

**EXHIBIT B: VIEW STUDY FOR HILLSIDE DEVELOPMENT PROJECT NO. 18-0002784
LOCATED AT 3209 CASTLEMAN LN, BURBANK, CA 91504**

Objective and Analysis:

Per Burbank Municipal Code Section 10-1-607(D)(3)(f), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. As a part of the view study the applicant installed story poles on the property that outlined the bulk of the proposed 387-square-foot pool house and patio expansion in the proposed locations; In addition to the public notices, residents and property owners of all the neighboring properties located within the immediate vicinity of the project site were contacted and informed of the proposed project along with the process involved in the view study. Pictures of the proposed development were captured from various angles to assess the potential impact of the development on the views from the neighboring properties.



Figure 1: Location of the proposed project with respect to the neighboring properties

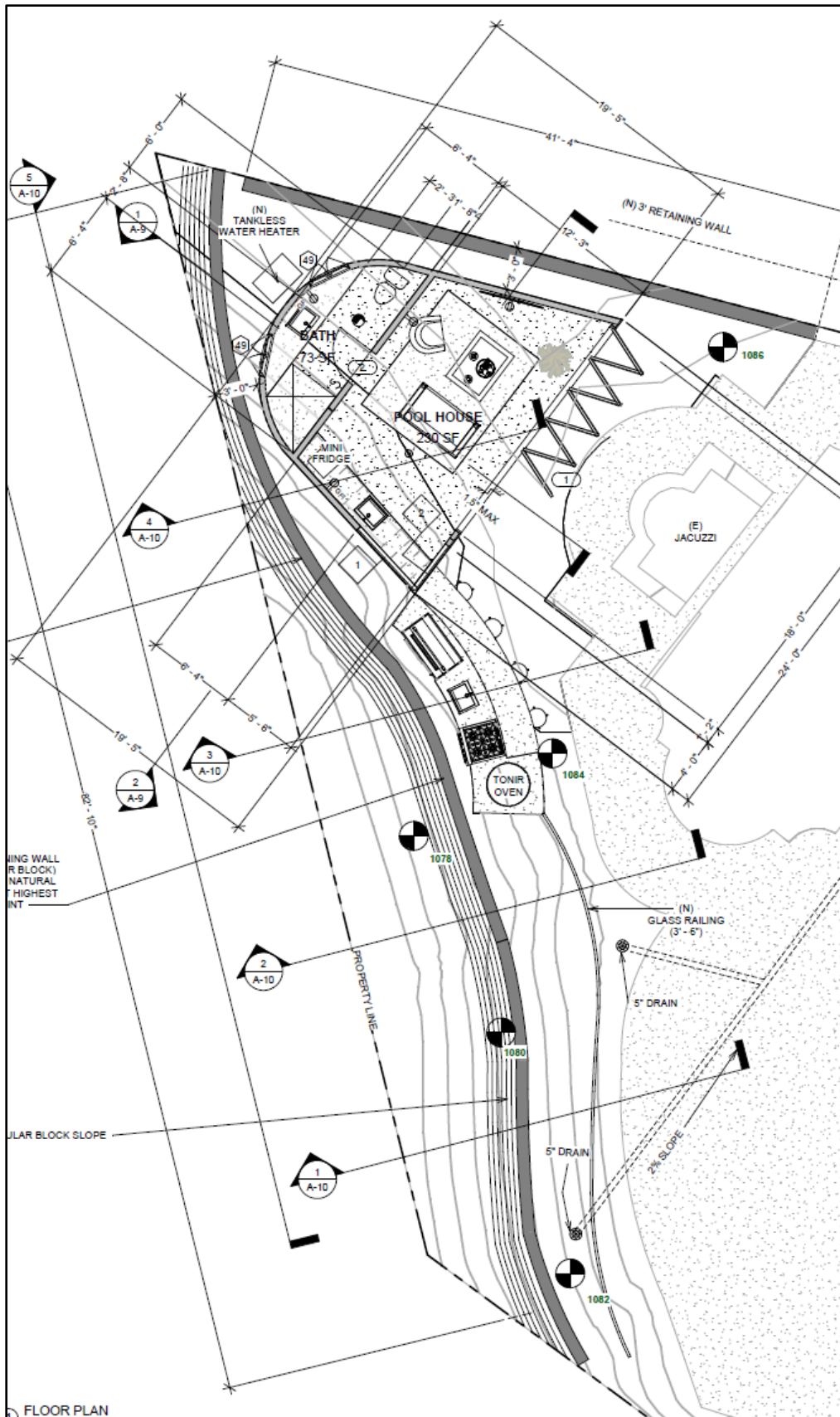


Figure 3: The proposed development laid over the existing topography



Figure 4: Photos of proposed project site taken from different locations around the property.



