

**PUBLIC WORKS NOTES:**

1. NO PERMANENT STRUCTURE IS PERMITTED IN ANY PUBLIC RIGHT-OF-WAY OR ANY PUBLIC UTILITY EASEMENTS/POLE LINE EASEMENTS [BMC 7-3-701.1, BMC 9-1-1-3203]  
 2. NO BUILDING APPURTENANCES FOR UTILITY OR FIRE SERVICE CONNECTIONS SHALL ENCRUCH OR PROJECT INTO PUBLIC RIGHT-OF-WAY (I.E. STREETS AND ALLEYS). LOCATIONS OF THESE APPURTENANCES SHALL BE SHOWN ON THE BUILDING SITE PLAN AND THE OFF-SITE IMPROVEMENT PLANS [BMC 7-3-701.1].  
 -ON-SITE DRAINAGE SHALL NOT FLOW ACROSS THE PUBLIC PARKWAY (SIDEWALK) OR ONTO ADJACENT PRIVATE PROPERTY. IT SHOULD BE CONVEYED BY UNDERWALK DRAINS TO THE GUTTER THROUGH THE CURB FACE OR CONNECTED TO A STORM DRAIN FACILITY [BMC 7-1-117, BMC 7-3-102].  
 -APPLICANT SHALL PROTECT IN PLACE ALL SURVEY MONUMENTS (CITY, COUNTY, STATE, FEDERAL, AND PRIVATE). PURSUANT TO CALIFORNIA BUSINESS AND PROFESSIONS CODE SECTION 8771, WHEN MONUMENTS EXIST THAT MAY BE AFFECTED BY THE WORK, THE MONUMENTS SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR OR LICENSED CIVIL ENGINEER LEGALLY AUTHORIZED TO PRACTICE LAND SURVEYING, PRIOR TO CONSTRUCTION, AND A CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES SHALL BE FILED WITH THE COUNTY SURVEYOR. A PERMANENT MONUMENT SHALL BE RESET, OR A WITNESS MONUMENT OR MONUMENTS SET TO PERPETUATE THE LOCATION IF ANY MONUMENT THAT COULD BE AFFECTED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY SURVEYOR PRIOR TO THE RECORDING OF A CERTIFICATE OF COMPLETION FOR THE PROJECT.  
 -ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE PERMITTED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE CONSTRUCTION CAN COMMENCE. ALL CONSTRUCTION WORK IN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH BURBANK STANDARD PLANS AND MUST BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER. A PUBLIC WORKS EXCAVATION PERMIT IS REQUIRED. THE EXCAVATION PERMIT REQUIRES A DEPOSIT ACCEPTABLE TO THE PUBLIC WORKS DIRECTOR TO GUARANTEE TIMELY CONSTRUCTION OF ALL OFF-SITE IMPROVEMENTS. BURBANK STANDARD PLANS CAN BE ACCESSED AT: [HTTP://FILE.BURBANKCA.GOV/PUBLICWORKS/ONLINECOUNTER/MAIN/INDEX.HTM](http://FILE.BURBANKCA.GOV/PUBLICWORKS/ONLINECOUNTER/MAIN/INDEX.HTM)

**BURBANK POLICE DEPARTMENT NOTES:**

1. SECURE FENCING AROUND THE CONSTRUCTION SITE WITH LOCKING GATES AND APPROPRIATE LIGHTING SHALL BE INSTALLED DURING CONSTRUCTION TO PREVENT TRESPASSING AND THEFT. DURING CONSTRUCTION, THE POLICE DEPARTMENT SHALL BE GIVEN EMERGENCY CONTACT INFORMATION OF CONTRACTORS AND OWNERS FOR ANY PROBLEMS ENCOUNTERED AFTER NORMAL CONSTRUCTION HOURS.  
 2. TO ENSURE THAT CONSTRUCTION PERSONNEL ARE AWARE OF THE RESTRICTED CONSTRUCTION TIMES, THE DEVELOPER SHALL INSTALL PROFESSIONALLY MADE SIGN(S) 2 FT. X 3 FT. IN SIZE IN LOCATION(S) SATISFACTORY TO THE CITY PLANNER AND THE POLICE DEPARTMENT THAT STATES: "NOTICE: THE CITY OF BURBANK LIMITS CONSTRUCTION ACTIVITIES OF THIS PROJECT (DEMOLITION, EXCAVATION, GRADING, ACTUAL CONSTRUCTION, AND LANDSCAPING) AS FOLLOWS: 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY; AND FROM 8:00 AM TO 5:00 PM ON SATURDAY. THERE SHALL BE NO WORK PERFORMED ON SUNDAYS OR ON MAJOR HOLIDAYS." ANY EXCEPTIONS WOULD BE SUBJECT TO THE APPROVAL OF THE DIRECTORS OF BOTH THE COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENTS.

**APPLICABLE CODES:**

- THE PROJECT SHALL COMPLY WITH THE:
- 2019 CALIFORNIA RESIDENTIAL CODE (TITLE 24, PART 2.5).
  - 2019 CALIFORNIA ELECTRICAL CODE (TITLE 24, PART 3).
  - 2019 CALIFORNIA MECHANICAL CODE (TITLE 24, PART 4).
  - 2019 CALIFORNIA PLUMBING CODE (TITLE 24, PART 5).
  - 2019 CALIFORNIA ENERGY CODE (TITLE 24, PART 6).
  - 2019 CALIFORNIA FIRE CODE (TITLE 24, PART 9).
  - 2019 CALIFORNIA GREEN BUILDING CODE (TITLE 24, PART 11).

**LEGAL DESCRIPTION:**

LOT(S) & ARB(S)	BLOCK	TRACT(S)
LOT # 15	-	NO. 5399
APN #	5618-003-012	

**ZONING INFO:**

ZONE:	R1
LOT AREA:	± 27,053 S.F.

**EXISTING SINGLE FAMILY RESIDENCE AREAS: (NO CHANGE)**

	EXISTING
(E) 2 CAR GARAGE:	716
(E) SFR:	2,987

**HILLSIDE DEVELOPMENT PERMIT  
NEW GRADING FOR BUILDING PAD**

**1260 E. ELMWOOD AVE.  
BURBANK, CA 91501  
(FUTURE ADU ADDRESS)**

**SCOPE OF WORK:**

1. NEW GRADING PER CIVIL DRAWINGS, 117.2 CUBIC YARDS OF CUT. (FOR FUTURE 800 S.F. ACCESSORY DWELLING UNIT, 1260 E. ELMWOOD AVE. ADU IS NOT INCLUDED IN THIS SCOPE OF WORK)

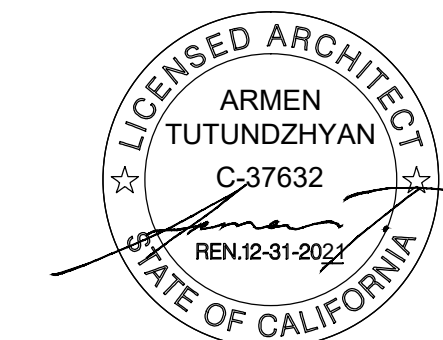
**SHEET INDEX:**

SHEET NO.	SHEET TITLE	ISSUE (SEE BOTTOM OF SHEET)			
GENERAL		A	B	C	D
G-101	COVER SHEET, DWG INDEX, PROJECT INFO	X			
-	TOPOGRAPHIC SURVEY	X			
CIVIL		A	B	C	D
C-0	COVER SHEET & NOTES	X			
C-1	SITE PLAN	X			
C-1.1	EXISTING SITE PLAN	X			
C-2	GRADING PLAN	X			
C-3	GRADING SECTIONS	X			
C-4	GRADING SECTIONS	X			

PROJECT TEAM:

**ARMEN TUTUNDZHIAN ARCHITECT**

3746 FOOTHILL BLVD #311  
GLENDALE, CA 91214  
C. 818-434-2250  
ARMEN.ARCH@GMAIL.COM



AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARMEN TUTUNDZHIAN. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMEN TUTUNDZHIAN. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**PROPERTY OWNER:**

BRUCE PODGORSKI  
1258 E. ELMWOOD AVE.  
BURBANK, CA 91501  
(847) 219-5230  
BRUCE.PODGORSKI@GMAIL.COM

**CIVIL ENGINEER:**

ARSEN ADZHEMYAN  
(818) 455-6667  
ARSENADZHEMYAN@STRUCTURALAF.COM

PROJECT TITLE:

