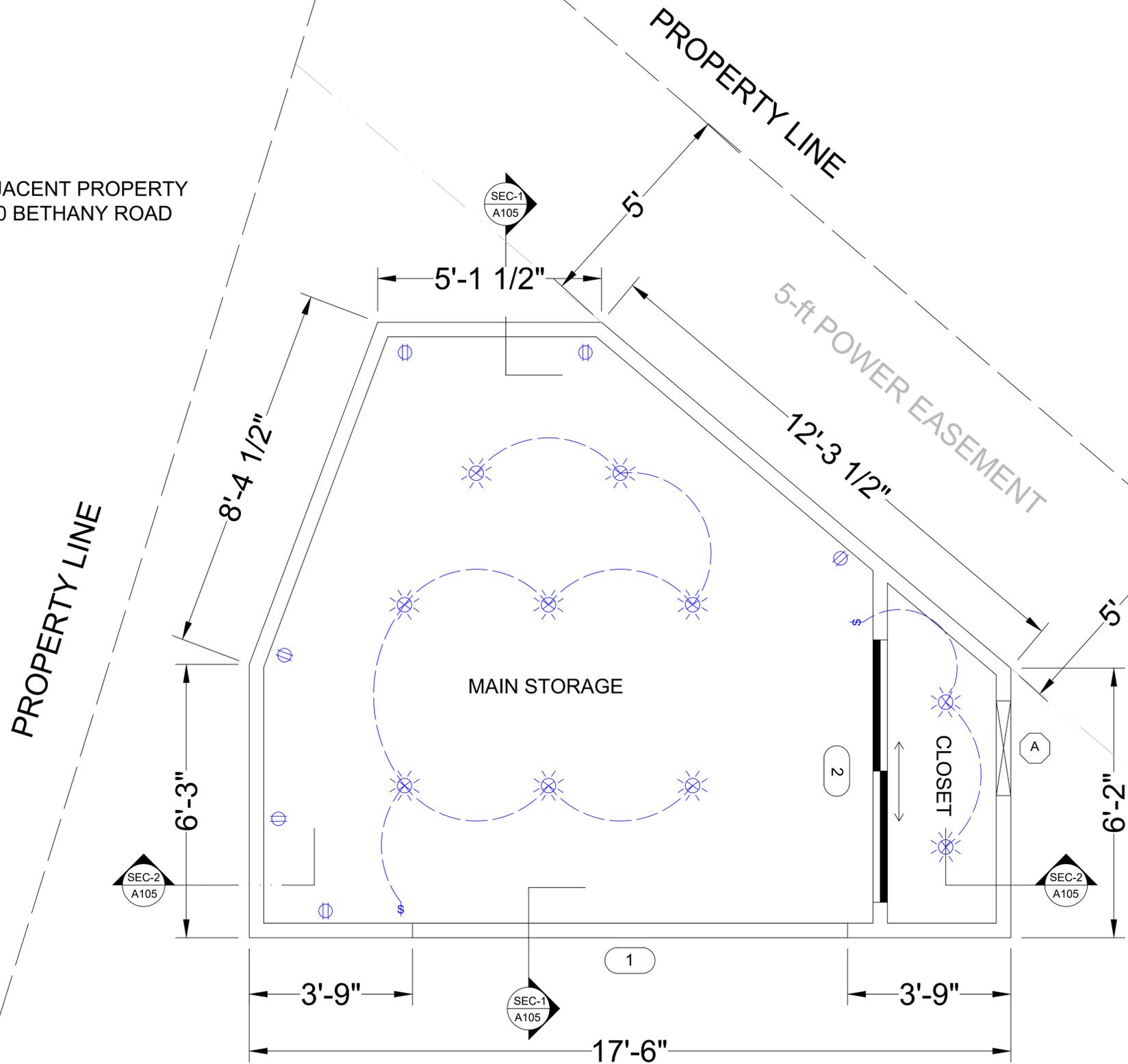
ADJACENT PROPERTY
1029 CORNELL DR

ADJACENT PROPERTY
1030 BETHANY ROAD

LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	APPROXIMATE PROPERTY LINE		SMOKE ALARM
	BUILDING SECTION DESIGNATION SHEET NUMBER		CARBON MONOXIDE ALARM
	BUILDING ELEVATION DESIGNATION SHEET NUMBER		DOOR DESIGNATION
	FLOOR HEIGHT		WINDOW DESIGNATION
	WALL SECTION DESIGNATION		REVISION DESIGNATION
	DETAIL REFERENCE SHEET NUMBER		NORTH ARROW
	ROOM NAME FLOORING MATERIAL		SWITCH
	NEW 2X4 WALL		OUTLET (AFCI PROTECTED)
	NEW 2X6 WALL		WEATHER PROOF OUTLET
	WALL TO REMOVE		HARDWIRED LED LIGHT
	WALL TO REMAIN		

