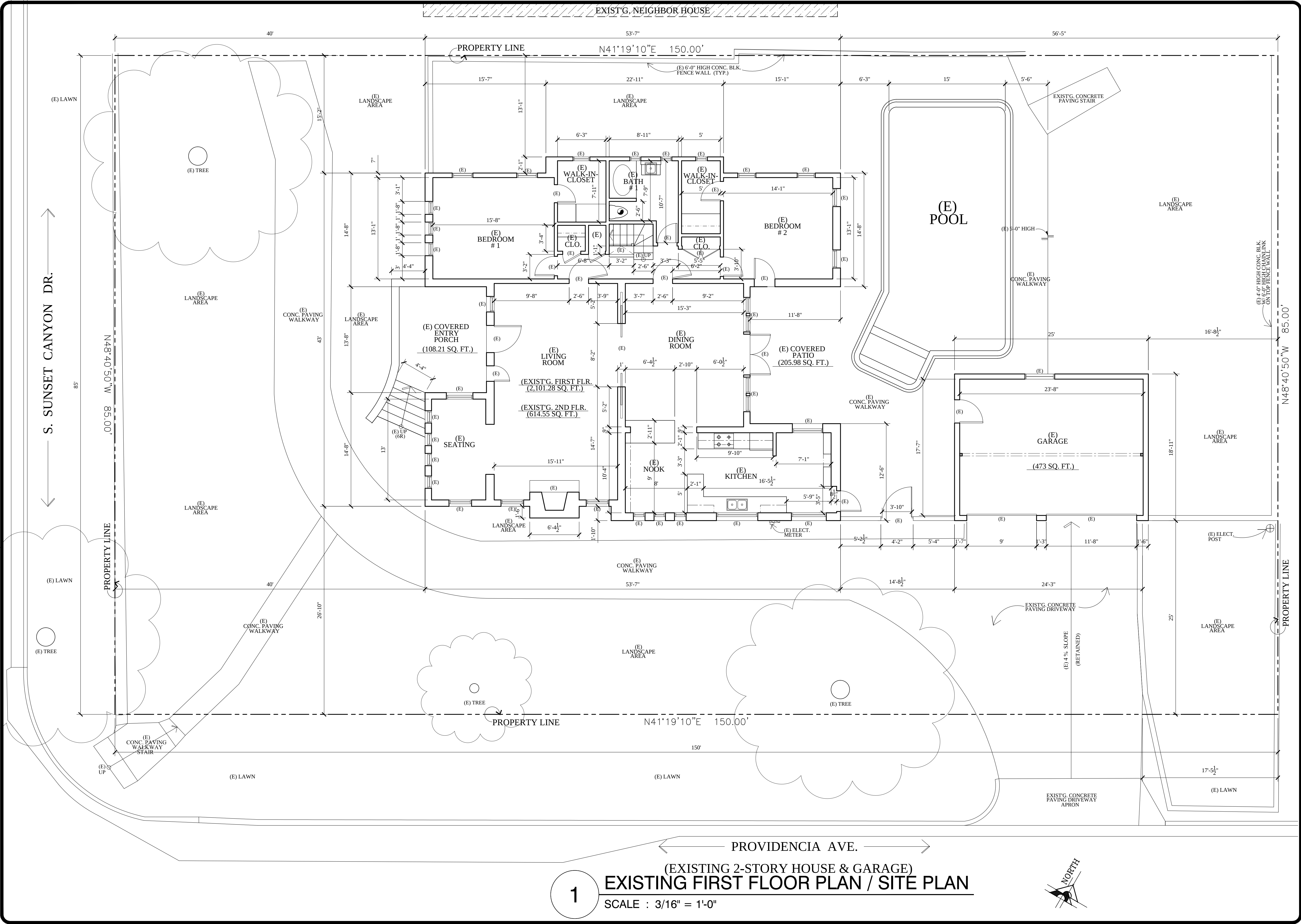




1. CONSTRUCT NEW HOUSE ADDITION TO EXISTING 2-STORY SINGLE FAMILY HOUSE (135.1 SQ. FT.) FIRST FLOOR LOCATED @ REAR OF (E) HOUSE & (634.95 SQ. FT.) SECOND FLOOR. SEE SITE PLAN ABOVE & PROPOSED FIRST & SECOND FL. PLAN @ 1/A-2 & 1/A-3.
2. CONSTRUCT NEW SECOND FLOOR BALCONY (329 SQ. FT.) SEE PROPOSED SECOND FLOOR PLAN @ 1/A-3.
3. CONSTRUCT NEW ADDITION TO EXISTING GARAGE (157 SQ. FT.) SEE SITE PLAN ABOVE & PROPOSED FLOOR PLAN @ 1/A-2.
4. SEE REST OF THE DRAWINGS FOR MORE INFORMATION.
5. MODIFY SWIMMING POOL.

Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 1/8" = 1'-0"
Job No.
Sheet No. A-1
of Sheets



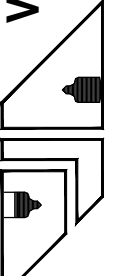
1

(EXISTING 2-STORY HOUSE & GARAGE)
EXISTING FIRST FLOOR PLAN / SITE PLAN

SCALE : 3/16" = 1'-0"

Revisions	By

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1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE**

PROJ. ADDR : 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : (EXISTING HOUSE & GARAGE) EXISTG. / AS BUILT FIRST FLR.
PLAN / SITE PLAN, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

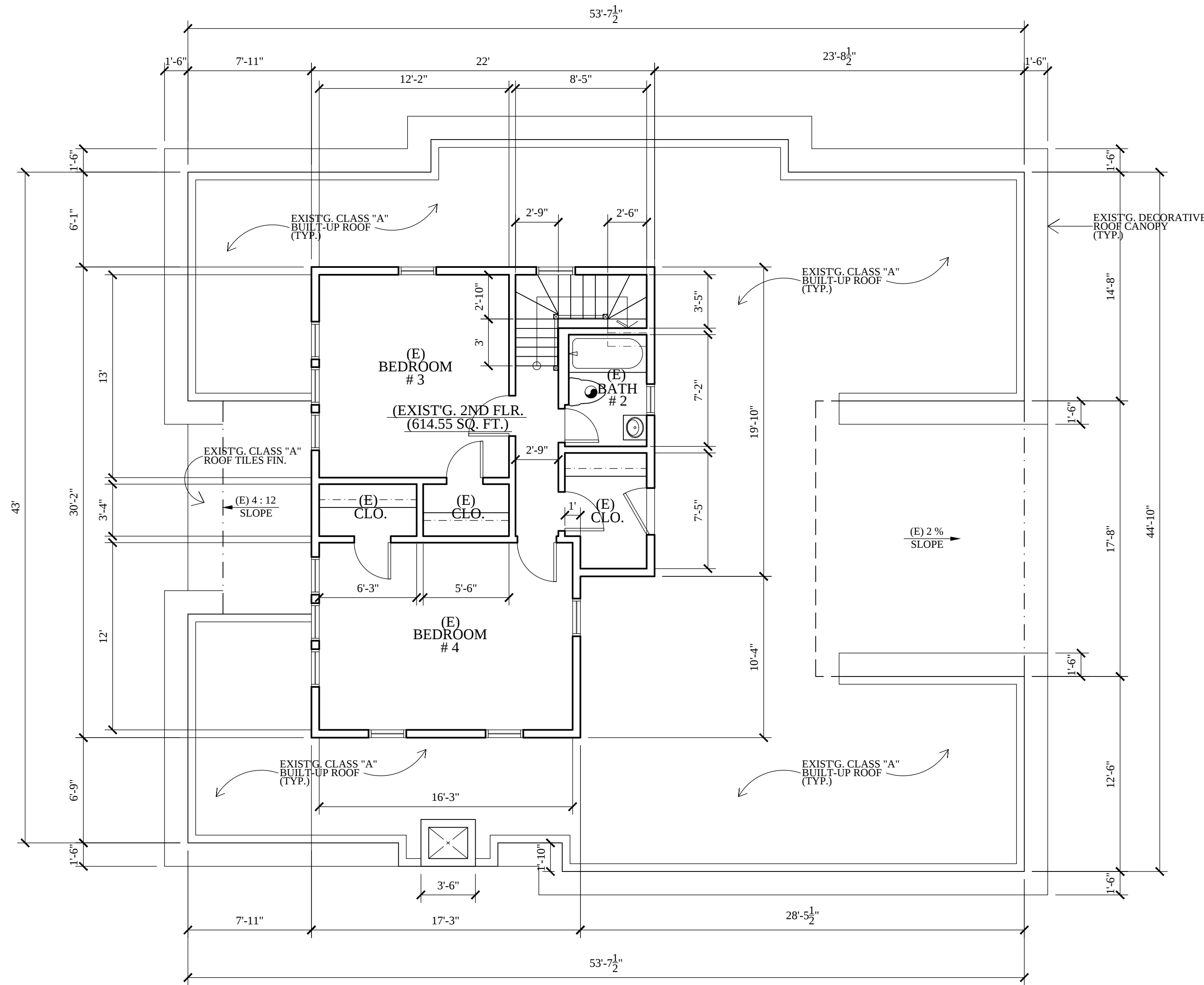
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NOV. 4, 2021