**ELMWOOD GRADING**

FUTURE ADU ADDRESS:  
1260 E. ELMWOOD AVE.  
BURBANK, CA 91501

NO. ISSUED FOR:

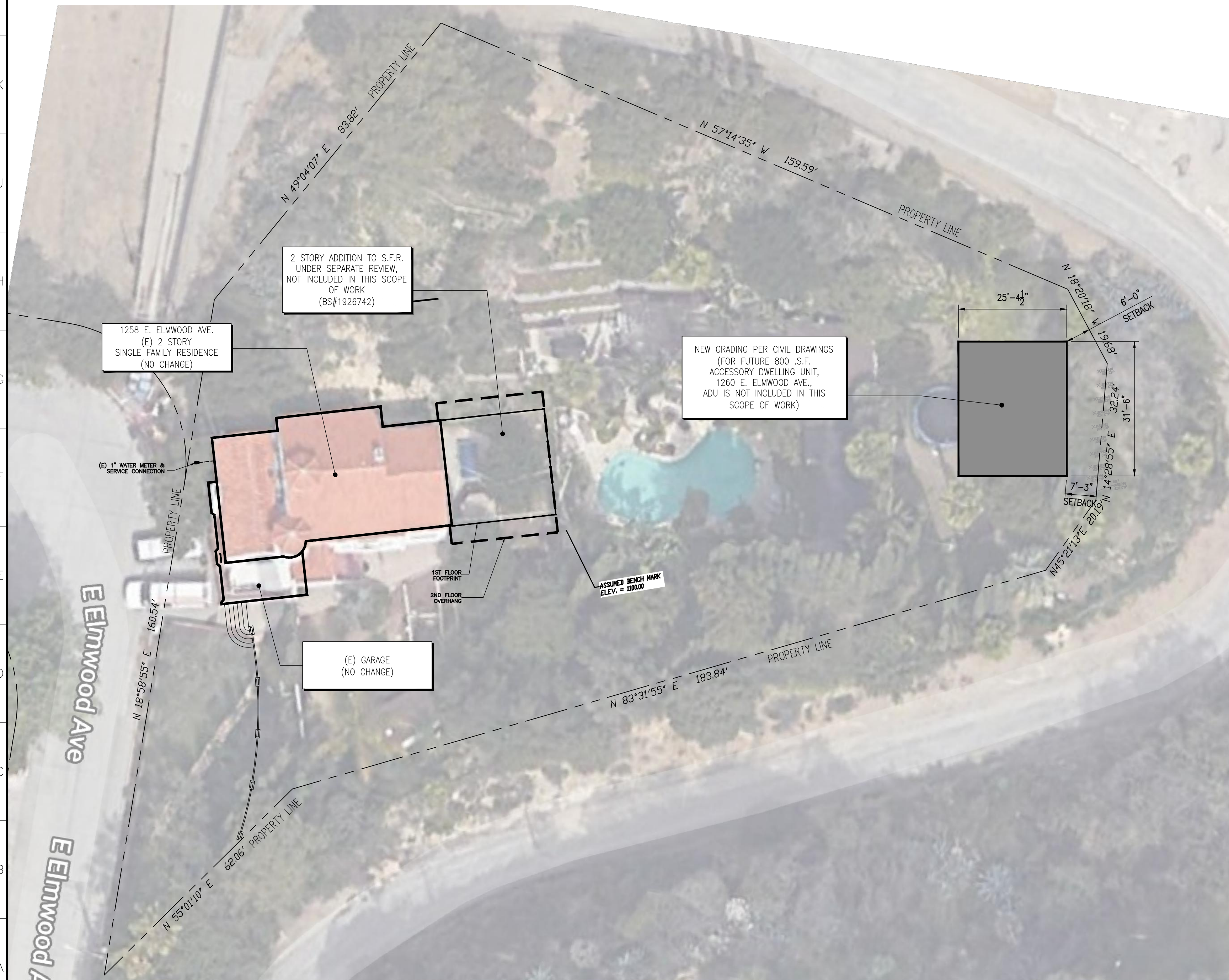

REV BY:

JOB NO.:	12025
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	01-06-21

SHEET DESCRIPTION:  
SITE PLAN  
COVER SHEET

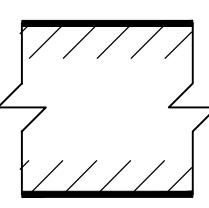
SHEET NUMBER:

**G-101**



**LEGEND:**

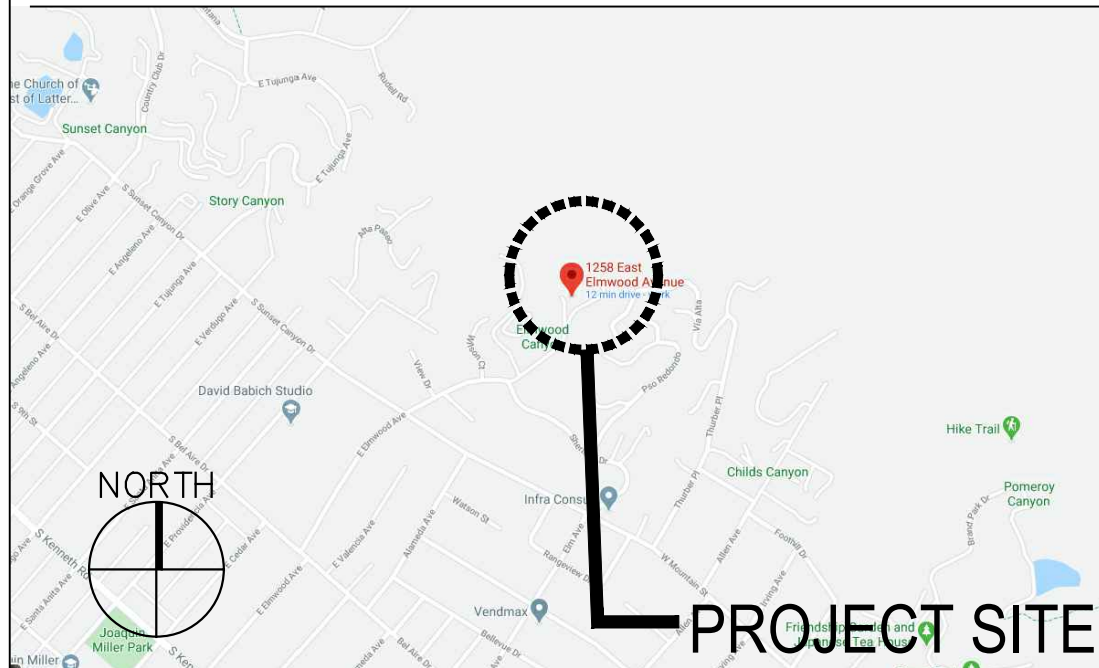
- (N) NEW CONSTRUCTION
- (E) EXISTING CONSTRUCTION



