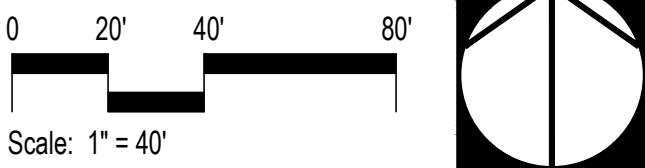




**LEGEND**

- 1. Central community open space area with large turf area, dining area with BBQ, seating for small gathering, play area with ping-pong tables and fire-pit with Adirondacks. Refer to Enlargement Sheet L2.
- 2. North, south pocket parks and reading nooks with specimen tree for shade with bench seating. Refer to Enlargement sheet L3.
- 3. Eight community cluster mailboxes, per USPS review and approval.
- 4. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
- 5. Enhanced paving at main project entry.
- 6. Integral colored concrete paving at open space gathering.
- 7. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
- 8. 6' wide stoop unit entry natural colored concrete walk, with light top-cast finish and saw-cut joints.
- 9. Accessible parking stall and striping, per Civil plans.
- 10. Guest parking stall.
- 11. Natural colored concrete driveway, with light broom finish and tooled joints.
- 12. Pot on pedestal at pedestrian entry.
- 13. Project monument sign. Refer to Section-Elevation Sheet L5.
- 14. Private patio / yard area, homeowner maintained.
- 15. Common area landscape, builder installed and HOA maintained.
- 16. Community dog bag station (black in color), for pet owners.
- 17. Property line.
- 18. Public street R.O.W.
- 19. Proposed public street sidewalk, per Civil plans.
- 20. Transformer to be screened with landscape, quantity and final locations to be determined.
- 21. Short term bike parking (6 bike stalls to accommodate 12 bike parking).
- 22. Easement, per Civil plans.
- 23. Existing Buildings to remain.
- 24. Proposed tree, per Planting Plan.
- 25. Sight line.
- 26. Entry Secondary Monument. Refer to Section-Elevation Sheet L5.



**Conceptual Landscape Plan**

MJW Investments, LLC

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Date: Aug. 27, 2021

**L-1**

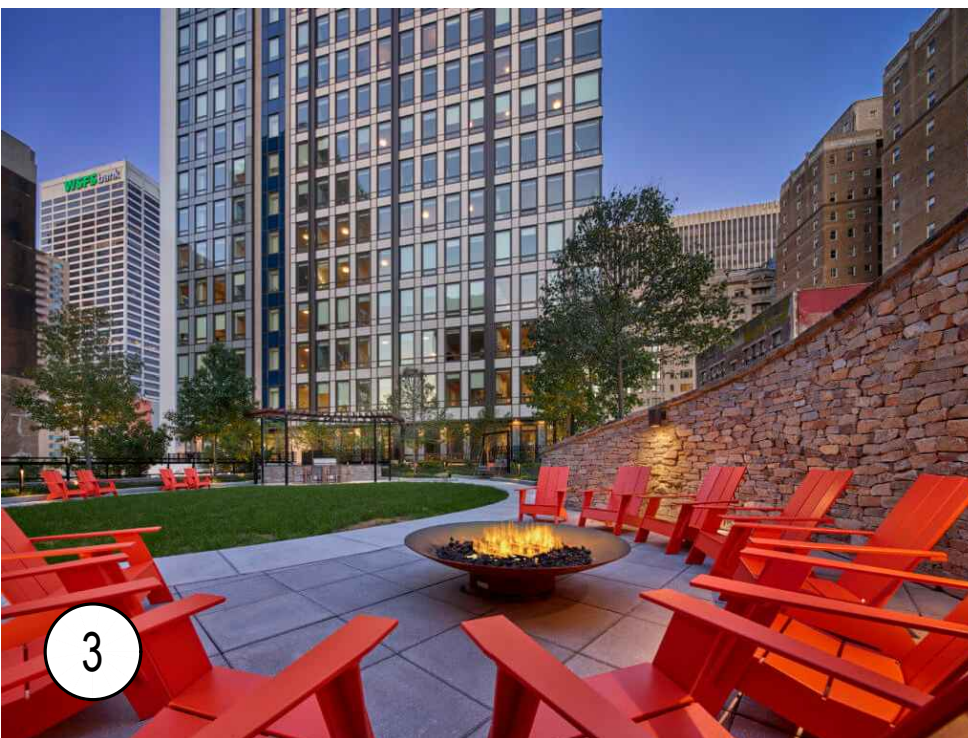




Dining Area (27'x37'):  
 - 21'x23' Shade Structure  
 - BBQ Island  
 - Tables and Chairs