Scale
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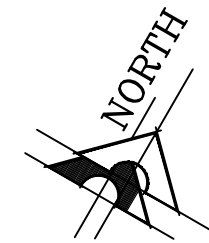
Job No.

Sheet No.
A-1.1

of
Sheets



(EXISTING 2-STORY HOUSE)
1 EXISTING SECOND FLOOR PLAN
SCALE : 3/16" = 1'-0"



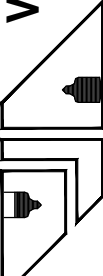
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LEGENDS :

(E) EXISTING

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1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED NEW ADDITION TO EXISTING 2-STORY SINGLE FAMILY HOUSE**

OWNER : MARINA ISQUANT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : EXISTING HOUSE EXISTG. / AS-BUILT SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 3/16" = 1'-0"
Job No.
Sheet No. A-1.2
of Sheets

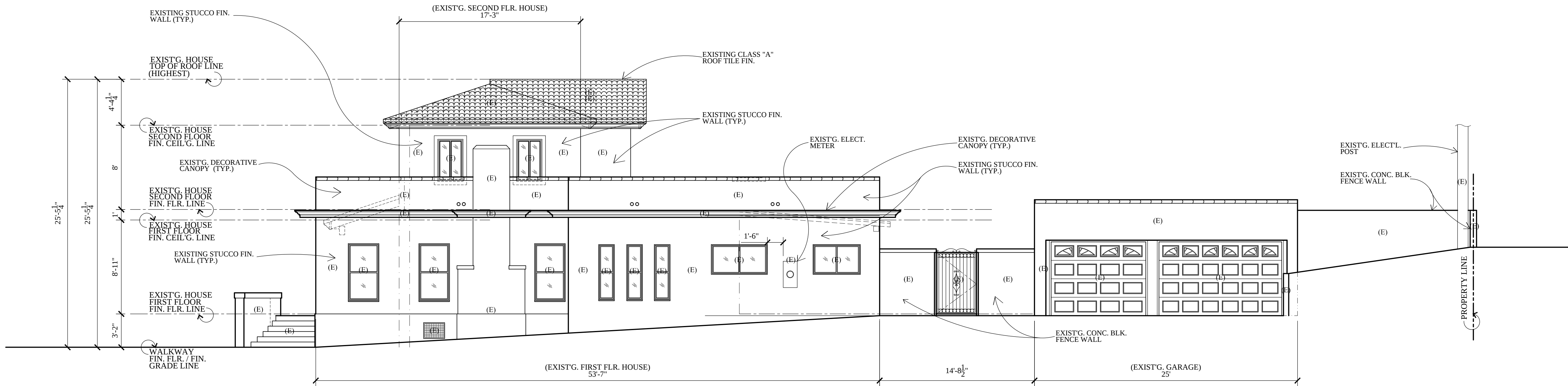
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LEGENDS :
(E) EXISTING



1 EXISTING FRONT / WEST ELEVATION

SCALE : 3/16" = 1'-0"

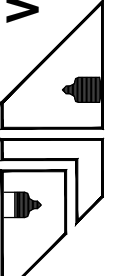


2 EXISTING RIGHT SIDE / SOUTH ELEVATION

SCALE : 3/16" = 1'-0"

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(818) 956-0570

PROJ. TITLE : PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE

PROJ. ADD : 526 S. SUNSET CYN, DR., BURBANK, CA. 91501

OWNER : MARINA ISQUINT
526 S. SUNSET CYN DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. AS-BUILT) ELEVATIONS
W/EXIST'G. GARAGE FRONT ELEV.

Drawn by
NEIL A.

Checked by
V. J.

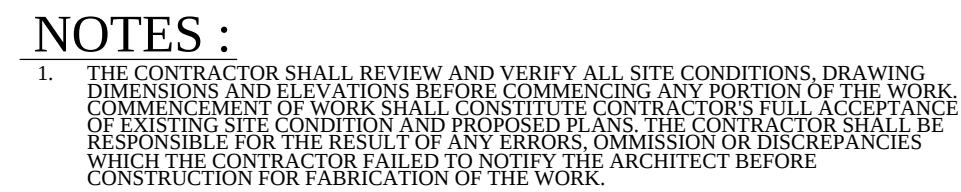
Date
NOV. 4, 2021

Scale
3/16" = 1'-0"

Job No.

Sheet No.
A-1.3

of
Sheets



EXISTING LEFT SIDE / NORTH ELEVATION

SCALE : $3/16" = 1'-0"$

(E) EXISTING



SCALE : $3/16" = 1'-0"$

[illegible][illegible]

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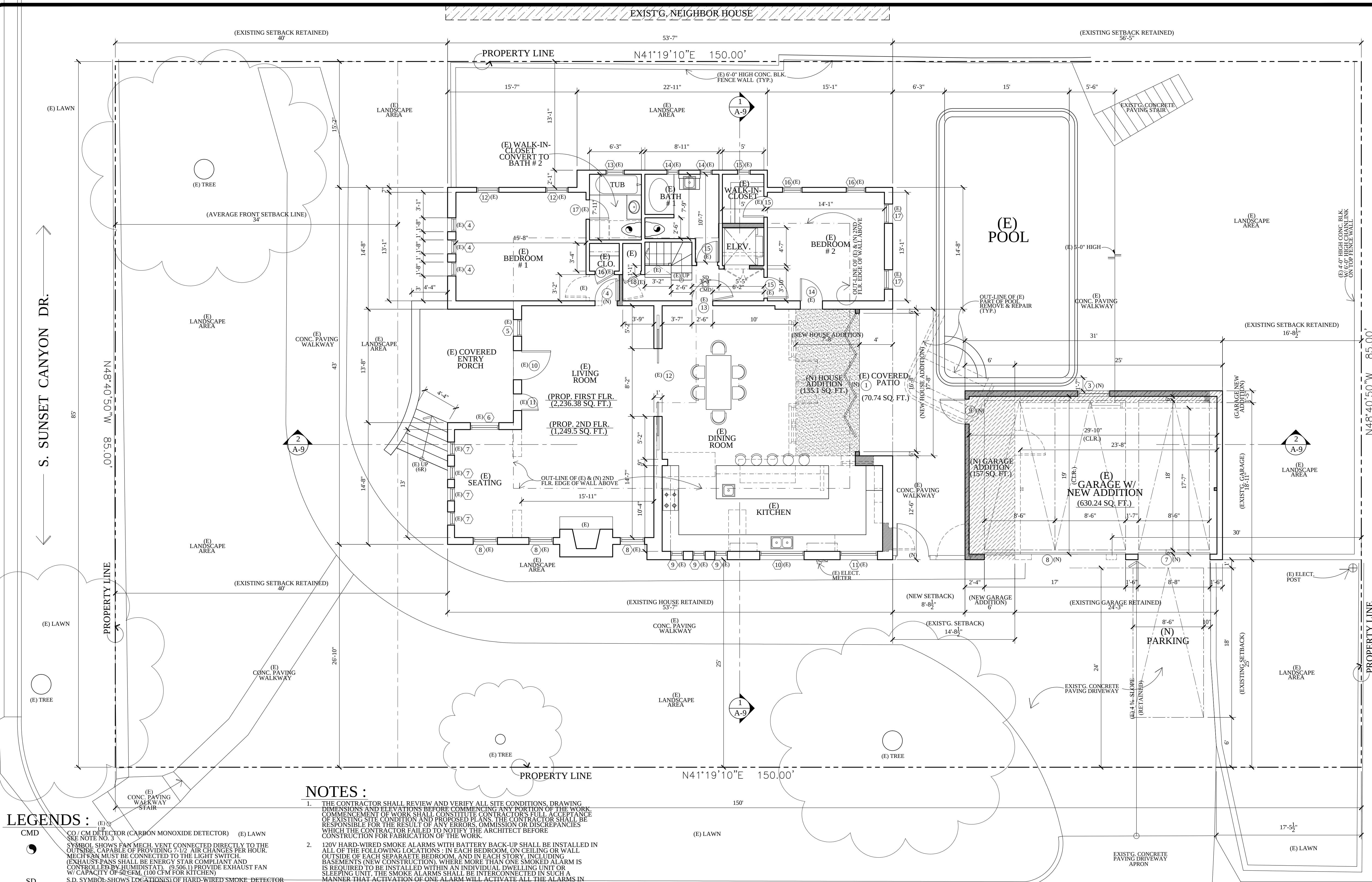
PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE

