

GENERAL NOTES

- THE CONTRACTOR SHALL EXAMINE THE CONDITION OF THE PROJECT AREA AND PRIOR TO COMMENCEMENT OF WORK, REPORT ALL DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAIN ALL PERMITS, LICENSE, AND PAY ALL REQUIRED FEES.
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF EXTERIOR MASONRY, CONCRETE COLUMN OR GRID LINES AND FACES OF GYPSUM BOARD, UNLESS OTHERWISE NOTED OR DETAILED.
- CEILING HEIGHTS ON FINISH SCHEDULE ARE FROM FINISH CEILING.
- CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER.
- PROVIDE BLOCKING BEHIND ALL FIXTURES, CLOSET SHELVES, POLES ETC., WHERE INDICATED OR REQUIRED.
- EXTEND SOFFIT FRAMING TO STRUCTURE ABOVE, DIAGONALLY BRACE AS REQUIRED.
- PROVIDE METAL BULLNOSE CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALLED SURFACES, UNLESS OTHERWISE NOTED.
- ALL FOOTINGS SHALL BE FOUND IN UNDISTURBED NATURAL SOIL PER CODE.
- ALL EXTERIOR WALL OPENINGS, WINDOWS, DOORS, VENTS FLASHING, COPING AND EXPANSION JOINTS SHALL BE WEATHERPROOF.
- IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
- PROVIDE STIFFENERS, BRACING, BACK UP PLATE, ETC., AS REQUIRED AT STUD WALLS FOR SUPPORT OF TOILET ROOM FIXTURES OR OTHER EQUIPMENT.
- PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMANS COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH THE LOCAL LABOR CODE.
- NO TRENCHES EXCAVATIONS OR MORE DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN NECESSARY PERMISSION FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- ALL DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- PROVIDE 70" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- FIRE CLASS A ROOF IS REQUIRED.
- WHERE FACTORY FINISHED ON FACTORY PRIMED ITEMS OCCUR SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC., THEY SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE AND OR AS DIRECTED BY THE ARCHITECT.
- ALL MATERIALS AND FINISHES INDICATED ON PLANS SHALL BE NEW AND UNUSED.
- CONTRACTOR SHALL COORDINATE WORK PERFORMED BY OTHER SUB CONTRACTORS, DISCREPANCIES, IF ANY, SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- SHOULD THE DRAWING DISCREPANCIES IN THEMSELVES OR WITH THE SPECIFICATIONS OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY AND/OR GREATER QUANTITY OF WORK AND/OR MATERIAL SHALL BE ESTIMATED UPON, AND UNLESS OTHERWISE ORDERED IN WRITING, SHALL BE FURNISHED AND INSTALLED.
- IF ANY ERROR OR OMISSIONS OCCUR IN THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH ERROR OR OMISSION. IF CONTRACTOR FAILS TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR RESULTS OF SUCH ERRORS AND OMISSIONS AND FOR THE COST OF RECTIFYING SAME.
- KEEP ALL PIPING AS CLOSE TO WALLS AND AS HIGH TO UNDERSIDE OF FLOOR ROOF FRAMING AS POSSIBLE.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK. COORDINATE WITH ARCHITECT.
- ALL MILL WORK, ARCHITECTURAL WOODWORK, WOOD DOORS, MODULAR AND CUSTOM CASEWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARD ESTABLISHED IN THE LATEST EDITION OF THE MANUAL OF MILLWORK OF THE WOODWORK INSTITUTE OF CALIFORNIA IN THE GRADE OR GRADES SPECIFIED THEREIN OR AS SHOWN ON THE DRAWINGS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- FOOTINGS SHALL BE SET BACK FROM THE DESCENDING SLOPE SURFACE EXCEEDING 3 HORIZONTAL TO 1 VERTICAL AS PER SECTION 91.1806.5.3.
- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
- PROVIDE RESIDENTIAL FIRE SPRINKLER SYSTEM. SPRINKLER CONTRACTOR TO PROVIDE SPRINKLER SHOP DRAWINGS AND PERMIT. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

- INACTIVE LEAF OF A PAIR OF DOORS OR UPPER LEAF OF DUTCH DOORS SHALL HAVE A DEADBOLT AS PER THE PARAGRAPH "A" NOT A KEY OPERATED, OR HARDENED DEADBOLT AT TOP AND BOTTOM WITH 1/2-IN. EMBEDMENT. (6709.3)
- SWINGING WOOD DOOR(S) SHALL BE SOLID CORE NOT LESS THAN 1-3/8-IN. THICK. (6709.1.1)
- PANELS OF WOOD DOORS SHALL BE 1-3/8-IN. THICK AND NOT MORE THAN 300 SQ. INCHES. STILES AND RAILS TO BE 1-3/8-IN. THICK AND 3-IN. MINIMUM WIDTH. (6709.1.2)
- DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE. (6709.5)
- DOORSTOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE-PIECE CONSTRUCTION OR JOINED BY A RABBIT. (6709.4)
- GLAZING WITHIN 40-IN. OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED/APPROVED. (6714)
- OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK, A PADLOCK WITH A HARDENED STEEL SHACKLE, OR EQUIVALENT WHEN NOT OTHERWISE LOCKED BY ELECTRIC POWER OPERATION. JAMB LOCKS SHALL BE ON BOTH JAMBS FOR DOORS EXCEEDING 8 FT. IN WIDTH. (6711)
- SLIDING GLASS DOORS AND SLIDING GLASS WINDOWS SHALL BE CAPABLE OF WITHSTANDING THE TESTS SET FORTH IN SECTION 6706 AND 6707 AND SHALL BEAR FOCENTRITY-RESISTANT LABELS. (6710, 6715)

CONSTRUCTION REQUIREMENTS

- NOTCHING OF EXTERIOR AND BEARING/NONBEARING WALLS SHALL NOT EXCEED 25% / 40% RESPECTIVELY. BORED HOLES IN BEARING/NONBEARING WALLS SHALL NOT EXCEED 40% / 60% RESPECTIVELY. (2308.9.10, 2308.9.11)
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL AND AT 10-FT. INTERVALS BOTH VERTICAL AND HORIZONTAL. (717.2)
- DUCTS INSTALLED UNDER A FLOOR IN A CRAWL SPACE SHALL NOT PREVENT ACCESS TO AN AREA OF CRAWL SPACE, WHERE IT IS REQUIRED TO MOVE UNDER DUCTS FOR ACCESS TO AREAS OF THE CRAWL SPACE, A VERTICAL CLEARANCE OF 18" MIN. SHALL BE PROVIDED.
- WHERE FLASHING IS METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH (NO. 26 GALVANIZED SHEET)
- NOTE ON THE PLANS: "ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS."
- SUBFLOORS SHALL HAVE END-MATCHED LUMBER, HAVE BLOCKED PANEL EDGES, OR OCCUR OVER SUPPORT. FLOOR SHEATHING SHALL COMPLY WITH SECTION R503

GLAZING REQUIREMENTS

- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING PER SECTION R308:
- GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - WINDOW GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 S.F.
 - THE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE IS MORE THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING
 - GLAZING ADJACENT TO STAIRS AND RAMPS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS, AND RAMPS, UNLESS THE GLAZING IS MORE THAN 36 INCHES MEASURED HORIZONTALLY FROM THE WALKING SURFACE, OR A RAIL IS DESIGNED PER SECTION R308.4.6.

MECHANICAL NOTES

PLUMBING NOTES:

- WALL COVERINGS SHALL BE GYPSUM GREEN BOARD, TILE OR APPROVED EQUAL TO 70 INCHES ABOVE THE DRAIN INLET AT SHOWERS OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT.
- GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY II; SWING DOOR OUTWARD; NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. INCHES OF FLOOR AREA AND ENCOMPASS 30 INCH DIA. METER CIRCLE.
- ALL PLUMBING WALLS SHALL BE 2x6 STUDS @ 16 INCH O.C.
- PROVIDE LOW CONSUMPTION WATER CLOSETS (1.6 GALS. PER FLUSH)

WATER HEATER NOTES:

- PROVIDE 18 INCH HIGH PLATFORM.
- INSTALL 3/4"x24 GAUGE PERFORMANCE STEEL PLUMBERS TAPE TOP AND BOTTOM OF WATER HEATER.
- PROVIDE 30" SQ. EACH VENT, TOP AND BOTTOM OF WATER HEATER ENCLOSURE DOOR.
- PROVIDE VENT THRU ROOF. (12" MIN. ABOVE ROOF LINE.)

GENERAL NOTES:

- ALL DOORS OPEN ON A LANDING 1/2" BELOW THE THRESHOLD.
- UNDER CUT BEDROOM DOORS BY 2" MIN. FOR WARM AIR CIRCULATION.
- ALL GLASS WITHIN 18" OF FLOOR SURFACE SHALL BE APPROVED FOR IMPACT HAZARD.