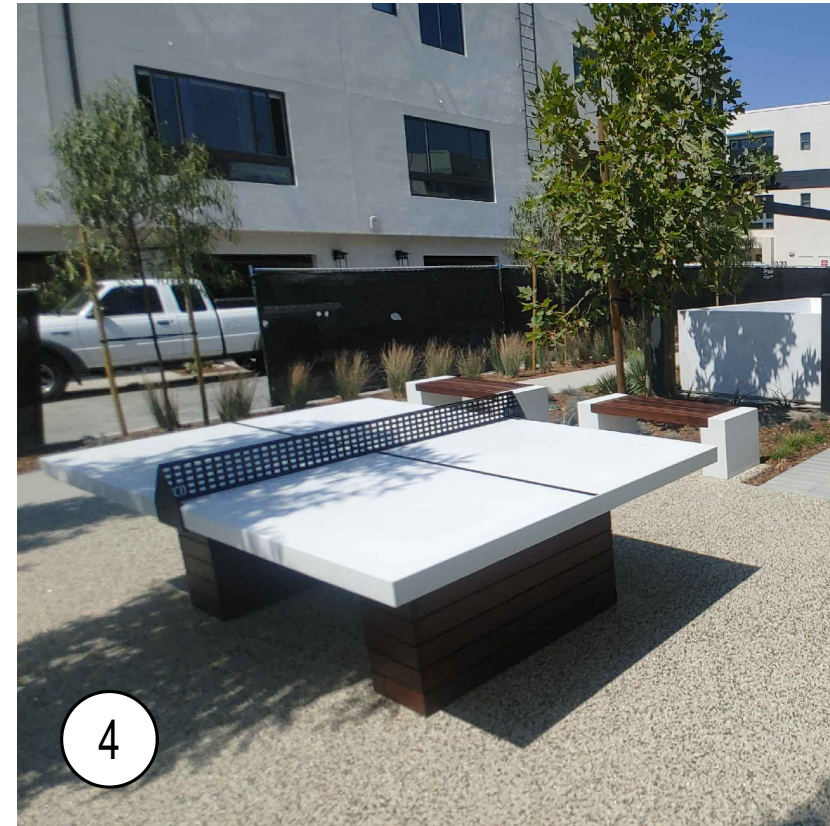
Short-term bike stalls



Fire-pit with Adirondacks



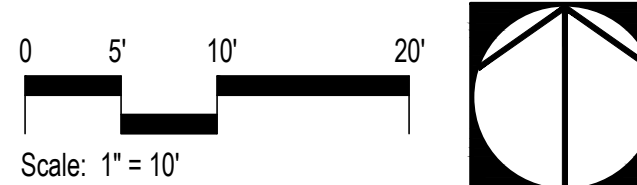
Play Area:  
 - Sail Shade Structure  
 - 2 Ping Pong tables  
 - Tables and Chairs  
 - Specimen Tree