PROJ. ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER: MARINA ISOUNT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501
DRWG. TITLE: EXIST'G. HOUSE (EXIS'G. / AS-BUILT) ELEVATIONS

Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 3/16" = 1'-0"
Job No.

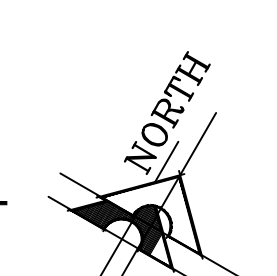
Sheet No.
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of Sheets



- LEGENDS :**
- CMD CO. / CM DETECTOR (CARBON MONOXIDE DETECTOR) (E) LAWN
 - NEW WALL (STUD WALL)
 - NEW 1-HOUR RATED ASSEMBLY WALL
 - EXISTING WALL REMOVE
 - HATCHED AREA SHOWS NEW HOUSE ADDITION
 - HATCHED AREA SHOWS EXIST'G GARAGE NEW ADDITION

- NOTES :**
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTORS FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
 - 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
 - PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CBC R315.1)
 - EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)

1
PROVIDENCIA AVE.
(EXISTING 2-STORY HOUSE & GARAGE)
PROPOSED FIRST FLOOR PLAN / SITE PLAN
SCALE : 3/16" = 1'-0"



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1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : PROPOSED NEW ADDITION TO EXISTING 2-STORY SINGLE FAMILY HOUSE

PROJ. ADD : 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

OWNER : MARINA ISOUNT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : (PROPOSED) FIRST FLOOR PLAN, SITE PLAN, LEGENDS & NOTES

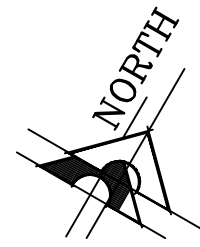
Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 3/16" = 1'-0"
Job No.
Sheet No. A-2
of Sheets

LEGENDS :

CMD	CO / CM DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 3
	SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH. (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT. (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
SD	S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
	WINDOW NO. REFERENCE
	DOOR NO. REFERENCE
	EXISTING WALL (STUD WALL) RETAINED
	NEW 1-HOUR RATED ASSEMBLY WALL (STUD WALL)
	EXISTING WALL REMOVE

HATCHED AREA SHOWS
NEW HOUSE ADDITION

(EXISTING 2-STORY HOUSE)
PROPOSED SECOND FLOOR PLAN
SCALE : 3/16" = 1'-0"

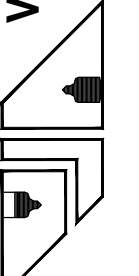


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Revisions	By

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Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE**

PROJ. ADD : MARINA ISQUINT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

OWNER : MARINA ISQUINT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : EXISTING HOUSE, PROPOSED SECOND FLOOR PLAN,
LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

Date
NOV. 4, 2021

Scale
3/16" = 1'-0"

Job No.

Sheet No.
A-3

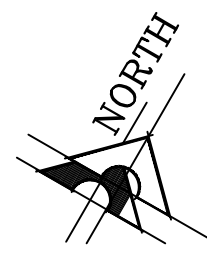
of
Sheets

LEGENDS :

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EXISTING WALL (STUD WALL) RETAINED	EXISTING WALL (STUD WALL) RETAINED
NEW WALL (STUD WALL)	NEW WALL (STUD WALL)
NEW 1-HOUR RATED ASSEMBLY WALL	NEW 1-HOUR RATED ASSEMBLY WALL
EXISTING WALL REMOVE	EXISTING WALL REMOVE

HATCHED AREA SHOWS
NEW HOUSE ADDITION

(EXISTING 2-STORY HOUSE)
PROPOSED SECOND FLOOR PLAN
SCALE : 3/16" = 1'-0"

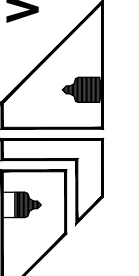


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Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE**

PROJ. ADD : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUIERT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXISTING HOUSE (PROPOSED) ROOF PLAN,
LEGENDS & NOTES

Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 3/16" = 1'-0"
Job No.
Sheet No. A-4
of Sheets

NOTES :

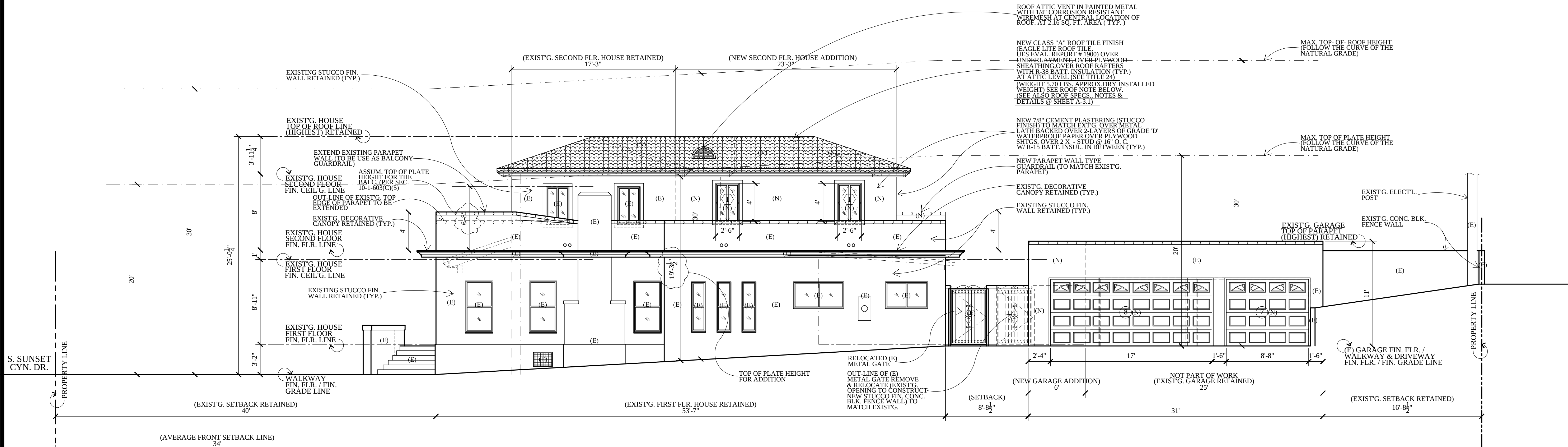
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LEGENDS :

(E) EXISTING
(N) NEW



1 PROPOSED FRONT / WEST ELEVATION
SCALE : 3/16" = 1'-0"



2 PROPOSED RIGHT SIDE / SOUTH ELEVATION
SCALE : 3/16" = 1'-0"

Revisions	By

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PROJ. TITLE : PROPOSED NEW ADDITION TO
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FAMILY HOUSE

PROJ. ADD : 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

OWNER : MARINA ISOUNT

DRWG. TITLE: EXIST'G. HOUSE PROPOSED ELEVATIONS
W/ EXIST'G. GARAGE FRONT ELEV.

