

Renovations To Walsh Residence

822 N. Beachwood Dr., Burbank

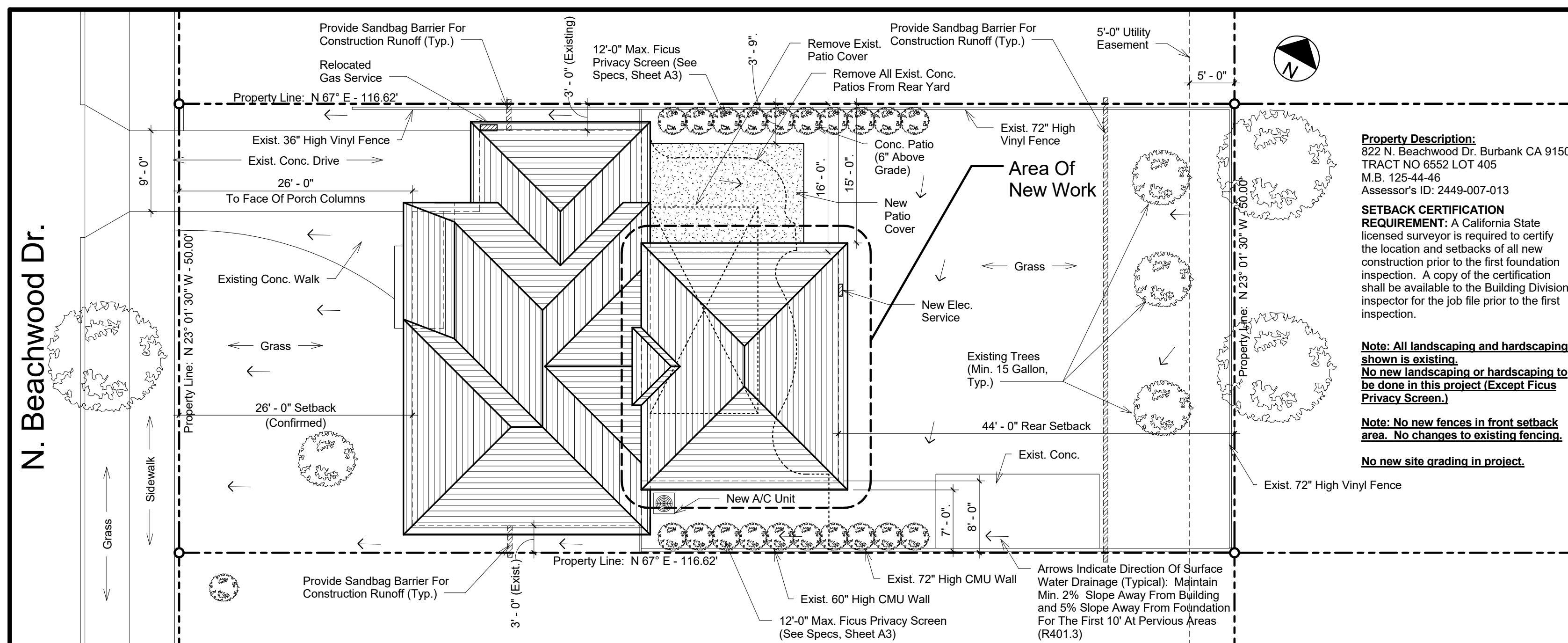


Property Description:
822 N. Beachwood Dr. Burbank CA 91506
TRACT NO 6552 LOT 405 M.B. 125-44-46 Assessor's ID: 2449-007-013

Project Description:
Addition of 2-story 1139 sq. ft. structure to rear of existing residence, consisting of new Master Suite, 2 new Bedrooms, and 2 new Bathrooms. Renovation of existing Kitchen & Living Areas. No basement in Project. No change in existing grading.

Project Information:

- Owners: Larry & Amanda Walsh
- Occupancy: Single Family Residence: Group R3
- Zoning: R-1
- Front Yard Setback: Prevailing (No Change)
- Rear Yard Setback: 44'-0"
- Side Yard Setbacks: 5'-0"
- Construction: Type V-B
- Fire Sprinklers: Yes
- No. Of Stories: 2
- Max. Building Height: 23'-2" Above Grade
- Parking: 1 Covered (Existing)
- Lot Size: 5831 S.F.
- House (Existing): 812 S.F.
- Covered Front Porch (Expanded): 68 S.F.
- Addition: 1145 S.F.
- Addition (Footprint): 565 S.F.
- Covered Patio: 187 S.F.
- Garage (Existing): 162 S.F.
- Garage Included In FAR: 0 S.F.
- Total Living Area: 812+1145 + 187 = 2144 S.F. (Includes Exterior Walls)
- Total Building Footprint Area: 812+68+162+565+187 = 1794 S.F. (Includes Exterior Walls)
- Lot Coverage: 1794 / 5831 = 30.77%
- Floor Area Ratio: 2144 / 5831 = 36.77%



1 Site Plan
1" = 10'-0"

Average Setback Calculations

South of Property:

- Residence 1 (820 N. Beachwood): 26'-0"
- Residence 2 (814 N. Beachwood): 25'-0"
- Residence 3 (810 N. Beachwood): 25'-0"
- Residence 4 (806 N. Beachwood): 25'-0"
- Residence 5 (802 N. Beachwood): 25'-0"

North of Property:

- Residence 1 (826 N. Beachwood): 25'-0"
- Residence 2 (830 N. Beachwood): 26'-0"
- Residence 3 (834 N. Beachwood): 26'-0"
- Alley

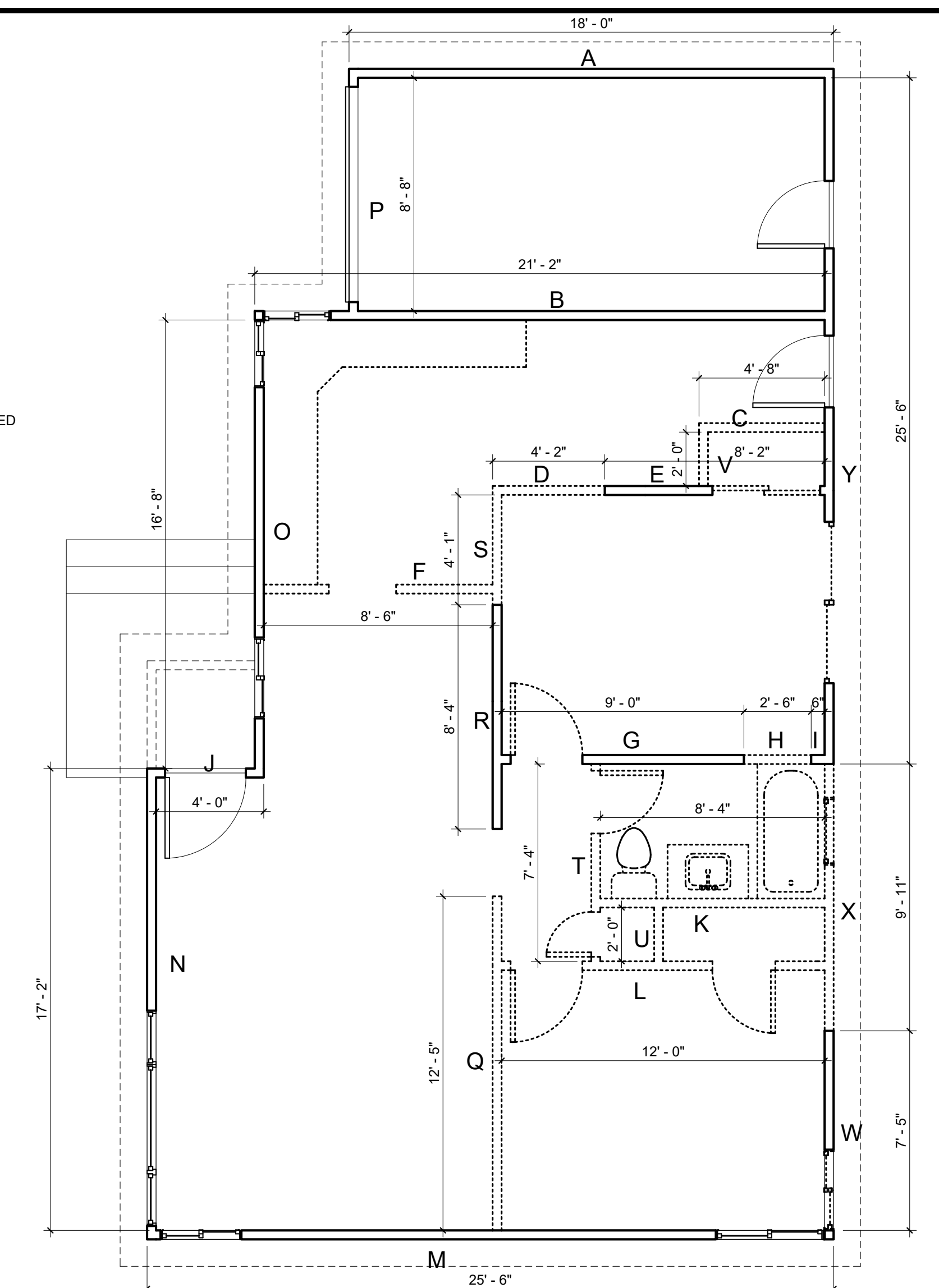
$$26+25+25+25+25+25+26+26 = 203$$
$$203 / 8 = 25.4' \text{ Average Setback}$$