Short-term bike stalls

Mailbox

Specimen Pocket with curved bench

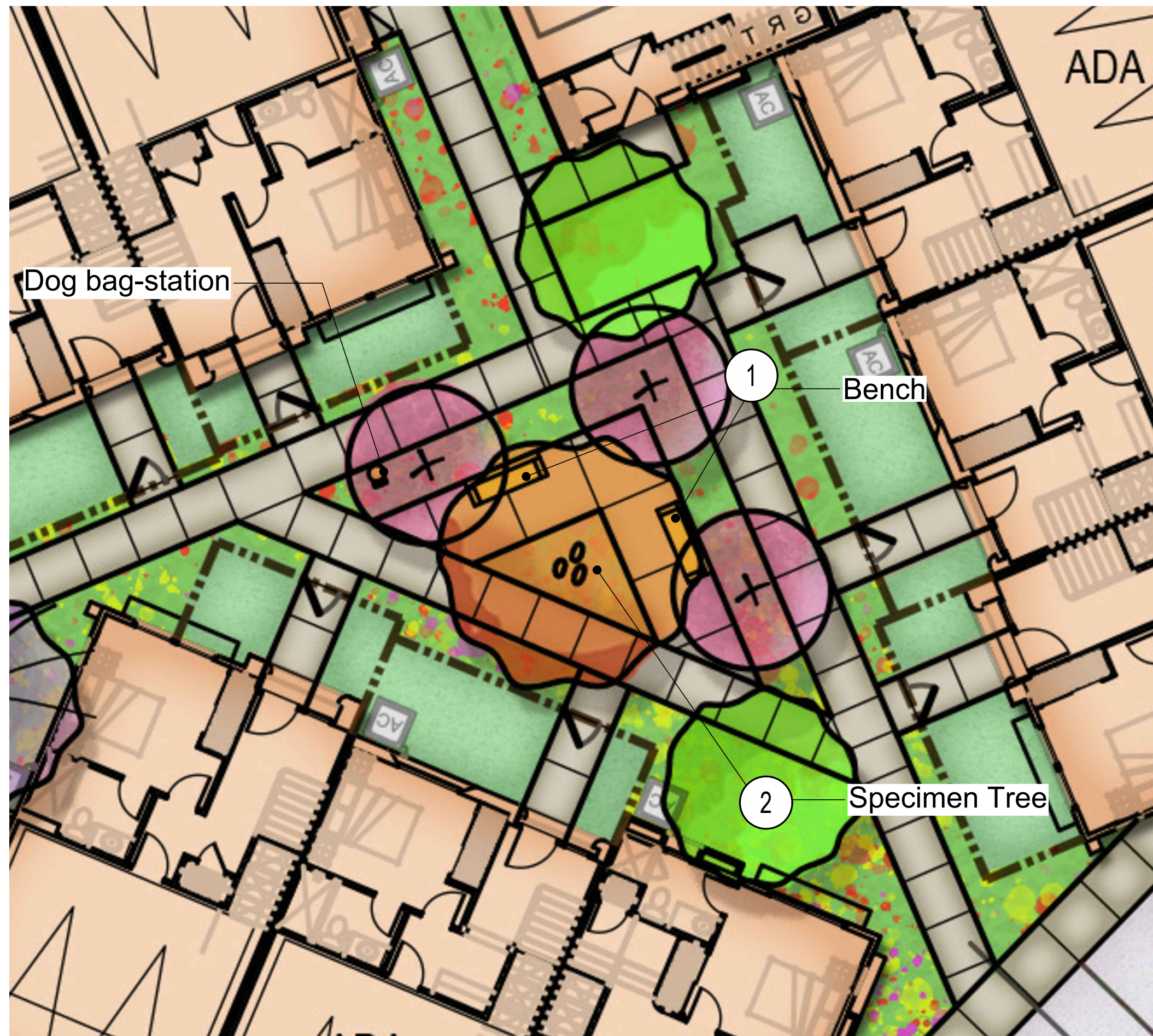


## Conceptual Enlargement Plan-Central Community Space Area

MJW Investments, LLC

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 Date: Aug. 27, 2021