WINDOW SCHEDULE								
SYMBOL	WIDTH	HEIGHT	QTY	SILL HEIGHT	TYPE	MATERIAL	U-FACTOR	SHGC
1	26"	65"	1	32"	DOUBLE-HUNG	GLASS	0.30 MAX	0.23 MAX
1. ALL DOORS AND WINDOWS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION								

DOOR SCHEDULE								
SYMBOL	WIDTH	HEIGHT	QTY	TYPE	MATERIAL	U-FACTOR	SHGC	
1	120"	80"	1	BI-FOLD	GLASS	0.30 MAX	0.23 MAX	
2	72"	80"	1	SLIDING	HOLLOWCORE	N/A	N/A	
1. ALL DOORS AND WINDOWS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION								
2. ALL GLAZING WITHIN A DOOR AND WITHIN 24" OF A BATHTUB SHALL BE TEMPERED AND LABELED AS SUCH								



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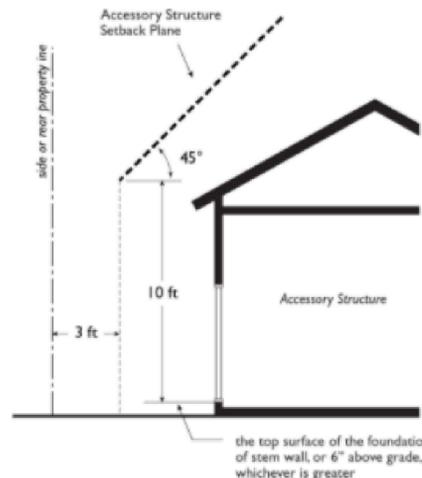
Sheet Name
FLOOR PLAN

Project Name and Address
**ACCESSORY STRUCTURE
POOL STORAGE SHED
1024 BETHANY, RD
BURBANK, CA**

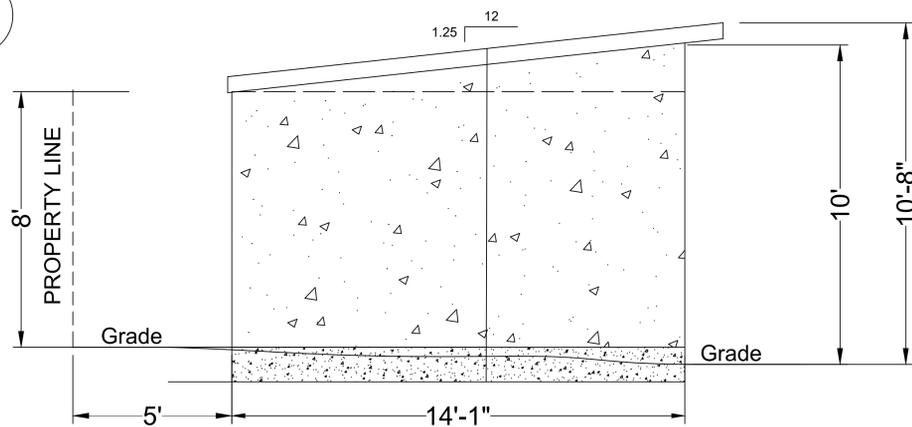
Project	21-1075	Sheet	A103
Date			
Scale	3/4" = 1'0"		

PROPOSED SETBACK PLANES AND REQUIREMENTS

NOTE: BUILDING HEIGHT SHOWN ON ELEVATIONS IS MEASURED FROM NATURAL GRADE

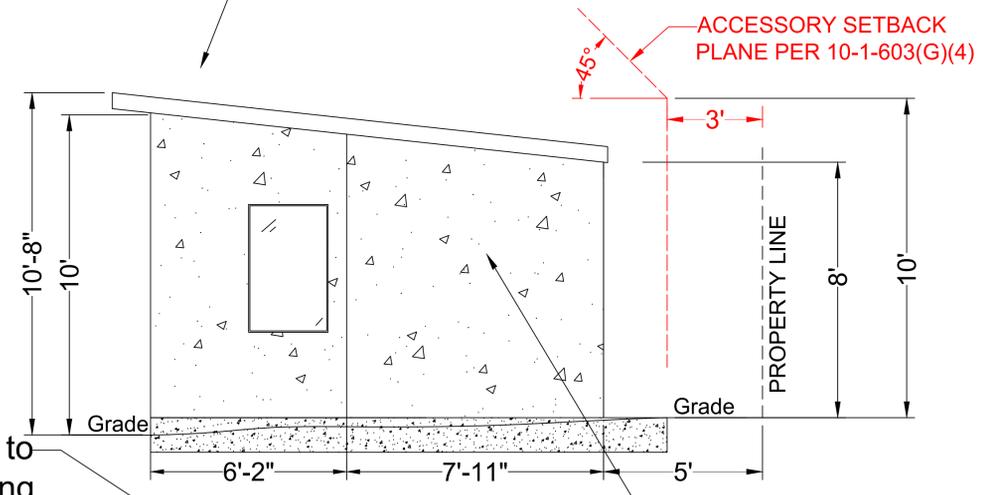
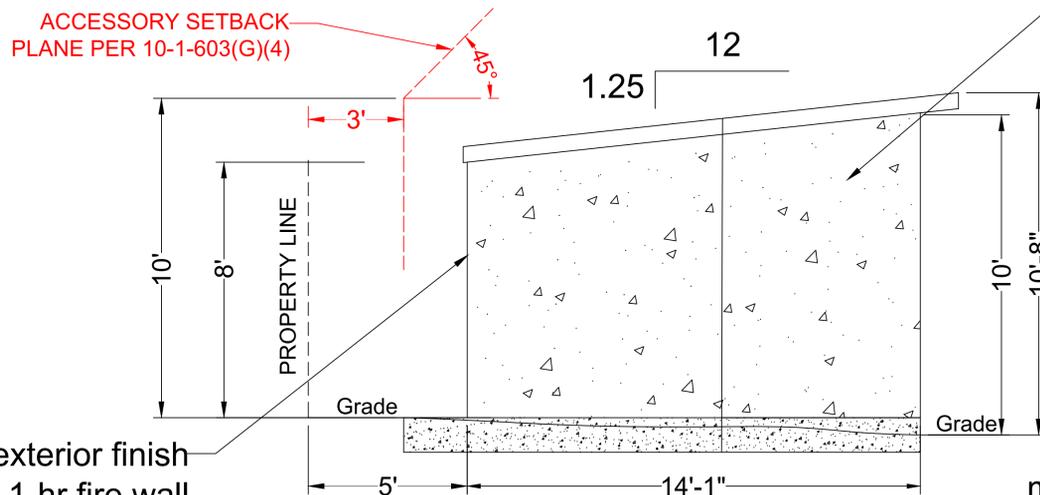