Demolition Calculations

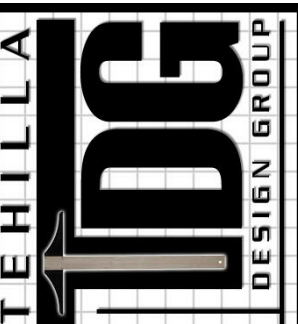
EXISTING (E) WALL LENGTHS	(E) WALL LENGTHS TO REMAIN	(E) WALL LENGTHS TO BE REMOVED
A = 18.00	A = 18.00	C = 4.67
B = 21.17	B = 21.17	D = 4.17
C = 4.67	E = 8.17	F = 8.50
D = 4.17	G = 9.00	H = 2.50
E = 8.17	I = 0.50	K = 8.33
F = 8.50	J = 4.00	L = 12.00
G = 9.00	M = 25.50	O = 12.42
H = 2.50	N = 17.17	S = 4.08
I = 0.50	O = 16.67	T = 7.33
J = 4.00	P = 8.67	U = 2.00
K = 8.33	R = 8.33	V = 2.00
L = 12.00	W = 7.42	X = 9.92
M = 25.50	Y = 25.50	Y = 25.50
N = 17.17		
O = 16.67		
P = 8.67		
Q = 12.42		
R = 8.33		
S = 4.08		
T = 7.33		
U = 2.00		
V = 2.00		
W = 7.42		
X = 9.92		
Y = 25.50		
TOTAL LENGTH = 170.10		TOTAL LENGTH = 77.92
170.10 / 248.02 = 68.58%		77.92 / 248.02 = 31.42%
(E) WALL TO REMAIN		(E) WALL BEING REMOVED
TOTAL LENGTH = 248.02		

Legend

- Walls, etc. to remain
- Walls, etc. to be demolished

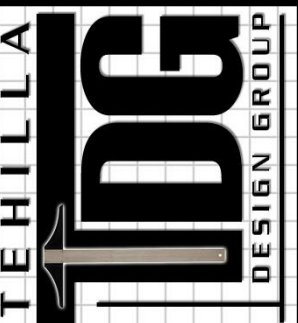


2 Demolition Plan
1/4" = 1'-0"



SYD DEFRATES, AIA
ARCHITECT
P.O. Box 6784
Burbank, CA 91510
818.319.9651
syd@tehilladesign.com

TEHILLA DESIGN GROUP
FULL-SCALE ARCHITECTURAL SERVICES
www.tehilladesign.com
PROJECT
Additions To Residence
Walsh Residence
822 N. Beachwood Dr. Burbank, CA
SHEET TITLE
Cover Sheet, Site Pl., Demo Pl., Project Info



REVISIONS

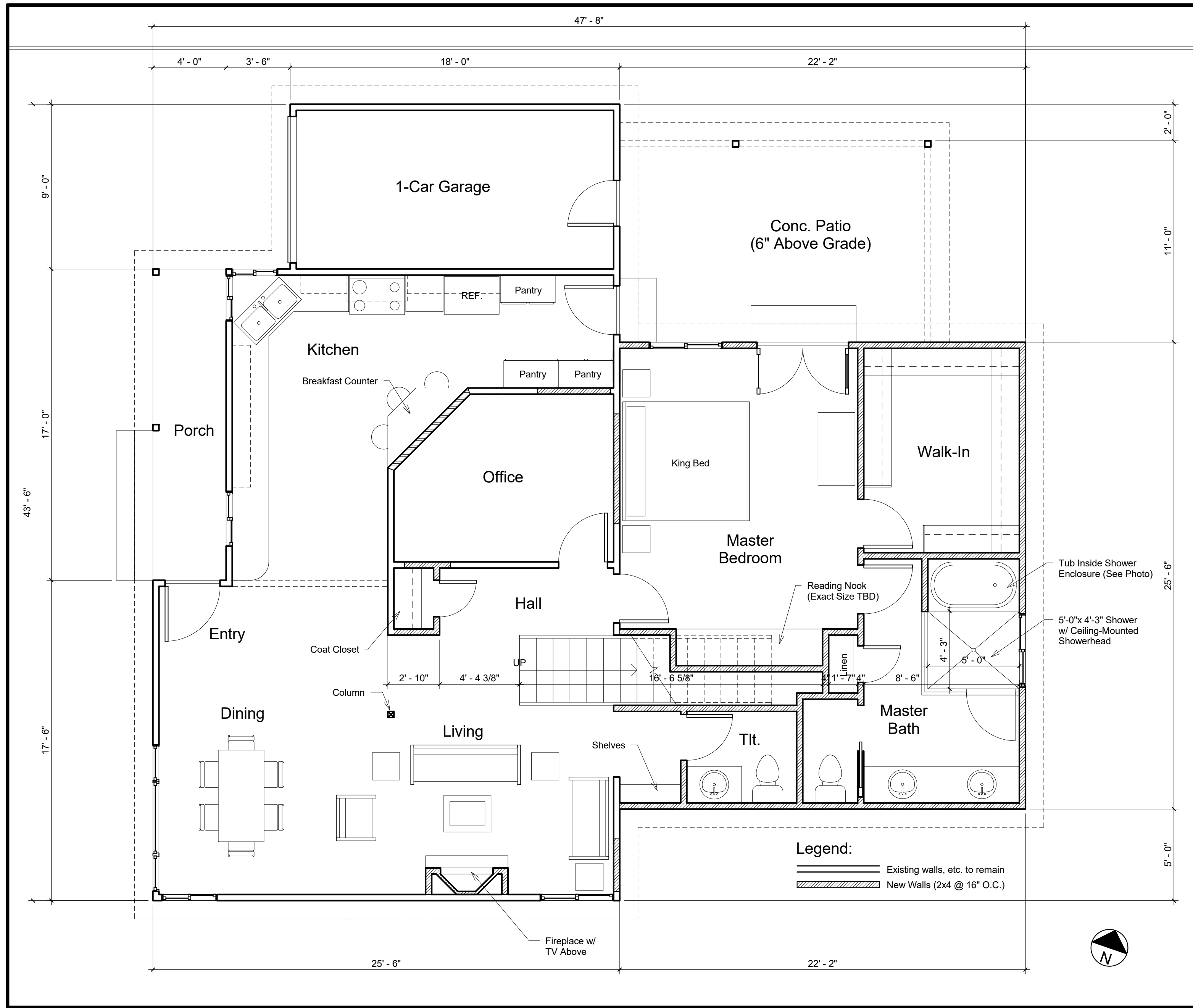
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19010
DATE
December 2019
DRAWN BY
SGD