Drawn by
NEIL A.

Checked by
V. J.

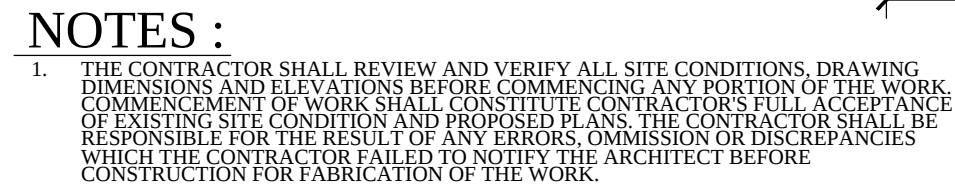
Date
NOV. 4, 2021

Scale
3/16" = 1'-0"

Job No.

Sheet No.
A-5

of
Sheets



SCALE : 3/16" = 1'-0"

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SCALE : 3/16" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND ARE THE PROPERTY OF V. J. & ASSOCIATES, AND HAVE BEEN CREATED, DEVELOPED AND DESIGNED BY US, AND, IN THE EVENT OF ANY DISPUTE, THE ARRANGEMENTS, DESIGNS, AND PLANS SHALL BE USED BY US, AND NOT BY ANY OTHER PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHIN THE UNITED STATES OF AMERICA. ANY REUSE OF ANY OF THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL FEATURES NOTED IN WRITING OF ANYTHING FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. LIFT SIZE/ SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL. BEFORE PROCEEDING WITH FABRICATION, ALL PARTS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL.



PROJ. ADD:	526 S. SUNSET CYN., DR., BURBANK, CA. 91501
OWNER:	MARINA ISOUNT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
DRWG. TITLE:	EXIST'G. HOUSE (PROPOSED ELEVATIONS W/ EXIST'G. GARAGE REAR ELEV.

Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 3/16" = 1'-0"
Job No.
Sheet No. A-6

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL CONSIDER THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING SITE CONDITIONS AND PROPOSALS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE NOTICES OF THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

2. SMOKE DETECTOR SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. THE DETECTOR SHALL BE INSTALLED IN A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2).

3. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR OTHER APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

4. EGRESS DOOR/SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)

5. ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1'5" BELOW THE THRESHOLD, EXCEPT PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7'7.5" BELOW THE THRESHOLD. STORM OR SCREEN DOOR ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)

6. PROVIDE 15' MIN. BETWEEN THE CENTER OF WATER CLOSET. TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.5)

7. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R311.3.2)

8. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170000 SEISMICALLY SOUND PERMIT IS REQUIRED).

9. FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2
FINISH MATERIAL POLLUTANT CONTROL. THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTION 4.504 THROUGH 4.504.5.

- ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVE RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.

DOORS, WINDOWS, GLASS & GLAZING.:

- WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.

- GLAZINGS IN DOORS, WINDOWS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3.5), OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.

11. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3.5), OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.

12. COMPLY WITH THE LOS ANGELES BUILDING AND SAFETY CODE & THE NEW 2019 CBC. ALL NEW WINDOW GLAZED SHALL BE DUAL TYPE UNLESS OTHERWISE STATED SEE SCHED. OF WINDOWS.

13. SEPARATE PERMIT FOR MECH., PLUMBING & ELECTRICAL

14. NO NEW ROOF TOP EQUIPMENT

15. PROVIDE NO. 32 GALVANIZED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACING A MINIMUM OF 4-INCHES ABOVE EARTH OR 2-INCHES ABOVE PAVED AREAS. (CMC 251.2)

17. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND BASEMENT OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND HALLWAY FOR DWELLING WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL BE PROVIDED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

18. PROVIDE AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS, AND IN SLEEPING AREAS, INCLUDING AREAS WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA AND THE OUTSIDE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

19. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE - FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POW. POLES, PULL BOXES, TRANSFORMERS, VALVES, METER, APPLIANCES, ETC.) OR TO THE LOCATION OF THE HOOR - UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE THE CONSTRUCTION DELAYS AND /OR ADDITIONAL EXPENSES.

20. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. (R306.3)

21. KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (R306.4)

22. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY OR THE OWNERS' APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

23. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) R308.4):

a. FIXING AND OPERABLE PANELS OF GLAZING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 - INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

d. GLAZING IN ENCLOSURES OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

e. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

f. GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

24. PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD PRODUCTS OR PRESERVATIVE TREATMENT IN ACCORDANCE WITH A-1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED ON SECTION 2 OF AWP U-1.

25. FOR STEPS / STAIR, TREAD AND RISER DIMENSIONS (7/8" MAX. RISER / 10" MIN. TREAD) (CBC R311.7.4)

26. EXTERIOR DOOR SHALL MEET ONE OF THE FOLLOWING:

a. NONCOMBUSTIBLE CONSTRUCTION OR

b. SOLID WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4-IN. THICK. OR

c. MINIMUM 20-MINS. RATED OR

d. MEET SFM 12-7A-1

28. ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN EAVE OVERHANG, BETWEEN ROOFING MATERIALS, IN GABLE END ROOFING AREAS, GABLE END ROOF OR DORMER VENT SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINES, UNDERLOFT VENTILATION OPENERS SHALL BE LOCATED AS CLOSE AS TO GRADE AS POSSIBLE.

29. GLAZING IN WALLS AND FENCES ABOVE BATHTUB OR SHOWER HEAD, AND SHOWER COMPARTMENT SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)

30. GLAZING IN WALLS AND FENCES ABOVE BATHTUB OR SHOWER HEAD, AND SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

31. PROVIDE 72" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R308)

32. FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2).

33. FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2).

34. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 LAPC)

35. FOR WATER HEATER A T & P RELIEF VALVE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS IS REQUIRED. (CPC 505.6)

36. GLAZING IN ENCLOSURES OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

37. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED BY A CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

38. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY DAYLIGHT EXTERIOR GLAZING OR BY ARTIFICIAL LIGHTING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

39. A COPY OF THE EVALUATION REPORT AND /OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

[illegible]