BUILDING HEIGHT MUST NOT BREACH ACCESSORY STRUCTURE PLANE WHICH IS DEFINED AS AN IMAGINARY LINE BEGINNING 3-FT FROM THE PROPERTY LINE AND RISING 10-FT ABOVE THE TOP SURFACE OF THE FOUNDATION OF STEM WALL, OR 6" ABOVE GRADE, WHICH EVER IS GREATER. THE IMAGINARY PLANE EXTENDS INWARD TOWARDS THE PROPERTY AT A 45-DEGREE ANGLE



Stucco to match existing home/garage

Fascia around shed perimeter to match that of gable at front of home as viewed from Bethany Rd



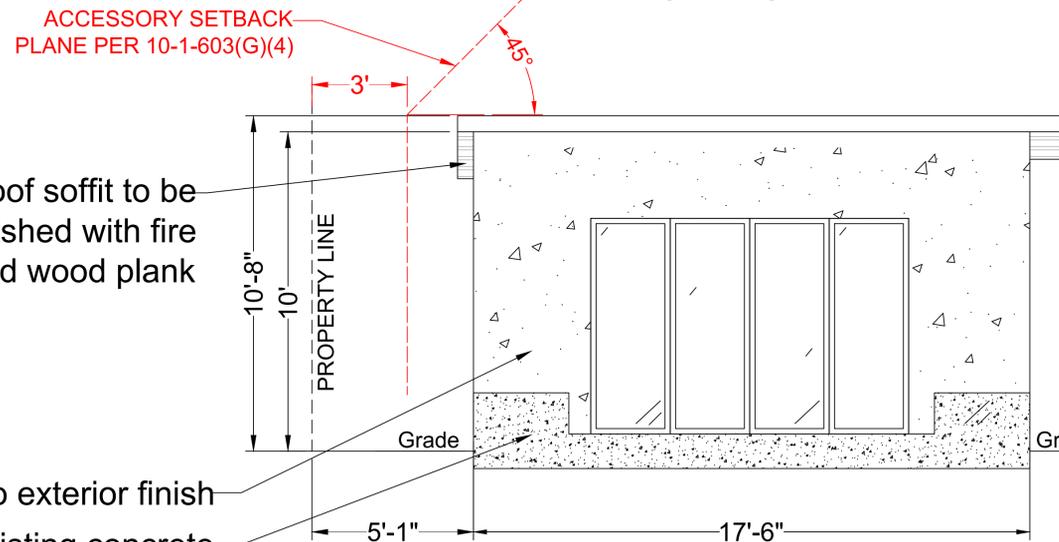
Stucco exterior finish over 1-hr fire wall