Cover Sheet,
Site Pl.,
Demo Pl.,
Project Info

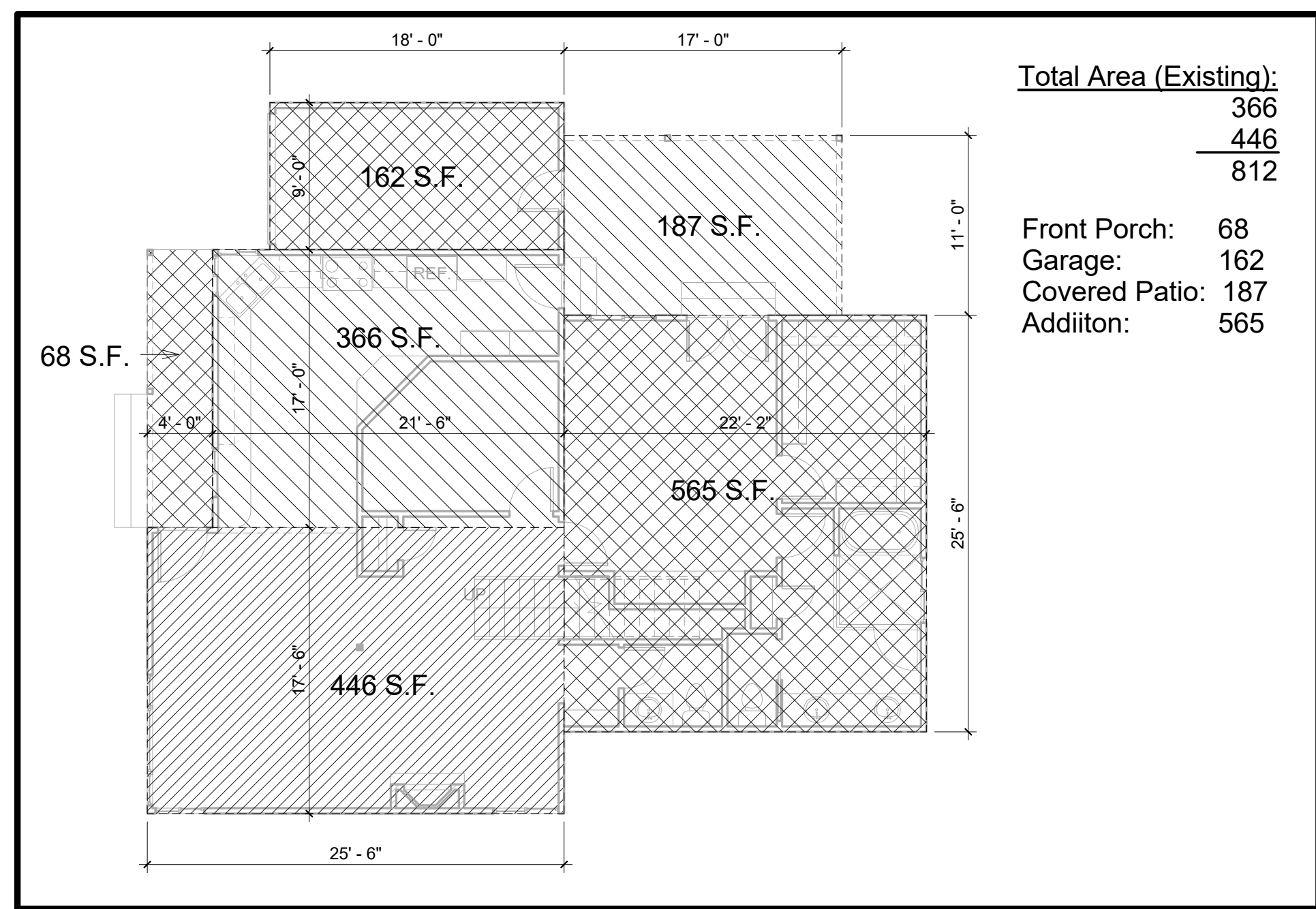
SHEET NUMBER

A1

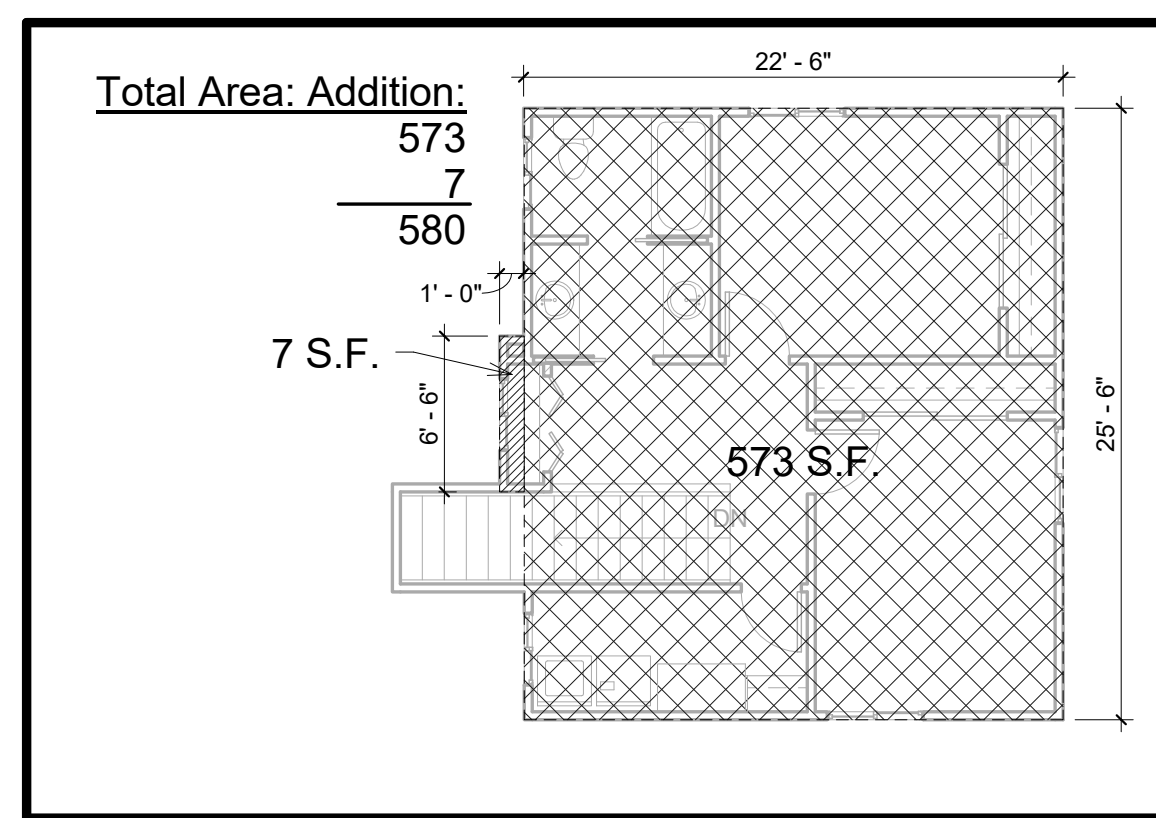
OF 4 SHEETS



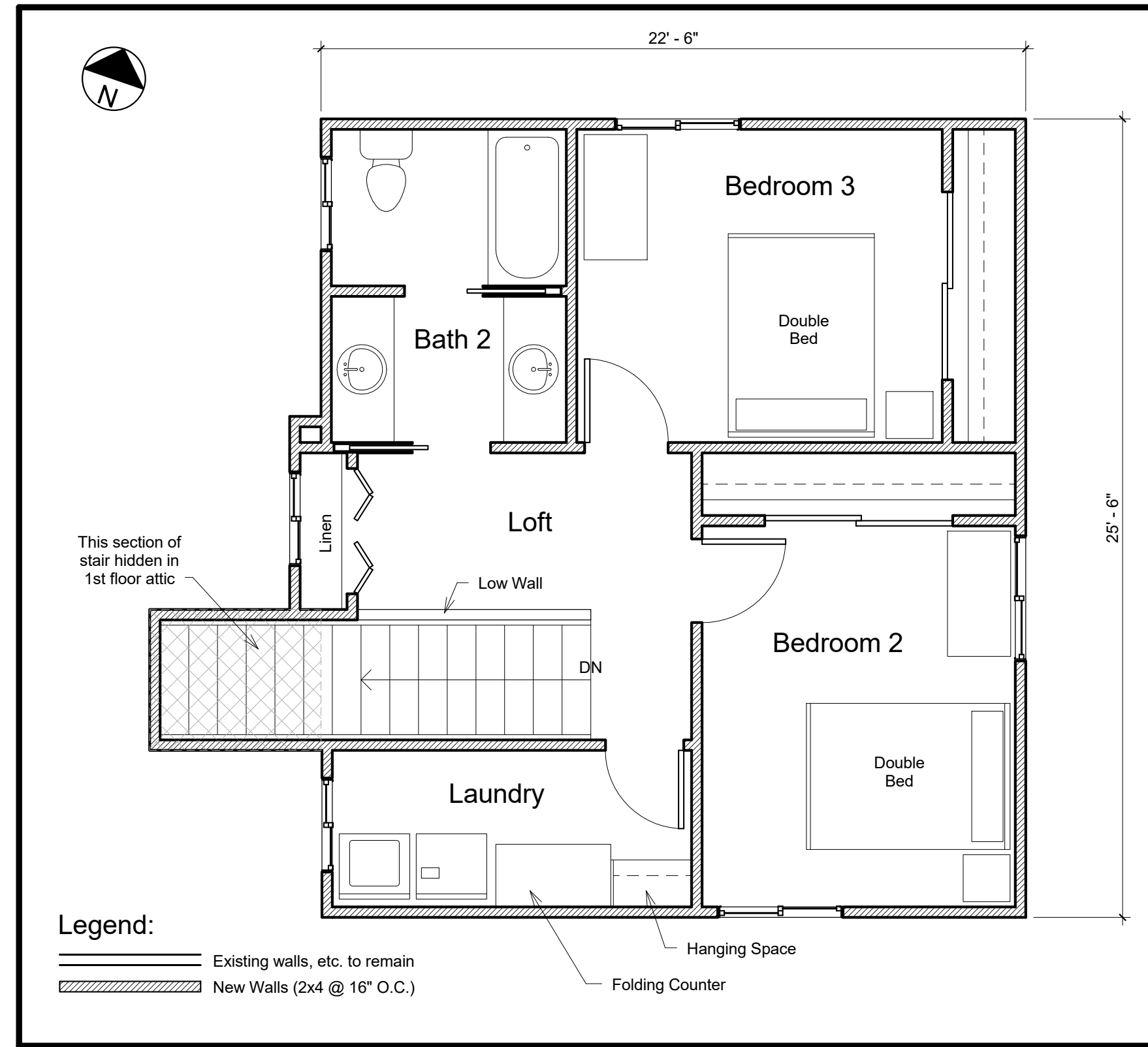
1 1st Floor Plan (Proposed)