(E) SFR/ GARAGE

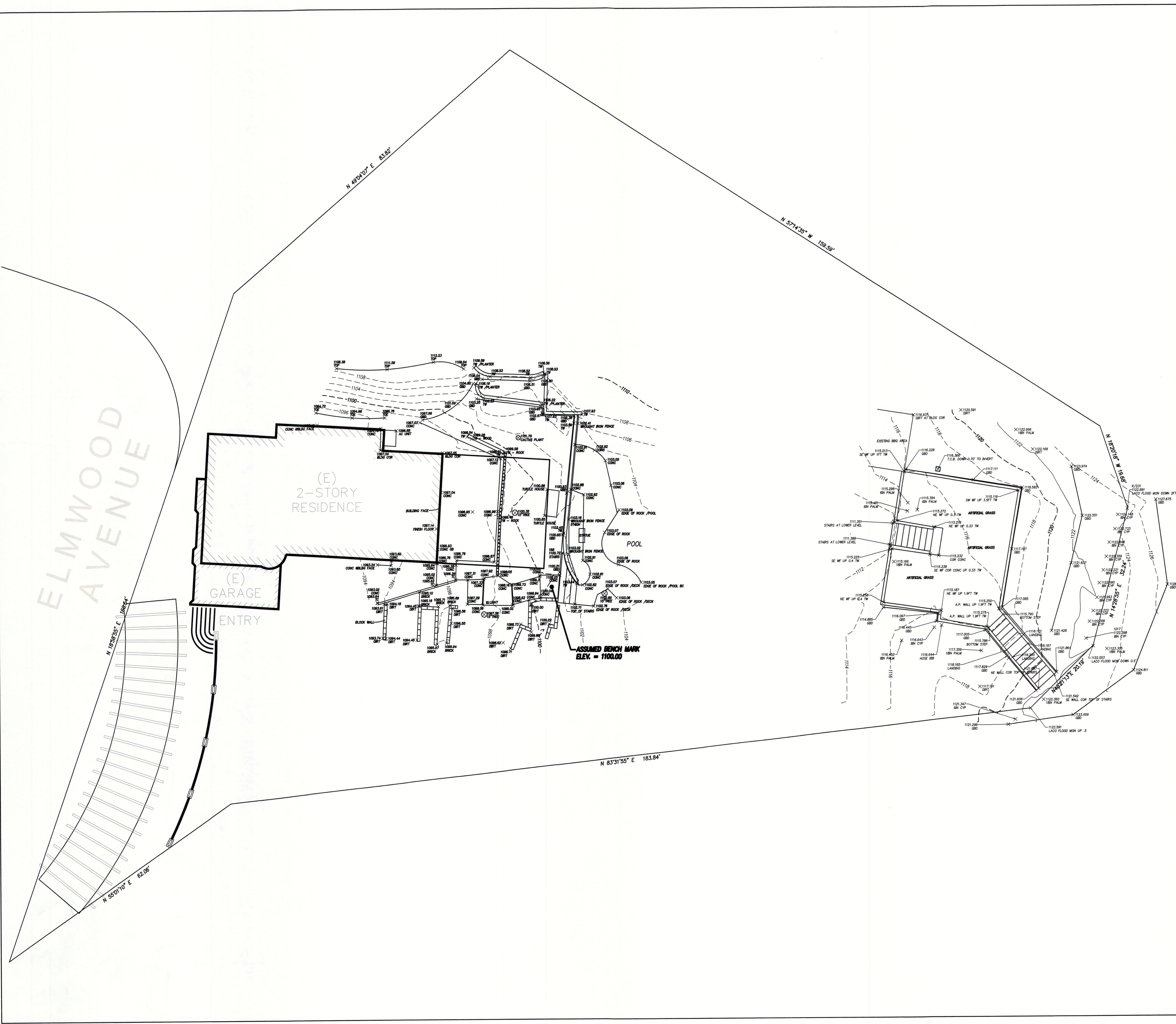
NEW GRADING PER CIVIL DRAWINGS  
(FOR FUTURE 800 S.F. ACCESSORY DWELLING UNIT,  
1260 E. ELMWOOD AVE., ADU IS NOT INCLUDED IN THIS SCOPE OF WORK)

**VICINITY MAP:**



**SITE PLAN**

SCALE: 3/32"=1'-0" 1



**LEGAL DESCRIPTION:**

A PORTION OF LOT 15 OF TRACT NO. 5399, IN MAP BOOK 75, PAGE 65 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND AS SHOWN ON L.A. COUNTY R/W MAP 149-RW10 AS PARCEL NO. 336, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. APNS: 5618-003-012

**SURVEYOR'S STATEMENT:**

I HEREBY STATE THAT I AM A PROFESSIONAL LAND SURVEYOR OF THE STATE OF CALIFORNIA; THAT THIS MAP REPRESENTS A SURVEY MADE UNDER MY SUPERVISION; THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON. IF UNDERGROUND PUBLIC UTILITIES, SUBSTRUCTURES, ZONING AND SETBACK DATA ARE SHOWN HEREON, IT IS FOR INFORMATION PURPOSES ONLY.

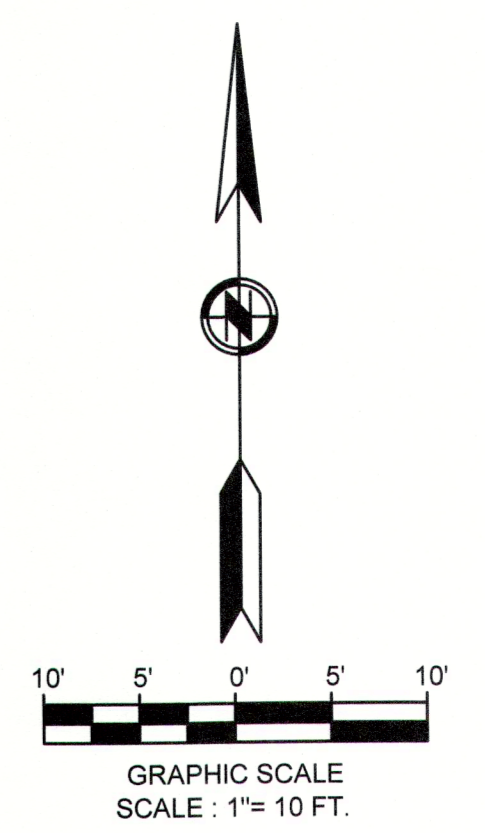
*Kris J. Rigdon*  
KRIS J. RIGDON, L.S. 3587



**COMMENTS:**

BENCHMARK. . . . . ASSUMED ELEV. = 1100.00 AS SHOWN HEREON. TO CONVERT TO L.A. COUNTY FLOOD CONTROL 1965 DATUM R/W MON. 231 = 924.40 PER F.C. 2961 PAGE 58 SUBTRACT 198.49 FROM ELEVATIONS HEREON.

AREA. . . . . BASED UPON MEASURED BEARINGS AND DISTANCES AS SHOWN HEREON, THE AREA OF THE SUBJECT PROPERTY IS: 27,053 SQ. FT. OR 0.621 ACS.



**ABBREVIATIONS:**

APN	ASSESSOR PARCEL NUMBER	GRD	GROUND
BLDG	BUILDING	H	HEIGHT
BLK	BLOCK	HB	HOSE BIB
BW	BACK OF WALK	HP	HIGH POINT
C/L	CENTERLINE	L&T	LEAD & TACK
CL	CHAINLINK FENCE	MB	MAP BOOK
CONC	CONCRETE	O/S	OFFSET
CO	CLEANOUT	PG	PAGE
CYP	ITALIAN CYPRESS	RET.	RETAINING
EC	EDGE OF CONCRETE	SG	SQUARE
FD	FOUND	SS	SANITARY SEWER
FL	FLOW LINE	TC	TOP OF CURB
FS	FINISH SURFACE	TW	TOP OF WALL
FT.	FEET	WF	WALL FACE
G	GAS LINE	WM	WATER METER
GBD	GRADE BREAK DIRT		

**LEGEND:**

	CENTERLINE
	PROPERTY LINE
	LOT LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF ASPHALT
	CHAINLINK FENCE
	WOOD FENCE
	RETAINING WALL
	CLEAN OUT
	DIRECTION OF PHOTOGRAPH
	DIRECTION OF WATER DRAINAGE FLOW
	ELECTRICAL PANEL
	GAS METER
	HOSE BIB
	SEWER MANHOLE
	STREET LIGHT ON 2'x2' CONC. BASE

REV NO.	DATE	DESCRIPTION
A	7/25/20	TITLE EDITS

**RIGDON**  
LAND SURVEYORS  
LAND SURVEYS - LAND PLANNING  
10974 HILLHAVEN AVENUE CELL (818) 425-1869  
TULUNGA, CALIFORNIA 91042 (818) 352-1476

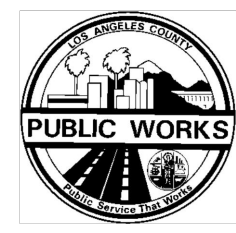
**BRUCE PODGORSKI**  
1258 E. ELMWOOD AVE.  
BURBANK, CA. 91501  
PH. (847) 213-5230

**TOPOGRAPHIC SURVEY**  
PROJECT NAME AND LOCATION  
PODGORSKI RESIDENCE  
PARTIAL SITE TOPO  
1258 E. ELMWOOD AVE.  
BURBANK, CA 91501

SCALE	1" = 10'	
DRAWN BY	D.S.	
DESIGN BY	K.R.	
CHECK BY	K.R.	
APPROVED BY	K.R.	
DATE	7-20-20	
SHT.	OF	SHT.
	1	1
JOB NOS.	01-18 012-20	