WATER HEATER	SHADING DEVICES typ.
WATER HEATER, GAS AMERICAN APPLIANCE MODEL #GFK454T CAPACITY: 50.00 GALS.	EXTERIOR: BUG SCREEN INTERIOR: DRAPERY-STANDARD FRAME: METAL TYPE: DOUBLE GLASS

INSULATION typ.	INSULATION typ.
CEILING: R-30 WALLS: R-13 FLOOR: R-19 (U VALUE: 0.87)	THERMAL MASS SLAB + VA SHEET TILE

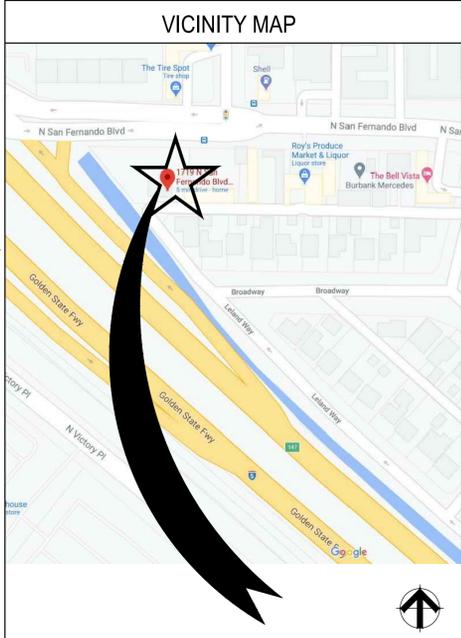
DESIGN BUILD	INSULATION typ.
SPLIT SYSTEM FORCED AIR FURNACES FOR 72,000 CU. FT. PROPOSED DESIGN 5.96 REMOTE CONDENSERS (CONDITIONED COOLING) PROPOSED DESIGN 5.73 SEE TITLE 24 CALCULATIONS	THERMAL MASS SLAB + VA SHEET TILE

- EXTERIOR DOORS, DOORS BETWEEN HOUSE AND GARAGE, WINDOWS AND THEIR HARDWARE SHALL CONFORM TO THE SECURITY PROVISIONS OF CHAPTER 87 OF THE COUNTY OF LOS ANGELES BUILDING CODE:
 - SINGLE SWINGING DOORS, ACTIVE LEAF OR A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A LATCH AND A DEADBOLT KEY OPERATED FROM THE OUTSIDE. DEADBOLTS SHALL HAVE A HARDENED INSERT WITH MINIMUM 1-IN. THROW AND 5/8-IN. EMBEDMENT INTO THE JAMB. IF A LATCH HAS A KEY-LOCKING FEATURE, IT SHALL BE A DEAD LATCH TYPE. (6709.2)

NEW COMMERCIAL BUILDING

1719 SAN FERNANDO BLVD

BURBANK, CA 91504



PROJECT SCOPE

NEW CONSTRUCTION OF A TYPE V-B 6,400 S.F. HIGH-END APPLIANCE SHOWROOM BUILDING WITH A MEZZANINE. STRUCTURE WILL CONTAIN STORAGE ROOM, RESTROOMS, EMPLOYEE LOUNGE ROOM, MEZZANINE ABOVE WILL HOUSE MEETING ROOM AND AN OFFICE.

ON GRADE PARKING LOCATED AT THE NORTH-EAST SIDE OF THE PROPERTY. PARKING LOT TO PROVIDE 1-ADA & VAN ACCESSIBLE STALL, 1 EV PARKING STALL AND 19 STANDARD PARKING STALLS.

PROJECT DIRECTORY

OWNER: ABSOLUTE APPLIANCES
617 N. LA BREA
LOS ANGELES, CA 90036
C/O STEVE GARFINKEL
(323) 350-0680

ARCHITECT: LR/ ARCHITECTURE
217 W ALAMEDA, SUITE 203
BURBANK, CA 91502
(818) 840-8361
(818) 840-8341 FAX

STRUCTURAL: DAVID LI & ASSOCIATES
1000 N. SAN GABRIEL BLVD., SUITE 101
ROSEMEAD, CA 91770
TEL: 626-289-1216
FAX: 626-289-5078

MEP: YF ENGINEERING, INC
2205 CRENSHAW BLVD. SUITE #101
LOS ANGELES, CA 90016
CONTACT: JOSEPH YANG
TEL: (323) 989-3431

CIVIL: ITF & ASSOCIATES, INC
11278 LOS ALAMITOS BLVD. #354
LOS ALAMITOS, CA 90720
CONTACT: YEFIM "JEFF" TSYLYUK
TEL: (800) 797-9483

GEOTECH: GEO ENVIRON ENGINEERING, INC
JABED MASUD MSCE
4071 E. LA PALMA AVE. STE B
ANAHEIM, CA 92866
(CELL) 714-606-2598
(TEL) 714-632-3190

EXIT ANALYSIS

BUILDING DESCRIPTION	GROSS S.F.	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
GROUND FLOOR	5,803	60	97
2ND FLOOR (MEZZ)	597	60	10
TOTAL =			107

2 EXITS/ENTRANCES REQUIRED= 3 PROVIDED
EXIT ANALYSIS
EXIT WIDTH REQUIRED:
107 OCCUPANTS x .20 = 22
22 INCHES / 12 = 2 LINEAR FEET OF EXIT WIDTH REQUIRED
EXIT WIDTH PROVIDED:
6'-0" (ENTRY) + 6'-0" (SIDE) + 4'-0" (REAR SIDE EXIT) = 16'-0" L.T. PROVIDED

PLUMBING FIXTURE CALCULATIONS

PLUMBING FIXTURE CALCULATION:

BUILDING DESCRIPTION	GROSS S.F.	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
GROUND FLOOR	5,803	200	29.01
2ND FLOOR	597	200	2.99
TOTAL =			32

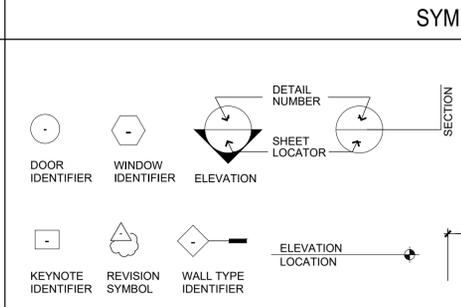
PLUMBING FIXTURES REQUIRED:
32 OCCUPANTS / 2 = 16 MEN OCCUPANTS AND 16 WOMEN OCCUPANTS
GENDER: FIXTURES REQUIRED: FIXTURES PROVIDED:
MALE: 1 FIXTURE / 100 OCC. 1 UNISEX FIXTURE
FEMALE: 1 FIXTURE / 100 OCC. 1 UNISEX FIXTURE

DRINKING FOUNTAINS:
PER B (BUSINESS) OCCUPANCY 1: 1-50
DRINKING FOUNTAINS REQUIRED: 1
DRINKING FOUNTAINS PROVIDED: 1

PROJECT INDEX

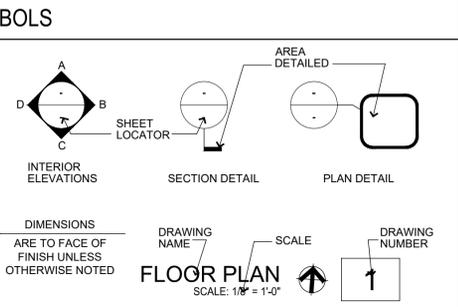
ARCHITECTURAL

- A-0.0 COVER SHEET
- A-0.10 DEMO SITE PLAN
- A-1.0 SITE PLAN
- A-1.01 SITE PLAN TREE SHADE
- A-2.0 FIRST FLOOR & MEZZ PLANS
- A-4.0 EXTERIOR ELEVATION
- A-4.1 EXTERIOR ELEVATION



ABBREVIATIONS

& L @ O # (E)	AND ANGLE AT CENTERLINE DIAMETER OR ROUND POUND OR NUMBER EXISTING	ACOUS. ADJ. APPROX. ARCH.	ACOUSTICAL ADJUSTABLE APPROXIMATE ARCHITECTURAL	BD. BLK. BLKG. BOT.	BOARD BLOCKING BOTTOM	CEM. CER. CLG. CLR. COL. CONC. CONSTR. CONT. CTR. CTR.	CEMENT CERAMIC CEILING CLEAR COLUMN CONCRETE CONSTRUCTION CONTINUOUS COUNTER CENTER	DBL. DEPT. D.F. DIA. DIM. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DRAWING	E. EA. ELEC. EMER. ENCL. EQ. EXIST. EXP. EXT.	EAST EACH ELECTRICAL EMERGENCY ENCLOSURE EQUAL EXISTING (E) EXPANSION EXTERIOR	F.A. F.D. F.E. FIN. FL. FLASH FLOOR. FT. FURR. FUT.	FIRE ALARM FLOOR DRAIN FIRE EXTINGUISHER FINISH FLOOR FLASH FLOURESCENT FOOT OR FEET FURRING FUTURE	G.A. GALV. GL. G.C. GND. GYP.	GAUGE GALVANIZED GLASS GENERAL CONTRACTOR GROUND GYPSUM	H.M. HORIZ. HGT. HRG. INSUL. INT. JT.	HOLLOW METAL HORIZONTAL HOIST HEIGHT INSULATION INTERIOR JOINT	LAM. LAV. LT. MAX. MECH. MET. MIN. MISC. M.O. MTD. MUL.	LAMINATE LAVATORY LIGHT MAXIMUM MECHANICAL METAL MINIMUM MIRROR MISC. MASONRY OPENING MOUNTED MULLION	N. N.C. NO. OR # N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	O.C. OPNG. OPP.	ON CENTER OPENING OPPOSITE	PL. PLAM. PLAS. PLYWD. PR. PT.	PLATE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POINT	R. REF. REIN. REQ. RESIL. RM.	RADIUS REFERENCE REINFORCED REQUIRED RESILIENT ROOM	S. SCHED. SECT. SIMILAR SPEC. SQ. ST. STL. STD. STOR. STRUCT. SUSP. SYM.	SOUTH SCHEDULE SECTION SIMILAR SPECIFICATION SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL	TRD. TEL. THK. TYP.	TREAD TELEPHONE THICK TYPICAL	UNF. UN.O. V.I.F.	UNFINISHED UNLESS NOTED OTHERWISE VERIFY IN FIELD	W. W. WD.	WEST WITH WOOD
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PROJECT INFORMATION