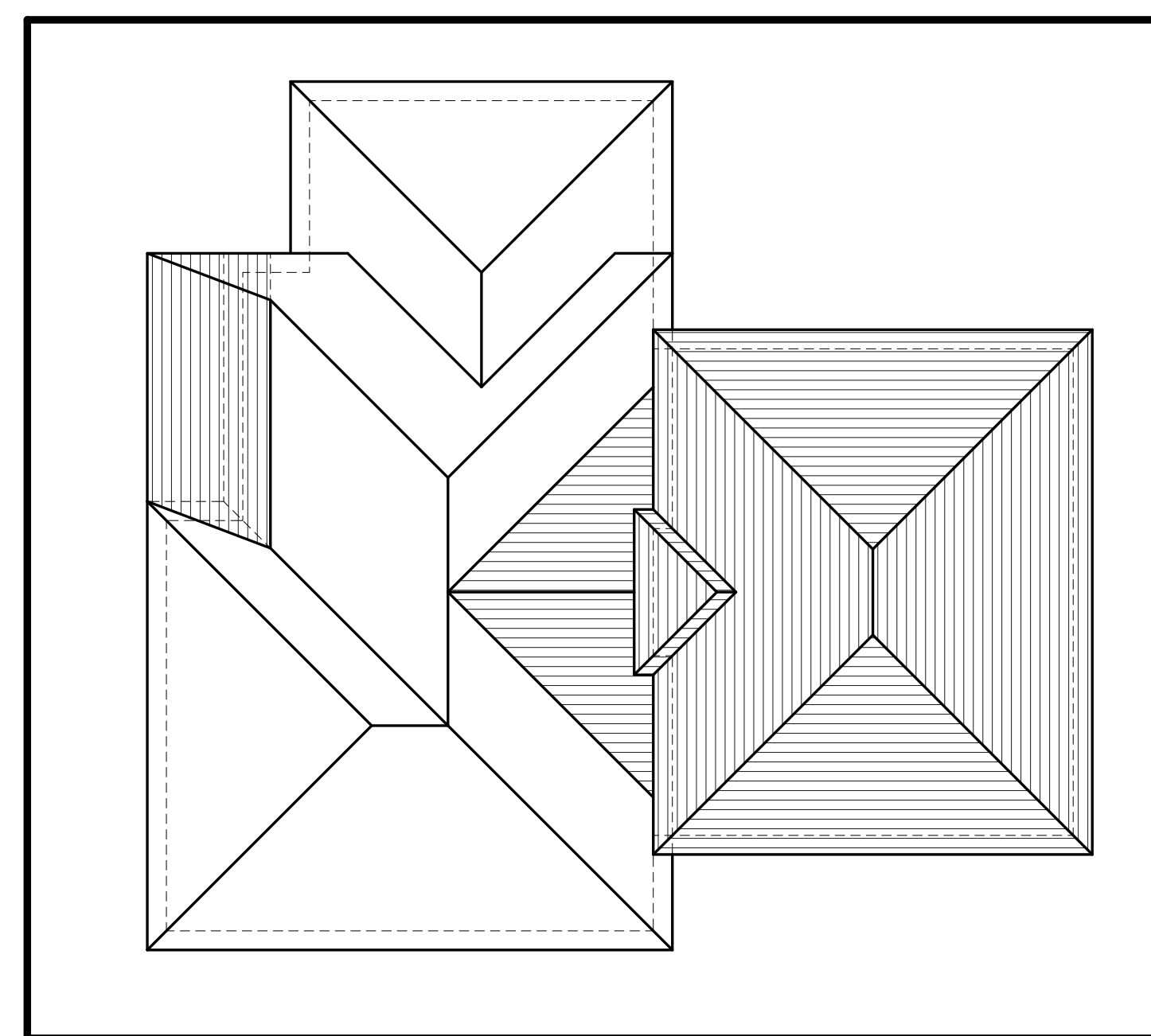
4 1st Floor FAR Diagram



5 2nd Floor FAR Diagram



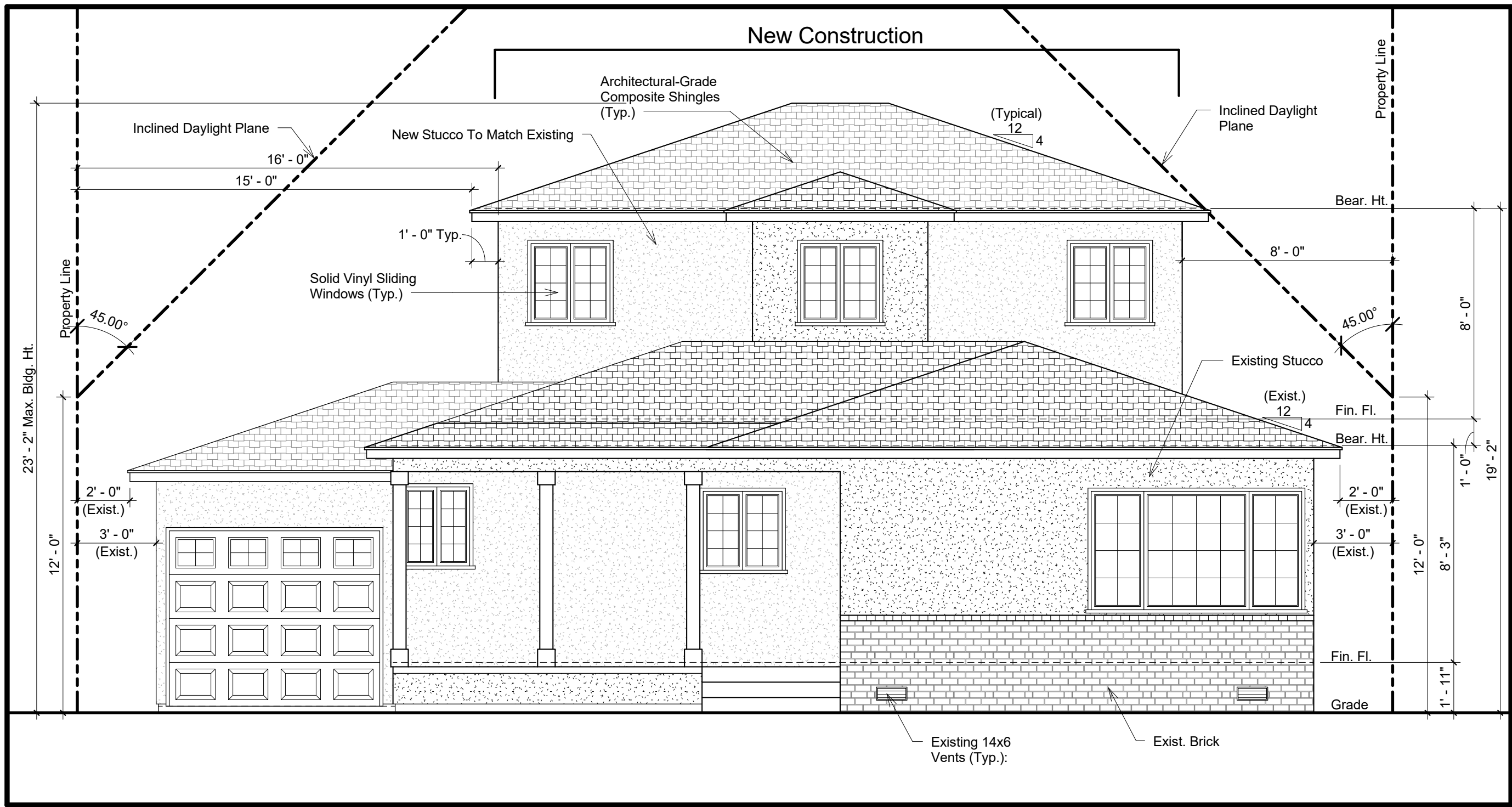
2 2nd Floor Plan (Proposed)