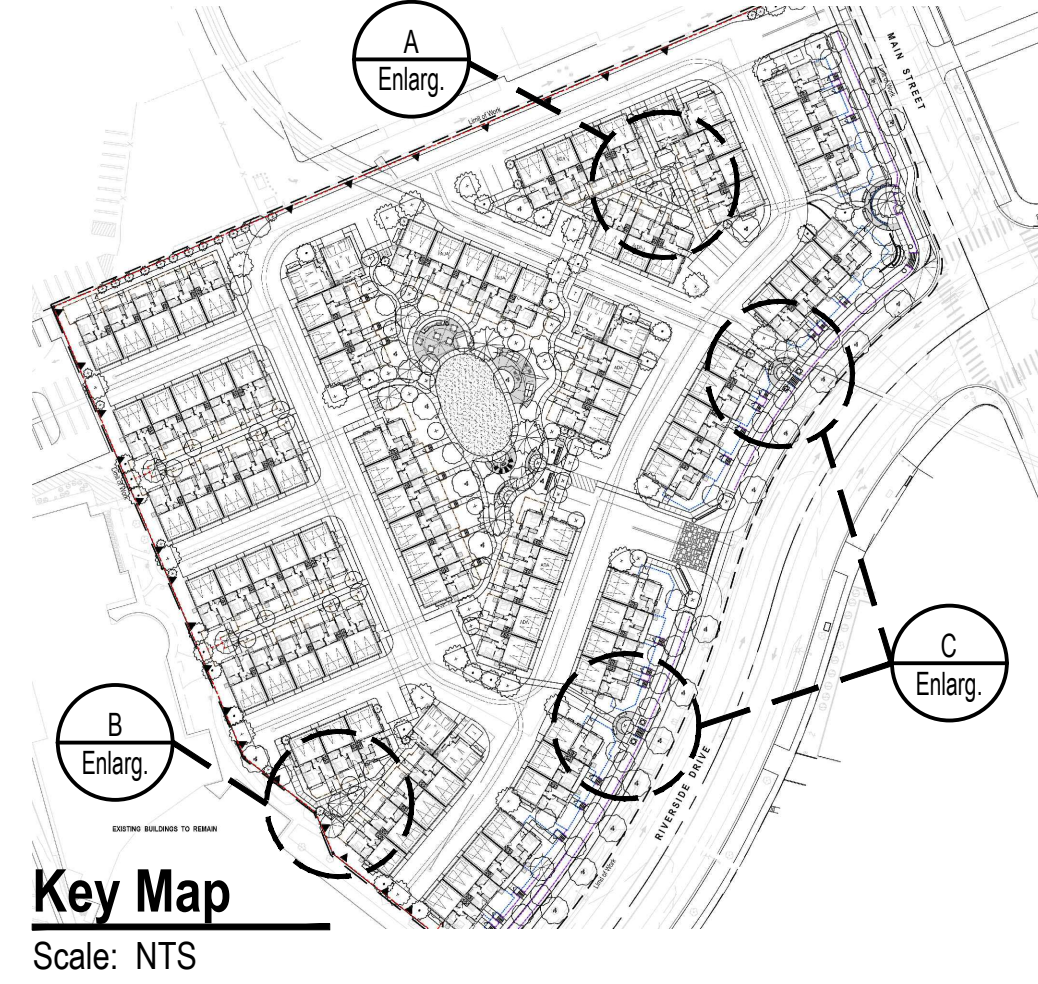
**Enlargement A: North Pocket Park**



**Enlargement B: South Pocket Park**

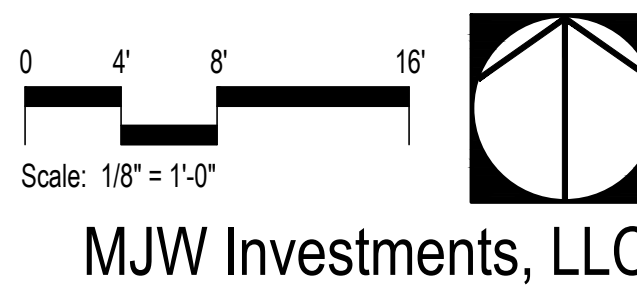


**Enlargement C: Streetscape Reading Nooks**



\*Conceptual images (provided herein are conceptual and subject to change)