ADDRESS: 1719 SAN FERNANDO BLVD
BURBANK, CA 91504

PLANNING DESIGNATION: COMMERCIAL
EXISTING ZONE: C-3 NSFC
NORTH SAN FERNANDO COMM. ZONE

LEGAL DESCRIPTION:
TRACT: 9122 (EX OF ST)
BLOCK: 2
LOT: 1,2,3,4,5,6,7
APN: 2460-012-040

(E) LOT SIZE: 16,607 SF
FAR: 1:1

PROPOSED:
GROUND FLOOR: 5,803 SQ. FT.
SECOND FLOOR: 594 SQ. FT.
TOTAL: 6,400 SQ. FT.

CONSTRUCTION TYPE: TYPE V-B
AREA ANALYSIS:

OCCUPANCY: M
STORIES: 2 STORIES

HEIGHT: 35'-0" MAX. HEIGHT
22'-0" PROPOSED HEIGHT

SETBACKS: FRONT 0'-0" MIN.
SIDE 0'-0" MIN.
REAR 0'-0" MIN.
10'-0"

P.U.E & SEWER EASTMENT

PARKING SPACES: 3.3 PER 1,000SF
21 STANDARD STALLS PROVIDED
LOADING ZONE: 300 SF

APPLICABLE CODES: WITH 2020 CITY OF BURBANK CODE AMENDMENTS
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE

GOVERNING AGENCY: CITY OF BURBANK
150 N. THIRD STREET
BURBANK, CA 91502
818-238-5220

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

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SUBMITTALS	DATE	DESCRIPTION
PLANNING:	11/24/2021	PLANNING REVIEW
BLD'G. DEPT.:		
BID SET:		

RELEASES:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

ARCH/CONSULTANT:



PROJECT

NEW COMMERCIAL BLDG.
1719 SAN FERNANDO BLVD
BURBANK, CA 91504

CLIENT

1719 NFS LLC
617 N. LA BREA
LOS ANGELES, CA 90036

REVISIONS

ISSUE	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

DRAWN _____ CHECKED _____

STAFF _____ WR/ RE _____

CAD FILE _____

JOB NO. _____

DATE _____

7/1/22

SCALE _____

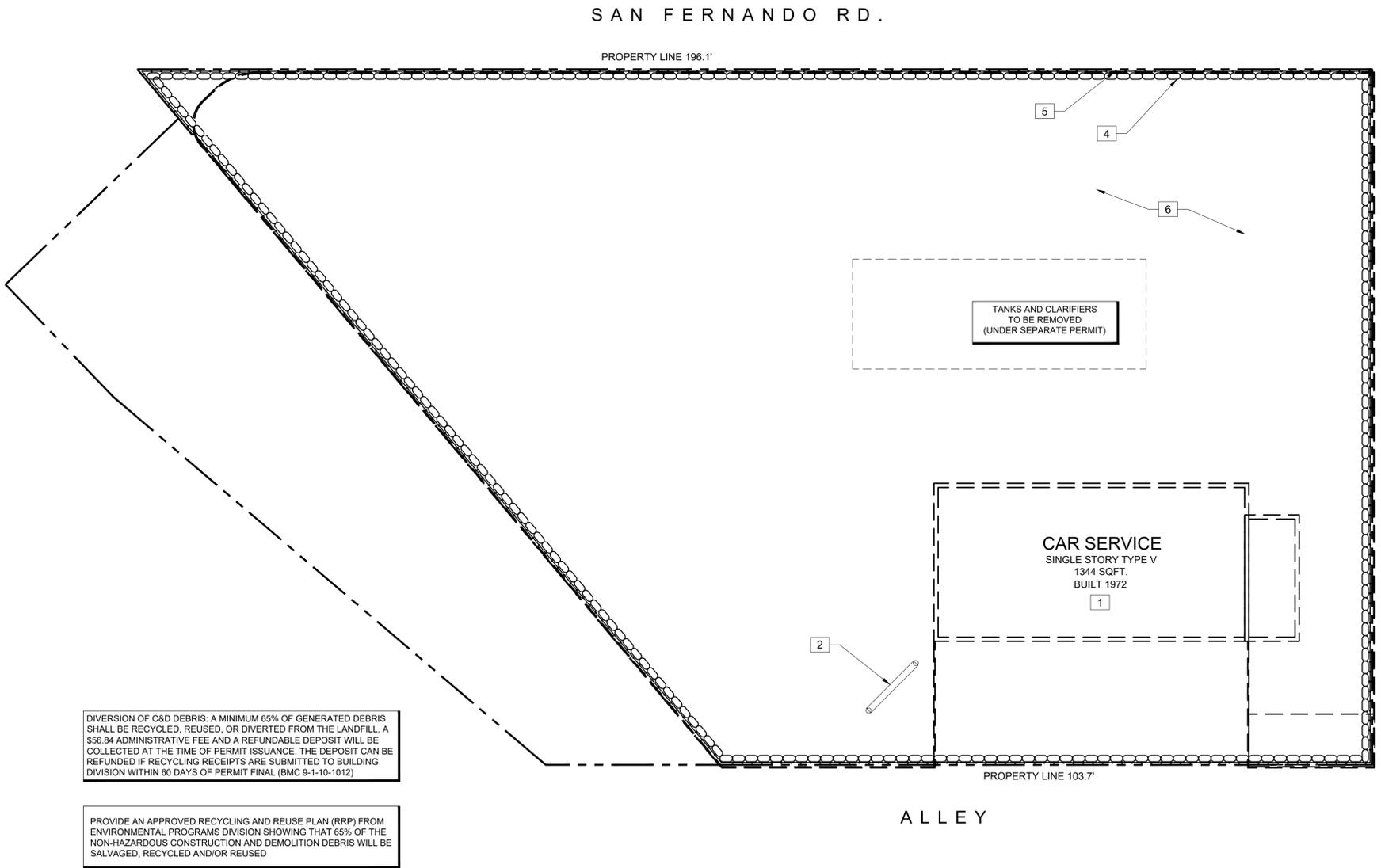
AS SHOWN

TITLE _____

COVER SHEET

SHEET _____

A-0.0



- 1 DEMOLITION OF EXISTING BUILDING
- 2 PYLON SIGN TO REMAIN, PROTECT DURING DEMOLITION
- 3 N/A
- 4 EROSION CONTROL SAND BAGS
- 5 EXISTING FENCE TO REMAIN
- 6 REMOVE ASPHALT/ CONCRETE

DEMOLITION PLAN KEYNOTES

LR/A
LR/ARCHITECTURE
 Architecture
 Planning
 Interior Design
 Construction Management
 217 W. Alameda Avenue, Suite 203
 Burbank, CA 91502
 (818) 840-8361 Fax (818) 840-8341

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SUBMITTALS	DATE	DESCRIPTION
PLANNING:	11/24/2021	PLANNING REVIEW
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION
	1		
	2		
	3		



PROJECT
NEW COMMERCIAL BLDG.
 1719 SAN FERNANDO BLVD
 BURBANK, CA 91504

CLIENT
 1719 NFS LLC
 617 N. LA BREA
 LOS ANGELES, CA 90036

ISSUE	DATE	REVISION
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DRAWN _____ CHECKED _____
 STAFF _____ WR/ RE _____