EXHIBIT B

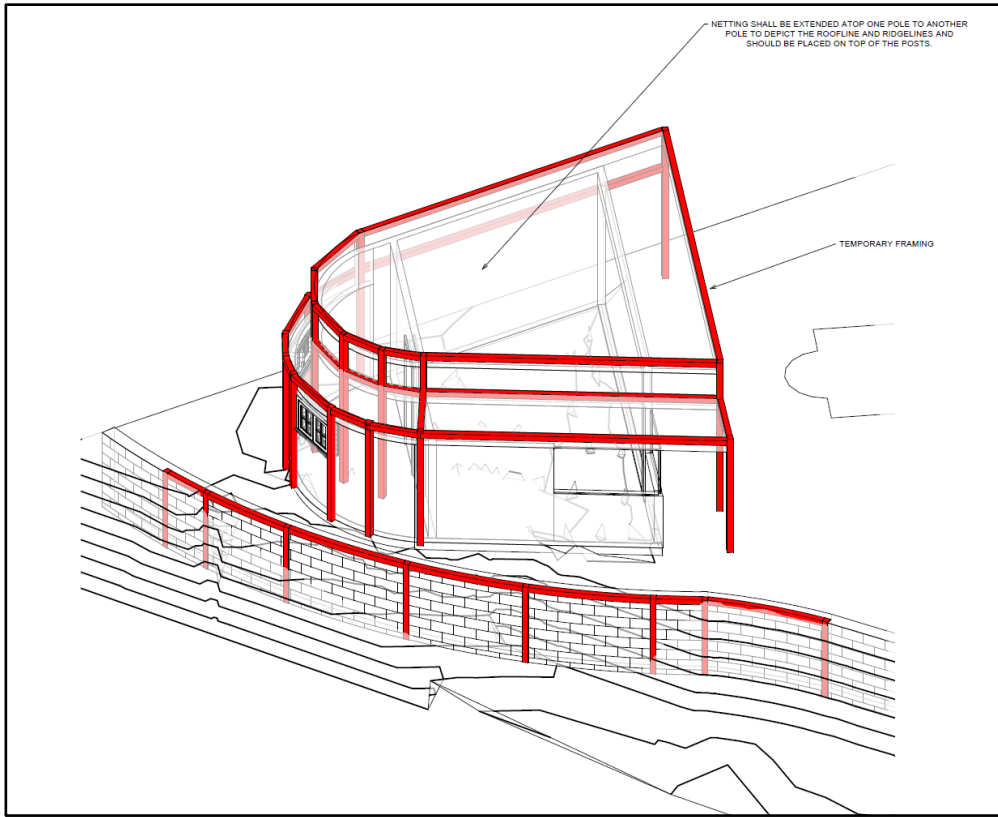


Figure 5: 3-d view of installed story-poles.

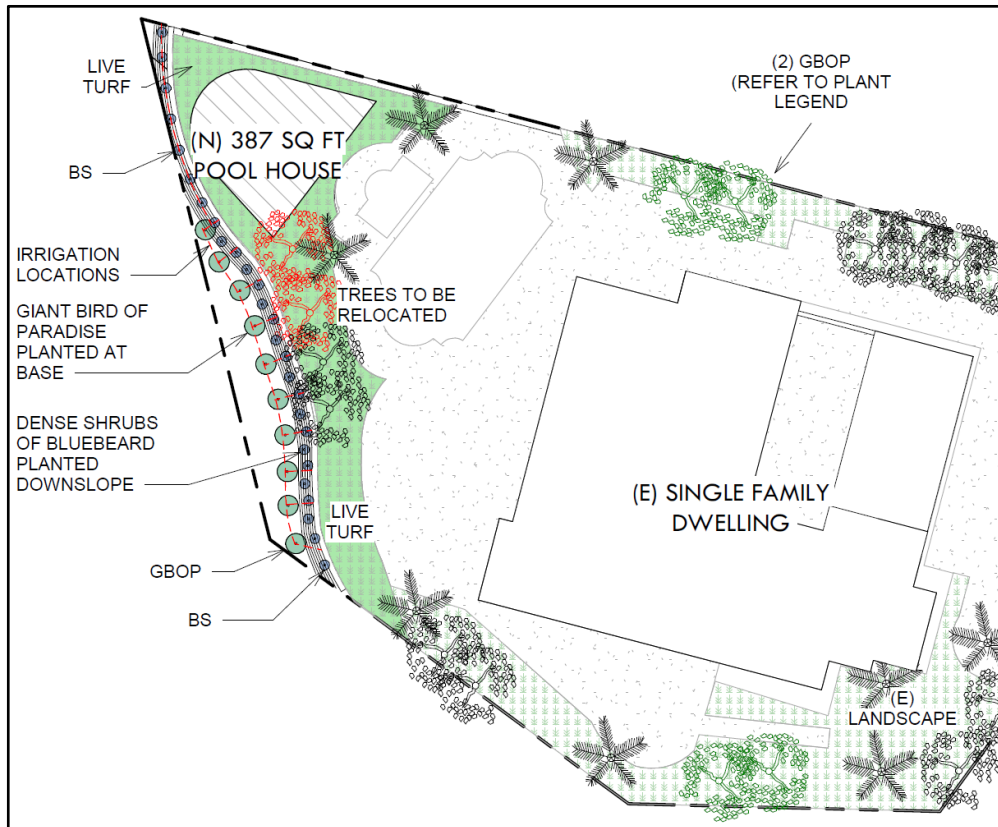


Figure 6: Proposed landscaping and vegetation screening.

Conclusion:

As evident from the above figures, the placement and overall massing of the proposed addition will have minimal impact on the views from surrounding properties.

The massing of the pool house is substantially smaller and subordinate to the massing of the main residence (Figure 3). The expansion of the flat rear yard area, which will be accomplished by the addition of a retaining wall at a height of 5 feet at its tallest point, will be fully screened by vegetation (Figure 6). In addition, staff analyzed the difference in elevation between the subject property and the upslope properties from whose views could be affected (Figure 2). Among these properties, the one with the lowest elevation is at least 16-20 feet higher than the finished grade of the site of the proposed pool house, and therefore the pool house will be below the eye level view of all the upslope properties. The downslope views will be screened by the proposed vegetation, as required by the Burbank Municipal Code.

Therefore, the primary views of the cityscape and upslope hills from the neighboring properties are not being impacted due the proposed pool house and retaining wall additions. Considering the information provided by the story poles, City staff's analysis of the Project indicates that there will be no unreasonable impact to the primary and secondary views of properties in the surrounding neighborhood.