**ABBREVIATIONS**

AB	ANCHOR BOLT	JANITOR	JANITORS CLOSET
ABV	ABOVE	JC	JOINT
ABS	ACRYLIC/NITRILE BUTADIENE STYRENE PIPE	JT	JOINT
AC	ASPHALTIC CONCRETE	L	LENGTH
ACR	AIR CONDITIONING	LAM	LAMINATED
ACR	ACRYLIC PLASTIC	LAV	LAVATORY
AD	AREA DRAIN	LD	LIVE LOAD
ADD	ADDENDUM	LP	LOW POINT
ADJ	ADJACENT, ADJUSTABLE	LSL	LAMINATED STRAND LUMBER
AFF	ABOVE FINISH FLOOR	LGT	LIGHT
AGG	AGGREGATE	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE	LVR	LOUVER
ALUM	ALUMINUM	LWR	LIGHTWEIGHT
ANOD	ANODIZED	M	METER(S)
AP	ACCESS PANEL	MAX	MAXIMUM
APPROX	APPROXIMATELY	MB	MACHINE BOLT
ARCH	ARCHITECTURAL	MECH	MECHANICAL
ACCT	ACCTIC TILE	MED	MEDIUM
AUTO	AUTOMATIC	MEF	MET
BD	BOARD	MFR	MANUFACTURE(R)
BIT	BITUMINOUS	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCK	MISC	MISCELLANEOUS
BLKG	BLOCKING	MM	MILLIMETER
BM	BEAM	MO	MASONRY OPENING
B.M	BENCHMARK	MTL	MATERIAL
BRX	BRONZE	MULL	MULLION
BSMT	BASEMENT	MWLK	MILLWORK
BSN	BUILT-UP ROOFING	N	NORTH
CB	CATCH BASIN	NEU(J)	NATURAL
CF	CUBIC FOOT	NAT	NATURAL GRADE
CFM	CUBIC FEET PER MINUTE	N.G.	NOT IN CONTRACT
CFD	CUBIC FEET PER SECOND	NO	NUMBER
CHAM	CHAMFER	NOM	NOMINAL
CI	CAST IRON	NR	NON-REDUCTION
CJ	CIRCUMFERENCE	NTC	NOT TO SCALE
CJ	CEILING JOIST	NTS	NOT TO SCALE
CTL J	CONTROL JOINT	O/C	ON CENTER
CH	CELLING HEIGHT	OD	OUTSIDE DIAMETER
CLG	CEILING	OH	OVERHEAD
CLR	CLEARANCE	OPP	OPPOSITE
CLM	CENTIMETERS	P	PARTITION
CMT	CERAMIC MOSAIC TILE	PCF	POUNDS PER CUBIC FOOT
CMU	CONCRETE MASONRY UNIT	PDF	PEDESTRIAN
CO	CARBON MONOXIDE	PER	PERIMETER
CO2	CARBON DIOXIDE	PERF	PERFORATED
COEX	COEXTRUDED POLYETHYLENE	PLF	POUNDS PER LINEAR FOOT
COL	COLUMN	PL	PROPERTY LINE
COMB	COMBINATION	PLAM	PLASTIC LAMINATE
COMP	COMPRESSED(ED), (ION), (IBLE)	PLG	PLATE GLASS
CONC	CONCRETE	PLY	PLYWOOD
CONC	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONCTN	CONNECTION	PSI	POUNDS PER SQUARE INCH
CONST	CONSTRUCTION	PSL	PARALLEL STRAND LUMBER
CONT	CONTINUOUS OR CONTINUE	PT	POINT
CORR	CORRUGATED	P.T	POST TENSION
CPT	CARPET(ED)	RAID	RADIUM
CMT	COUNTERSINK	R/B	RUBBER BASE
CSP	CASING	RBT	RUBBER TILE
CSP	COMBINATION STANDPIPE	RCP	REINFORCED CONCRETE PIPE
CT	CERAMIC TILE	RD	ROOF DRAIN
CTR	CENTRER CENTER	RES	RESILIENT TILE
CTSK	COUNTERSUNK	RFB	RUBBER FOOT
CY	CUBIC YARD	REV	REVISED, REVISION
DEMO	DEMOLISH, DEMOLITION	RFG	ROOFING
DEP	DEPRESSED	RHT	RIGHT HATCH
DET	DRINKING FOUNTAIN	RFL	REFLECT(ED), (IVE), (OR)
DIAG	DIAGONAL	RH	RIGHT HAND
DIA	DIAMETER	ROOM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DIV	DIVISION	ROW	RIGHT OF WAY
DN	DOWN	S	SOUTH
DN	DOWNSPOUT	SC	SOLID CORE
E	EAST	SCHED	SCHEDULE
(E)	EXISTING	SD	STORM DRAIN
EA	EACH	SEAL	SEALANT
EB	EXPANSION BOLT	SECT	SECTION
EB	EACH FACE	SH	SHEET
EJ	EXPANSION JOINT	SIM	SIMILAR
ELEC	ELEVATION	SPC	SPECIFICATION(S)
ELE	ELECTRICAL	SPK	SPEAKER
ELEV	ELEVATOR	SQ	SQUARE
EMER	EMERGENCY	SS	STAINLESS STEEL
ENC	ENCLOSURE	SST	STANDARD
EP	ELECTRICAL PANEL	STG	SEATING
EQ	EQUAL, EQUIVALENT, EARTHQUAKE	STL	STEEL
EQPT	EQUIPMENT	STO	STORAGE
EST	ESTIMATE(D)	STR	STRUCTURAL
EW	ELECTRIC WATER COOLER	STUR	STANDARD URBAN
EXH	EXHAUST	STUM	STORMWATER MITIGATION PLAN
EXP	EXPANSION	SUSP	SUSPENDED
EX	EXTERIOR	SYM	SYMMETRY, SYMMETRICAL
FA	FRESH AIR, FIRE ALARM	T	TREAD
FB	FACE BRICK, FLAT BAR	TB	TACK BOARD
F.B	FURNISHED BY OTHERS	TELE	TELEPHONE
FBO	FLOOR DRAIN	TER	TERRAZZO
FD	FIRE DEPARTMENT	T&G	TONGUE AND GROOVE
FDC	FIRE DEPARTMENT CONNECTION	TH	THRESHOLD
FDN	FIRE DEPARTMENT CONNECTION	THK	THICKNESS
FE	FIRE EXTINGUISHER	T.O.G.	TOP OF GRATE
FE	FIRE EXTINGUISHER CABINET	TOL	TOLERANCE
FF	FINISH FLOOR	T.O.S.	TOP OF SLAB
FFE	FINISH FLOOR ELEVATION	T.O.SL	TOP OF SLAB
FFL	FINISH FLOOR LINE	T.O.W.	TOP OF WALL
FG	FINISH GRADE	T.PART	TOILET PARTITION
FHC	FIRE HOSE CABINET	TS	TUBE STEEL
FHS	FIRE HOSE STATION	TV	TELEVISION
FN	FINISHED	TV	TYPICAL
FJT	FLUSH JOINT	UC	UNDERCUT
FL	FLOW LINE	UNF	UNFINISHED
FLCO	FLOOR CLEAN OUT	U.O.N.	UNLESS OTHERWISE NOTED
FLG	FLASHING	UR	URINAL
FLR	FLOORING	VAR	VARNISH
FLUR	FLUORESCENT	VB	VAPOR BARRIER
FOC	FACE OF CONCRETE	VCT	VINYL COMPOSITION TILE
FOF	FACE OF FINISH	VD	VOICE / DATA
FO	FINISH MASONRY	VERT	VERTICAL
FOS	FACE OF STUDS	VG	VINYL FABRIC
FP	FIREPROOF	VH	VERY HIGH FIRE HAZARD
FS	FINISHED SURFACE	VHFHSZ	VERY HIGH FIRE HAZARD SEVERITY ZONE
FT	FOOT OR FEET	VT	VINYL TILE
FTG	FOOTING	W	WIDTH, WIDE, WEST, WIDE FLANGE
FUR	FURRED, FURRING	W/	WITH
FUT	FUTURE	WB	WOOD BASE
GA	GAUGE, GAGE	WC	WATER CLOSET
GALV	GALVANIZED	WD	WOOD
GB	GYPSUM BOARD	WF	WIDE FLANGE (STEEL)
GC	GENERAL CONTRACTOR	WG	WIRED GLASS
GCMU	GLAZED CONCRETE MASONRY UNIT	WI	WROUGHT IRON
GFR	GLASS FIBER REINFORCED CONCRETE	WIN	WINDOW
GI	GALVANIZED IRON / STEEL	WM	WIRE MESH
GL	GLASS, GLAZING	WO	WITHOUT
GLB	GLASS BLOCK OR GLUE LAM	W/P	WATERPROOF(ING)
GLP	GLASS FIBER	W.P.	WORKING POINT
GPL	GYPSUM LATH	WSCOT	WAINSCOT
GPM	GALLONS PER MINUTE	WWT	WELDED WIRE FABRIC
GR	GRADE		
GR	GRADE		
HB	HOSE BIBB		
HC	HOLLOW CORE		
HD	HEAVY DUTY		
HDCP	HANDICAPPED		
HDR	HEADER		
HDW	HARDWARE		
HM	HOLLOW METAL (DOOR)		
HSS	HOLLOW STRUCTURAL SECTION (STEEL)		
HWH	HOT WATER HEATER		
HVAC	HEATING/VENTILATING/AIR CONDITIONING		
I.D.	INSIDE DIAMETER		
INCL	INCLUDE(D), (ING)		
INS	INSULATION		
INT	INTERIOR		
INTM	INTERMEDIATE		