CAD FILE
 A-0.1 DEMO FLOOR PLAN

JOB NO. _____

DATE
 7/1/22

SCALE
 AS SHOWN

TITLE
**DEMOLITION
 SITE PLAN**

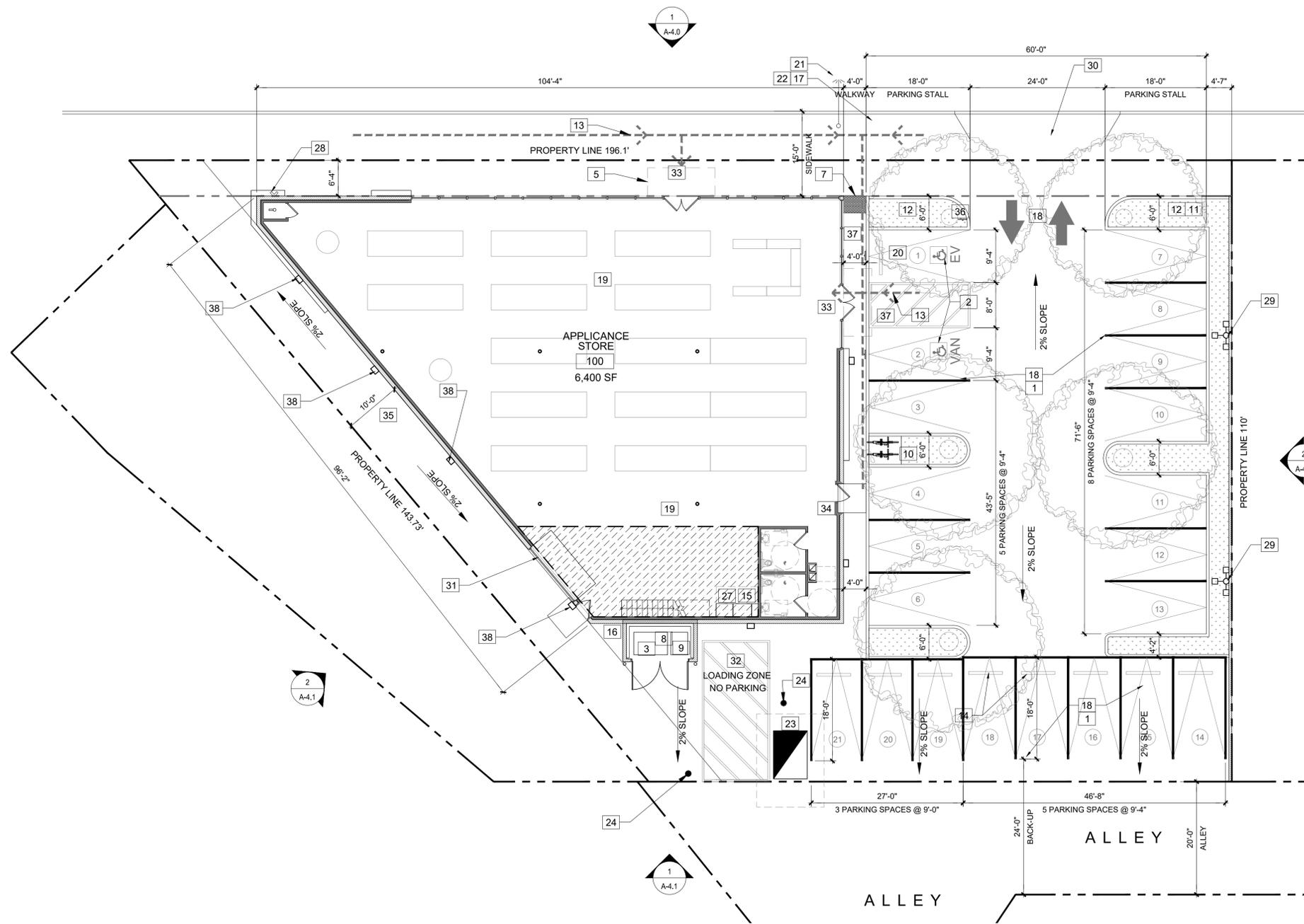
SHEET

A-0.10

DEMO SITE PLAN 1
 SCALE: 3/32" = 1'-0"

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE PROJECT SITE AND FOR BEING AWARE OF ALL ITEMS TO BE DEMOLISHED AND REMOVED INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, CEILING, MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES, ELECTRICAL AND TELEPHONE WALL OUTLETS AND FLOOR MONUMENTS, MILLWORKS AND FINISH SURFACES, WHETHER OR NOT SPECIFICALLY INDICATED.
2. DURING DEMOLITION, THE CONTRACTOR SHALL MAINTAIN FREE AND SAFE PASSAGE TO AND THROUGH THE WORK AS REQUIRED. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN DUST-PROOF PARTITIONS AND/OR BARRICADES AS REQUIRED.
3. THE CONTRACTOR SHALL PROTECT: A) THE CONSTRUCTION AREA, B) AREAS ADJACENT TO THE CONSTRUCTION AREA, AND C) NEW OR EXISTING MATERIALS AND FINISHES FROM ANY DAMAGE (E.G., IMPACT, DUST, WATER, SPARKS, FLAMES, FUMES, ETC.) WHICH COULD OCCUR AS A RESULT OF CONSTRUCTION AND/OR DEMOLITION. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, OR OTHER MEASURES NECESSARY TO PROTECT THE PUBLIC HEALTH, SAFETY, AND WELL BEING DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR AGREES THAT ANY DAMAGE INCURRED TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT, LANDLORD, AND/OR TENANT AT THE CONTRACTOR'S SOLE COST AND EXPENSE.
4. THE CONTRACTOR SHALL REVIEW THE PHASING OF DEMOLITION WORK AND NEW CONSTRUCTION WITH THE ARCHITECT WHEN THE CONTRACT FOR CONSTRUCTION IS AWARDED.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OF ANY WORK AFFECTING THE STRUCTURAL INTEGRITY OF THE BUILDING OR TENANT SPACE BEFORE PROCEEDING WITH THE WORK.
6. THE CONTRACTOR SHALL REFER TO THE STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, FIRE/LIFE SAFETY AND/OR ANY OTHER CONSULTANT OR VENDOR DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION PRIOR TO PROCEEDING WITH THE DEMOLITION.
7. WHERE CEILINGS ARE INDICATED FOR REMOVAL, ALL CEILING TILE, GRID, FURRING CHANNELS, SUPPORT BRACING, LIGHTING FIXTURES, AIR SUPPLY REGISTERS, RETURN REGISTERS, RETURN AIR DIFFUSERS, CEILING TILES AND LIGHTING FIXTURES SHALL BE REMOVED AS INDICATED ON THE CONSTRUCTION DOCUMENTS. ALL EXISTING MECHANICAL DUCTWORKS SHALL REMAIN UNDISTURBED AND IN-PLACE UNLESS NOTED OTHERWISE. AREAS WHERE CEILING TO BE INSTALLED AT GREATER HEIGHT, PATCH, REPAIR AND REFINISH WALL SURFACES TO RECEIVE NEW CEILING.
8. WHERE EXISTING WALLCOVERING OR WALL TILE IS INDICATED FOR REMOVAL, ALL UNDERLYING SURFACES SHALL BE SUBSEQUENTLY REPAIRED AS NECESSARY AND PREPARED TO ACCEPT NEW FINISHES AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS.
9. WHERE DOORS AND FRAMES ARE INDICATED FOR REMOVAL, ALL DOOR COMPONENTS BUT NOT LIMITED TO SHIMS, DOOR HARDWARES, FASTENERS SHALL BE REMOVED UP TO BARE WALL STRUCTURE, IF WALL STRUCTURE IS TO BE REMAIN.
10. THE CONTRACTOR SHALL REPAIR ALL DAMAGED MATERIALS IN EXISTING ADJACENT AREAS CAUSED BY THIS DEMOLITION WORK.
11. THE CONTRACTOR SHALL PATCH, FILL, AND FINISH SMOOTH AS REQUIRED FOR PROPER INTERFACE WITH NEW CONSTRUCTION.

DEMOLITION PLAN NOTES



- 1 PARKING STRIPING SEE DETAIL - 18/A-1.1
- 2 VAN/ACCESSIBLE PARKING. SEE SHEET A-9.0
- 3 CONC. PAD FOR NEW TRASH ENCLOSURE.
- 4 ACCESSIBLE PARKING POST MOUNTED SIGNAGE. SEE DETAIL 4/A-9.0
- 5 LINE OF NEW CANOPY ABOVE
- 6 STAMPED CONCRETE
- 7 TRUNCATED DOMES PER 20/A-9.0
- 8 TRASH + RECYCLING BINS (50% RECYCLABLE MATERIALS)
- 9 TRASH ENCLOSURE SEE ENLARGED PLANS AND DETAILS ON - 4/A-1.1
- 10 BICYCLE RACK PER 11/A-1.1
- 11 BACK FLOW DEVICE. SEE L-3 FOR MORE INFO.
- 12 LANDSCAPE AREA. SEE LANDSCAPE PLANS
- 13 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC RIGHT OF WAY
- 14 WHEELSTOP SEE DETAIL 14/A-1.1
- 15 ELECTRICAL METER. FOR LOCATION SEE MEP.
- 16 GAS METER. FOR LOCATION SEE MEP
- 17 WATER SERVICE LOCATION. VERIFY LOCATION SEE PLUMBING PLANS
- 18 ASPHALT CONCRETE DRIVEWAY. SEE SOILS REPORT FOR REQUIREMENTS.
- 19 CONCRETE SLAB
- 20 EV CHARGING STATION. SEE MEP FOR MORE INFORMATION
- 21 (E) STREET LIGHT TO REMAIN
- 22 (E) WATER METER
- 23 TRANSFORMER PAD
- 24 PYLON SIGN TO REMAIN.
- 25 NOT USED
- 26 NOT USED
- 27 ELECTRICAL SWITCH GEAR
- 28 FIRE CONNECTION
- 29 PARKING LIGHT FIXTURE. LITHONIA RSX2 3 WAY POLE
- 30 CURB SPECIFICATIONS PER SEPARATE PLAN & PERMIT
- 31 ROLL-UP DOOR
- 32 LOADING ZONE. NO PARKING
- 33 MAIN ENTRY
- 34 EMERGENCY EXIT
- 35 10' EASEMENT
- 36 UNAUTHORIZED VEHICLE SIGNAGE SEE DETAIL 19/A-9.0
- 37 2% MAX. SLOPE EACH DIRECTION @ ACCESSIBILITY PARKING/ROUTES. SLOPE TO DRAIN.
- 38 WALL PACK LIGHT FIXTURES. LITHONIA TWX2 P-3 NATIONAL ALUMN.