Class A shingles to match main dwelling

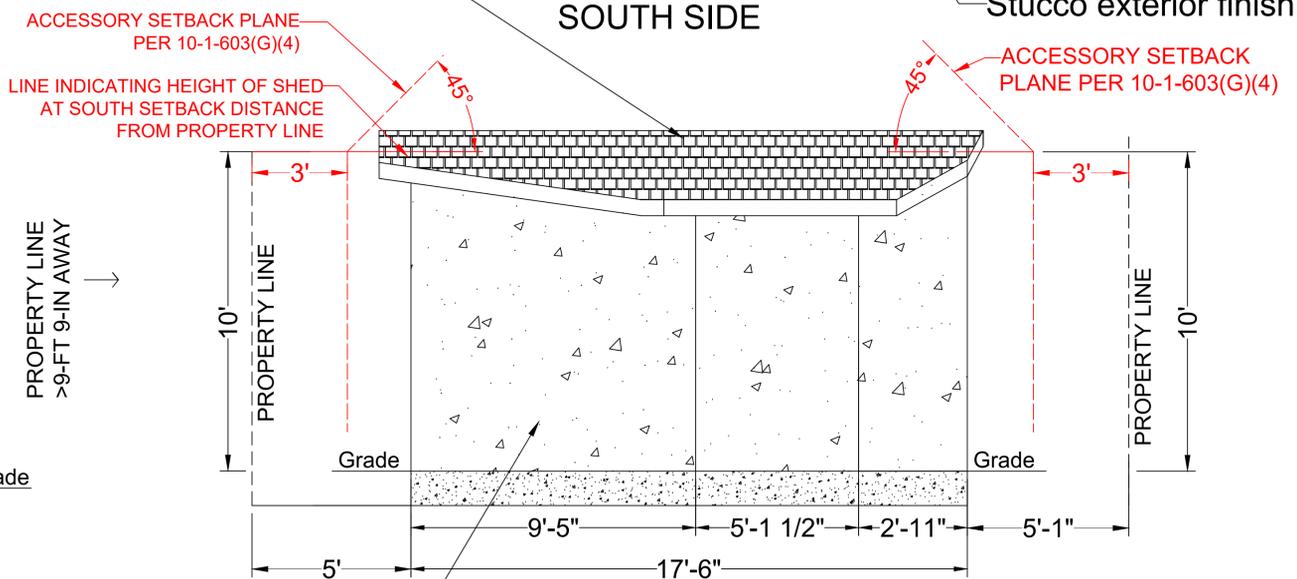
Stucco exterior finish

NORTH SIDE

SOUTH SIDE



Stucco exterior finish
Existing concrete foundation



Stucco exterior finish over 1-hr fire wall

EAST (BACK) ELEVATION

WEST (FRONT) ELEVATION



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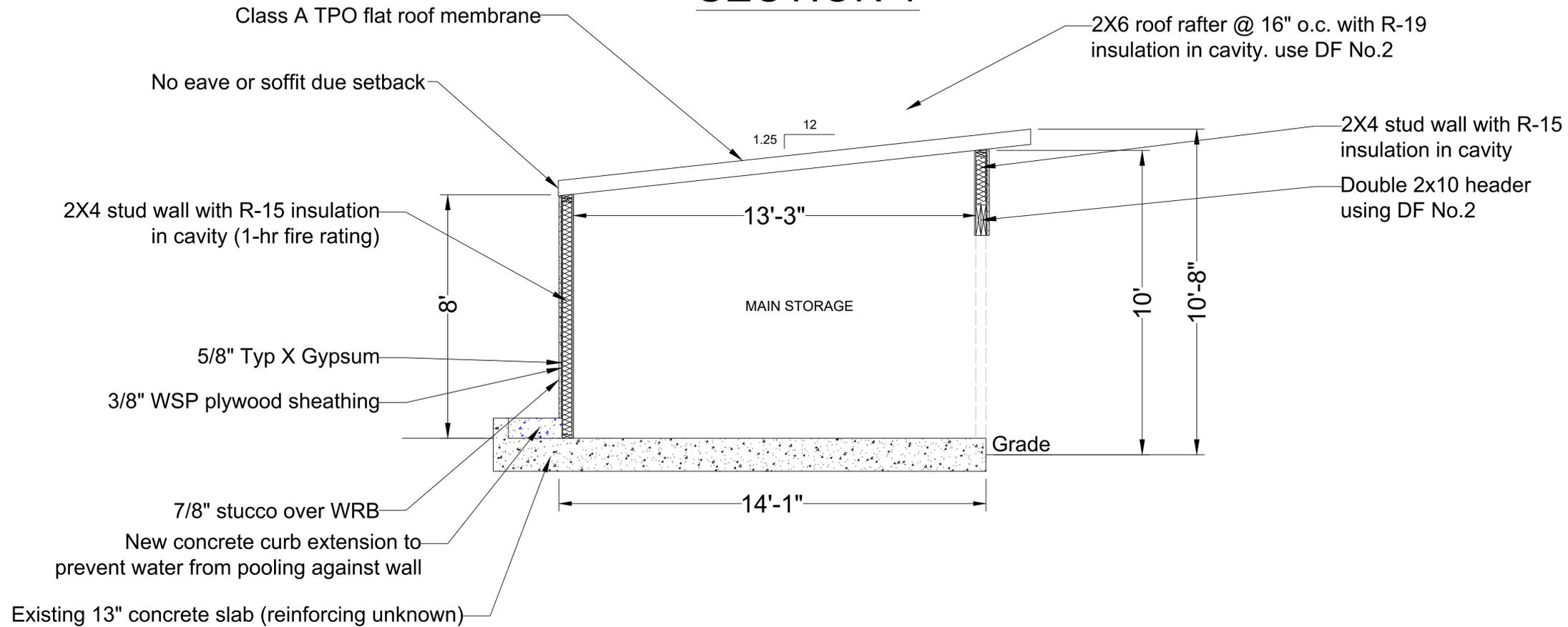
Sheet Name