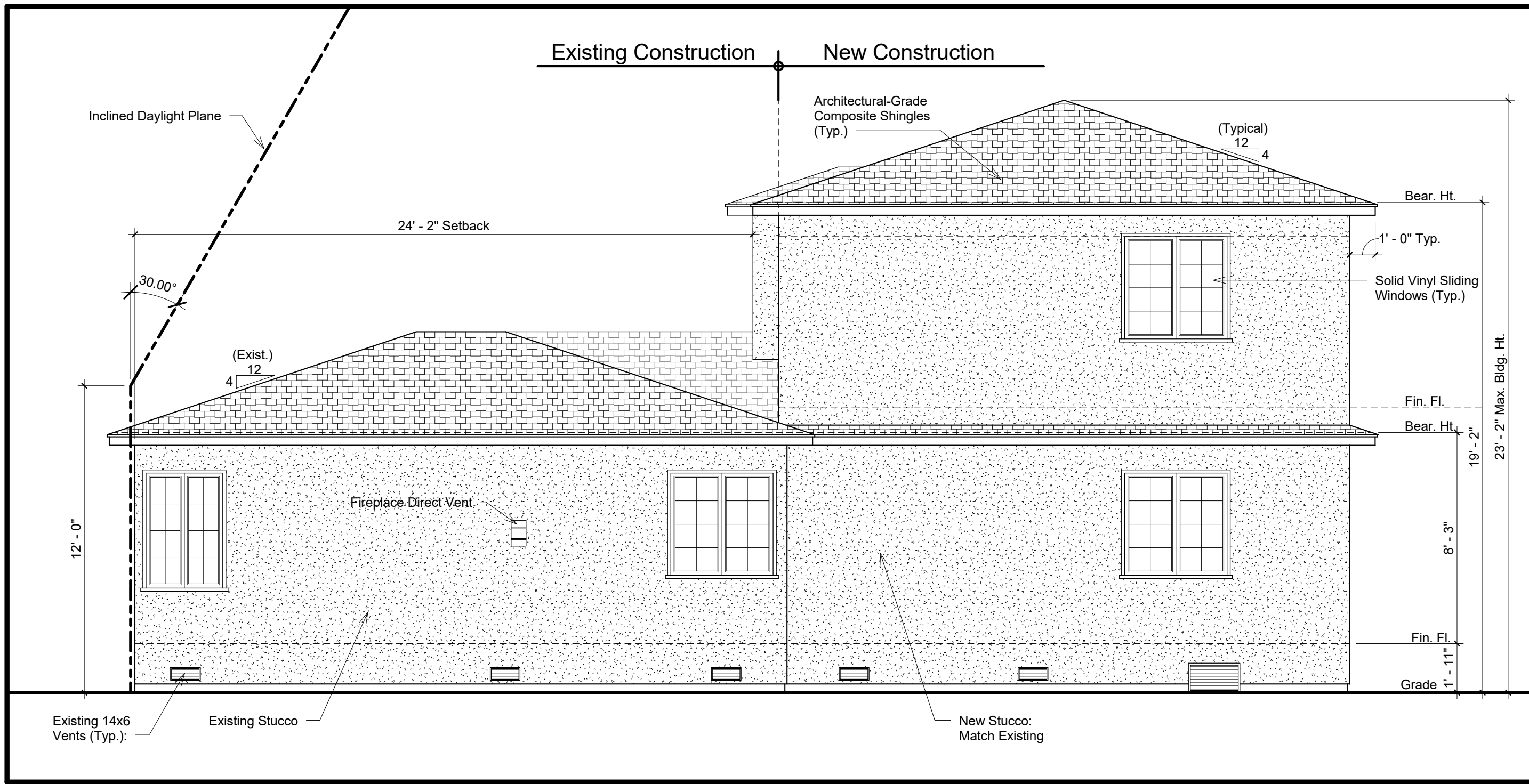
3 Roof Plan



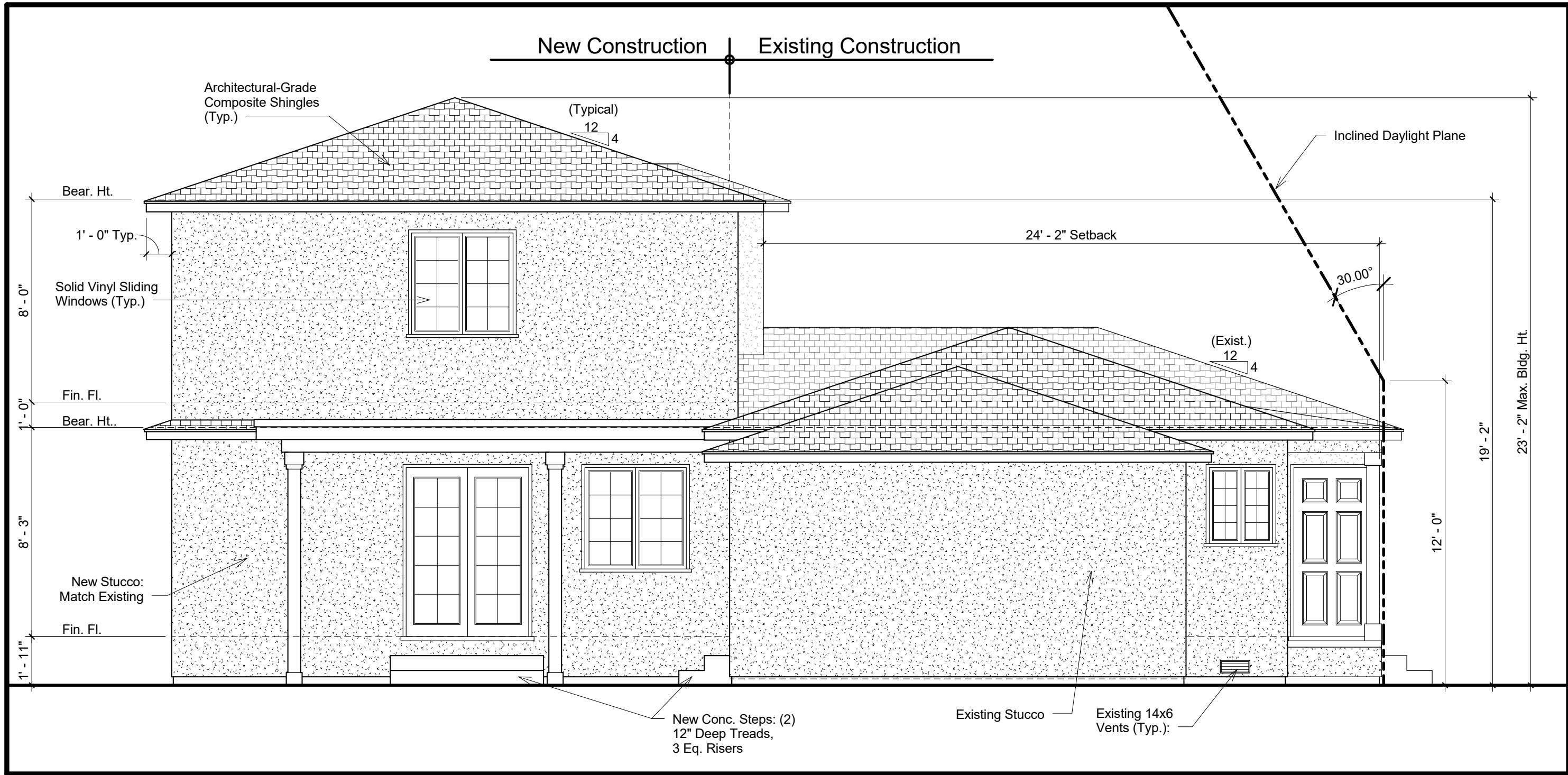
Shower w/ Tub Example



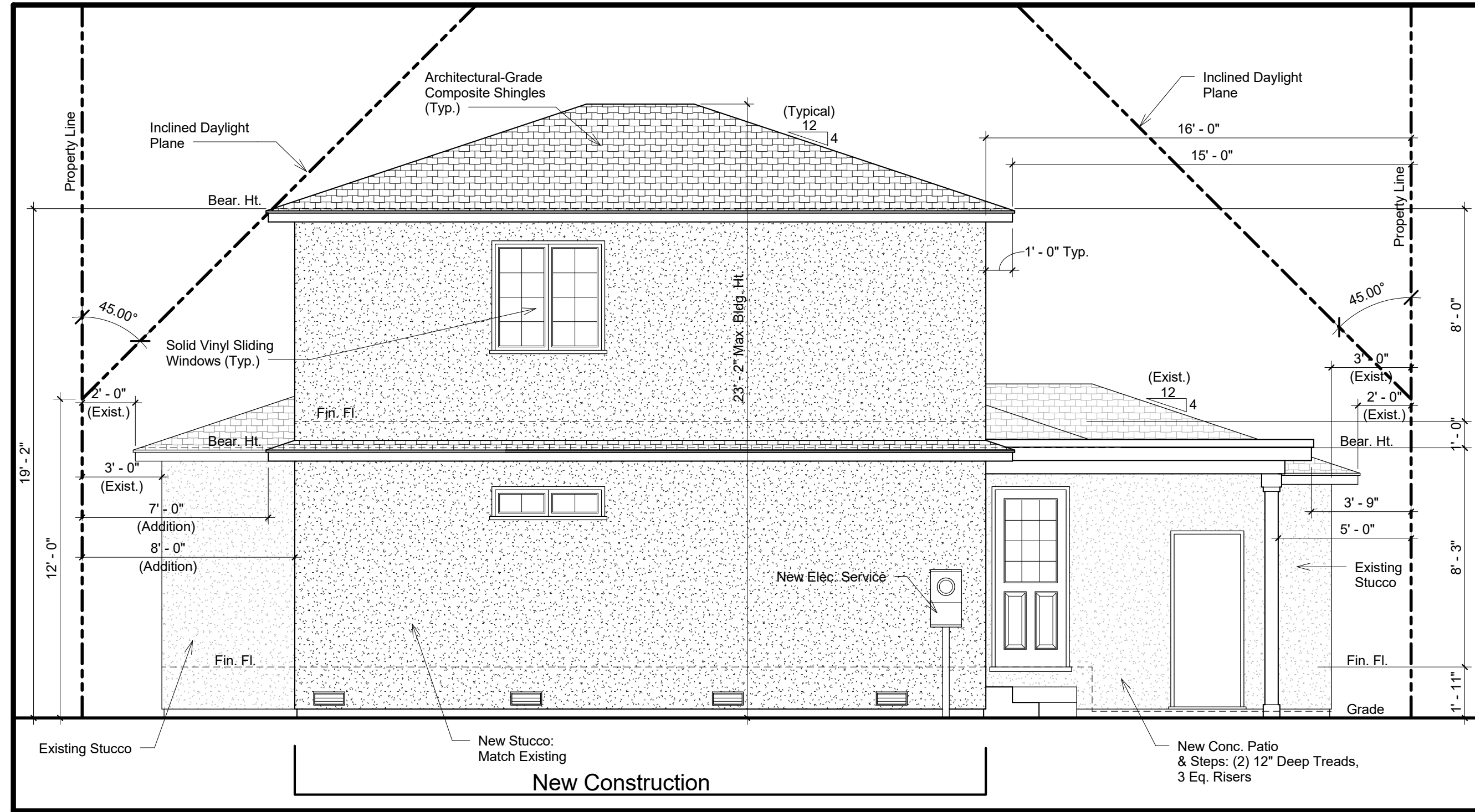
1 West Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"



3 North Elevation
1/4" = 1'-0"



4 East Elevation
1/4" = 1'-0"



Ficus Nitida – Ficus ‘Indian Laurel’

Ficus are probably the most popular privacy hedge used in Los Angeles and Southern California. They're fast-growing, upright, and evergreen. Meaning they are always green, all year round. Plant them 2 – 3 feet apart in a row to create a full privacy hedge. Use Ficus to block a view, create a border, or even reduce noise. Ficus have very aggressive root systems, which is why they grow so fast. Be careful when planting near a wall or pavement, as they can possibly cause damage if allowed to grow large over time. Although Ficus can grow over 30 feet tall, they are often kept much shorter, about 10- 15 feet tall.

Perimeter Shrub Specification

Tuscany® Series & Montecito® Series Vinyl Windows & Patio Doors Architectural Manual

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Horizontal Sliding and Double Horizontal Sliding Window

The Tuscany® Series and Montecito® Series horizontal sliding window is designed as an inside slide (the sliding panel, or "vent" slides inside the stationary panel). Horizontal sliding windows can be used alone or in combination units with radius, gable or picture windows for vent below and vent above configurations.