SITE PLAN
SCALE 3/32" = 1'-0"

SITE PLAN KEYNOTES

FIRE DEPARTMENT NOTES

1. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH AND WITH A MINIMUM STROKE WIDTH OF .5 INCH. FIRE CODE 505.1
2. ALL FIRE HYDRANTS SHALL MEASURE 6"x4" X 2-1/2". BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL.
3. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4
4. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY KNOWLEDGE OR EFFORT.
5. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY FIRE CODE 906.

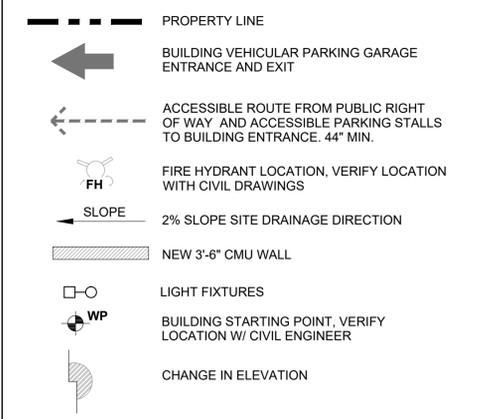
PARKING LOT CALC

PARKING REQUIREMENTS:
COMMERCIAL: 3.3 PER 1,000
6,400 / 1000 = 6.4
6.4 X 3.3 = 21.12 REQUIRED
21 PROVIDED

PARKING LANDSCAPE AREA:
REQUIRED 10%
TOTAL AREA OF PARKING: 5,668 SF
5,668 X .10 = 567 SF OF LANDSCAPE REQUIRED
741 SF PROVIDED.

LOADING
300 SF REQUIRED
300 SF PROVIDED

PARKING LOT TOTAL PAVED AREA 50%



SITE PLAN NOTES

1. THIS ARCHITECTURAL SITE PLAN IS PROVIDED FOR OVERALL SITE REFERENCE. THE LOCATION OF ITEMS INCLUDED IN THIS SET OF PLANS, AND IS FOR BUILDING DEPARTMENT USE ONLY.
2. WHEN PROVIDED, REFER TO CIVIL DRAWINGS FOR LOT LINE DIMENSIONS.
PROVIDE AN ACCESSIBLE ROUTE FROM THE BUILDING PARKING AREA TO THE BUILDING ENTRANCE PER CBC
4. ALL ACCESSIBLE RAMPS AND ROUTES ARE REQUIRED TO HAVE THE FOLLOWING:
-WALKING SURFACE SHALL NOT EXCEED 5% SLOPE
-RAMPS SHALL NOT EXCEED 8.33% SLOPE AND SHALL CURBS AND HANDRAILS
-ALL CROSS SLOPES SHALL NOT EXCEED 2%
-THERE SHALL BE NO ABRUPT CHANGES IN ELEVATION
ACCESSIBLE ROUTE
-REFER TO CIVIL PLANS FOR ADDITIONAL DIMENSIONS
5. A WET WEATHER EROSION CONTROL PLAN (WWECP), UTILIZING SEDIMENT AND EROSION CONTROL BMPs, FOR PROJECTS THAT WILL LEAVE DISTURB SOIL DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15) IS REQUIRED. THE WWECP MUST BE PREPARED FOR PROJECTS THAT HAVE ALREADY BROKEN GROUND, NOT LESS THAN 30 DAYS PRIOR TO THE BEGINNING OF EACH RAINY SEASON DURING WHICH SOIL WILL BE DISTURBED, AND IMPLEMENTED THROUGHOUT THE ENTIRE RAINY SEASON. A COPY OF THE WWECP SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES BEGINNING 30 DAYS PRIOR TO THE START OF THE RAINY SEASON. FOR PROJECTS THAT WILL BEGIN CONSTRUCTION DURING THE RAINY SEASON THE WWECP MUST BE AVAILABLE 30 DAYS BEFORE CONSTRUCTION COMMENCES. THE WWECP MUST BE SUBMITTED TO THE BUREAU OF ENGINEERING, PUBLIC WORKS FOR REVIEW AND APPROVAL. THE WWECP IS NOT A REQUIREMENT FOR THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
6. MAXIMUM DRIVEWAY SLOPE IS 20%. GRADE DETAILS AND TRANSITION SLOPES REQUIRED WHERE SLOPE EXCEEDS 12 1/2 %.- MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%. 12.21A5(g).
7. ALL UTILITIES TO BE UNDERGROUND.
8. SEE SHEET A-1.1 FOR SITE DETAILS

LR/A
LR/ARCHITECTURE
Architecture
Planning
Interior Design
Construction Management
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(818) 840-8361 Fax (818) 840-8341

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SUBMITTALS	DATE	DESCRIPTION
PLANNING:	11/24/2021	PLANNING REVIEW
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION



PROJECT
NEW COMMERCIAL BLDG.
1719 SAN FERNANDO BLVD
BURBANK, CA 91504

CLIENT
1719 NFS LLC
617 N. LA BREA
LOS ANGELES, CA 90036

REVISIONS

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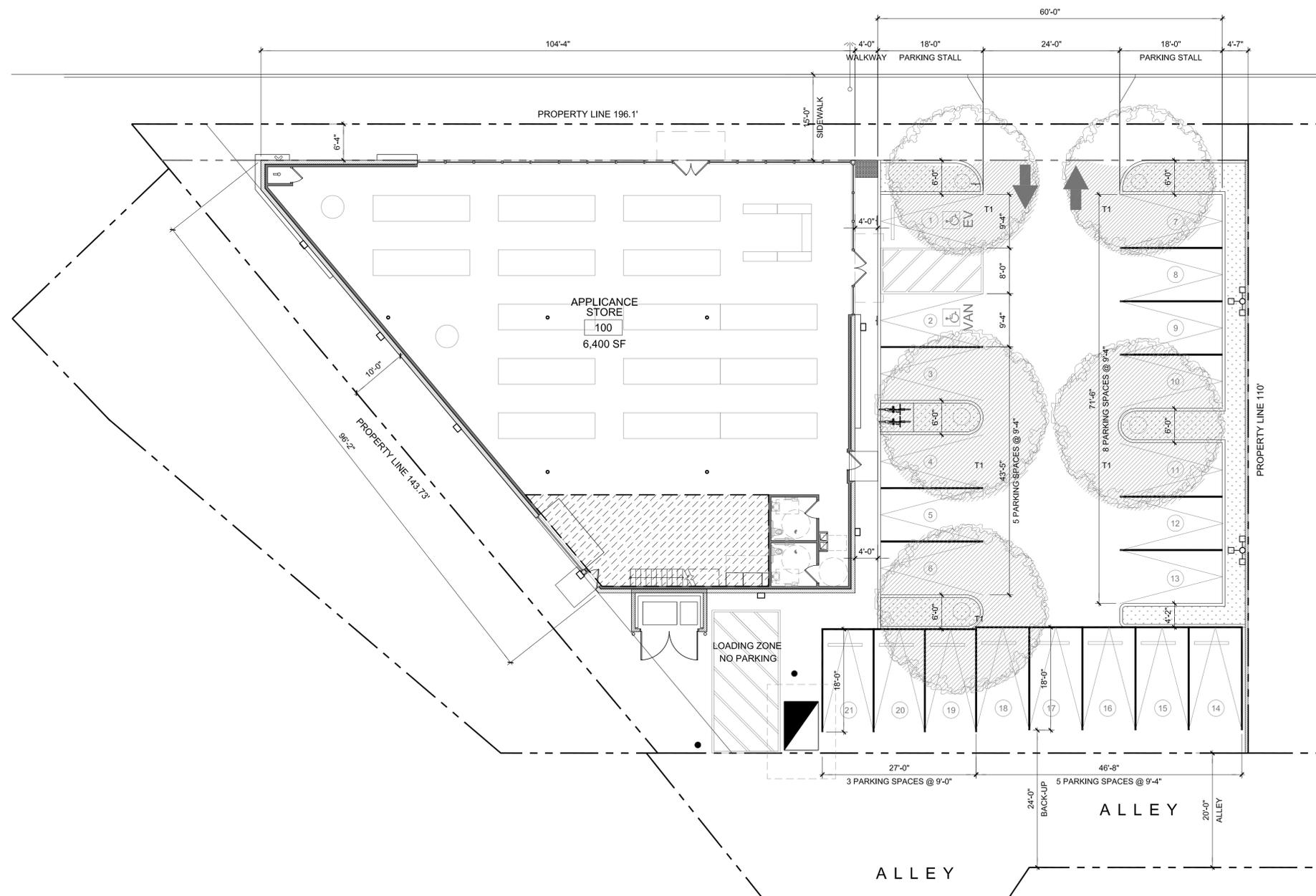
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CAD FILE _____

JOB NO. _____
DATE 6/12/22

SCALE
AS SHOWN

TITLE
SITE PLAN

SHEET
A-1.0



SITE PLAN LANDSCAPE
SCALE 3/32" = 1'-0"

PARKING LOT SIZE

PARKING 5,668 SQ.FT.