**ATTACHMENT A  
BEST MANAGEMENT PRACTICES  
FOR CONSTRUCTION ACTIVITIES\***

**Storm Water Pollution Control Requirements for Construction Activities  
Minimum Water Quality Protection Requirements for All Development Construction  
Projects/Certification Statement**

*The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)*

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other: \_\_\_\_\_

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name \_\_\_\_\_  
(Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_  
(Owner or authorized agent of the owner)

\*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.cabmpnhandbooks.com

Attachment A BMP Notes.doc

**GENERAL REQUIREMENTS**

- ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE.
- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT PROJECT SITE BEFORE EXECUTING ANY WORK. HE SHALL NOTIFY THE OWNER AND/ OR THE AUTHORIZED AGENT OF THE OWNER OF ANY & ALL DISCREPANCIES BEFORE PROCEEDING. IT IS EXPECTED THAT CERTAIN CONDITIONS AS EXISTING ON THE PLANS WILL DEVIATE FROM THE ACTUAL DETAILS OF EXISTING CONSTRUCTION UNCOVERED DURING DEMOLITION. THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD WHEN SUCH SITUATIONS ARISE.
- EACH CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY LEGAL AUTHORITIES BEFORE PRECEDING WITH THEIR PROSPECTIVE INSTALLATION. HE SHALL ALSO ARRANGE & PAY FOR ALL INSPECTIONS & EXAMINATIONS REQUIRED BY THOSE AUTHORITIES (UNLESS AGREEMENT WITH OWNER STATES OTHERWISE.)
- ALL WORK AND MATERIAL ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY & STATE CODES, LOCAL REGULATIONS, AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS, REGULATIONS, AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS AND PLANS, EXCEPT WHERE EXCEEDED HEREIN.
- THE STRUCTURAL PLANS SHALL BE USED IN CONJUNCTION WITH ALL OTHER RELEVANT PLANS FOR THE PROJECT.
- NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS
- THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THEREFORE, THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY ALL PARTS OF THE BUILDING DURING CONSTRUCTION.
- THE DESIGN DOES NOT INTEND TO SHORE, LIMIT, OR RESTORE ANY CONDITIONS RESULTING FROM PREVIOUS SETTLEMENT OR EARTHQUAKE ACTIVITY.
- IF THE DESIGN HAS BEEN DONE WITHOUT OBTAINING A SOIL REPORT, AND A SOIL REPORT IS DONE IN THE FUTURE, CONTACT CM PECK INC. TO DETERMINE IF STRUCTURAL MODIFICATIONS TO THESE DRAWINGS ARE RECOMMENDED.
- A WET WEATHER EROSION CONTROL PLAN (WWECP), UTILIZING SEDIMENT AND EROSION CONTROL BMPs, FOR PROJECTS THAT WILL LEAVE DISTURBED SOIL DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15) IS REQUIRED. THE WWECP MUST BE PREPARED FOR PROJECTS THAT HAVE ALREADY BROKEN GROUND, NOT LESS THAN 30 DAYS PRIOR TO THE BEGINNING OF EACH RAINY SEASON DURING WHICH SOIL WILL BE DISTURBED, AND IMPLEMENTED THROUGHOUT THE ENTIRE RAINY SEASON. A COPY OF THE WWECP SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES BEGINNING 30 DAYS PRIOR TO THE START OF THE RAINY SEASON THROUGH THE END OF THE RAINY SEASON. FOR ALL PROJECTS THAT WILL BEGIN CONSTRUCTION DURING THE RAINY SEASON, THE WWECP MUST BE SUBMITTED TO THE BUREAU OF ENGINEERING, PUBLIC WORKS FOR REVIEW AND APPROVAL. THE WWECP IS NOT A REQUIREMENT FOR THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, ACCOUNT FOR SHIM SPACE, FINISH THICKNESS, LEVELING REQUIREMENTS, ETC. COORDINATE ALL DIMENSIONS SHOWN IN STRUCTURAL PLANS WITH ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES. DO NOT SCALE ANY DIMENSIONS FROM PLANS OR DETAILS.

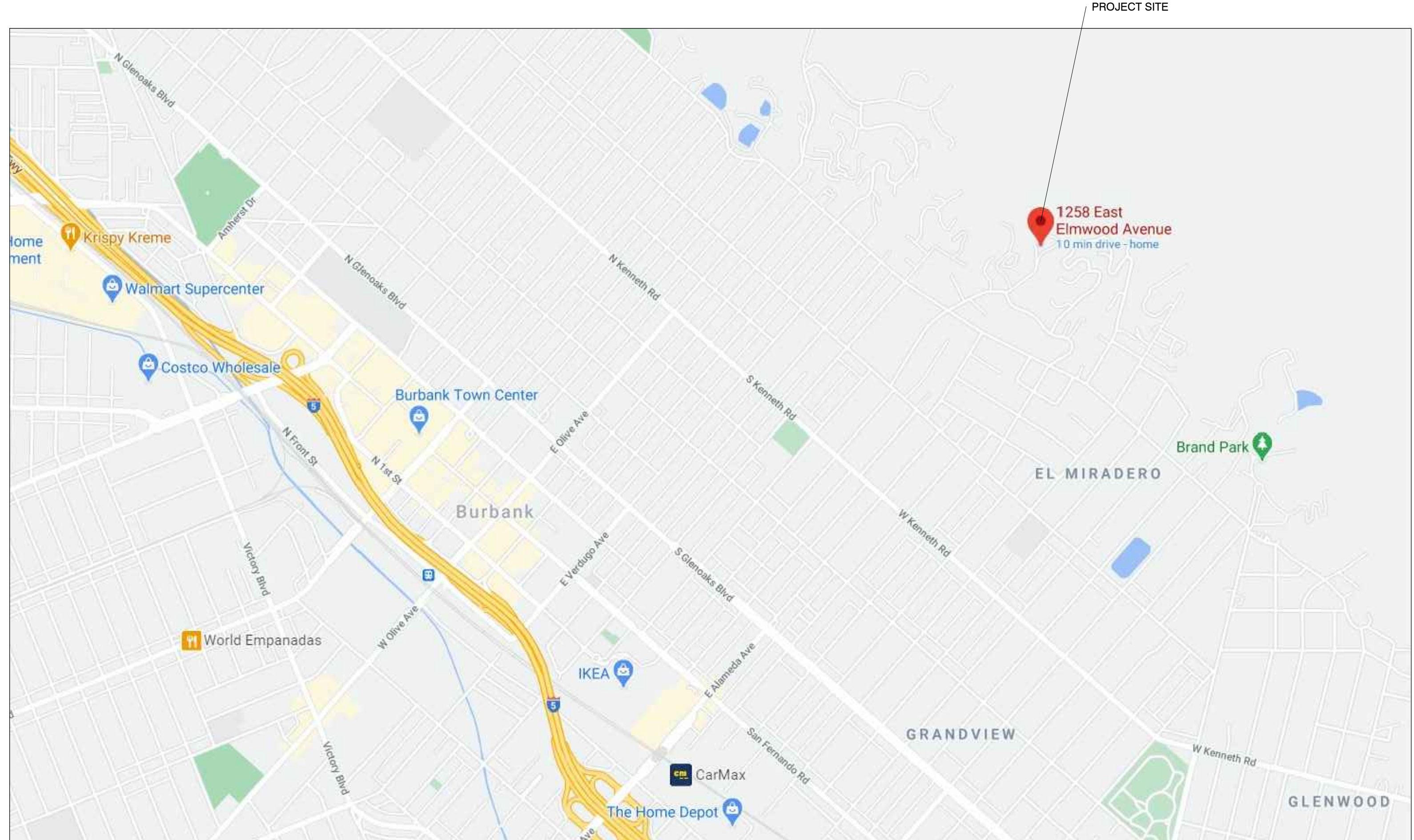
**SPECIAL INSPECTIONS AND DEPUTY INSPECTIONS**