The Tuscany Series and Montecito Series vinyl horizontal sliding window offers the outstanding insulating properties, low maintenance, and contemporary aesthetic appeal only vinyl can provide. Available in white, tan, and clay (select regions), as well as premium painted exterior. The windows will maintain their color and shape and can be constructed to your exact size specifications, subject to engineering review.

Energy Packages

Milgard adheres to ENERGY STAR® v6 requirements to meet or exceed U-Factor and Solar Heat Gain Coefficient (SHGC) criteria for all ENERGY STAR® zones.

Milgard also offers high energy performance options for the ultimate in energy efficiency. Energy efficient windows could include one or more of the following features based on your climate.

- SunCoat® or SunCoatMAX®
- EdgeGuardMAX®
- Argon or Krypton
- 4th Surface
- Triple Glaze

For more details on Milgard Energy Efficient packages, visit www.milgard.com/learn/energy-efficiency/energy-efficient-components

Grids

Available in 5/8" flat or 1-1/16" sculptured aluminum profiles. Simulated divided lite (SDL) grids are also available in some locations, using 5/8" grids between the glass panes for three dimensional shadowing as well as 7/8" contoured vinyl grid applied to the interior and exterior glass panes.

All grids are color matched to frame in white or tan.

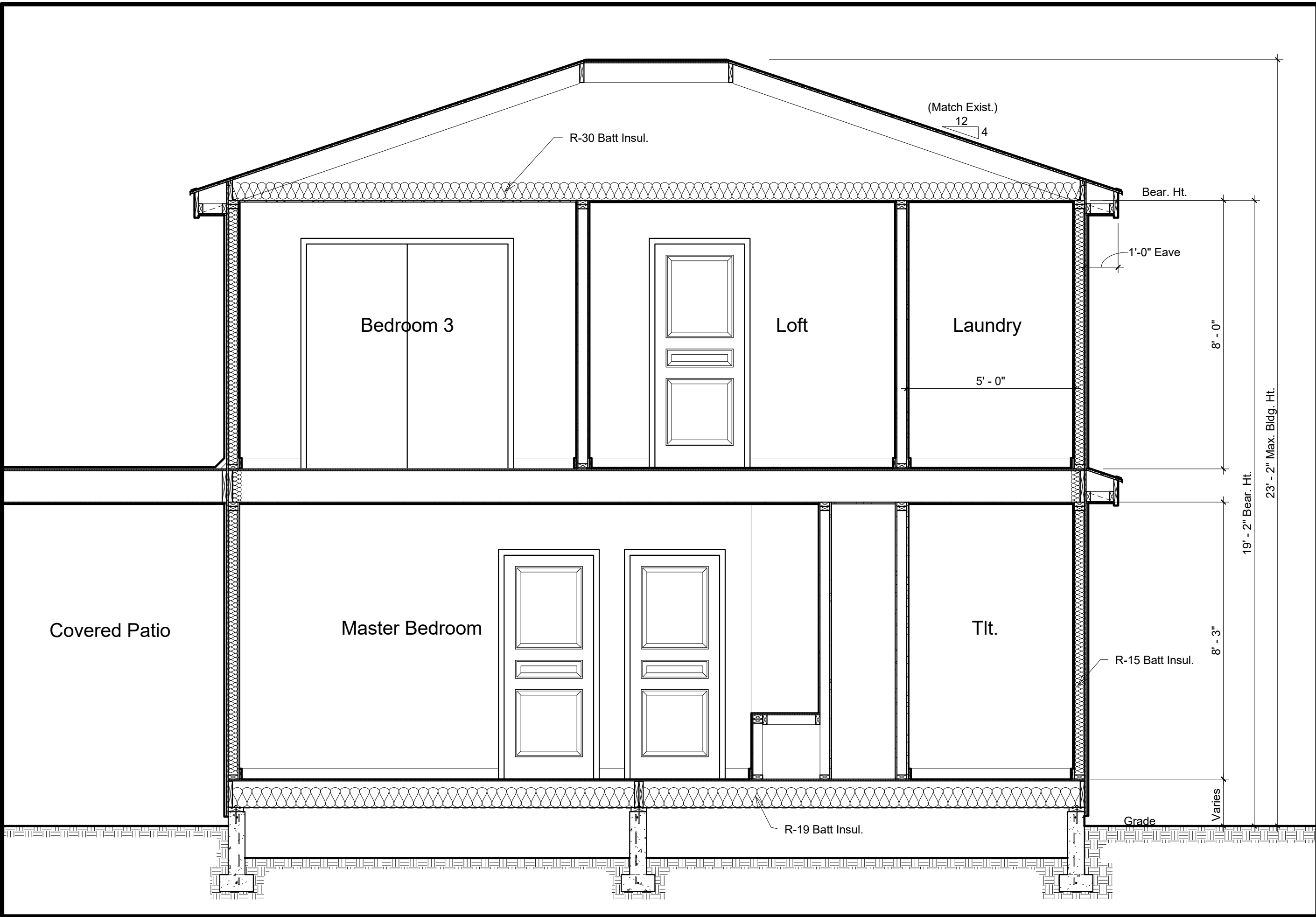
Full Lifetime Warranty and Glass Breakage Coverage

Full Lifetime Warranty is available on both Tuscany and Montecito Series with Glass Breakage Coverage available on Tuscany only. For complete warranty details visit milgard.com.