LANDSCAPE REQ. 10%

5,668 x 10% = 567 SQ.FT.

PROVIDED:

PLANTERS PROVIDED 741 SQ.FT.

50% PARKING LOT TREE SHADE

5,668 / 2 (50%) = 2,834 SQ.FT.

5 TREES PROVIDED

SYM	BOTANICAL NAME/ COMMON NAME	FULL S.F.	3/4	HALF	1/4	TOTAL S.F.
T1	CINNAMOMUM CAMPHORA/	(3) 700	0	(2) 350	0	2,800 S.F.
TOTAL TREE SHADE PROVIDED						2,800 S.F.



Cinnamomum camphora
Camphor Tree



PLANT TYPE	Tree
HEIGHT RANGE	25-40'
FLOWER COLOR	n/a
FLOWER SEASON	Spring
LEAF COLOR	Bronze, Light Green, Yellow Green
BARK COLOR	Grey
FRUIT COLOR	Black
FRUIT SEASON	Winter, Summer

DESCRIPTION
This beautiful evergreen tree has glossy foliage that is light green in color. The new foliage comes in with a tinted red color. Eventually, this tree may reach 40' tall and wide. Flowers are inconspicuous but are fragrant in spring. Small black fruit appear in winter or summer. Bark is dark gray and furrowed. A great shade tree.

Water Saving Tip:
Be sure to fix all leaks

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

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ARCH/CONSULTANT:



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JOB NO. _____

DATE
6/12/22

SCALE
AS SHOWN

TITLE
**SITE PLAN
TREE SHADE**

SHEET

A-1.01

TREE SHADE REQ. FOR PARKING LOT

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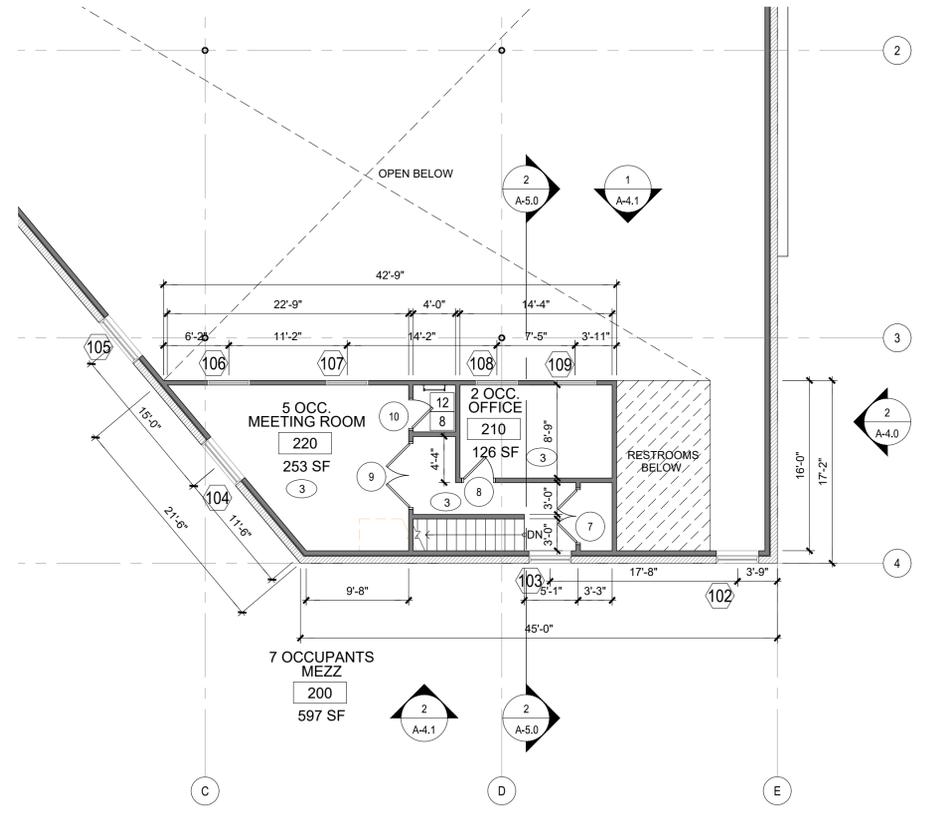
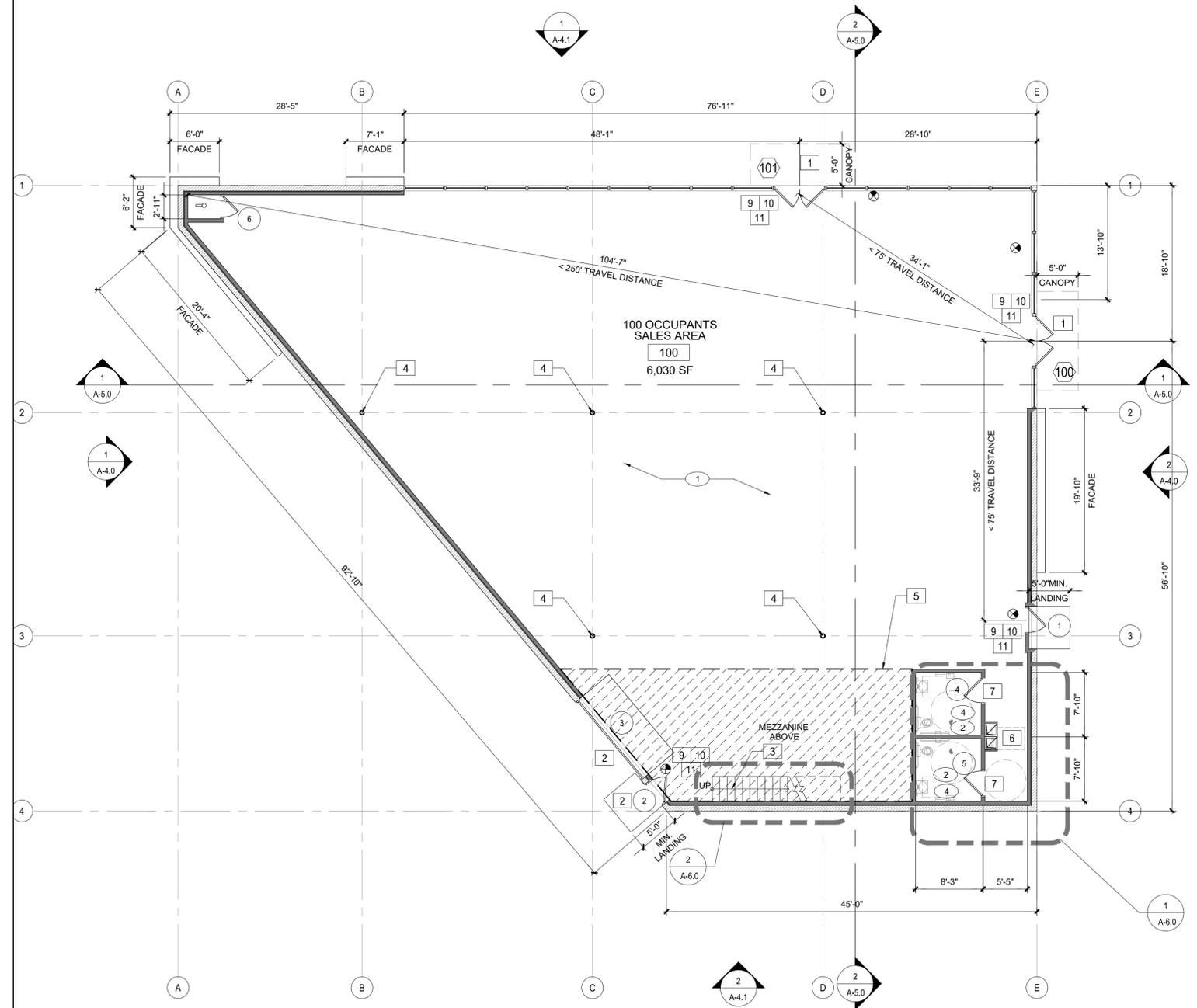
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 SCALE
 AS SHOWN
 TITLE
FIRST FLOOR AND SECOND FLOOR
 SHEET