- DEPUTY INSPECTIONS AND SUBSEQUENT REPORTS SHALL BE PREPARED IN CONFORMANCE WITH SECTION 1704 OF THE INTERNATIONAL BUILDING CODE AND THE PROJECT SPECIFICATIONS. ALL DEPUTY INSPECTIONS SHALL BE MADE BY AN INSPECTOR CERTIFIED FOR THE FOLLOWING TYPES OF WORK, WHERE APPLICABLE:
  - ALL SHOP WELDING OF STRUCTURAL STEEL AND REINFORCEMENT, UNLESS THE FABRICATION SHOP POSSESS A TYPE 1 FABRICATORS LICENSE. SUBMIT EVIDENCE OF SUCH TO STRUCTURAL ENGINEER PRIOR TO FABRICATION; B. ALL FIELD WELDING; C. ALL CONCRETE WORK WHEN IT EXCEEDS 2500 PSI @ 28 DAYS; D. HIGH STRENGTH BOLTING; E. SPRAYED ON FIREPROOFING; F. ENGINEERED MASONRY WHEN USING FULL STRESSES; G. HIGH LIFT GROUTING; H. PRESTRESSED CONCRETE; I. SPECIAL MOMENT-RESISTING CONCRETE FRAMES; J. EPOXY ANCHORS AND BOLTS INSTALLED IN CONCRETE; K. HIGH LOAD DIAPHRAGMS; L. SEISMIC RESISTING SYSTEMS; M. PILE FOUNDATIONS.
  - WHERE SPECIAL INSPECTION OR TESTING IS REQUIRED, THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL INCLUDE A "STATEMENT OF SPECIAL INSPECTIONS" ON THE PLANS (1705).
    - SPECIAL/DEPUTY INSPECTIONS ARE REQUIRED FOR MATERIALS, SYSTEMS, COMPONENTS, RESEARCH REPORTS AS LISTED IN THE NOTES ABOVE AND AS SHOWN ON PLANS AND DETAILS.
    - THE TYPE AND EXTENT OF EACH INSPECTION SHALL BE AS SET FORTH IN SECTION 1704 INCLUDING TABLE 1704.3.
    - THE TYPE AND EXTENT OF EACH TEST SHALL BE AS SET FORTH IN SECTION 1704 INCLUDING TABLE 1704.3.
    - ADDITIONAL REQUIREMENTS FOR SPECIAL INSPECTION OR TESTING FOR SEISMIC OR WIND RESISTANCE AS SPECIFIED IN SECTIONS 1705.3, 1705.4, 1707 AND 1708.
    - FOR EACH TYPE OF INSPECTION REFER TO CHAPTER 1704 AND NOTES ON THESE PLANS TO DETERMINE IF INSPECTIONS ARE TO BE PERIODIC OR CONTINUOUS.
  - PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER OR LESS (1707.3).
  - CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM / COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER SEC. 1706.1.

**GENERAL SPECIFICATIONS FOR ALL GRADING PLANS:**

- CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL ENGINEERING REPORT, REPORT IDENTIFIED UNDER PROJECT DIRECTORY.
- CONTINUOUS SPECIAL INSPECTION IS REQUIRED BY GEOTECHNICAL ENGINEER AS IDENTIFIED IN GEOTECHNICAL ENGINEER REPORT. CONTRACTOR IS RESPONSIBLE TO CONTACT AND PROPERLY SCHEDULE ALL INSPECTIONS PRIOR TO START OF WORK.
- SPECIFICATIONS SHALL HAVE PRECEDENCE OVER DRAWINGS.
- THE STAMPED SET OF PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- CUT SLOPES SHALL BE 2:1 MAXIMUM.
- FILL SLOPES SHALL BE 2:1 MAXIMUM AND COMPACTED TO 90% OF THE MAXIMUM DENSITY.
- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
- FILL IN THE COMPACTED FILL AREAS SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY, UNDER THE SUPERVISION OF THE SOILS ENGINEERS.
- A STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
- THE DISTANCE BETWEEN THE TOE OF FILL SLOPES AND AN ADJOINING PROPERTY LINE SHALL BE AT LEAST ONE-HALF OF THE VERTICAL HEIGHT OF THE SLOPE WITH A MAXIMUM OF TWENTY FEET.
- THE TOP OF THE CUT SLOPES SHALL BE LOCATED A MINIMUM OF ONE FOOT FROM THE ADJOINING PROPERTY LINE PLUS A DISTANCE EQUAL TO ONE-FIFTH THE HEIGHT OF THE CUT OR TEN FEET, WHICHEVER IS THE LESSER DISTANCE.
- THE LOCATION OF DUMPING OF EXCESS SOIL SHALL BE APPROVED BY THE GRADING INSPECTOR PRIOR TO COMMENCING EXCAVATION.
- SLOPES SHALL BE BRUSHED PRIOR TO PLACING FILL IN COMPACTED FILL AREAS.
- BRUSHING AND SCARIFYING OF SLOPES SHALL PROCEED ONLY AS FAR AS PERIODICALLY APPROVED BY THE GRADING INSPECTOR.
- BENCHES SHALL BE APPROVED BY THE GRADING INSPECTOR AND SOIL TESTING AGENCY INSPECTOR PRIOR TO PLACING FILL.
- ALL LOOSE FILL SHALL BE REMOVED AND COMPACTED IN COMPACTED FILL AREAS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE.
- LEVELLED AREAS, INCLUDING ASPHALT PAVING, SHALL HAVE MINIMUM GRADES FOR DRAINAGE OF 1% TO THE STREET OR DRAINAGE DEVICES.
- DRIVEWAY GRADES SHALL NOT EXCEED 20%.
- DRIVEWAY GRADES EXCEEDING 10% SHALL BE PAVED.
- NO WORK WHATSOEVER SHALL BE STARTED IN OR ABOUT A GRADING PROJECT WITHOUT FIRST NOTIFYING THE GRADING INSPECTOR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO PROTECT ADJACENT PROPERTIES AND PUBLIC WAYS DURING GRADING OPERATIONS.
- NO WORK SHALL BE DONE IN OR ABOUT THE GRADING PROJECT ON SUNDAY.
- NO WORK SHALL COMMENCE BEFORE 7:00 AM NOR CONTINUE AFTER 6:00 PM.
- DUST SHALL BE CONTROLLED BY WATERING.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATIONS.
- IF GRADING IS NOT EXPECTED TO BE COMPLETED BY OCT. 1, TEMPORARY EROSION CONTROL PLANS SHALL BE PREPARED AND APPROVED PRIOR TO OCT. 1.
- ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO OCT. 1 AND SHALL BE MAINTAINED UNTIL APRIL 15. OBTAIN GRADING INSPECTORS AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES (>200 CY).
- MAN MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISHED GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- SUBGRADE FOR CONCRETE DRAINAGE DEVICES SHALL BE TRIMMED, FINISHED, MOISTENED AND COMPACTED.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL

**VICINITY MAP**



**PROJECT DIRECTORY**

CIVIL ENGINEER:  
STRUCTURAL AF  
1010RALEIGH ST, #107  
GLENDALE, CA 91205

OWNER:  
MR. BRUCE PODGORSKI  
1258 E ELMWOOD AVE.,  
BURBANK, CA 91501

PROJECT DESCRIPTION  
NEW ONE-STORY ACCESSORY  
DWELLING UNIT

CUT AND FILL VOLUMES  
SEE SHEET C3

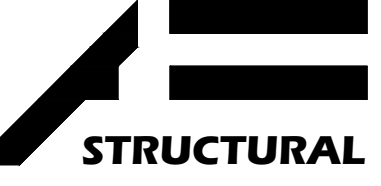
THESE VOLUMES ARE ESTIMATES FOR  
ENGINEERING AND CODE PURPOSES  
ONLY.

**SHEET INDEX**

- C-0 COVER SHEET AND NOTES
- C-1 SITE PLAN
- C-1.1 EXISTING SITE PLAN
- C-2 GRADING PLAN
- C-3 GRADING SECTIONS
- C-4 GRADING SECTIONS



PROJECT NO:2020-166  
DATE: 10/08/2020



**STRUCTURAL AF**  
ARSEN ADZHEMYAN, P.E., ENV. SP.  
(818)455-6667  
ARSENADZHEMYAN@  
STRUCTURALAF.COM

DESIGNED BY: A. A.  
CHECKED BY: V. V.