ELEVATION DRAWINGS

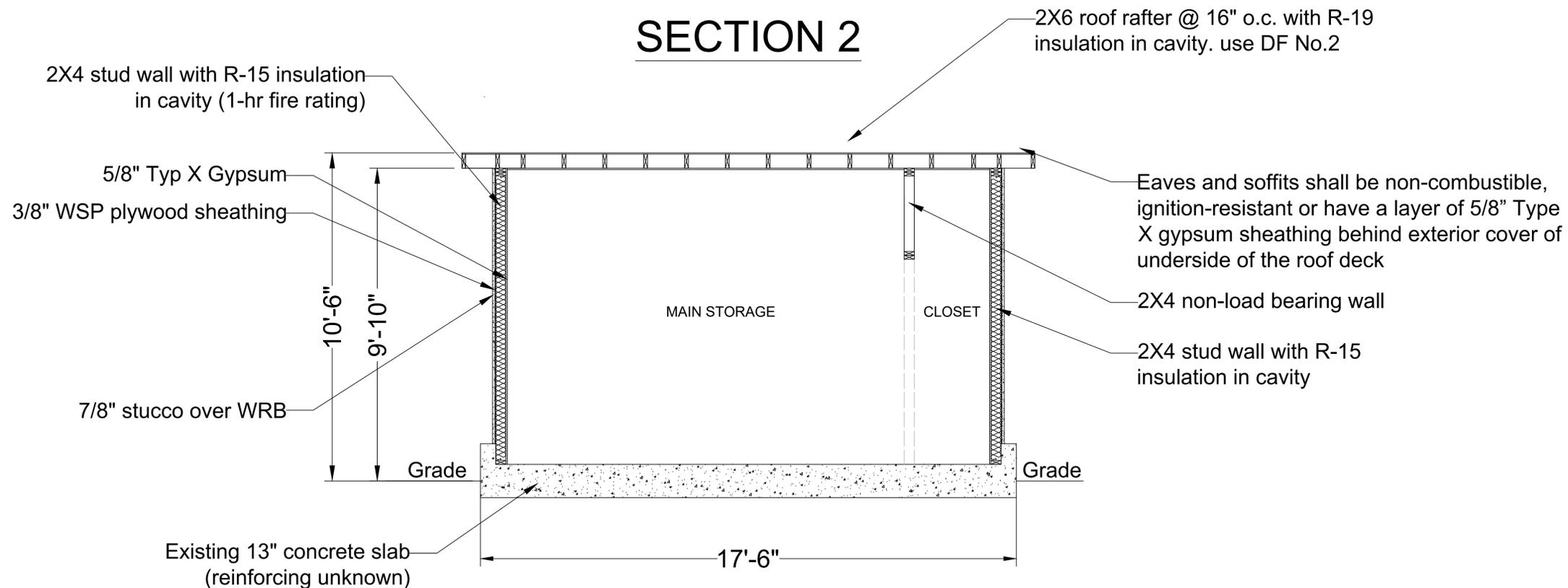
Project Name and Address
ACCESSORY STRUCTURE POOL STORAGE SHED
1024 BETHANY, RD
BURBANK, CA

Project	21-1075	Sheet	A104
Date	5/18/2022	Scale	
Scale	3/8" = 1'0"		

SECTION 1



SECTION 2



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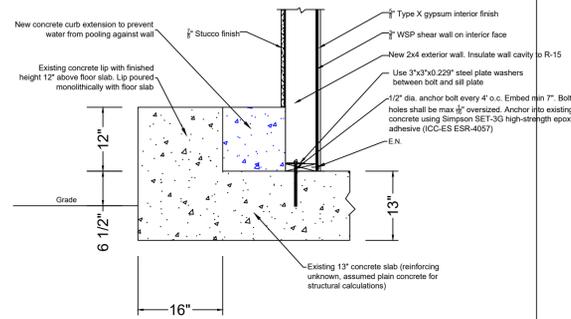
No.	Revision/Issue	Date

Sheet Name
BUILDING SECTIONS

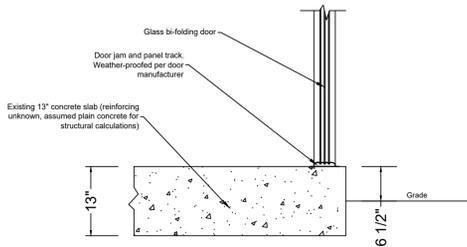
Project Name and Address
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1 EXISTING SLAB AND EXTERIOR WALL



