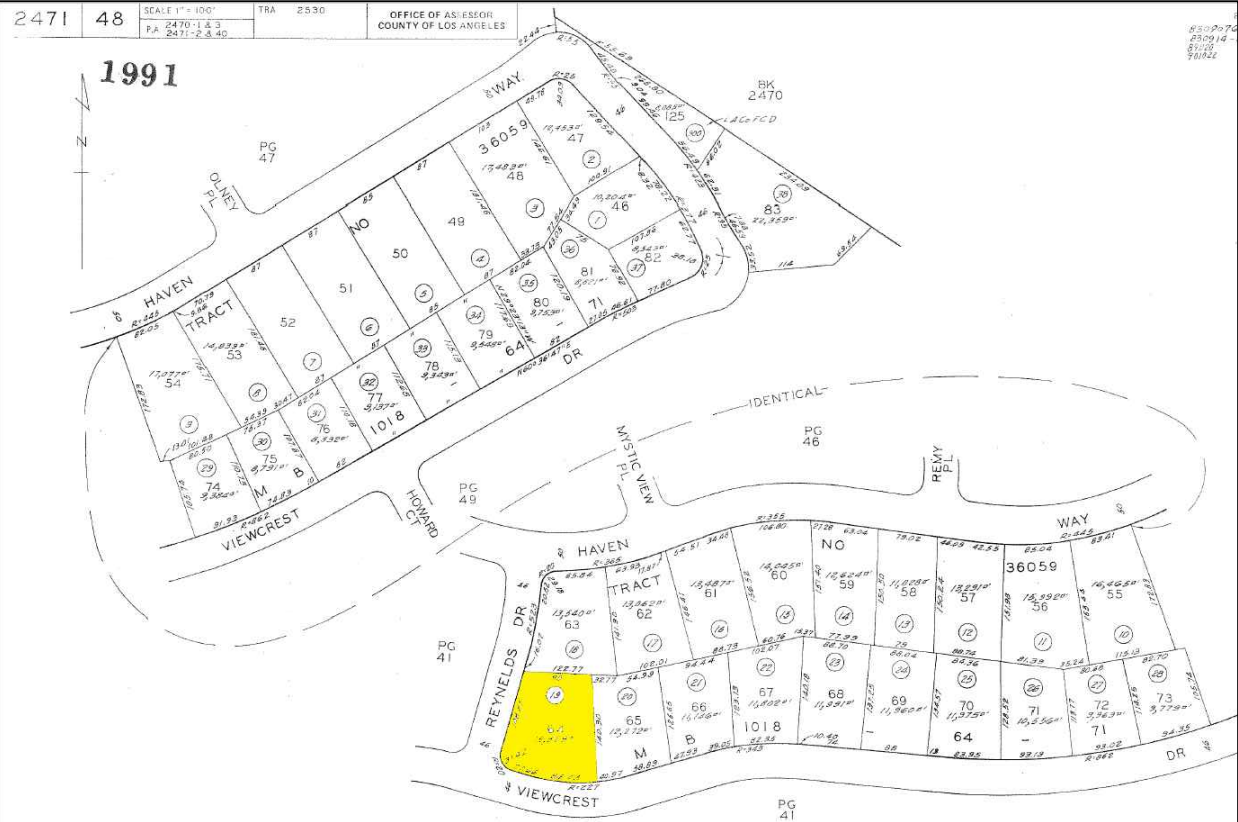


AIN: 2471-048-019		
Site Address: 3407 VIEWCREST DR BURBANK CA 91504-1842		
Use Type: Single Family Residence		
Parcel Type: Regular Fee Parcel		
Tax Rate Area: 02530		
Building (0101) & Land Overview		
Use Code:	0101	# of Units: 1
Design Type:	0131	Beds/Baths: 4/5
Quality Class:	D10A	Building SqFt: 4,638
		Year Built: 1985
		Effective Year: 2010
		Land SqFt: 15,451

Property Information



Tract Location

APPLICABLE CODES

ALL PROJECTS SHALL COMPLY WITH TITLE 9, CHAPTER 1, OF THE BURBANK MUNICIPAL CODE, AND THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA GREEN BUILDING STANDARDS AND BUILDING ENERGY EFFICIENCY STANDARDS, INCLUDING ALL INTERVENING CODE CYCLES.

NOTES:

OWNER TO INSTALL THE STREET TREES, THEY MUST CONTACT THE FORESTRY SUPERVISOR AT (818)238-5343, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO INSTALLATION. FAILURE TO CONTACT THE CITY FOR INSPECTION AND INSTALLATION MAY CAUSE FOR REMOVAL AND REPLACEMENT AT OWNERS EXPENSE.

SCOPE OF WORK

ADDITION TO SECOND FLOOR - ( 412 S.F. )  
ADDITION TO 1ST FLOOR ( 80 S.F. )

ZONED: R-1

LOT COVERAGE

Lot: 15329 s.f.  
Dwelling: 2,474 s.f. (footprint)  
patio 311 s.f.  
E-bbq patio 135 s.f.  
E-Patio: 168 s.f.  
E-Porch: 68 s.f.  
Proposed : 80s.f.  
Lot coverage total: 3,236s.f. = 21%

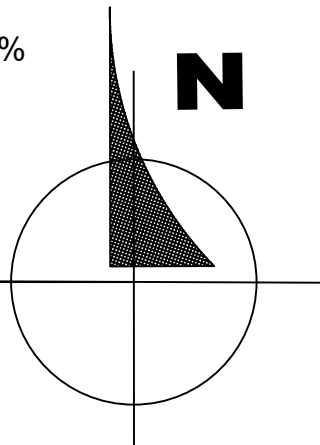
FAR Calculations

E-FIRST FLOOR AREA: 2,280 SF  
E- SECOND FLOOR AREA: 2,358 SF  
ADDITION: 492 SF  
GARAGE AREA: 206 SF  
OVER 12'-0" INTERIOR: 311 SF

TOTAL AREA 5,646 SF/15329 = 37%

Plot Plan

Scale: 1/8" in=1'-0"



FACADE Design	
151-1/2 E. ROWLAND STREET COVINA, CA 91723 (626)969-1234 FAX:626-698-1022 Facadedesign151@gmail.com	
Content Table	
A1.0	site plan
A1.1	site pictures
A2.0	first floor
A2.1	second floor
A3.0	E-elevations
A3.1	E-elevations
A4.0	NEW-elevations
A4.1	NEW-elevations

PROJECT INFO

Owner:  
James Shenouda

Address:  
3407 Viewcrest Drive  
Burbank, Ca 91504

ISSUE DATE: APRIL 2021  
DRAWN BY: vic  
SCALE: as noted

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3. \_\_\_\_\_  
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PLAN NO.