A-2.0



SECOND FLOOR
 SCALE: 1/8" = 1'-0" **2**

FLOOR PLAN
 SCALE: 1/8" = 1'-0" **1**

- VERIFY-IN-FIELD ACCURACY OF GRIDLINES. REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITION.
- SEE SHEET A-9.0, A-9.1 & A-9.2 FOR APPLICABLE GENERAL NOTES.
- SEE SHEET A-0.0 FOR SYMBOLS & ABBREVIATIONS.
- WHEN PROVIDED, SEE CIVIL PLANS FOR THE BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- FOR PARKING TABULATION REFER TO COVER/PROJECT INFORMATION SHEET A-0.0
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, STUD, OR CENTERLINE OF COLUMN.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, INCLUDING FURRED SPACES, AT 10' INTERVALS BOTH VERTICALLY AND HORIZONTALLY.
- SEE STRUCTURAL DRAWINGS FOR BUILDING SECTION
- SIZE AND LOCATION OF FRAMING AND PLYWOOD SHEATHING
- SPECIAL NAILING AND BLOCKING REQUIREMENTS
- PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS. IN FIRE RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF CLOSING DEVICES.
- FOR DOOR & WINDOW SCHEDULE - SEE SHEET A-7.0

- PROVIDE EXIT SIGNS CONNECTED TO A SOURCE OF EMERGENCY BACKUP POWER.
- INTERIOR FINISHES SHALL COMPLY WITH SECTION 803.1 FLAME SPREAD PROVISION.
- GREEN NOTES:
 NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SEC. 5.303.2



- STAINED CONCRETE - TBD BY TENANT
- NON-POROUS CERAMIC/PORCELAIN TILE - W/ MIN 3/8" RADIUS COVE BASE AT MIN. 6" HIGH
- COMMERCIAL GRADE CARPET - COLOR/MANUFACTURER TBD BY TENANT
- WALL PAINT TO BE SEMI-GLOSS, COLOR TBD BY TENANT

NOTE: ALL FINISHES TO BE CONFIRMED BY TENANT EXCEPT AT RESTROOMS. FINISHES AT RESTROOMS MUST MEET HEALTH CODE AND BE NON-POROUS WITH WASHABLE SURFACE MATERIAL/FINISH AT WALLS.

- PEDESTRIAN ENTRY DOOR. PROVIDE 1/2" MAX. THRESHOLD
- DELIVERY DOOR
- STAIRS TO MEZZ WITH 42" GUARDRAIL
- STRUCTURAL COLUMNS
- LINE OF MEZZANINE FLOOR ABOVE
- ACCESSIBLE DRINKING FOUNTAIN
- ACCESSIBLE RESTROOM. SEE 1/ A-6.0
- STORAGE
- TACTILE EXIT SIGN AT EXIT DOORS PER SECTION 11B-216.4.1 OF CBC THE SIGN SHALL STATE "EXIT". SEE SHEET A-9.1 FOR DETAIL.
- TACTILE EXIT SIGN AT EXIT ACCESS DOORS PER SECTION 11B-216.4.1 OF CBC. THE SIGN SHALL STATE "EXIT ROUTE". SEE SHEET A-9.1 FOR DETAIL.
- SIGN ON THE EGRESS SIDE OF EXIT DOORS STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".
- ROOF ACCESS LADDER

PLAN NOTES

FLOOR PLAN LEGEND

FINISH LEGEND

KEYNOTES

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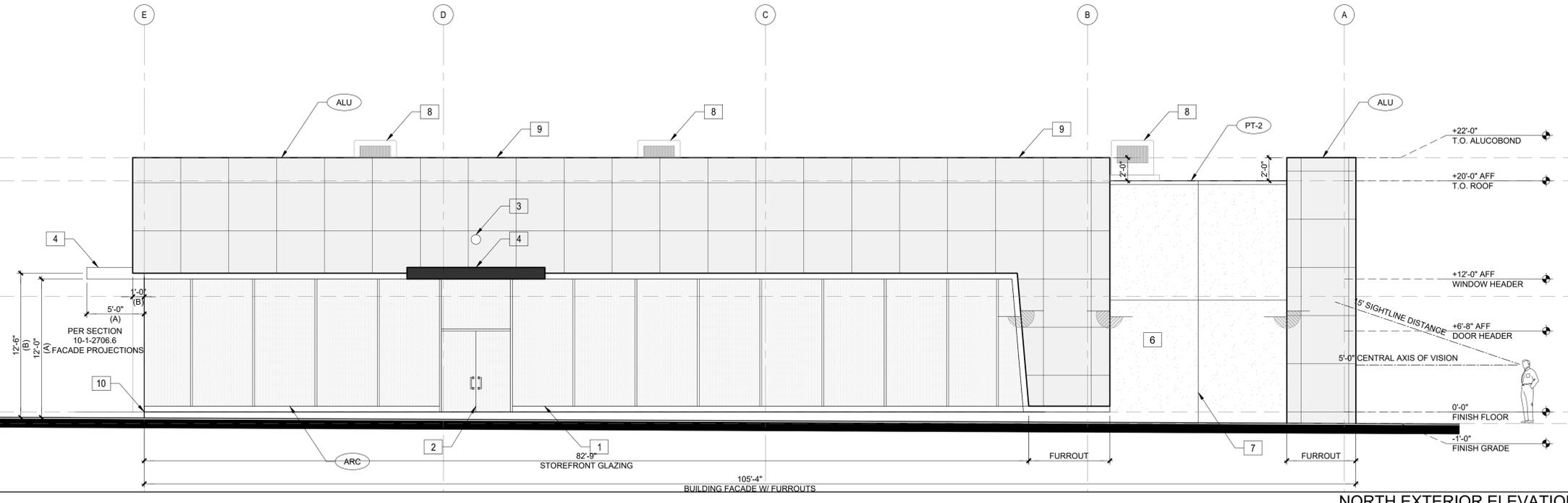
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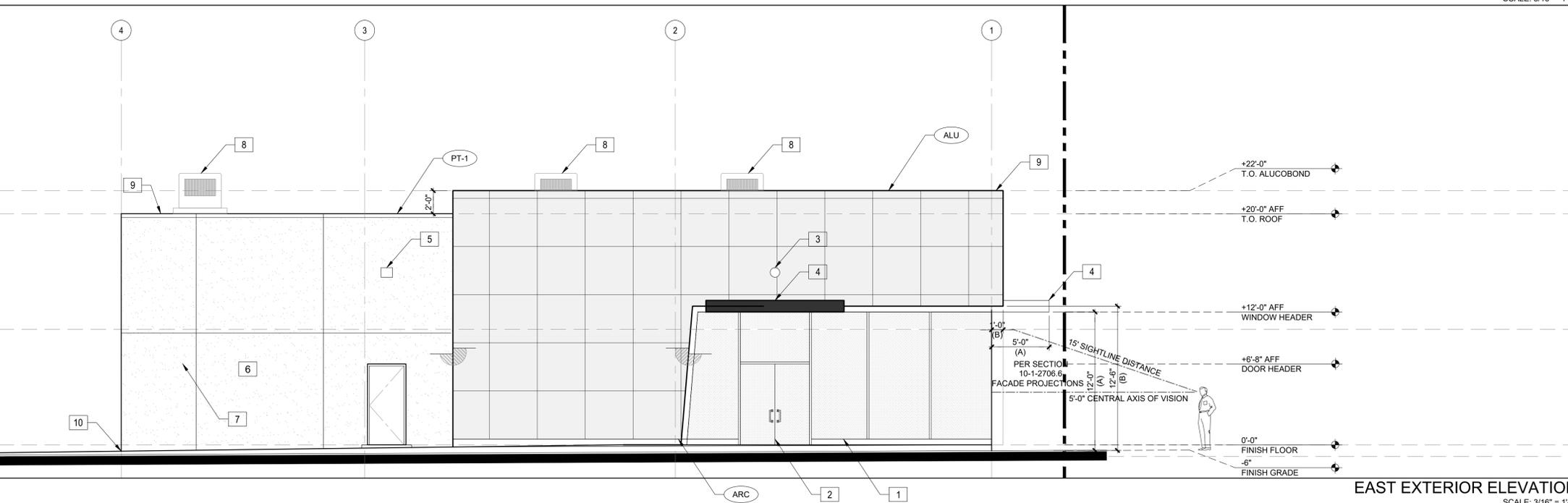
EXTERIOR
ELEVATIONS