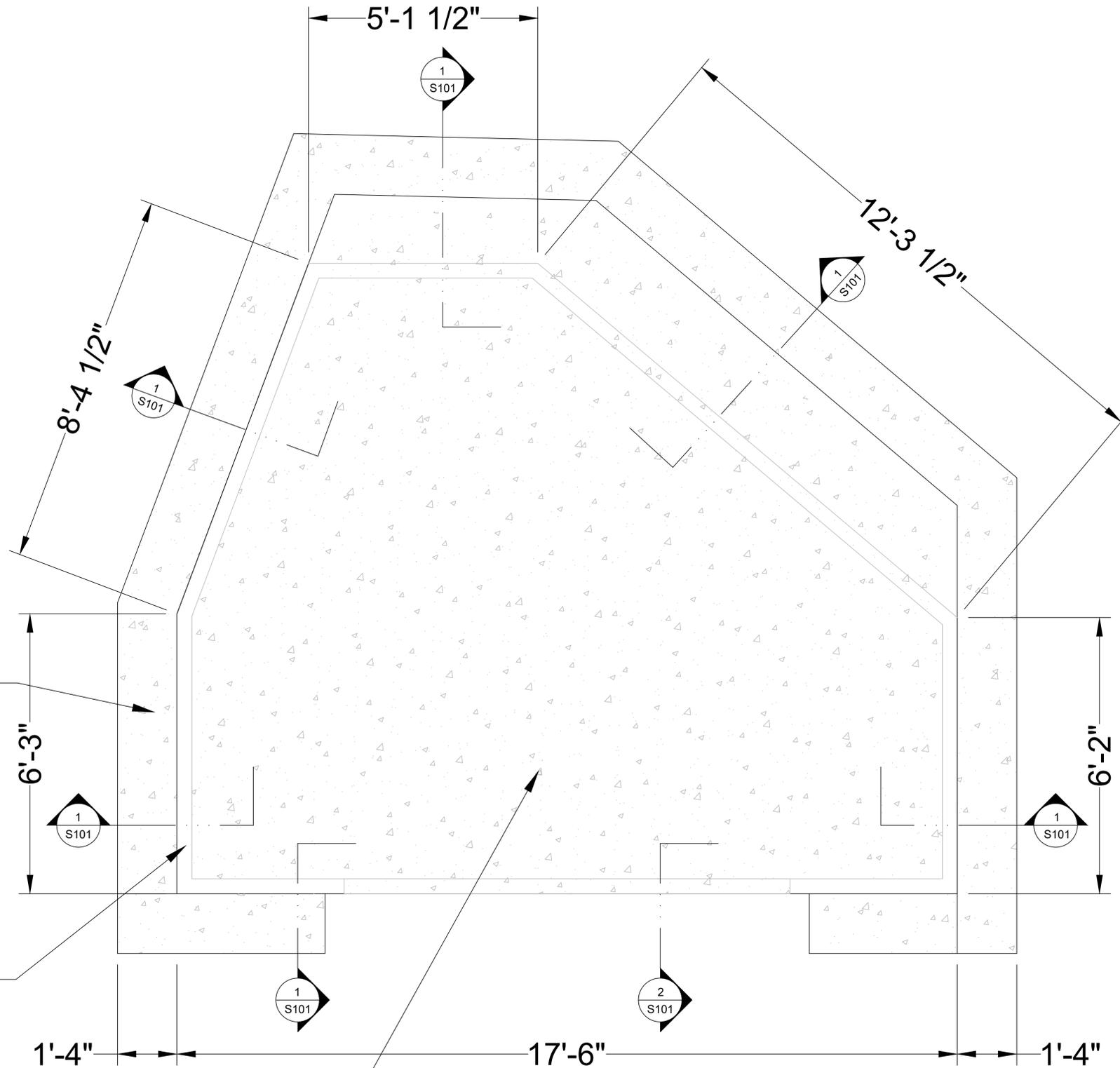
2 EXISTING SLAB AND FRONT DOOR



Existing concrete lip with finished height 12" above floor slab. Lip poured monolithically with floor slab

2x4 walls placed on interior face of concrete lip

Existing 13" concrete slab (reinforcing unknown)