5221

SHEET NO.

A1.0





Picture A



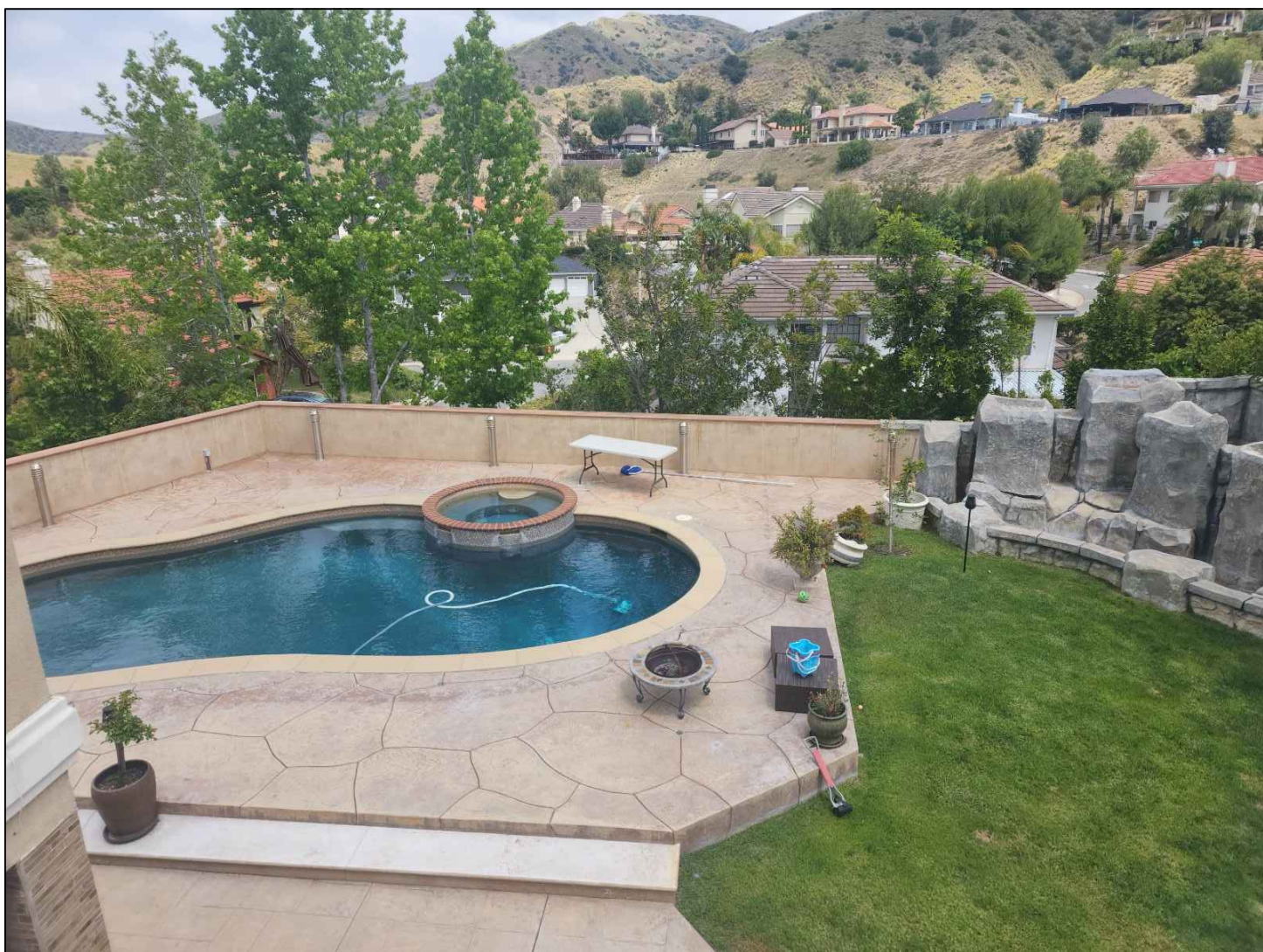
Picture B



Picture C



Picture D



Picture E  
(on top deck)



Picture F  
(on top deck)



Picture G  
(on top deck)

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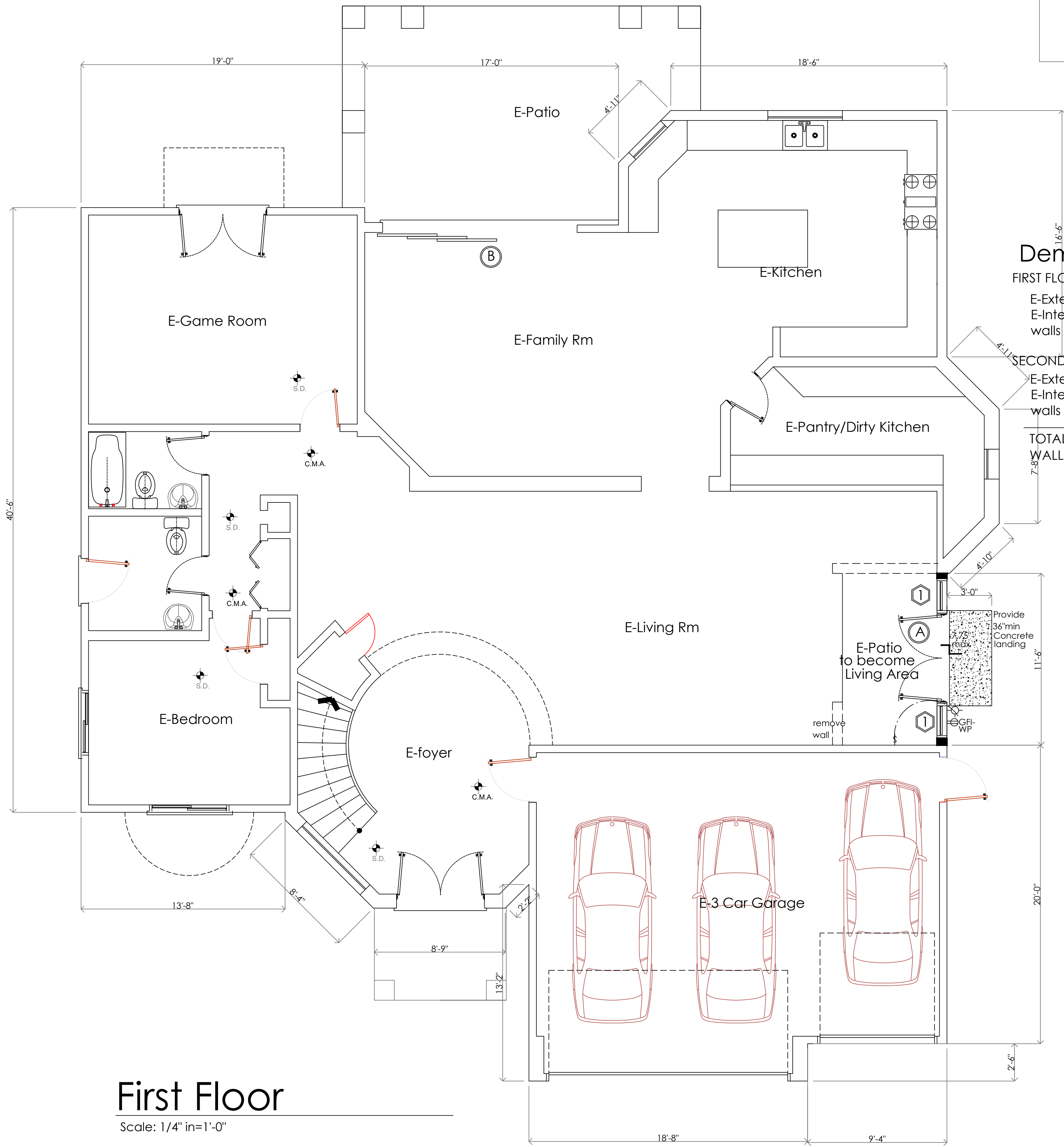
PLAN NO.