Note: According to Burbank Neighborhood Compatibility Guidelines, this structure is designed to be a continuation of the house's existing **Traditional Style**, for the purposes of Checklist Table N.

Front Setback: 10-1-603(E)(1)(A): Option A
(Also, per 10-1-603.E.1.c: Setback more than 10 feet.)

Side Setbacks: 10-1-603(E)(2)(C): Option C



Section Through Building
3/8" = 1'-0"



Site Photo Key



View 1



View 2



View 3



View 4



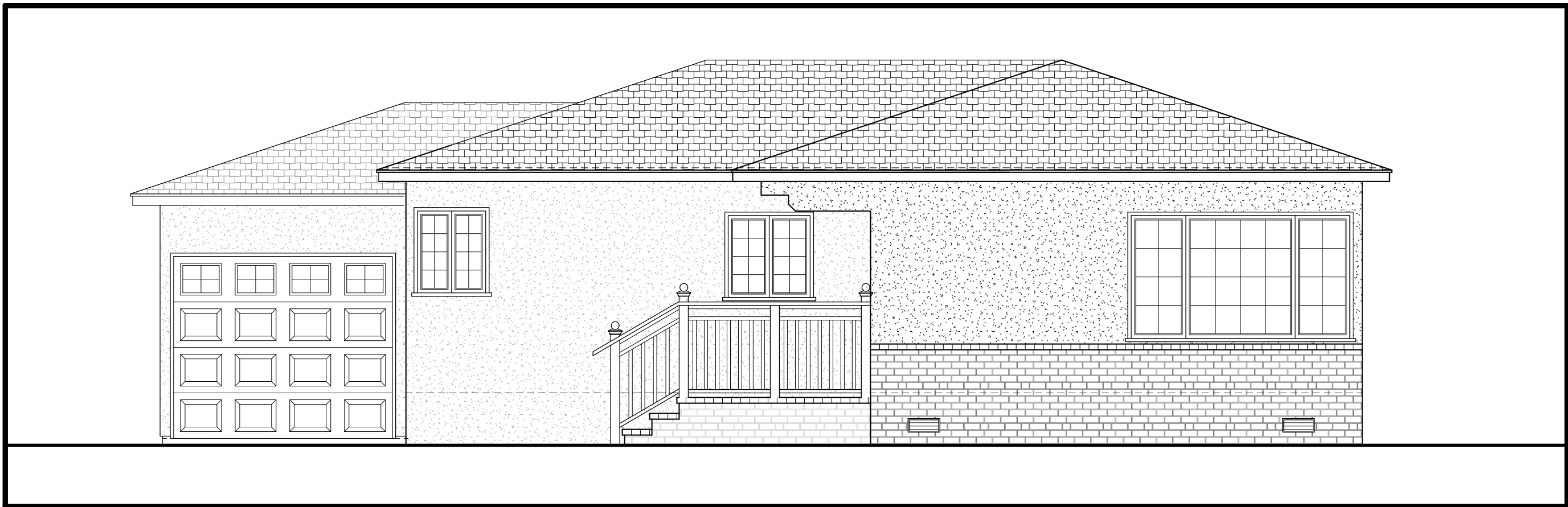
View 5



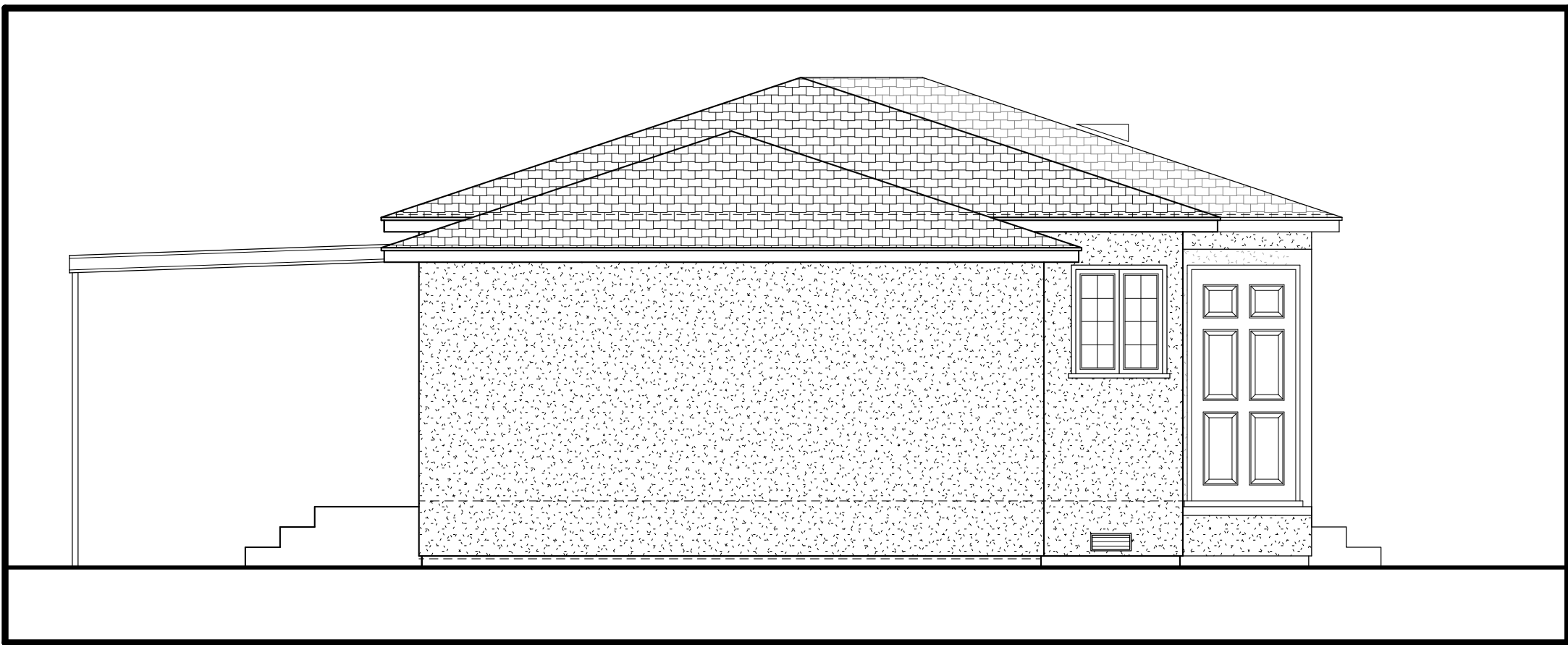
View 6



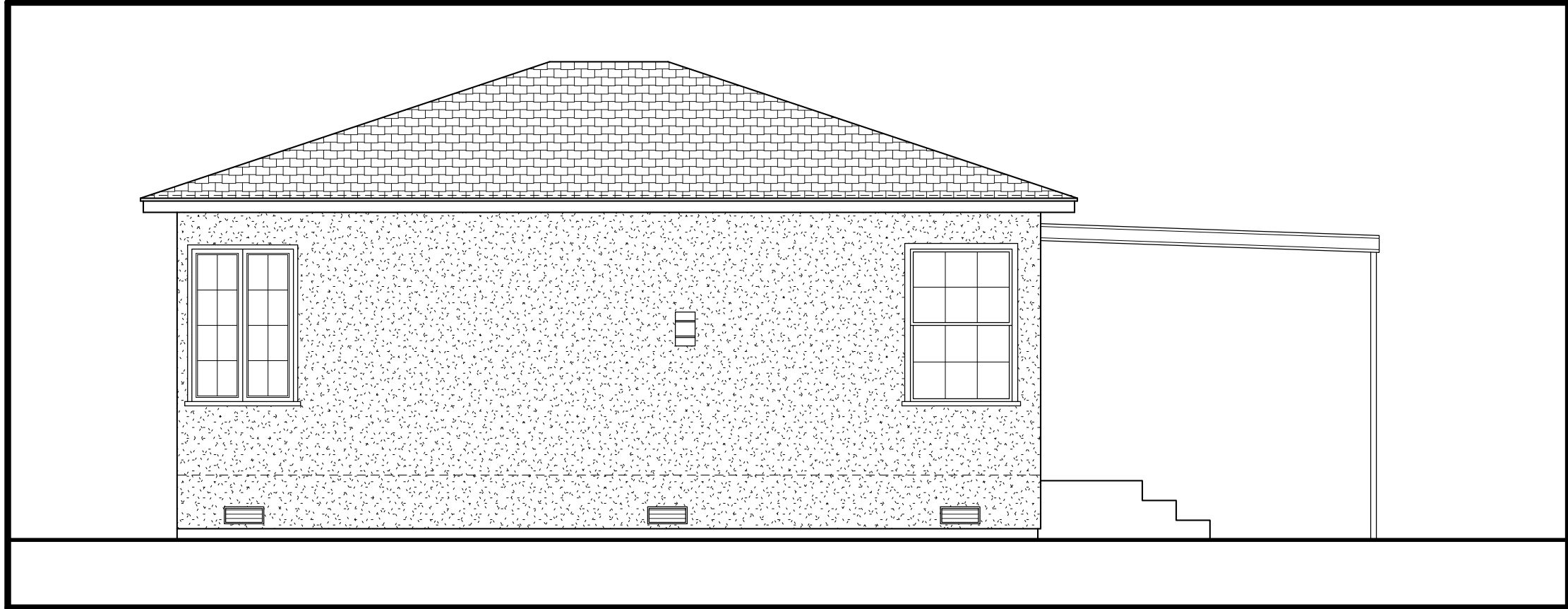
View 7



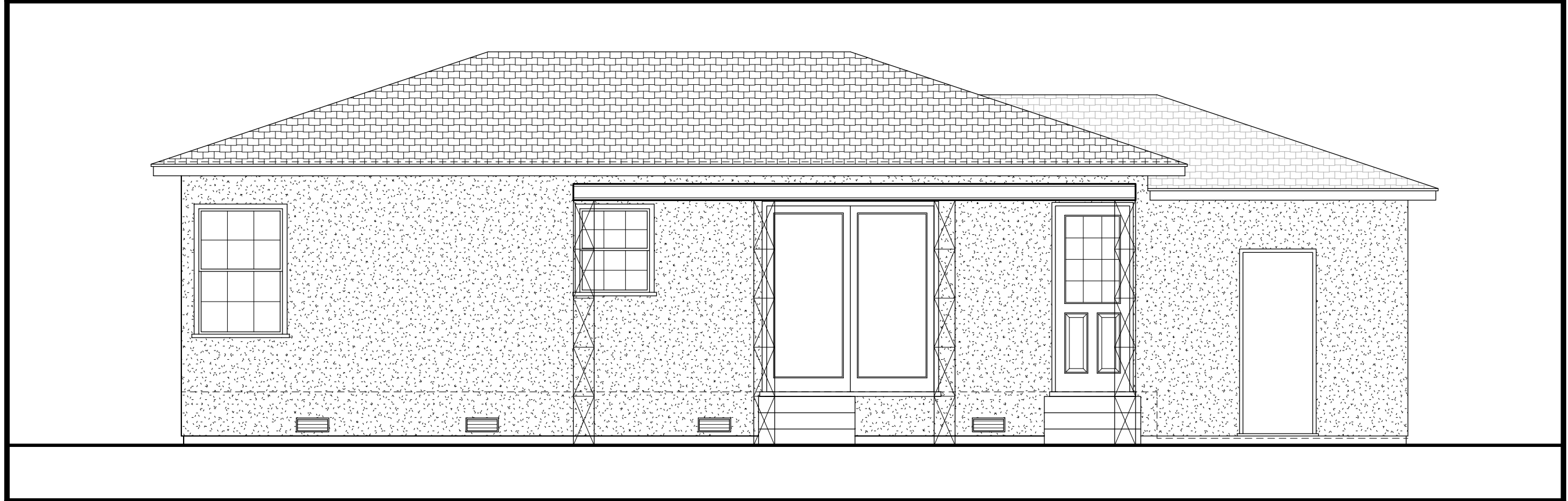
1
A5 West Elevation (Existing)
1/4" = 1'-0"



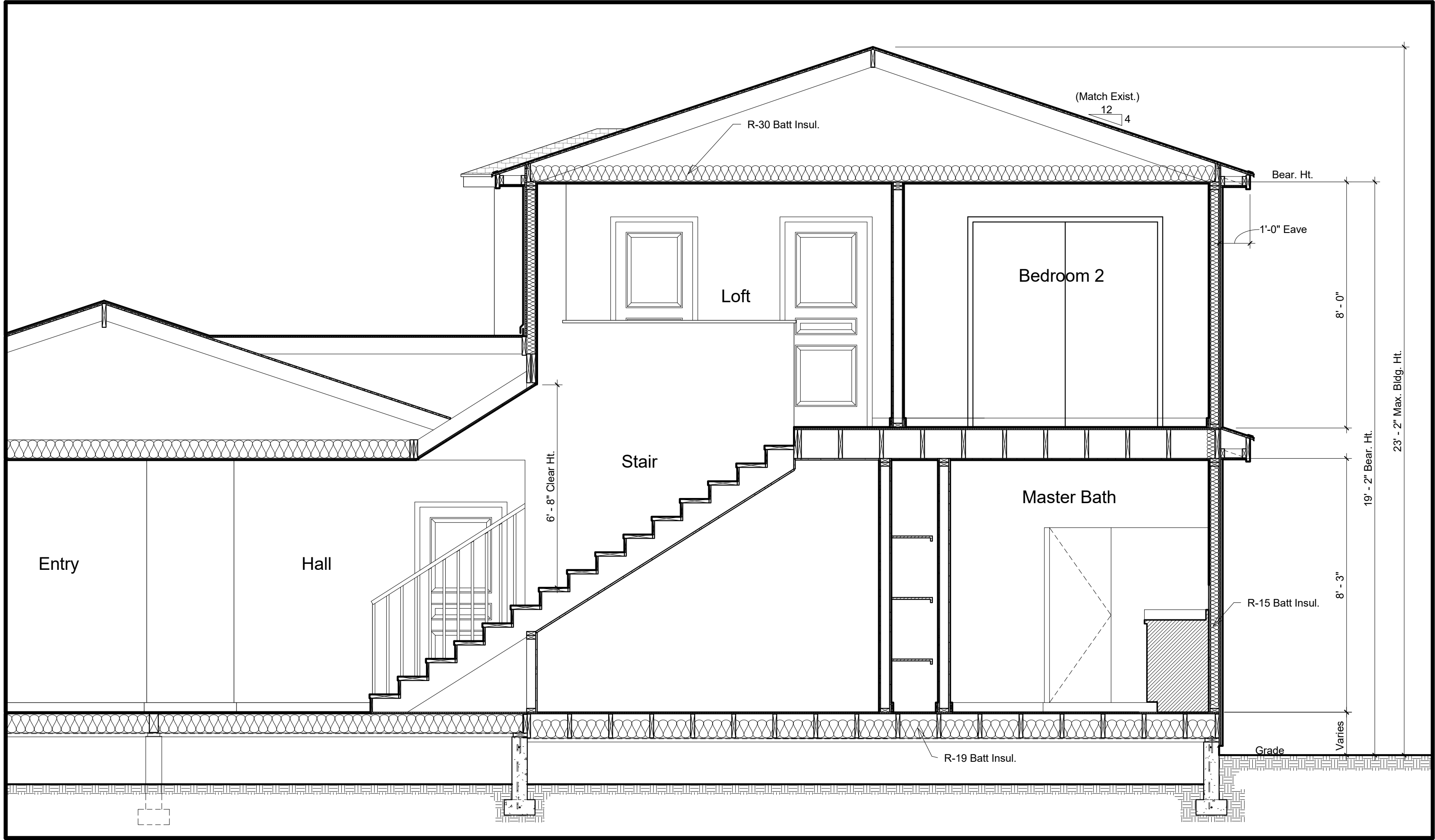
2
A5 North Elevation (Existing)
1/4" = 1'-0"



3
A5 South Elevation (Existing)
1/4" = 1'-0"



4
A5 East Elevation (Existing)
1/4" = 1'-0"



5
A5 Transverse Section Through Building
3/8" = 1'-0"