# Conceptual Enlargement Plan - Pocket Parks & Reading Nooks



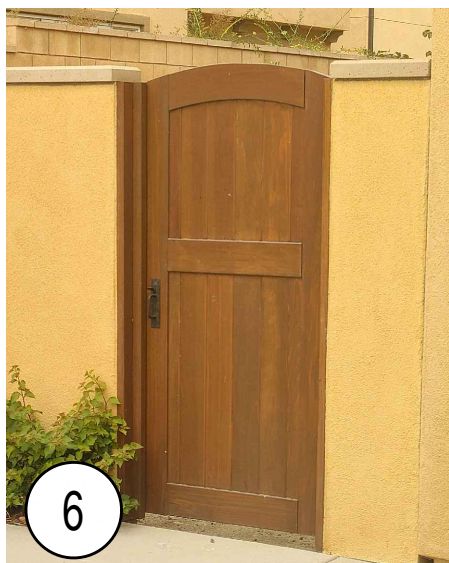
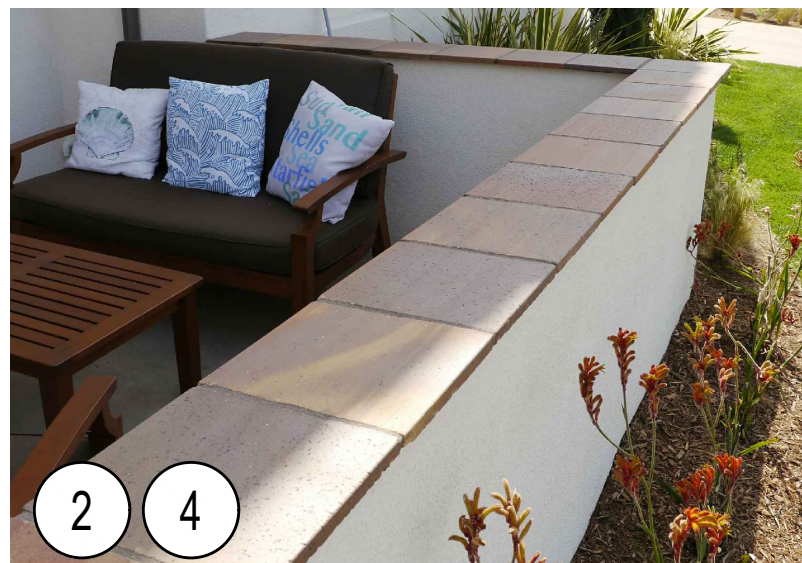
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Date: Aug. 27, 2021





WALL & GATE LEGEND

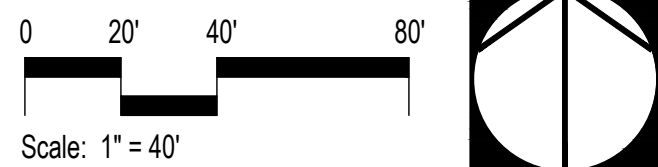
- 1 6'-0" High split-face CMU wall, with 2" high precision CMU cap (tan color).
  - 2 3'-6" High stucco over CMU wall, with enhanced precast concrete cap (tan color).
  - 3 3'-6" High stucco over CMU patio wall, with flat stucco cap (retaining per Civil plans; tan color).
  - 4 3'-0" High retaining stucco wall, with enhanced precast concrete cap (tan color).
  - 5 6'-6" High (16" sq.) split-face block pilaster, with 18" sq. (4" H). CMU cap (tan color).
  - 6 5'-6" High wood private yard gate (dark brown stain color).
  - 7 3'-6" High metal pedestrian patio gate (black color).
- ADA Path of Travel



\*Conceptual images (provided herein are conceptual and subject to change)

WALLS AND GATES NOTES:

- 1. No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area.
- 2. Arbors, pergolas, and similar structures we be limited to a maximum height of nine (9) feet, a maximum width of six (6) feet, and a maximum interior length of three (3) feet as measured from the highest abutting finished ground surface. Other yard features are limited to a maximum height of six (6) feet and a maximum width of six (6) feet.
- 3. Retaining walls:
  - a. Retaining walls located within front yard areas are limited to a maximum height of four (4) feet per wall.
  - b. Additional retaining walls must be setback a distance equivalent to the height of the retaining wall below as measured from the face of the retaining wall below.
  - c. Fences or walls that are placed on top of a retaining wall within a front yard are limited to a maximum height of four (4) feet from the abutting finished ground surface and require an additional two (2)-foot setback from the face of the retaining wall below.
  - d. Enforcement of nonconforming retaining walls established prior to October 17, 2008, may be subject to abeyance pursuant to Section 10-1-19202.
- 4. Exceptions. Exceptions from the requirements of this Subsection (H) (including the applicable requirements of Section 10-1-1303 referenced herein) may be granted through approval of a fence exception permit as follows.
  - a. Any exceptions from the requirements of this Subsection (H) to allow a fence, wall, hedge, or other yard feature with a height of six (6) feet or less as measured from the abutting finished ground surface may be granted through approval of a Minor Fence Exception Permit per Section 10-1-19200.
  - b. Any exceptions from the requirements of this Subsection (H) to allow a fence, wall, hedge, or other yard feature with a height of greater than six (6) feet as measured from the abutting finished ground surface may be granted through approval of a Major Fence Exception Permit per Section 10-1-19201.