5221

SHEET NO.

**A1.1**





First Floor  
Scale: 1/4" in=1'-0"

Area		
FIRST FLOOR		
E-First Floor	2280 s.f.	
NEW ADDITION:	80 s.f.	
SECOND FLOOR		
E-Second Floor	2358 s.f.	
NEW ADDITION:	412 s.f.	
TOTAL	5130 S.F.	

Demolition Calculations

FIRST FLOOR		
E-Exterior walls:	256 sf	
E-Interior walls:	162.5 sf	
walls to be demo:	19 sf	
SECOND FLOOR		
E-Exterior walls:	188.5 sf	
E-Interior walls:	177.7 sf	
walls to be demo:	21 sf	
TOTAL E-WALLS:	784.7 SF	
WALLS TO BE DEMO:	40 SF = 5%	

Legend

EXISTING WALLS TO REMAIN

PROPOSED NEW WALLS

WALL TO BE REMOVE D PATCH TO MATCH EXISTING

FLUORESCENT LIGHT(40 LUMENS MIN.) HIGH EFFICACY

BLDG. STD. DUPLEX OUTLET

GFI-WP GROUND FAULT CIRCUIT INTERRUPTER WATER PROTECTED

AFCI ARC FAULT CIRCUIT INTERRUPTER

BLDG. WALL LIGHT

RECESSED LIGHT FIXTURE HIGH EFFICACY

OUTDOOR WALL LIGHT FIXTURE HIGH EFFICACY

HARDWIRE SMOKE DETECTOR WITH BATTERY BACK-UP

CARBON MONOXIDE ALARM

BLDG. STD.SINGLE POLE SWITCH

EXHAUST FAN W/LIGHT PROVIDES 50 CFM

FLUORESCENT LIGHT BAR

Floor Plan Notes

- ALL WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- SAFETY GLAZING (TEMPERED GLAZING) IS REQUIRED FOR THE FOLLOWING:
  - Where glazing is within 24" of either side of the door in the plane of the door in a closed position and where the bottom edge of the glazing is less than 60" above the floor.
  - Where the glazing is on the wall perpendicular to the plane of the door in a closed position and
  - within 24" of the hinge side of an in-swinging door.
  - Glazing less than 60" above a shower or tub floor.
  - Glazing where the bottom edge is less than 36" above the stairways, landings, and ramps.
  - Glazing adjacent to the stairway bottom landing where the glazing is less than 36" above the landing and within 60" horizontal arc less than 180 degrees from the bottom tread nosing shall be safety glazing.

Smoke Alarm Requirements

- An approved smoke alarm shall be installed for new constructions and alteration, repair or additions requiring permit exceeding \$1000.00 [CIRC 14.2.1., R 314.2.2]
- Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes unless there is an attic, crawl space or basement which could provide access for wiring.
- Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
- Smoke detectors shall be hard wired and shall be equipped with battery backup.

Carbon Monoxide Alarms

- an approved carbon monoxide alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.00
- CO alarms shall be hard wired and shall be equipped with battery backup.
- CO alarms shall be listed for compliance with UL 2034, UL 217,UL 2075 maintained per NFPA 720.
- CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling including basement.
- CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
- In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes.

DOOR SCHEDULE

SIM	WIDTH	HEIGHT	HEADER	DESCRIPTION
(A)	6'-0"	6'-8"	SEE PLAN	1-3/4" HOLLOW CORE french drs - tempered glass
(B)	11'-0"	7'-0"	SEE PLAN	CUSTOM PANEL DOORS - tempered glass

NOTE:  
MUST OPEN OVER A LANDING NOT MORE THAN 1/2' BELOW THE THRESHOLD.

WINDOW SCHEDULE

SIM	WIDTH	HEIGHT	SHGC	U-FACTOR	DESCRIPTION
(1)	2'-0"	5'-6"	0.21	0.30	FIXED WDW-side light tempered
(3)	3'-0"	3'-0"	0.21	0.30	SLIDING WDW tempered
(4)	2'-6"	5'-0"	0.21	0.30	SLIDING WDW tempered
(5)	2'-0"	6'-0"	0.21	0.30	FIXED WDW tempered

NOTE:  
- AN OPENING MUST BE 5.7 SQ. FT. MIN. AREA 24" MAX. HEIGHT 26" WIDE. SILL NOT MORE THAN 44" ABOVE FLOOR  
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

FACADE

Design

151-1/2 E. ROWLAND STREET  
COVINA, CA 91723  
(626)969-1234 FAX:626-698-1022  
Facadedesign151@gmail.com

PROJECT INFO

Owner:  
James Shenouda

Address:  
3407 Viewcrest Drive  
Burbank, Ca 91504

ISSUE DATE: APRIL 2021  
DRAWN BY: vic  
SCALE: as noted

Revisions:  
1. \_\_\_\_\_  
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4. \_\_\_\_\_

PLAN NO.  
5221

SHEET NO.  
A2.0



## Legend

EXISTING WALLS TO REMAIN	HARDWIRE SMOKE DETECTOR WITH BATTERY BACK-UP
PROPOSED NEW WALLS	CARBON MONOXIDE ALARM
WALL TO BE REMOVE D PATCH TO MATCH EXISTING	BLDG. STD.SINGLE POLE SWITCH
FLUORESCENT LIGHT(40 LUMENS MIN.) HIGH EFFICACY	EXHAUST FAN W/LIGHT PROVIDES 50 CFM
BLDG. STD. DUPLEX OUTLET	FLUORESCENT LIGHT BAR
GROUND FAULT CIRCUIT INTERRUPTER WATER PROTECTED	
ARC FAULT CIRCUIT INTERRUPTER	
BLDG. WALL LIGHT	
RECESSED LIGHT FIXTURE HIGH EFFICACY	
OUTDOOR WALL LIGHT FIXTURE HIGH EFFICACY	

## Area

### FIRST FLOOR

E-First Floor 2280 s.f.  
NEW ADDITION: 80 s.f.