DOOR SCHEDULE							
DOOR NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
① NEW	16'-8"	6'-10"	PER MANUF.	SLIDING FOLDING (RECESSED) TO MATCH EXISTG.	FIBERGLASS W/ TEMP. GLASS	EXISTING DINING ROOM FIRST FLOOR (REAR / EAST ELEVATION)	SEE 2/A-6 REAR / EAST ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN (U-FACTOR = 0.30 NFRIC) (SHGC = 0.22 NFRIC)
② NEW	2'-6"	6'-8"	PER MANUF.	SINGLE LEAF SWING (RECESSED) TO MATCH EXISTG.	FIBERGLASS W/ TEMP. GLASS	EXISTING BEDROOM # 3 & # 4 SECOND FLOOR. (FRONT / WEST ELEVATION)	SEE 1/A-5 FRONT / WEST ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRIC) (SHGC = 0.22 NFRIC)
③ NEW	6'-0"	6'-10"	PER MANUF.	SLIDING (RECESSED) TO MATCH EXISTG.	FIBERGLASS W/ TEMP. GLASS	NEW MASTER BEDROOM SECOND FLOOR. (REAR / EAST ELEVATION)	SEE 2/A-6 REAR / EAST ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRIC) (SHGC = 0.22 NFRIC)
④ NEW	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	(E) BEDROOM # 1 (FIRST FLR.) (N) MASTER BEDRM. (N) MASTER BATH RM. & (N) WALK-IN CLO. (E) BATH 2 (SECOND FLR.)	SEE PROPOSED SECOND FLR. PLAN @ 1/A-3
⑤ NEW	4'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	(N) LINEN @ SECOND FLR.	SEE PROPOSED SECOND FLR. PLAN @ 1/A-3
⑥ NEW	9'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	NEW CLOSET @ MASTER BEDRM. (SECOND FLOOR)	SEE PROPOSED SECOND FLR. PLAN @ 1/A-3
⑦ NEW	8'-8"	7'-0"	PER MANUF.	LIFT-UP (REMOTE CONTROL)	METAL	EXISTING GARAGE (RIGHT SIDE / SOUTH ELEVATION)	SEE PROP. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROP. FIRST FLR. PLAN 1/A-2 (GARAGE AREA)
⑧ NEW	17'-0"	7'-0"	PER MANUF.	LIFT-UP (REMOTE CONTROL)	METAL	NEW GARAGE ADDITION (RIGHT SIDE / SOUTH ELEVATION)	SEE PROPOSED FIRST FLOOR PLAN @ 1/A-2 (GARAGE AREA)
⑨ NEW	3'-0"	6'-10"	PER MANUF.	SINGLE LEAF SWING	SOLID WD.	NEW GARAGE ADDITION (WEST OF GARAGE)	SEE PROPOSED FIRST FLOOR PLAN @ 1/A-2 (GARAGE AREA)
EXISTING DOORS RETAINED (NO CHANGES)							
⑩ EXISTG. RETAINED	3'-6"	6'-8"	PER MANUF.	SINGLE LEAF SWING (RECESSED)	SOLID WD. W/ GLASS VIEW	(E) LIVING ROOM, FIRST FLR. (FRONT / WEST ELEVATION)	SEE PROP. FRONT / WEST ELEV. @ 1/A-5 PROP. FIRST FLR. PLAN @ 1/A-2
⑪ EXISTG. RETAINED	2'-0"	6'-8"	PER MANUF.	SINGLE LEAF SWING (RECESSED)	SOLID WD. W/ GLASS VIEW	(E) LIVING ROOM, FIRST FLR. (FRONT / WEST ELEVATION)	SEE PROP. FRONT / WEST ELEV. @ 1/A-5 PROP. FIRST FLR. PLAN @ 1/A-2
⑫ EXISTG. RETAINED	8'-2"	6'-8"	PER MANUF.	SLIDING POCKET (RECESSED)	SOLID WD. W/ GLASS VIEW	(E) LIVING RM. LEADING TO DINING RM. (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
⑬ EXISTG. RETAINED	2'-6"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	(E) DINING RM. LEADING TO BEDRM. HALLWAY & STAIR (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
⑭ EXISTG. RETAINED	2'-8"	6'-8"	PER MANUF.	SINGLE LEAF SWING	SOLID WD.	(E) DINING RM. LEADING TO BEDRM. # 2 (FIRST FLOOR) HOUSE ADDITION AREA	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
⑮ EXISTG. RETAINED	2'-8"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	(E) BEDROOM # 2, WALK-IN CLO. @ BEDRM. # 2, BATH #1 (FIRST FLR.) (E) BEDRM. # 4 @ SECOND FLR.	SEE PROP. FIRST FLOOR PLAN @ 1/A-2, & PROP. SECOND FLR. PLAN @ 1/A-3
⑯ EXISTG. RETAINED	2'-4"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	(E) CLOSET @ BEDROOM # 1 (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
⑰ EXISTG. RETAINED	2'-4"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	(E) WALK-IN CLO. CONVERT TO BATH # 2, LOCATED INSIDE BEDRM. # 1 (FIRST FLR.) (E) CLO. @ BEDRM. # 2 & # 4 @ SECOND FLR.	SEE PROP. FIRST FLOOR PLAN @ 1/A-2, & PROP. SECOND FLR. PLAN @ 1/A-3
⑱ EXISTG. RETAINED	2'-2"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	(E) CLOSET UNDER STAIR @ FIRST FLR. HALLWAY	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
⑲ EXISTG. RETAINED	2'-7"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	(E) BEDROOM # 3 ENTRY (SECOND FLOOR)	SEE PROP. SECOND FLOOR PLAN @ 1/A-3

WINDOW SCHEDULE							
WDW. NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
① NEW	2'-6"	4'-0"	PER MANUF.	LIFT - UP / TOP HUNG (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	(N) MASTER BEDROOM @ SECOND FLOOR	TEMP GLASS. SEE 2/A-5 RIGHT SIDE / SOUTH ELEV. & 1/A-3 PROF. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRG) (SHGC = 0.22 NFRG)
② NEW	1'-6"	4'-0"	PER MANUF.	FIXED (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	(N) MASTER BEDROOM @ SECOND FLOOR	TEMP GLASS. SEE 2/A-6 REAR / EAST ELEV. & 1/A-3 PROF. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRG) (SHGC = 0.22 NFRG)
③ NEW	3'-10"	1'-6"	PER MANUF.	SLIDING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	EXIST'G. GARAGE (LEFT SIDE / NORTH ELEVATION)	TEMP GLASS. SEE 1/A-6 LEFT SIDE / NORTH ELEV. & 1/A-2 PROPOSED FIRST FLR. PLAN (U-FACTOR = 0.30 NFRG) (SHGC = 0.22 NFRG)
EXISTING WINDOWS RETAINED (NO CHANGES)							
④ EXIST'G. RETAINED	1'-8"	5'-6"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. BEDROOM # 1 FIRST FLOOR (FRONT / WEST ELEVATION)	EXIST'G. RETAINED. 1/A-5 PROF. FRONT WEST ELEV. & 1/A-3 PROF. FIRST FLOOR PLAN
⑤ EXIST'G. RETAINED	2'-0"	5'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. LIVING ROOM FIRST FLOOR (FRONT / WEST ELEVATION)	EXIST'G. RETAINED. 1/A-5 PROF. FRONT WEST ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑥ EXIST'G. RETAINED	3'-5"	5'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. SEATING AREA FIRST FLOOR	EXIST'G. RETAINED. 1/A-2 PROF. FIRST FLOOR PLAN
⑦ EXIST'G. RETAINED	1'-7"	5'-6"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. SEATING AREA FIRST FLOOR	EXIST'G. RETAINED. 1/A-5 PROF. FRONT WEST ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑧ EXIST'G. RETAINED	2'-6"	5'-6"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	EXIST'G. LIVING & SEATING AREA FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	EXIST'G. RETAINED. 1/A-5 PROF. FRONT WEST ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑨ EXIST'G. RETAINED	1'-6"	5'-4"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	EXIST'G. KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑩ EXIST'G. RETAINED	5'-4"	2'-10"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	EXIST'G. KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	EXIST'G. RETAINED. 2/A-5 PROF. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑪ EXIST'G. RETAINED	4'-6"	2'-10"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	EXIST'G. KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	EXIST'G. RETAINED. 2/A-5 PROF. RIGHT SIDE / SOUTH ELEV. & 1/A-3 PROF. FIRST FLOOR PLAN
⑫ EXIST'G. RETAINED	2'-8"	4'-9"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	EXIST'G. BEDROOM # 1 FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑬ EXIST'G. RETAINED	2'-2"	2'-7"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. WALK-IN-CLOSET CONVERT TO BATH # 2 FIRST FLR. (LEFT SIDE / NORTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑭ EXIST'G. RETAINED	1'-5"	2'-6"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	EXIST'G. BATH # 1 FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑮ EXIST'G. RETAINED	1'-6"	2'-6"	PER MANUF.	LOUVER (RECESSED)	WOOD FRAMED	EXIST'G. WALK-IN-CLOSET @ SECOND FLOOR (LEFT SIDE / NORTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑯ EXIST'G. RETAINED	2'-4"	4'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. BEDROOM # 2 FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑰ EXIST'G. RETAINED	2'-4"	4'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. BEDROOM # 2 FIRST FLOOR (REAR / EAST ELEVATION)	EXIST'G. RETAINED. 2/A-6 PROF. REAR / EAST ELEV. & 1/A-2 PROF. FIRST FLOOR PLAN
⑱ EXIST'G. RETAINED	2'-5"	4'-0"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. BEDROOM # 3 & 4 SECOND FLOOR (FRONT WEST WEST ELEVATION & LEFT SIDE / NORTH ELEVATIONS)	EXIST'G. RETAINED. 2/A-5 PROF. FRONT WEST ELEV. & 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-3 PROF. SECOND FLOOR PLAN
⑲ EXIST'G. RETAINED	2'-5"	4'-0"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. BEDROOM # 4 SECOND FLOOR (RIGHT SIDE / SOUTH ELEVATION)	EXIST'G. RETAINED. 2/A-5 PROF. RIGHT SIDE / SOUTH ELEV. & 1/A-3 PROF. SECOND FLOOR PLAN
⑳ EXIST'G. RETAINED	2'-5"	4'-0"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	EXIST'G. STAIRWAY SECOND FLOOR (LEFT SIDE / SOUTH ELEVATION)	EXIST'G. RETAINED. 1/A-6 PROF. LEFT SIDE / NORTH ELEV. & 1/A-3 PROF. SECOND FLOOR PLAN

1. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
2. ALL NEW WINDOWS & SKYLIGHTS SHALL BE LOW E TEMPS GLASS, UNLESS OTHERWISE STATED. (SEE WINDOW SCHEDULE ABOVE) TO MATCH EXISTING HOUSE.
3. ALL GLASS DOOR ARE TO BE IN FIBERGLASS TYPE TEMP. GLASS. (SEE DOOR SCHEDULE BELOW) (SEE DOOR SCHEDULE ABOVE).
4. FOR WINDOWS & DOORS U-FACTOR & SHGC SEE T24 SHEET
5. ALL DOORS & WINDOWS SHALL MEET BURBANK SECURITY ORDINANCE.
6. ALL NEW WINDOWS SHALL BE NAIL - ON TYPE. NO BLOCK OR RETROFIT TYPES ALLOWED FOR NEW OR ALTERED WINDOW OPENINGS.
7. ALL NEW WINDOWS TO MATCH EXISTING HOUSE FINISHES, DESIGN & TYPES.

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Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale 1/4" = 1'-0"
Job No.
Sheet No. A-7
of Sheets

NOT TO SCALE
(FIRST FLR. LOCATION)

NOT TO SCALE

NOT TO SCALE
(2ND FLR. LOCATION)

NOT TO SCALE
(2ND FLR. LOCATION)

NOT TO SCALE

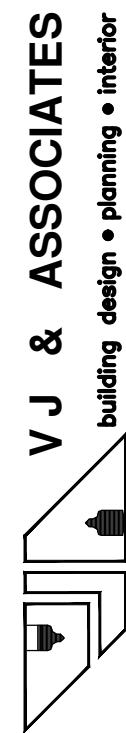
NOT TO SCALE

NOT TO SCALE
(2ND FLR. LOCATION)

NOT TO SCALE
(2ND FLR. LOCATION)

[illegible]

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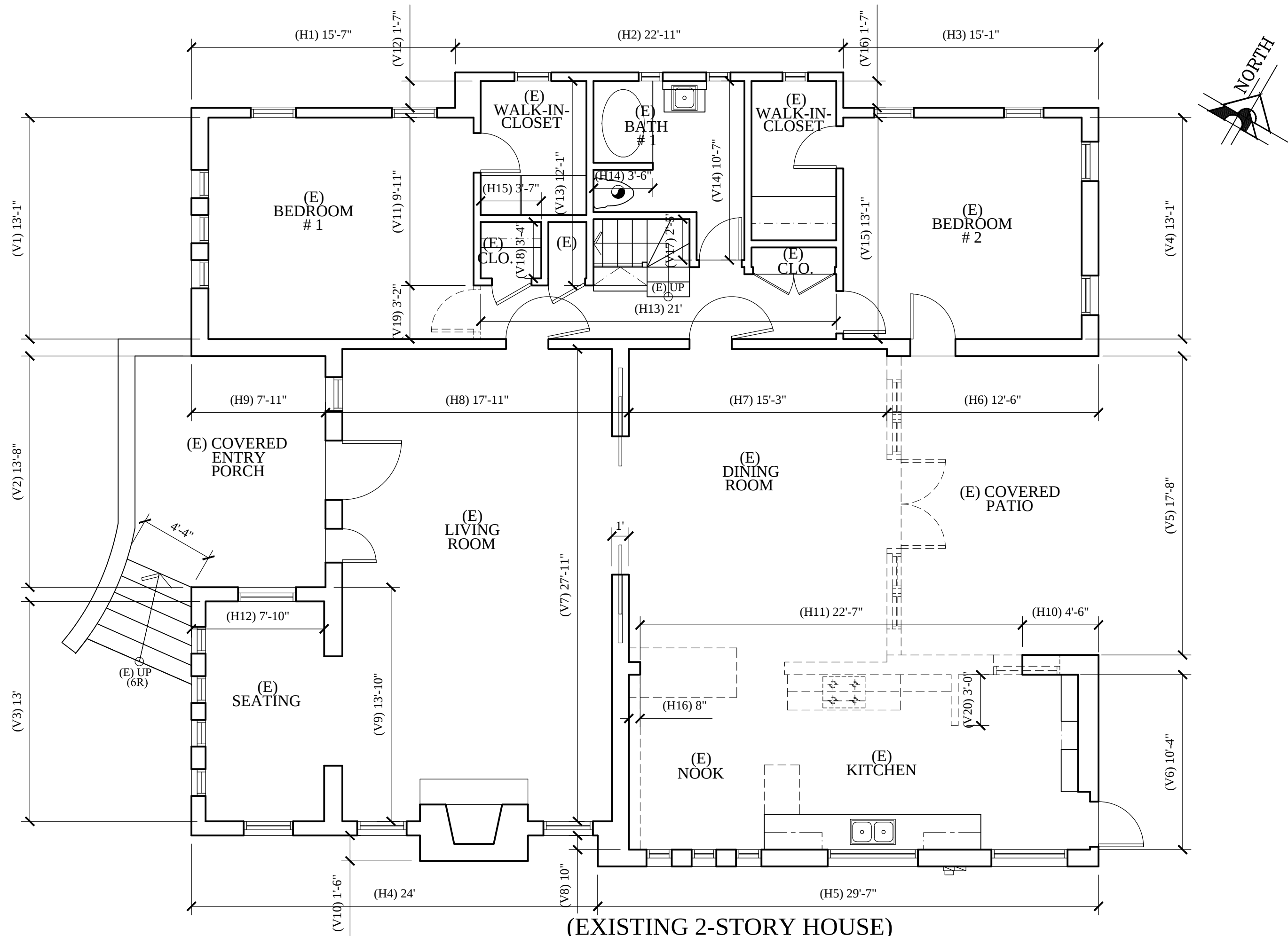
PROJ. TITLE : **PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE**

PROJ. ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER: MARINA ISOUNT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : WINDOW DETAIL SECTIONS

Drawn by NEIL A.
Checked by V. J.
Date NOV. 4, 2021
Scale N. T. S.
Job No.
Sheet No. A-8