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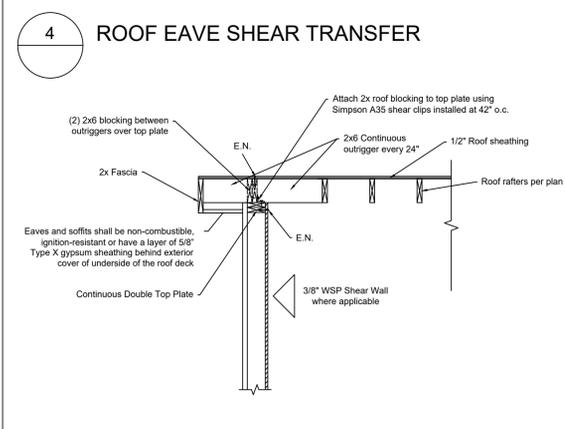
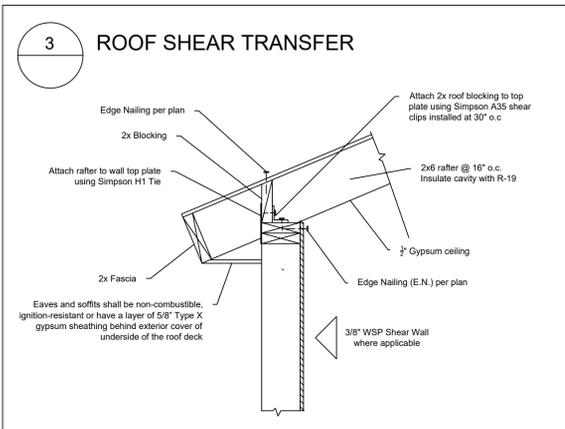
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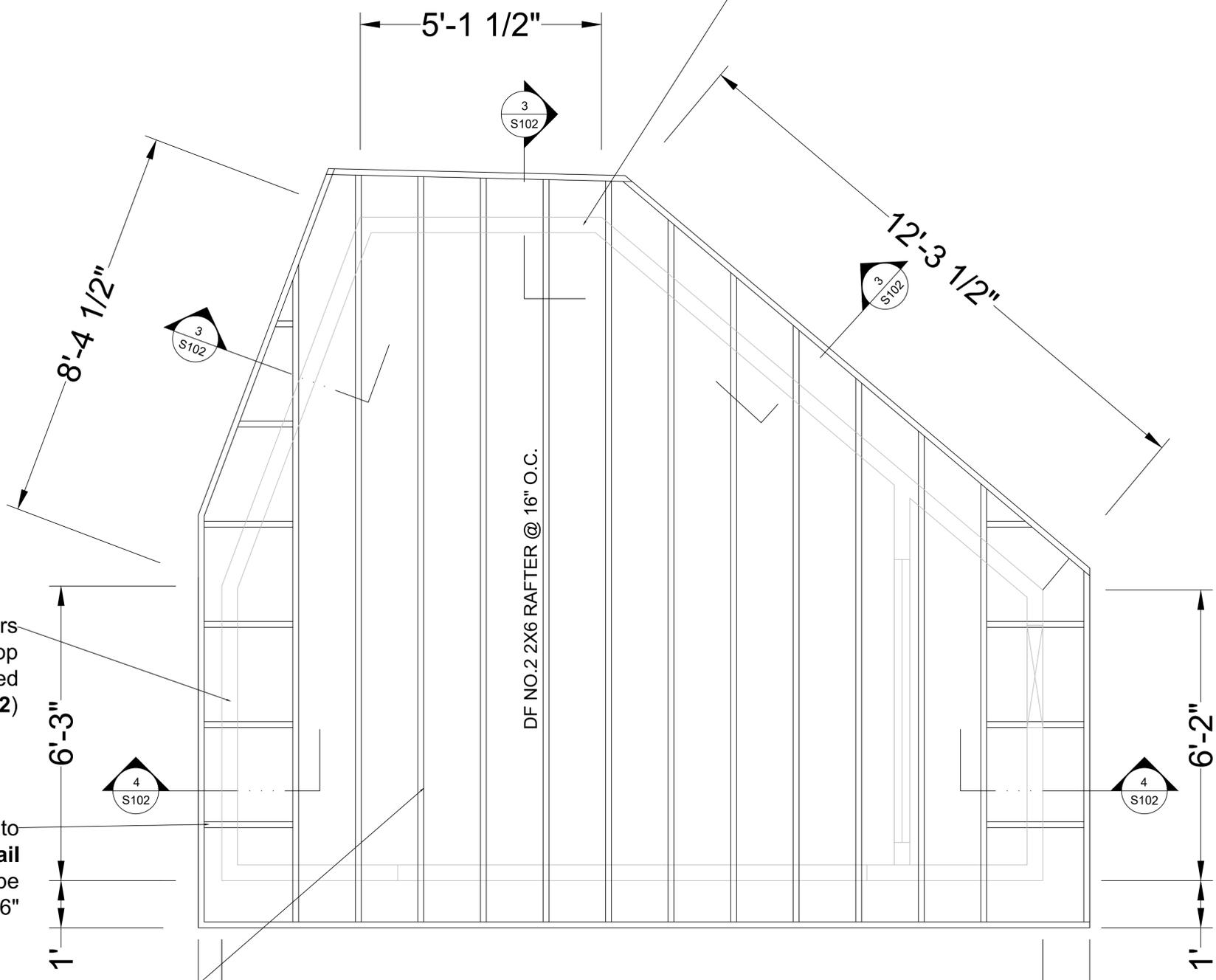
Sheet Name
FOUNDATION PLAN

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Date			
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Provide full depth blocking between roof rafters over top plate. Attach 2x roof blocking to top plate using Simpson A35 shear clips installed at 30" o.c. (See **Detail 3/S102**)



Provide full depth blocking between outriggers over top plate. Attach 2x roof blocking to top plate using Simpson A35 shear clips installed at 42" o.c. (See **Detail 4/S102**)

Provide 2x6 outrigger every 24" o.c. to secure eave overhang (See **Detail 4/S102**). Overhang on north side to be max 6"

2:12 monoslope roof comprising 2x6 Rafters every 16" o.c. R-19 insulation installed in cavity. Attach rafter to wall top plate using Simpson Strong Tie H1 Seismic Tie.