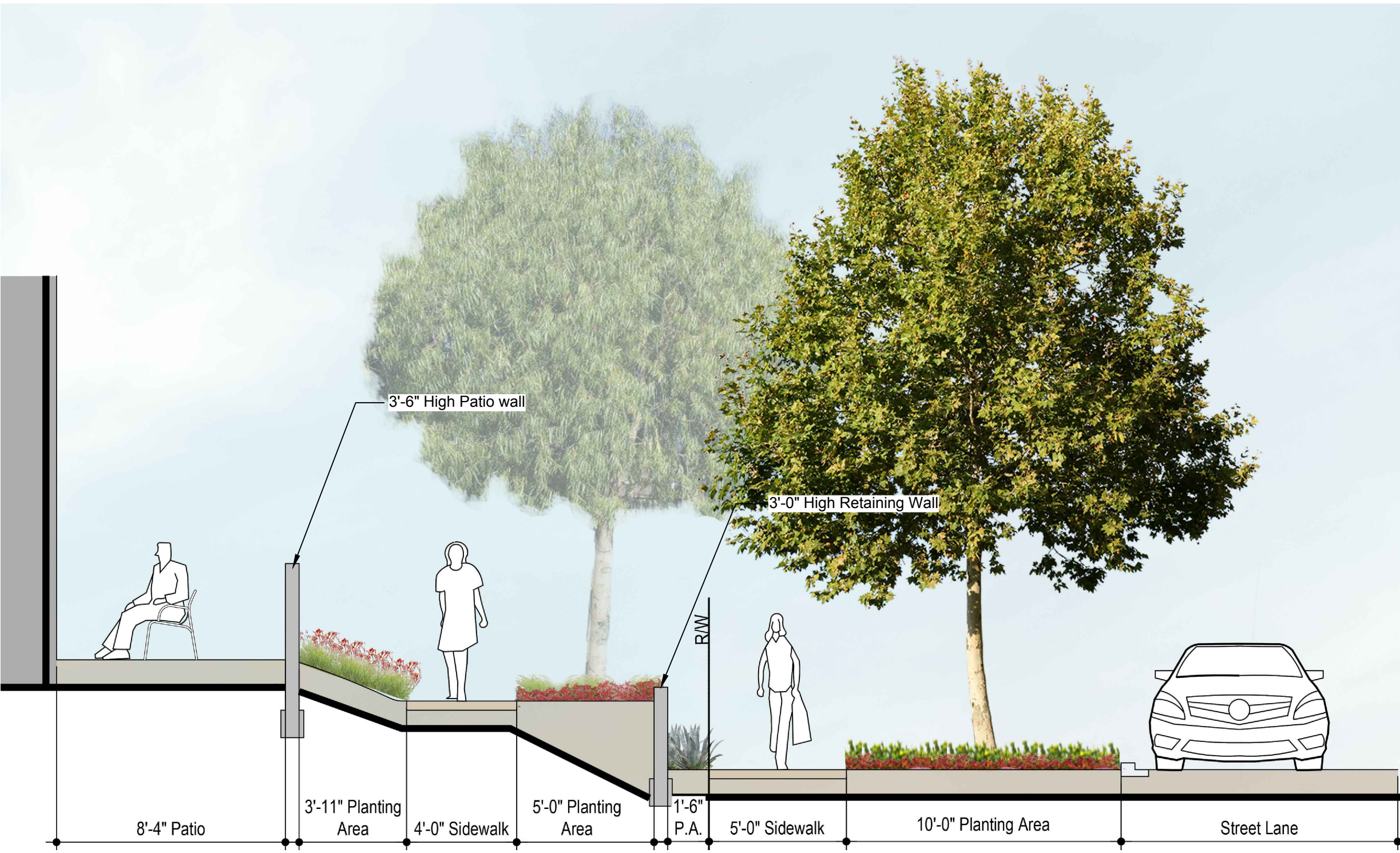


Conceptual Wall Plan

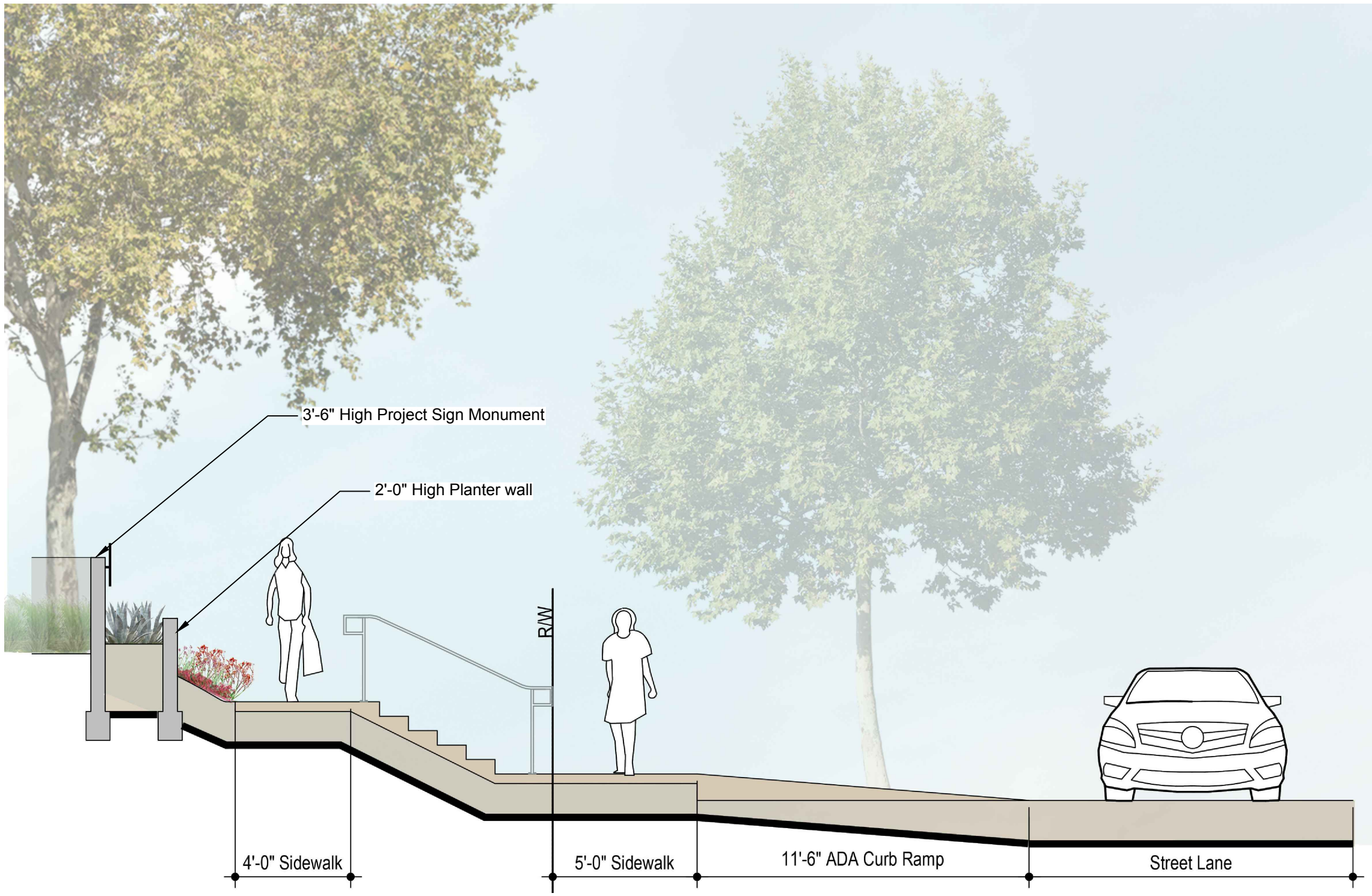