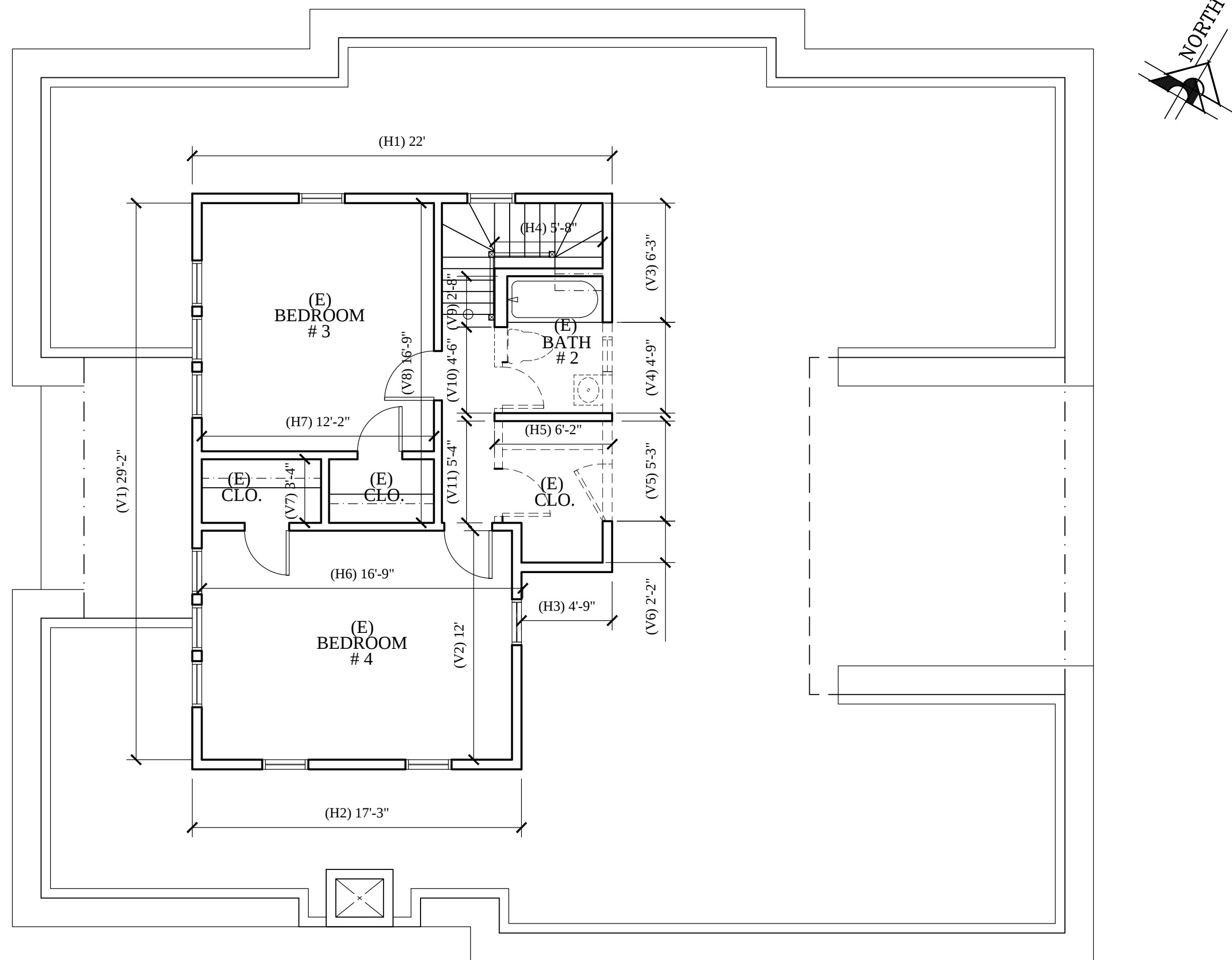
(EXISTING 2-STORY HOUSE)
DEMOLITION DIAGRAM
EXISTING FIRST FLOOR

SCALE : 3/16" = 1'-0"

**RESIDENTIAL DEMOLITION
TABULATION :**

TOTAL EXISTING WALL LENGHT : (FIRST FLOOR)			
V1	13'-1"	OR	(13.08')
V2	13'-8"	OR	(13.67')
V3	13'-0"	OR	(13')
V4	13'-1"	OR	(13.08')
V5	17'-8"	OR	(17.67')
V6	10'-4"	OR	(10.33')
V7	27'-11"	OR	(27.92')
V8	0'-10"	OR	(0.83')
V9	13'-10"	OR	(13.83')
V10	1'-6"	OR	(1.5')
V11	9'-11"	OR	(9.92')
V12	1'-7"	OR	(1.58')
V13	12'-1"	OR	(12.08')
V14	10'-7"	OR	(10.58')
V15	13'-1"	OR	(13.08')
V16	1'-7"	OR	(1.58')
V17	2'-5"	OR	(2.42')
V18	3'-4"	OR	(3.33')
V19	3'-2"	OR	(3.17')
V20	3'-0"	OR	(3')
H1	15'-7"	OR	(15.58')
H2	22'-11"	OR	(22.92')
H3	15'-1"	OR	(15.08')
H4	24'-0"	OR	(24')
H5	29'-7"	OR	(29.58')
H6	12'-6"	OR	(12.5')
H7	15'-3"	OR	(15.25')
H8	17'-11"	OR	(17.92')
H9	7'-11"	OR	(7.92')
H10	4'-6"	OR	(4.5')
H11	22'-7"	OR	(22.58')
H12	7'-10"	OR	(7.83')
H13	21'-0"	OR	(21')
H14	3'-6"	OR	(3.5')
H15	3'-7"	OR	(3.58')
H16	0'-8"	OR	(0.67')
TOTAL LENGHT =		410.06'	

TOTAL DEMO WALL LENGHT : (FIRST FLOOR)			
V5	17'-8"	OR	(17.67')
V19	3'-2"	OR	(3.17')
V20	3'-0"	OR	(3')
H11	22'-7"	OR	(22.58')
TOTAL LENGHT =			46.42'
46.42 / 410.06 = 0.1132 (11.32 %) DEMOLITION @ FIRST FLR.			



(EXISTING 2-STORY HOUSE)
DEMOLITION DIAGRAM
EXISTING SECOND FLOOR

SCALE : 3/16" = 1'-0"

TOTAL EXISTING WALL LENGHT : (SECOND FLOOR)			
V1	29'-2"	OR	(29.17')
V2	12'-0"	OR	(12')
V3	6'-3"	OR	(6.25')
V4	4'-9"	OR	(4.75')
V5	5'-3"	OR	(5.25')
V6	2'-2"	OR	(2.17')
V7	3'-4"	OR	(3.33')
V8	16'-9"	OR	(16.75')
V9	2'-8"	OR	(2.67')
V10	4'-6"	OR	(4.5')
V11	5'-4"	OR	(5.33')
H1	22'-0"	OR	(22')
H2	17'-3"	OR	(17.25')
H3	4'-9"	OR	(4.75')
H4	5'-8"	OR	(5.67')
H5	6'-2"	OR	(6.17')
H6	16'-9"	OR	(16.75')
H7	12'-2"	OR	(12.17')
TOTAL LENGHT =			176.93'
TOTAL DEMO WALL LENGHT : (SECOND FLOOR)			
V4	4'-9"	OR	(4.75')
V5	5'-3"	OR	(5.25')
V10	4'-6"	OR	(4.5')
V11	5'-4"	OR	(5.33')
TOTAL LENGHT =			19.83'
19.83 / 176.93 = 0.1121 (11.21 %) DEMOLITION @ SECOND FLR.			

**SUMMARY (TOTAL EXIST'G. WALL LENGHT)
& (TOTAL DEMO WALL) FIRST & SECOND FLR. :**

FIRST FLR. EXIST'G. WALL LENGHT :	410.06'
SECOND FLR. EXIST'G. WALL LENGHT :	176.93'
TOTAL WALL LENGHT : (FIRST & SECOND FLR.)	586.99'

FIRST FLR. DEMO WALL LENGHT :	46.42'
SECOND FLR. DEMO WALL LENGHT :	19.83'
TOTAL DEMO WALL LENGHT : (FIRST & SECOND FLR.)	66.25'

OVERALL TOTAL DEMOLITION = 66.25' / 586.99' = 0.1129
(11.29 %) OVERALL TOTAL DEMOLITION
FIRST & SECOND FLR.