### SECOND FLOOR

E-Second Floor 2358 s.f.  
NEW ADDITION: 412 s.f.  
TOTAL 5130 S.F.

## Demolition Calculations

### FIRST FLOOR

E-Exterior walls: 256 sf  
E-Interior walls: 162.5 sf  
walls to be demo: 19 sf

### SECOND FLOOR

E-Exterior walls: 188.5 sf  
E-Interior walls: 177.7 sf  
walls to be demo: 21 sf

TOTAL E-WALLS: 784.7 SF  
WALLS TO BE DEMO: 40 SF = 5%

## DOOR SCHEDULE

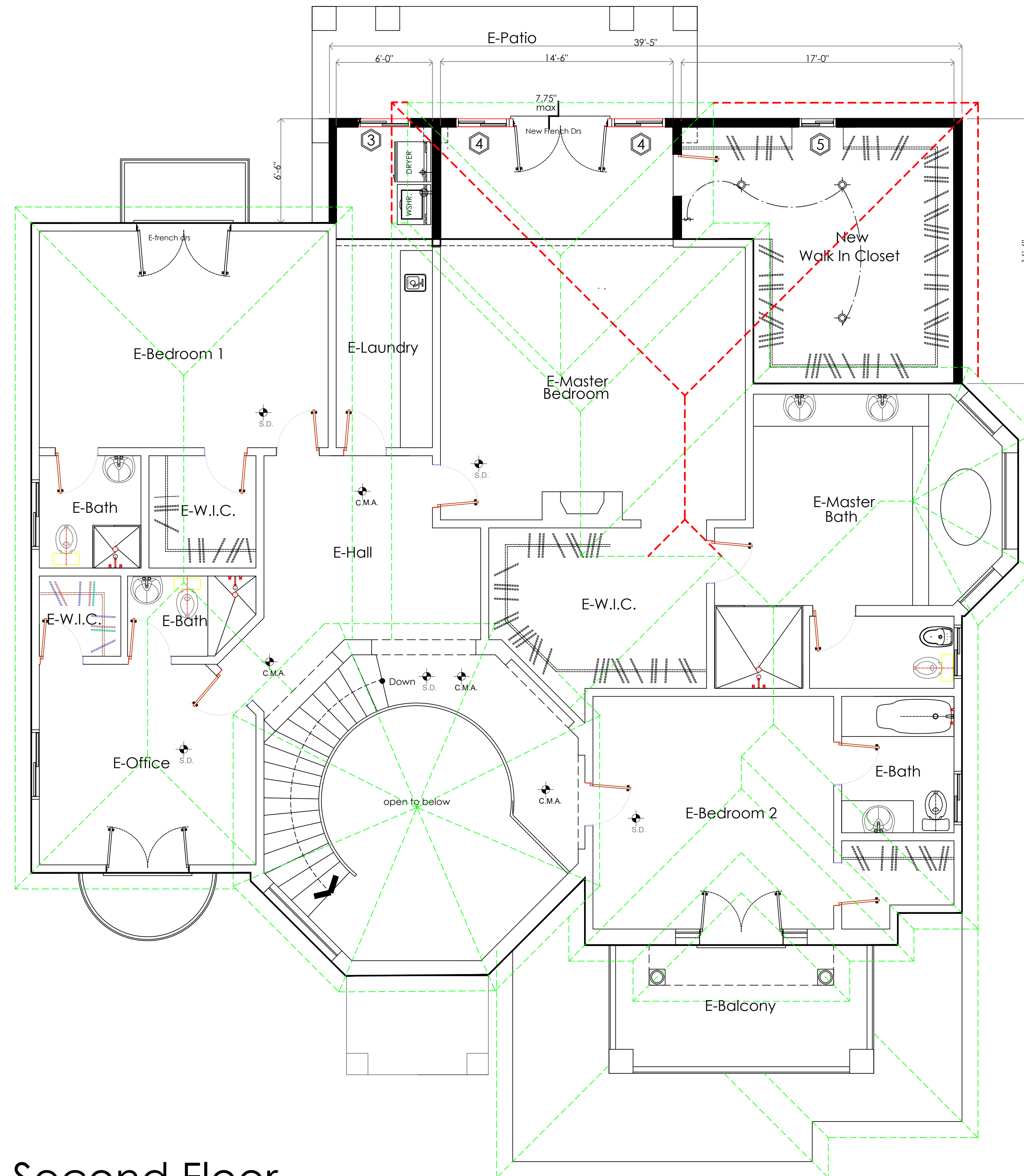
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NOTE:  
MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.

## WINDOW SCHEDULE

SIM	WIDTH	HEIGHT	SHGC	U-FACTOR	DESCRIPTION
(1)	2'-0"	5'-6"	0.21	0.30	FIXED WDW-side light tempered
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(4)	2'-6"	5'-0"	0.21	0.30	SLIDING WDW tempered
(5)	2'-0"	6'-0"	0.21	0.30	FIXED WDW tempered

NOTE:  
- AN OPENING MUST BE 5.7 SQ. FT. MIN. AREA 24" MAX. HEIGHT 26" WIDE. SILL NOT MORE THAN 44" ABOVE FLOOR  
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED



## Second Floor

Scale: 1/4" in=1'-0"