PREPARED FOR:  
MR. BRUCE PODGORSKI

PROJECT ADDRESS:  
1258 E ELMWOOD AVE.  
BURBANK, CA  
91501

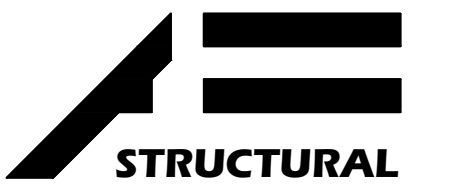
REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

**COVER SHEET  
AND NOTES**





PROJECT NO. 2020-166  
DATE: 10/08/2020



**STRUCTURAL AF**  
ARSEN ADZHEMYAN, P.E. ENV. SP.  
(818)455-6667  
ARSENADZHEMYAN@  
STRUCTURALAF.COM

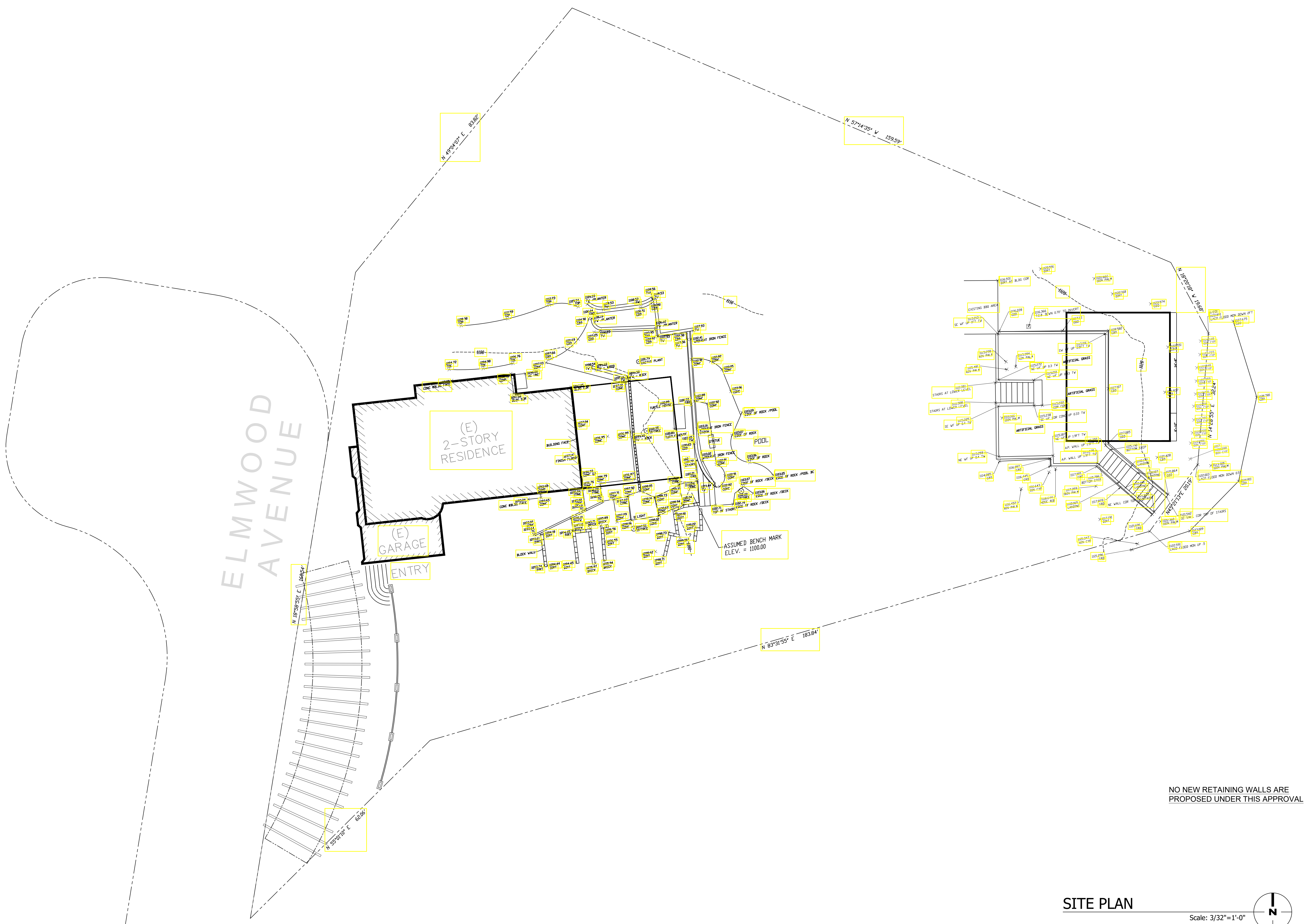
DESIGNED BY: A.A.  
CHECKED BY: V.V.

PREPARED FOR:  
MR. BRUCE PODGORSKI  
PROJECT ADDRESS:  
1258 E ELMWOOD AVE.  
BUREBANK, CA  
91501

REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

# SITE PLAN

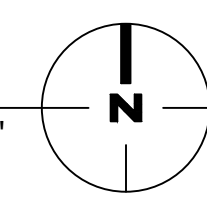
C-1



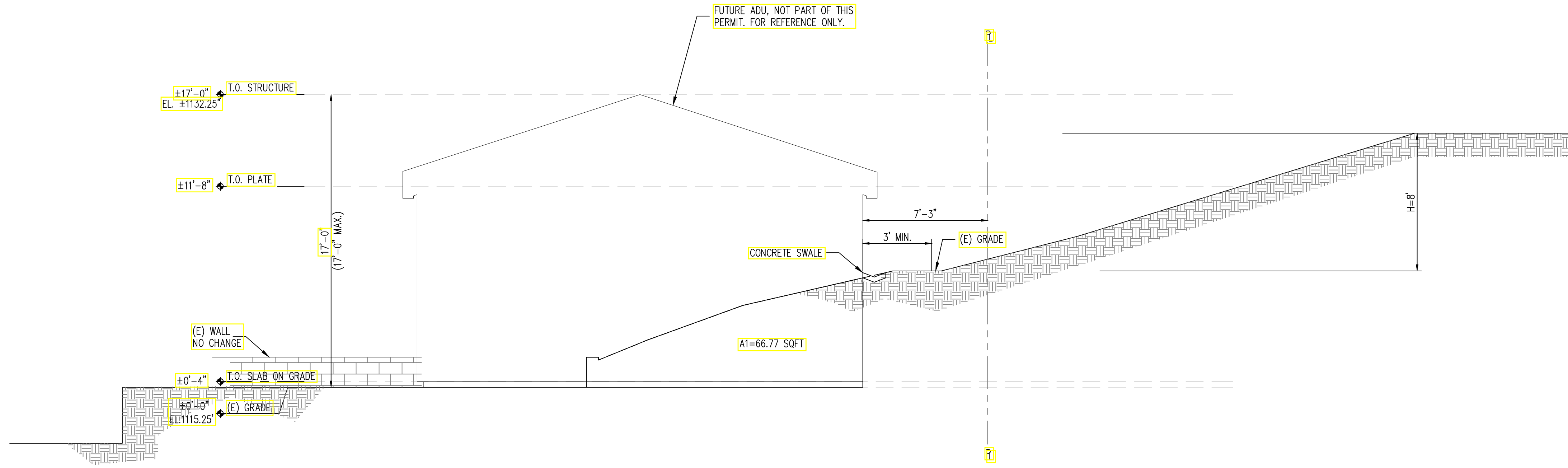
NO NEW RETAINING WALLS ARE PROPOSED UNDER THIS APPROVAL

## SITE PLAN

Scale: 3/32"=1'-0"