LEGENDS :

	EXISTING WALL RETAINED
	EXISTING WALL REMOVE /DEMOLISH

NOTES :

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

Revisions	By

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**PROPOSED NEW ADDITION TO
EXISTING 2-STORY SINGLE
FAMILY HOUSE**

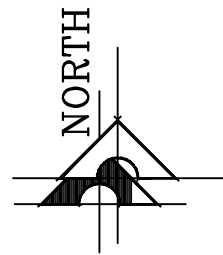
PROJ. TITLE :
PROJ. ADD :
OWNER :
DRWG. TITLE :

526 S. SUNSET CYN., DR., BURBANK, CA. 91501
526 S. SUNSET CYN., DR., BURBANK, CA. 91501
MARIANA ISQUIERT
RESIDENTIAL DEMOLITION TABULATION

Drawn by
NEIL A.
Checked by
V. J.
Date
NOV. 4, 2021
Scale
3/16" = 1'-0"
Job No.

Sheet No.
D-1

of
Sheets



☐ S. SUNSET CANYON DRIVE

BASIS OF BEARINGS:

THE BEARING OF N41°19'10"E, SHOWN FOR THE CENTERLINE OF PROVIDENCIA AVENUE ON TRACT NO. 22255, MAP BOOK 598, PAGE 44, WAS USED AS THE BASIS OF BEARINGS HEREON.

NOTES:

ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

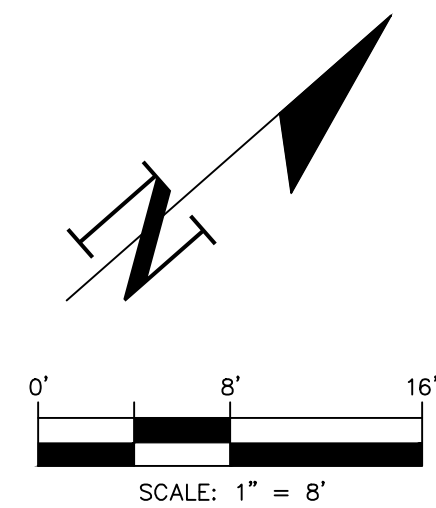
CITY BENCHMARK:

BENCH MARK: BM 1809-1
DATUM: NAVD 1988
ELEVATION: 807.165 FEET
DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1809-1 AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SUNSET CANYON DRIVE AND PROVIDENCIA AVENUE

LEGAL DESCRIPTION:

THE SOUTHEASTERLY 85 FEET OF THE SOUTHWESTERLY 150 FEET OF LOT 14 OF VILLA LOTS AS PER MAP RECORDED IN BOOK 31, PAGE 25 OF MISCELLANEOUS RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN 5608-030-027



SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF MARINA ISOUNTS IN FEBRUARY OF 2019.

Larry G. Canterbury 2/11/19
LARRY G. CANTERBERRY, LS 8776 DATE

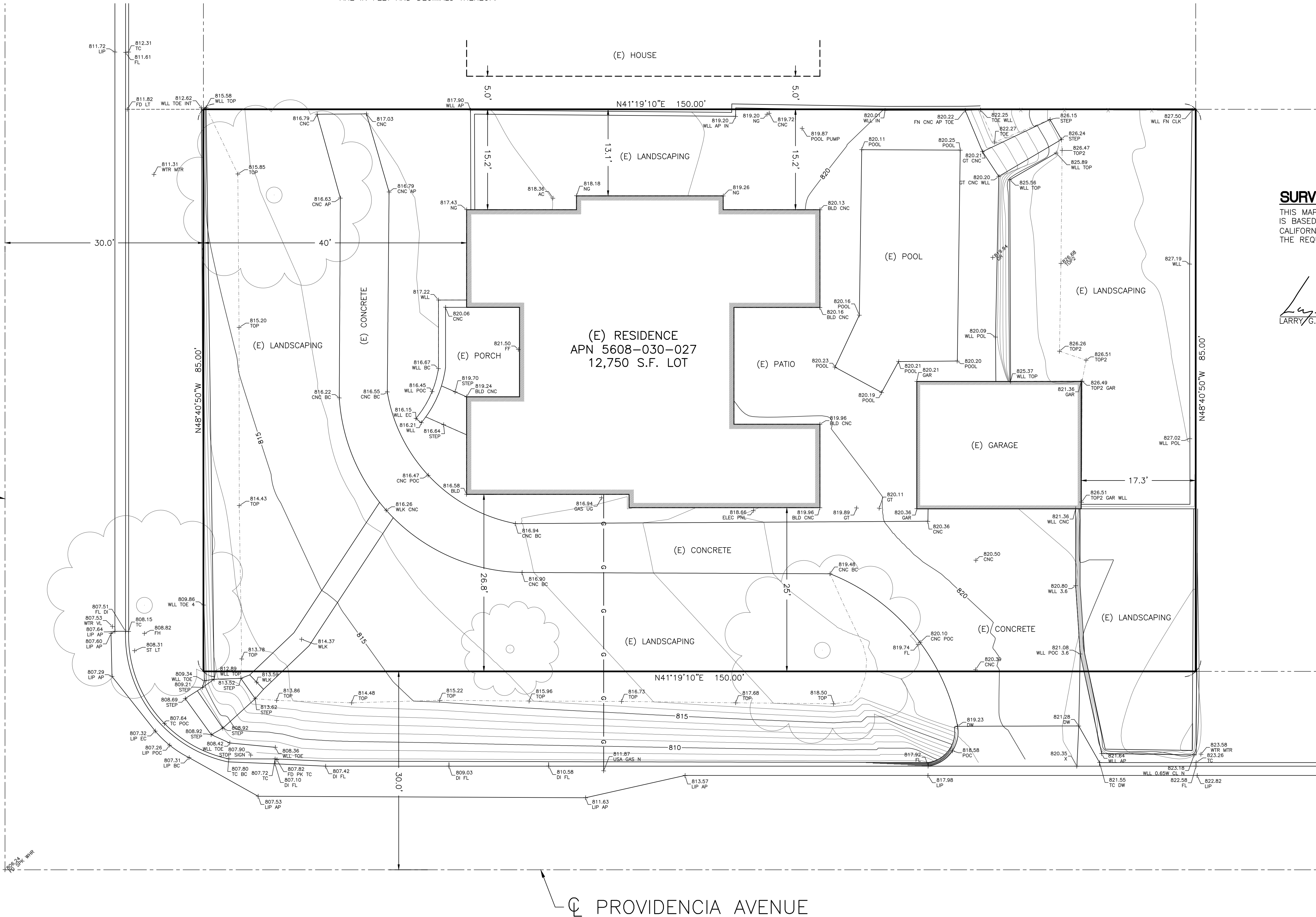


LEGEND:

- ☐ (E) POWER POLE
- x — (E) FENCE
- OHE — (E) OVERHEAD POWER
- G — (E) GAS

ABBREVIATIONS:

- AC = ASPHALT CONCRETE
- AP = ANGLE POINT
- CNC = CONCRETE
- CLK = CHAIN-LINK
- COR = CORNER
- DI = DROP INLET
- DW = DRIVEWAY
- (E) = EXISTING
- EP = EDGE OF PAVEMENT
- FD = FOUND
- FC = FACE OF
- FF = FINISH FLOOR
- FL = FLOWLINE
- FN = FENCE
- GR = GRASS
- INV = INVERT
- IP = IRON PIPE
- LP = LOW POINT
- NG = NATURAL GROUND
- MH = MANHOLE
- MON = MONUMENT
- OHE = OVERHEAD ELECTRIC LINE
- PP = POWERPOLE
- RET = RETENTION WALL
- RW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SGN = SIGN
- SPG = WATER SPIGOT
- SMH = SEWER MANHOLE
- STP = STEP
- TC = TOP OF CURB
- TOE = TOE OF SLOPE
- TOP = TOP OF SLOPE
- WD = WOOD
- WI = WROUGHT IRON
- WLL = WALL



PREPARED BY:
CALIFORNIA ENGINEERING & SURVEYING INC
5210 MOULSE COURT, BAKERSFIELD, CA 93308
(661) 809-7372 glen@calengr.com

DRAWN: GC
CHECKED: GC
DATE: 2/10/19
JOB NO.: 19-1202
DWG NAME: TOPO

526 S. SUNSET CANYON DRIVE
TOPOGRAPHIC SURVEY
BURBANK, CA 91501 APN 5608-030-027

REVISIONS

SHEET NO.

1

OF 1 SHEETS