### PROJECT INFO

Owner:  
James Shenouda

Address:  
3407 Viewcrest Drive  
Burbank, Ca 91504

ISSUE DATE: APRIL 2021

DRAWN BY: vic

SCALE: as noted

### Revisions:

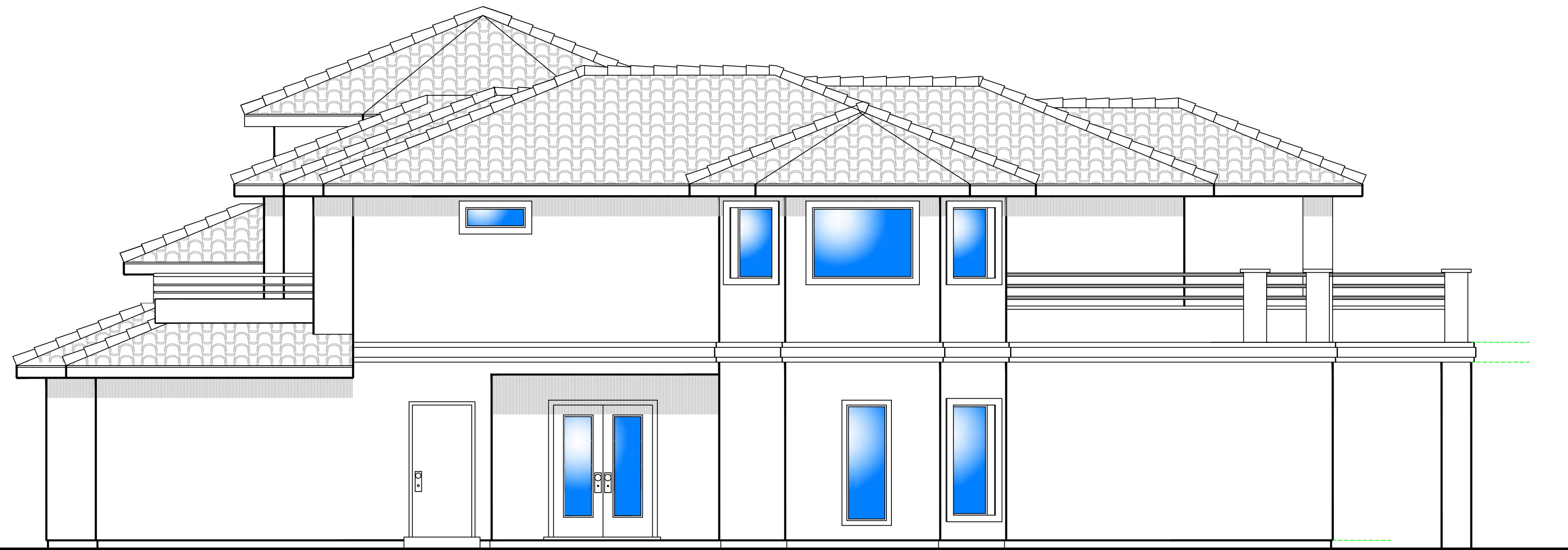
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PLAN NO.

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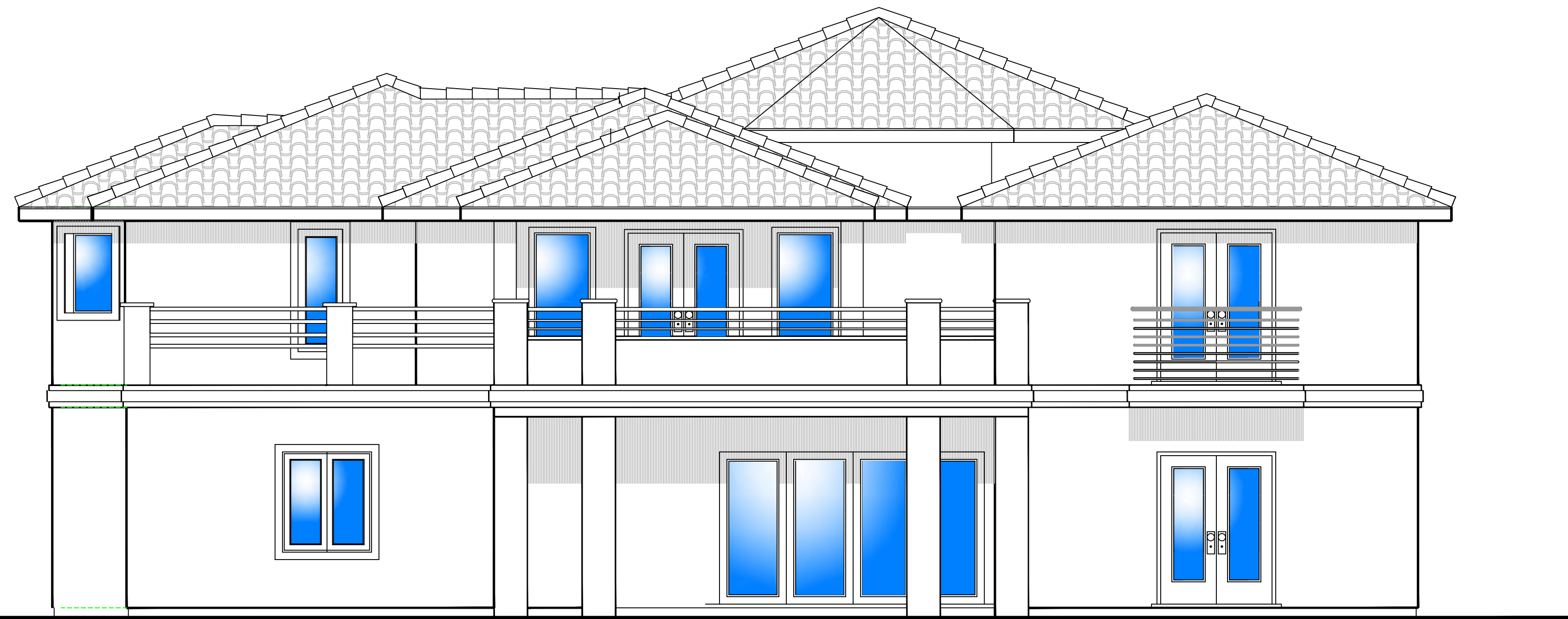
SHEET NO.

A2.1



Existing  
East Elevation

Scale: 1/4" in=1'-0"



Existing  
North Elevation

Scale: 1/4" in=1'-0"

**FACADE**

*Design*

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PROJECT INFO

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Address:

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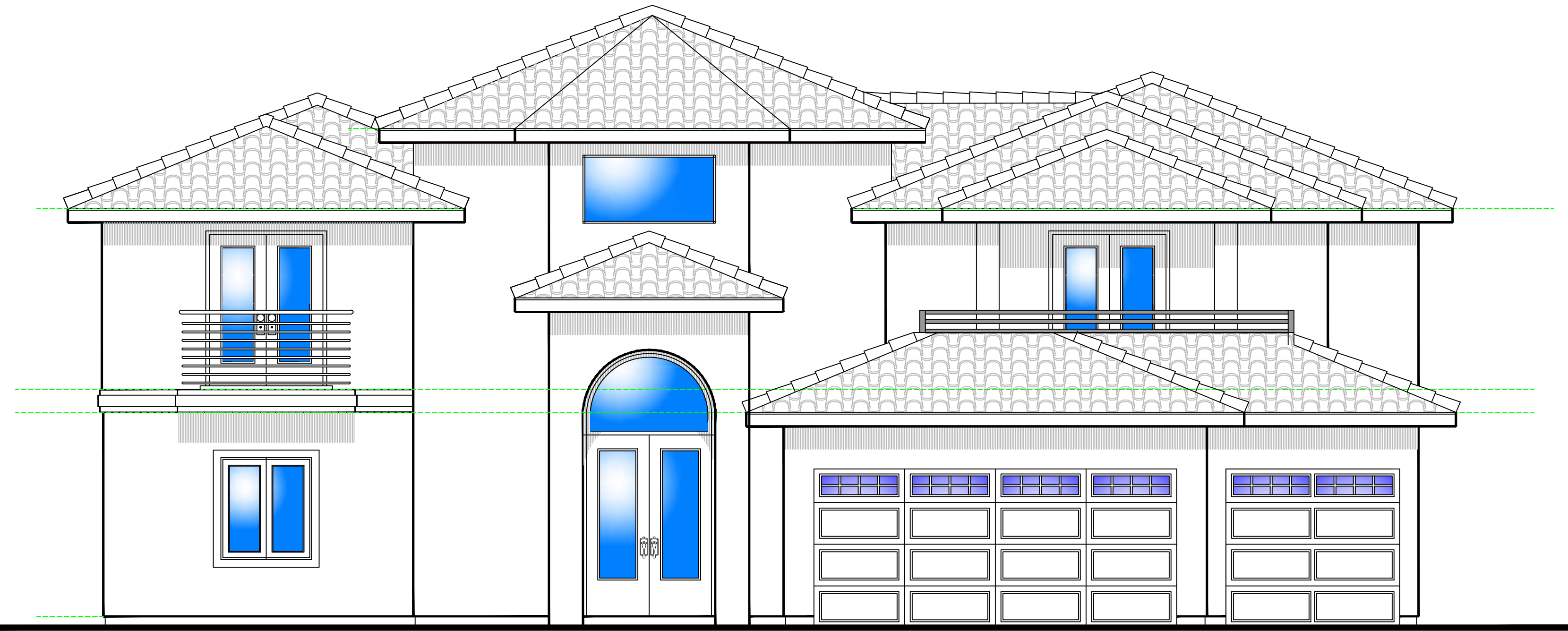
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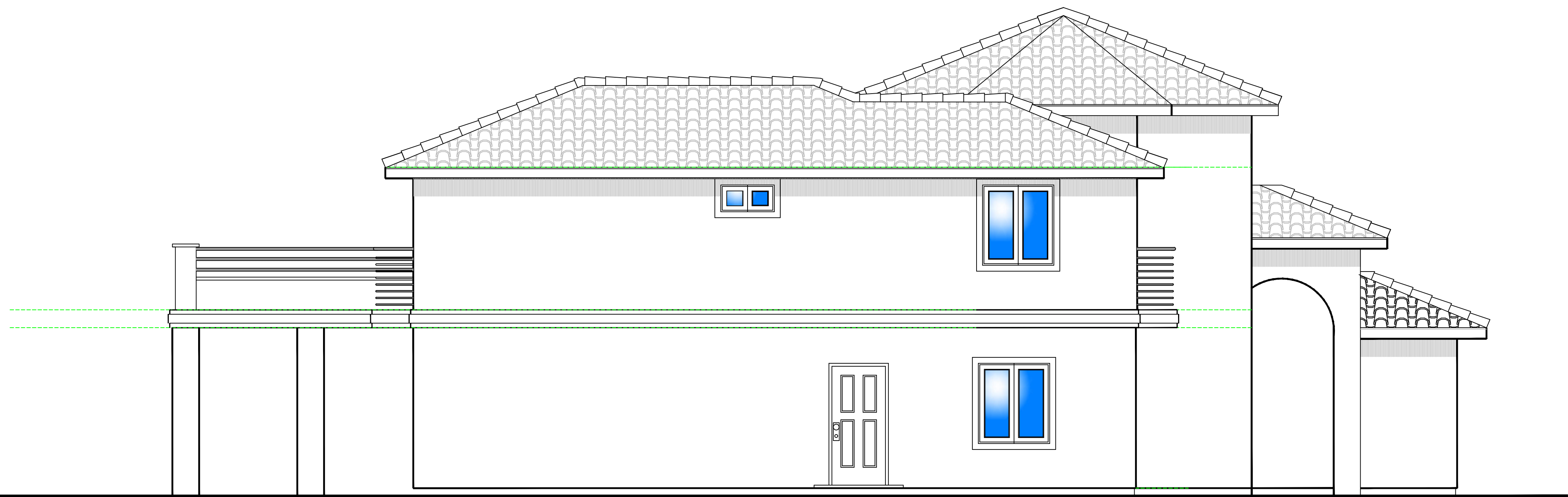
**A3.0**





Existing  
South Elevation

Scale: 1/4" in=1'-0"



Existing  
West Elevation

Scale: 1/4" in=1'-0"

PROJECT INFO

Owner:  
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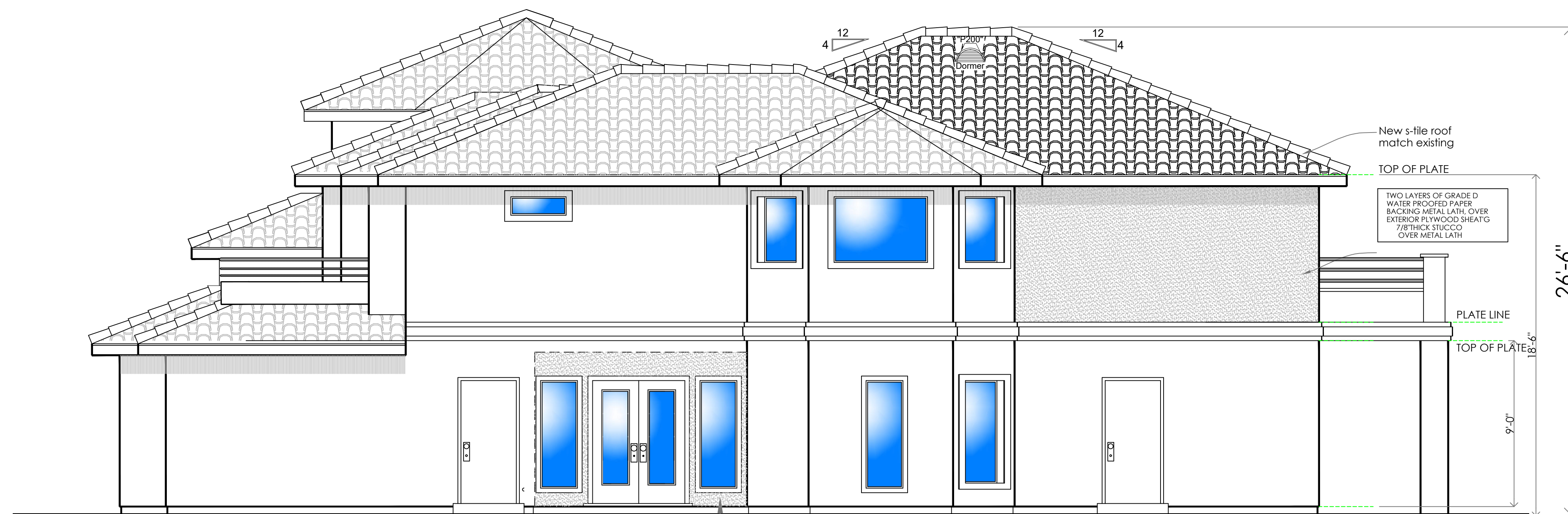
PLAN NO.