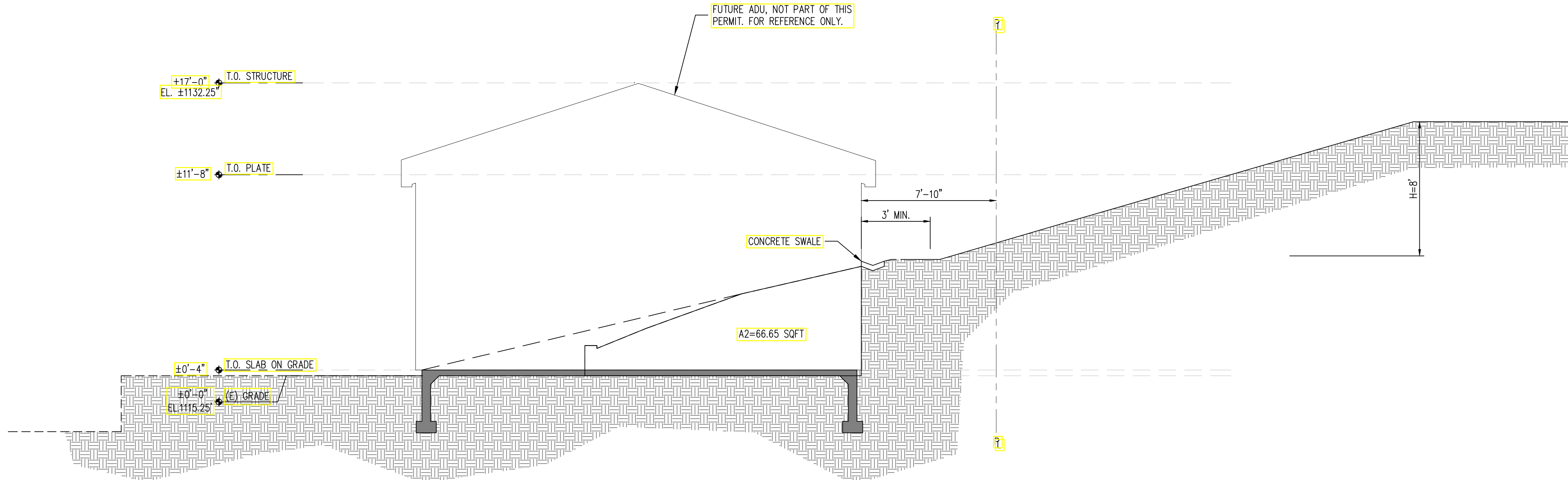






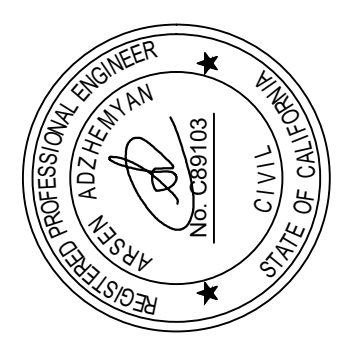
**1 SECTION**  
Scale: 1/4"=1'-0"

NO NEW RETAINING WALLS ARE PROPOSED UNDER THIS APPROVAL

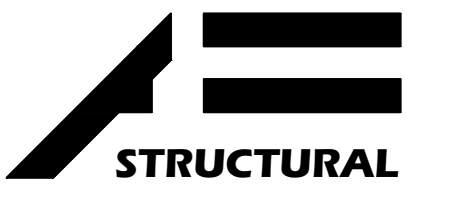


**2 SECTION**  
Scale: 1/4"=1'-0"

NO NEW RETAINING WALLS ARE PROPOSED UNDER THIS APPROVAL



PROJECT NO.2020-166  
DATE: 10/08/2020



**STRUCTURAL AF**  
ARSEN ADZHEMYAN, P.E., ENV. SP.  
(818)455-6667  
ARSENADZHEMYAN@STRUCTURALAF.COM

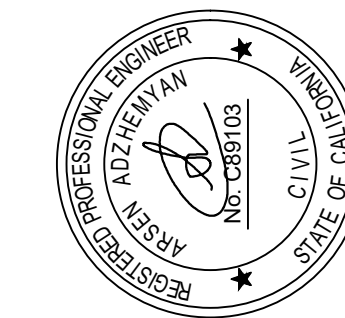
DESIGNED BY: A.A.  
CHECKED BY: V.V.

PREPARED FOR:  
MR. BRUCE PODGORSKI  
PROJECT ADDRESS:  
1258 E ELMWOOD AVE.  
BURBANK, CA  
91501

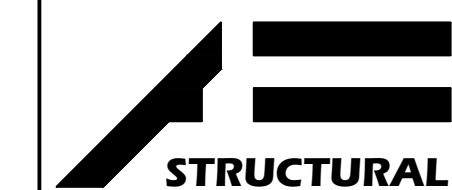
REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

GRADING SECTIONS

C-3



PROJECT NO. 2020-166  
DATE: 10/08/2020



**STRUCTURAL AF**  
 ARSEN ADZHEIMYAN, P.E. ENV. SP.  
 (818)455-6667  
 ARSENADZHEIMYAN@STRUCTURALAF.COM

DESIGNED BY: A.A.  
CHECKED BY: V.V.

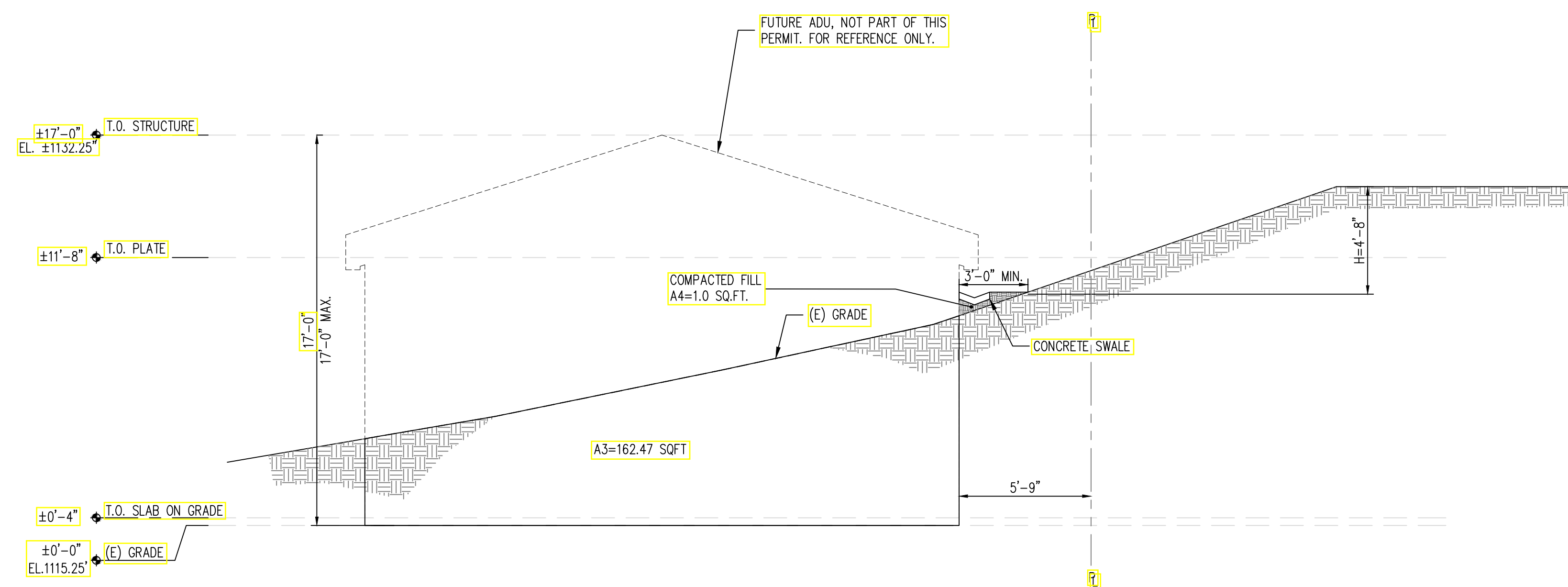
PREPARED FOR:  
MR. BRUCE PODGORSKI

PROJECT ADDRESS:  
1258 E ELMWOOD AVE.  
BURBANK, CA  
91501

REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

**GRADING SECTIONS**

**C-4**



**1 SECTION**  
Scale: 1/4"=1'-0"

NO NEW RETAINING WALLS ARE PROPOSED UNDER THIS APPROVAL

$$\text{CUT VOLUME} = ((A1+A2)*D1)/2 + ((A2+A3)*D2)/2 = (66.77+66.65)*6.83/2 + (66.65+162.47)*24.67/2 = 455.63+2826.19=3281.82 \text{ CU FT} = 121.55 \text{ CU YD}$$

$$\text{FILL VOLUME} = ((A4+0)*D2)/2 = (1+0)*24.67/2 = 12.33 \text{ CU FT} = 0.45 \text{ CU YD}$$