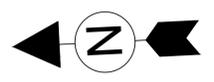
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Sheet Name
ROOF FRAMING

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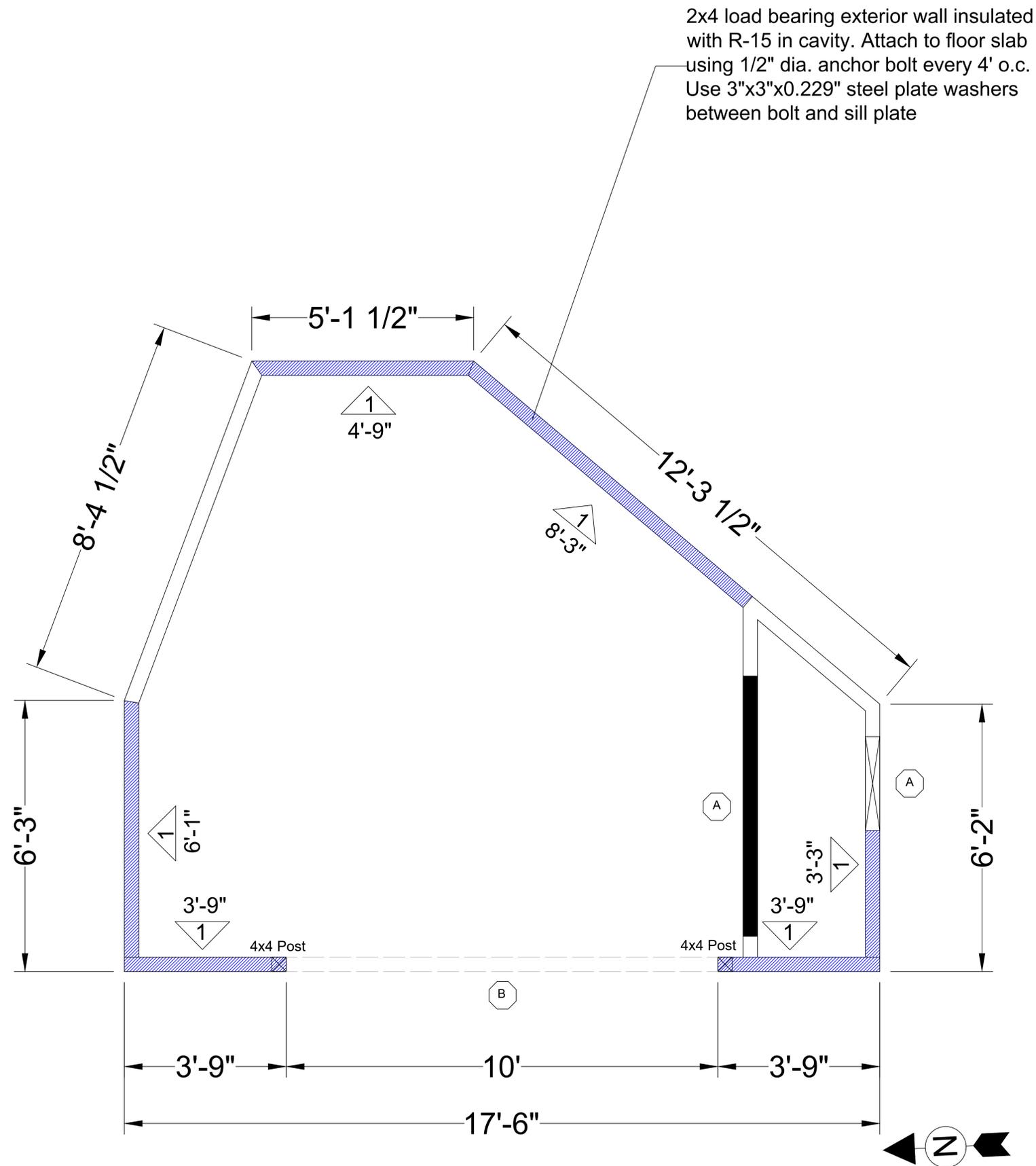
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Shear Wall Schedule				
	Panel Size	Edge Nailing	Field Nailing	Edge Hold downs
TYP 1	WSP 3/8"	6" - 8D	12" - 6D	HDU2

1. BLOCK ALL SHEAR WALLS WITH 2X BLOCKING TO ENSURE FULL PERIMETER OF SHEAR PANEL IS NAILED TO STUDS
2. SHEAR PANEL CAN BE APPLIED TO INTERIOR OR EXTERIOR FACE OF STUDS

Window / Door Header Schedule			
A	Size	Material	Jack Studs (ea end)
TYP A	Double 2x6	Douglas-Fir Larch No.2	One 2x4
TYP B	Double 2x10	Douglas-Fir Larch No.2	Two 2x4 or 4x4



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WALL FRAMING

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