5221

SHEET NO.

**A3.1**





## New East Elevation

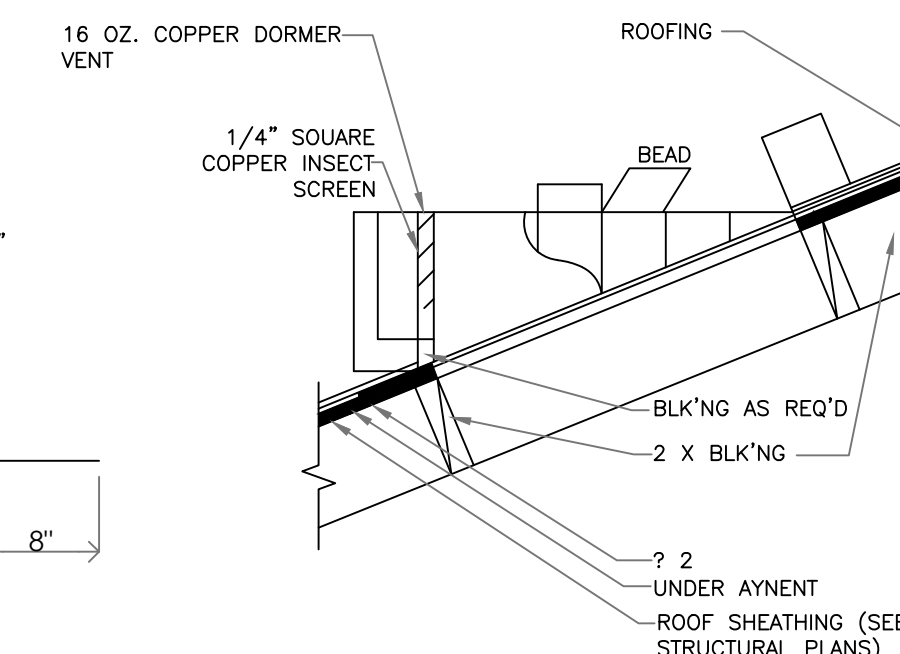
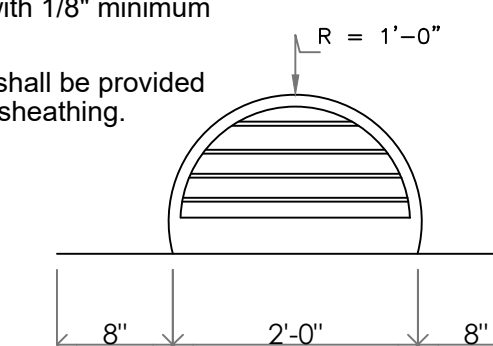
Scale: 1/4" in=1'-0"

### ATTIC VENTILATION

AREA: 252 sq.ft.  
VENTILATION REQUIRED: 252+150 X 144=241.92 SQ.IN.  
PROVIDE: (3)"P200" DORMERS AT 100 NET SQ.IN. EACH=700 SQ.IN.

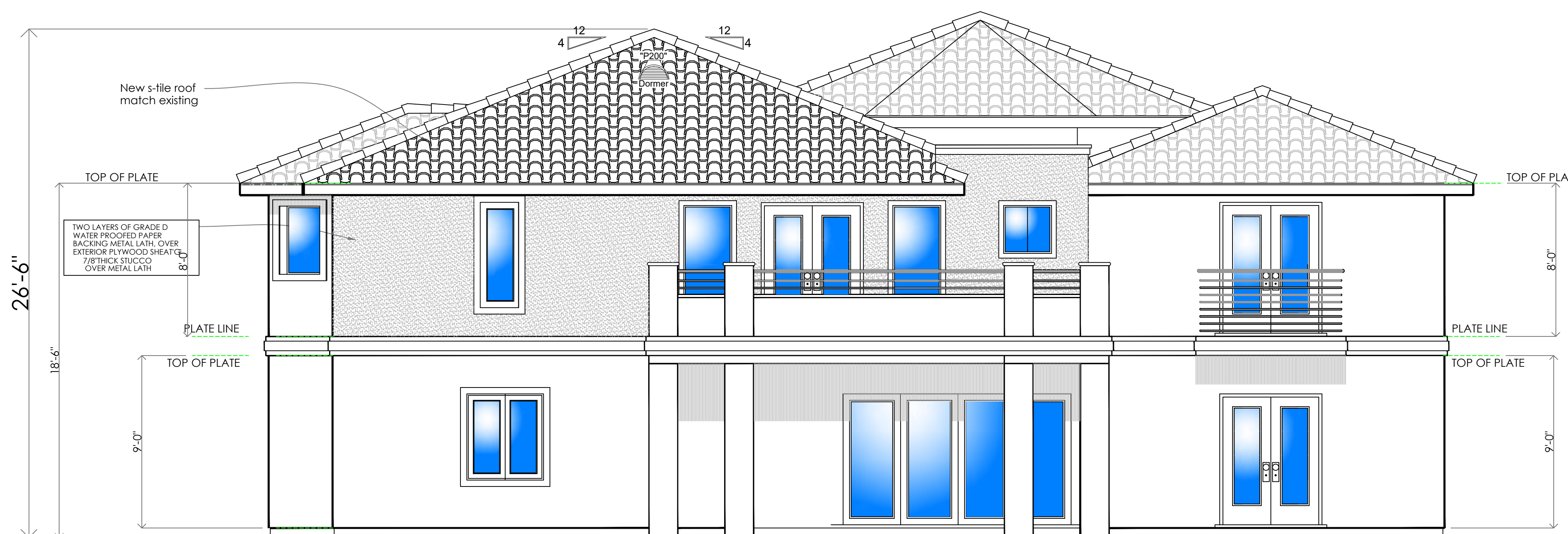
TOTAL 300 SQ.IN.