SHEET

A-4.0



NORTH EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0" 1



EAST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0" 2

FACADE AREA:
109.25 (WIDTH OF BLDG.) x 16.0 (CEILING HEIGHT FOR 1ST FLOOR) = 1,748 SQ.FT. FACADE
50% OF FACADE IS REQUIRED TO BE GROUND FLOOR WINDOWS:
50% OF FACADE AREA = 1,748 SQ.FT. / 2 = 874 SQ.FT. (GROUND FLOOR WINDOWS)
GROUND FLOOR WINDOWS PROVIDED:
82.75 (WIDTH OF STOREFRONT) x 12.5 (HEIGHT) = 1,034.4 SQ.FT. PROVIDED

SYMBOL	FINISH	COLOR SPECIFICATION
PT-1	PAINT	BLUE (MEDITERRANEAN BREEZE) - 799 BENJAMIN MOORE
PT-2	PAINT	GRAY (ICED CUBE SILVER) - 2121-50 BENJAMIN MOORE
ARC	ARCADIA OFFSET GLAZED SYSTEM	
ALU	ALUCOBOND MOONSTONE METALLIC	

- 1 (N) WINDOW - REFER TO WINDOW SCHEDULE ON SHEET A-7.0
- 2 (N) DOOR - REFER TO DOOR SCHEDULE ON SHEET A-7.0
- 3 J-BOX FOR FUTURE SIGN
- 4 METAL CANOPY
- 5 LIGHT FIXTURE
- 6 PROVIDE 7/8" THICK STUCCO
- 7 METAL SCREENS TYP.
- 8 RTU
- 9 METAL COPING
- 10 CONC. WALKWAY W/ 2% CROSS SLOPE

SIGNAGE PACKAGE UNDER
SEPARATE PERMIT

FACADE CALCULATION

SPECIFICATIONS

ELEVATION KEYNOTES

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 617 N. LA BREA
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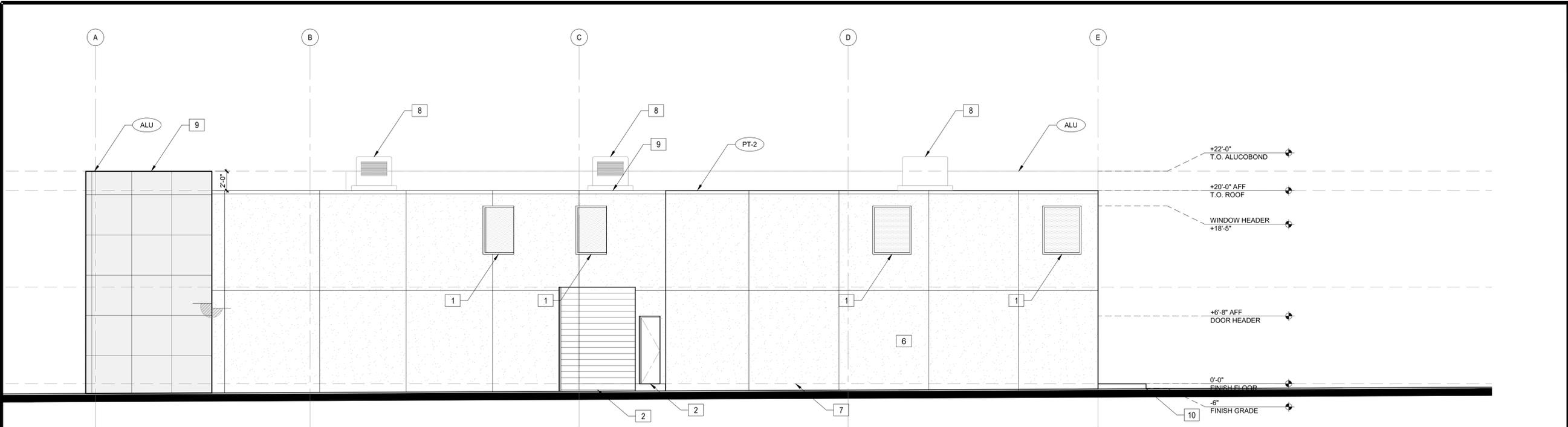
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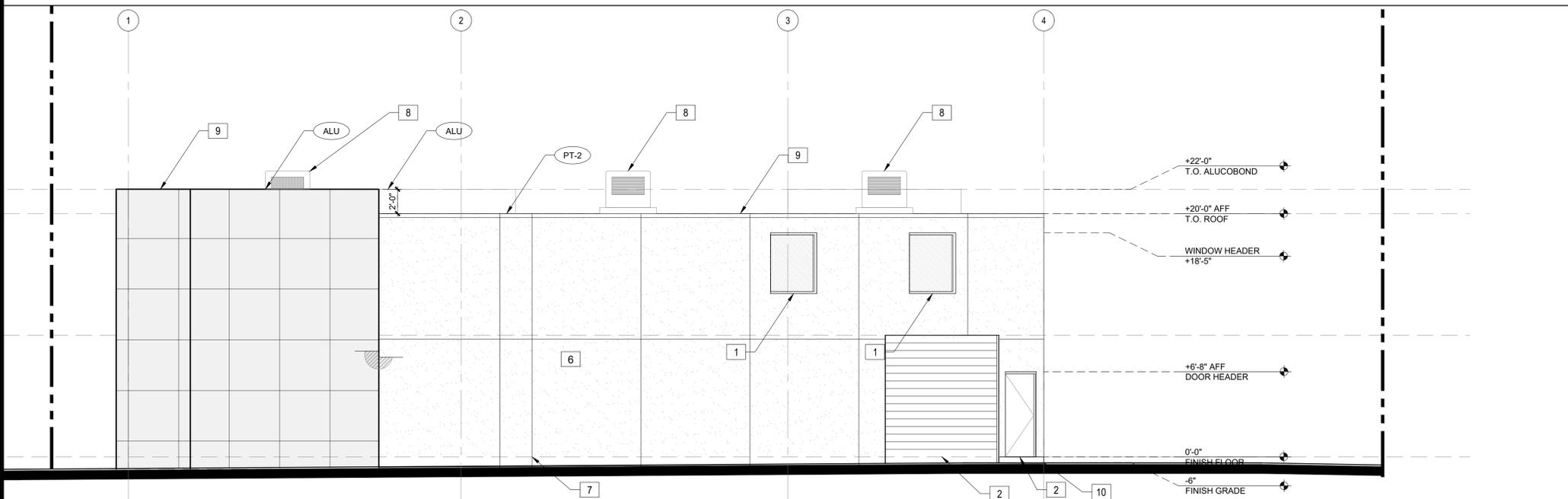
TITLE
EXTERIOR ELEVATIONS

SHEET

A-4.1



SOUTH EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0" **1**



WEST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0" **2**

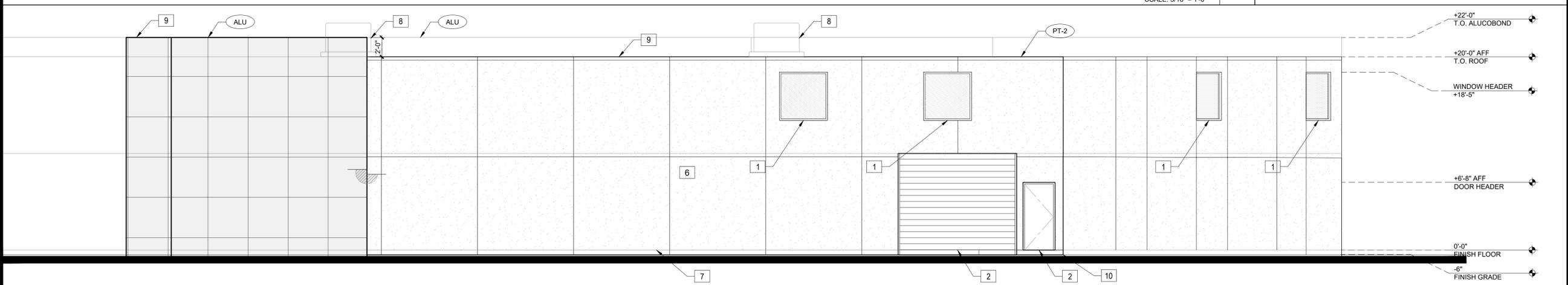
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- 5 LIGHT FIXTURE
- 6 PROVIDE 7/8" THICK STUCCO
- 7 METAL SCREEDS TYP.
- 8 RTU
- 9 METAL COPING
- 10 CONC. WALKWAY W/ 2% CROSS SLOPE
- 11 CARPORT METAL CANOPY

ELEVATION KEYNOTES

SYMBOL	FINISH	COLOR SPECIFICATION
PT-1	PAINT	BLUE (MEDITERRANEAN BREEZE) - 799 BENJAMIN MOORE
PT-2	PAINT	GRAY (ICED CUBE SILVER) - 2121-50 BENJAMIN MOORE
ARC	ARCADIA OFFSET GLAZED SYSTEM	
ALU	ALUCOBOND MOONSTONE METALLIC	

SIGNAGE PACKAGE UNDER SEPARATE PERMIT

SPECIFICATIONS



WEST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0" **3**