Notes:  
Openings shall have corrosion resistant wire mesh or other approved material with 1/8" minimum and 1/4in max opening.  
A minimum of 1-in airspace shall be provided between insulation and roof sheathing.



### 1 ATTIC VENT CALCULATIONS

SCALE: N.T.S.



## New North Elevation

Scale: 1/4" in=1'-0"

### PROJECT INFO

Owner:  
James Shenouda

Address:  
3407 Viewcrest Drive  
Burbank, Ca 91504

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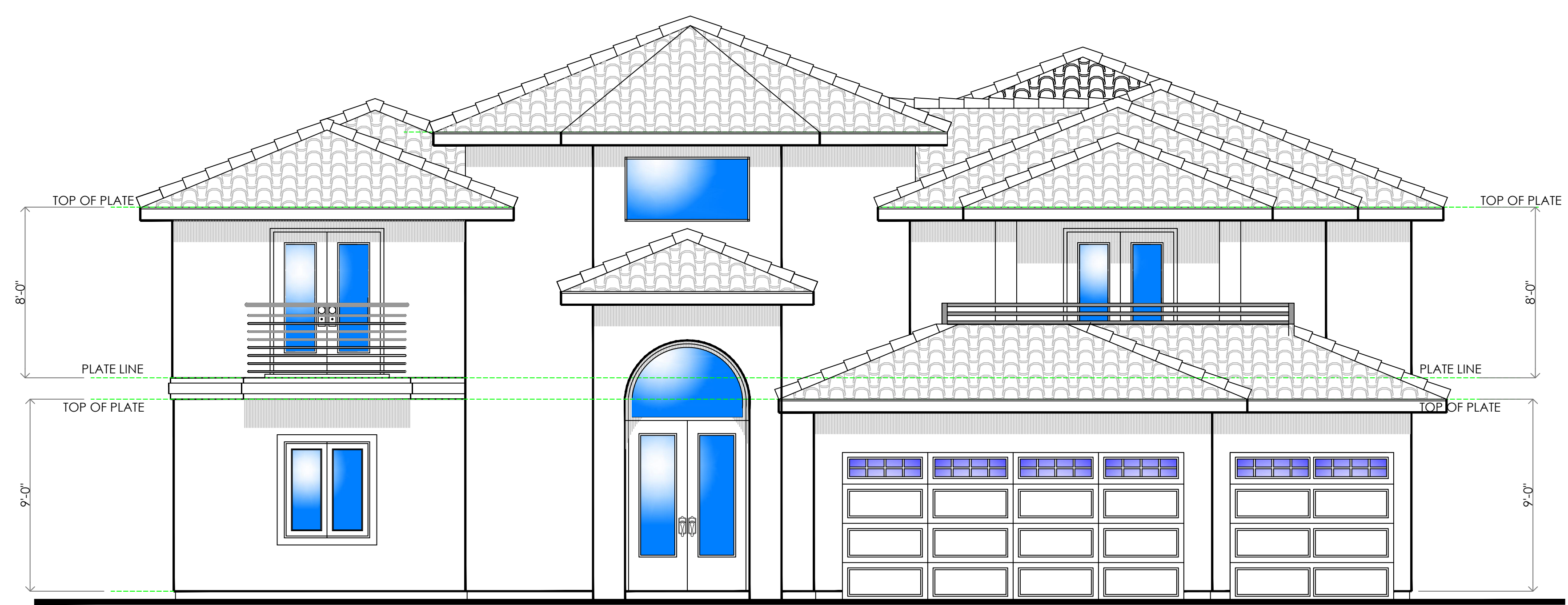
PLAN NO.

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SHEET NO.

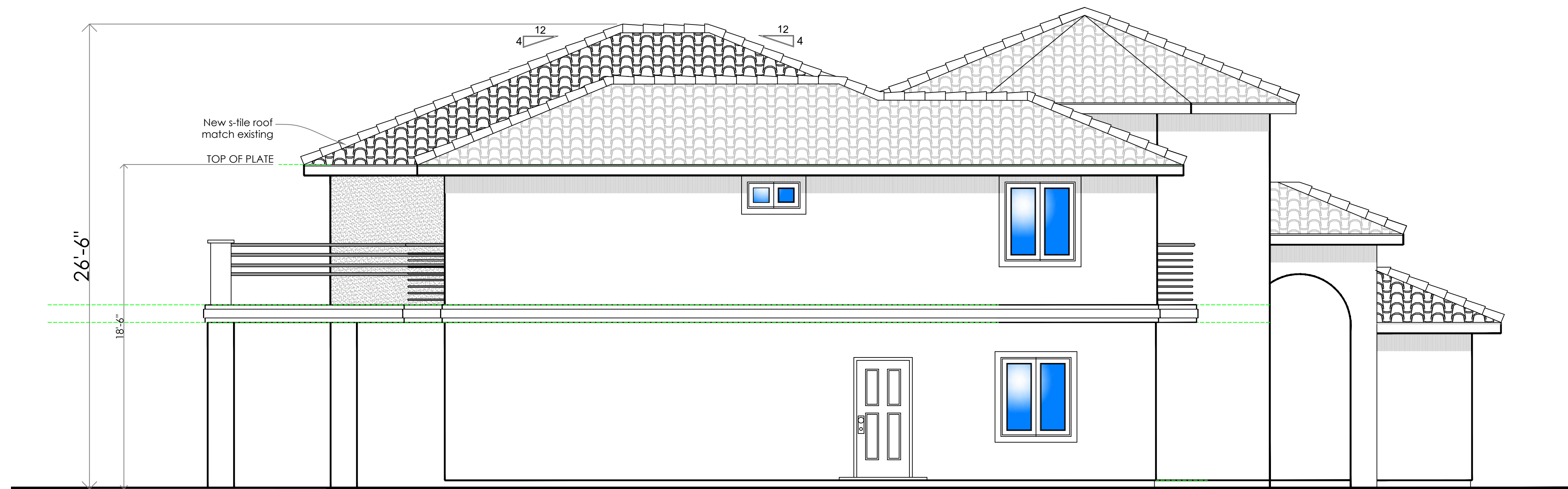
**A4.0**





## New South Elevation

Scale: 1/4" in=1'-0"



## New South Elevation

Scale: 1/4" in=1'-0"

### PROJECT INFO

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Address:

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PLAN NO.

5221

SHEET NO.

**A4.1**