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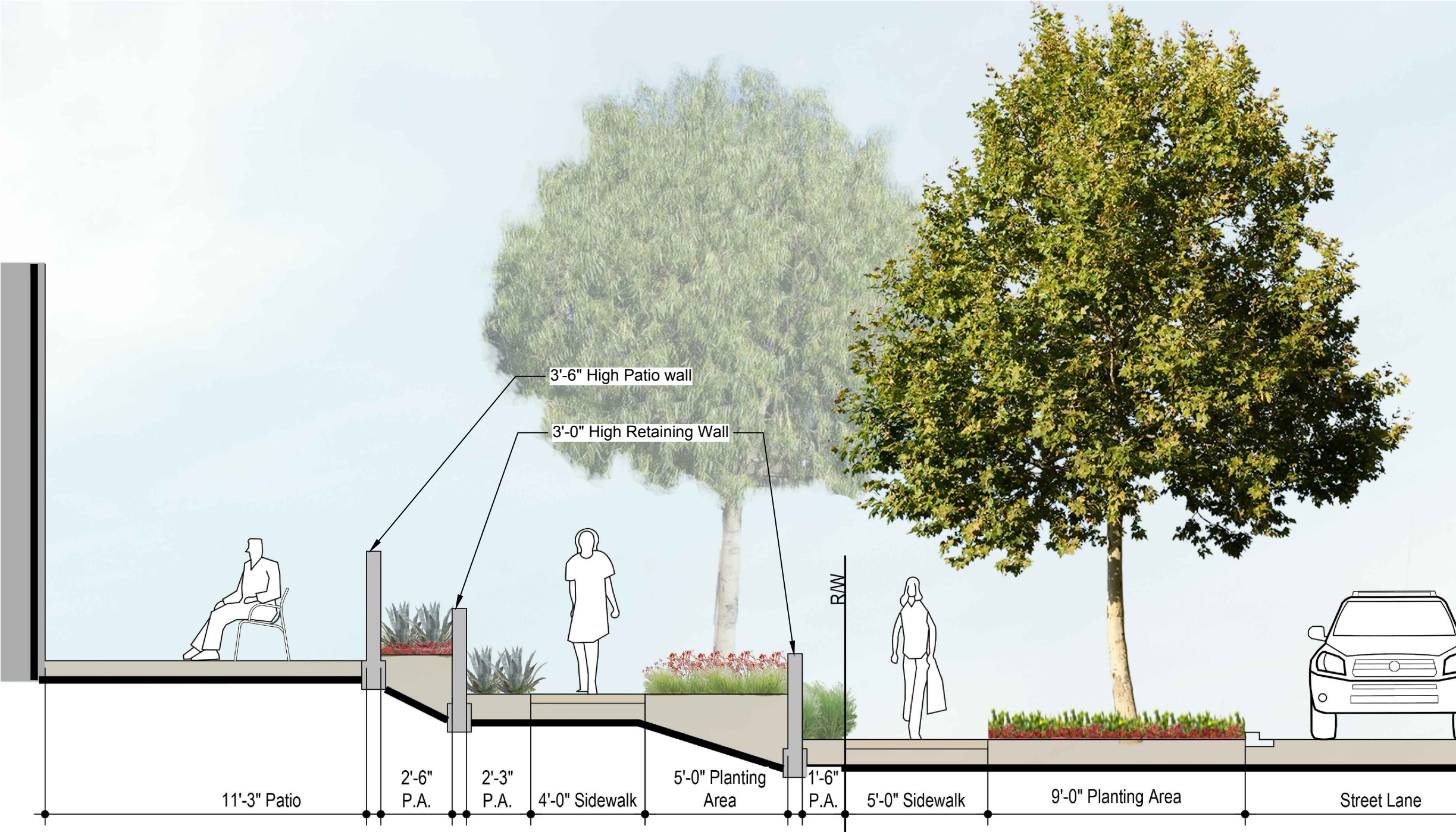
**Section 1: Riverside Dr. to Building**  
Scale: 1/4" = 1'-0"



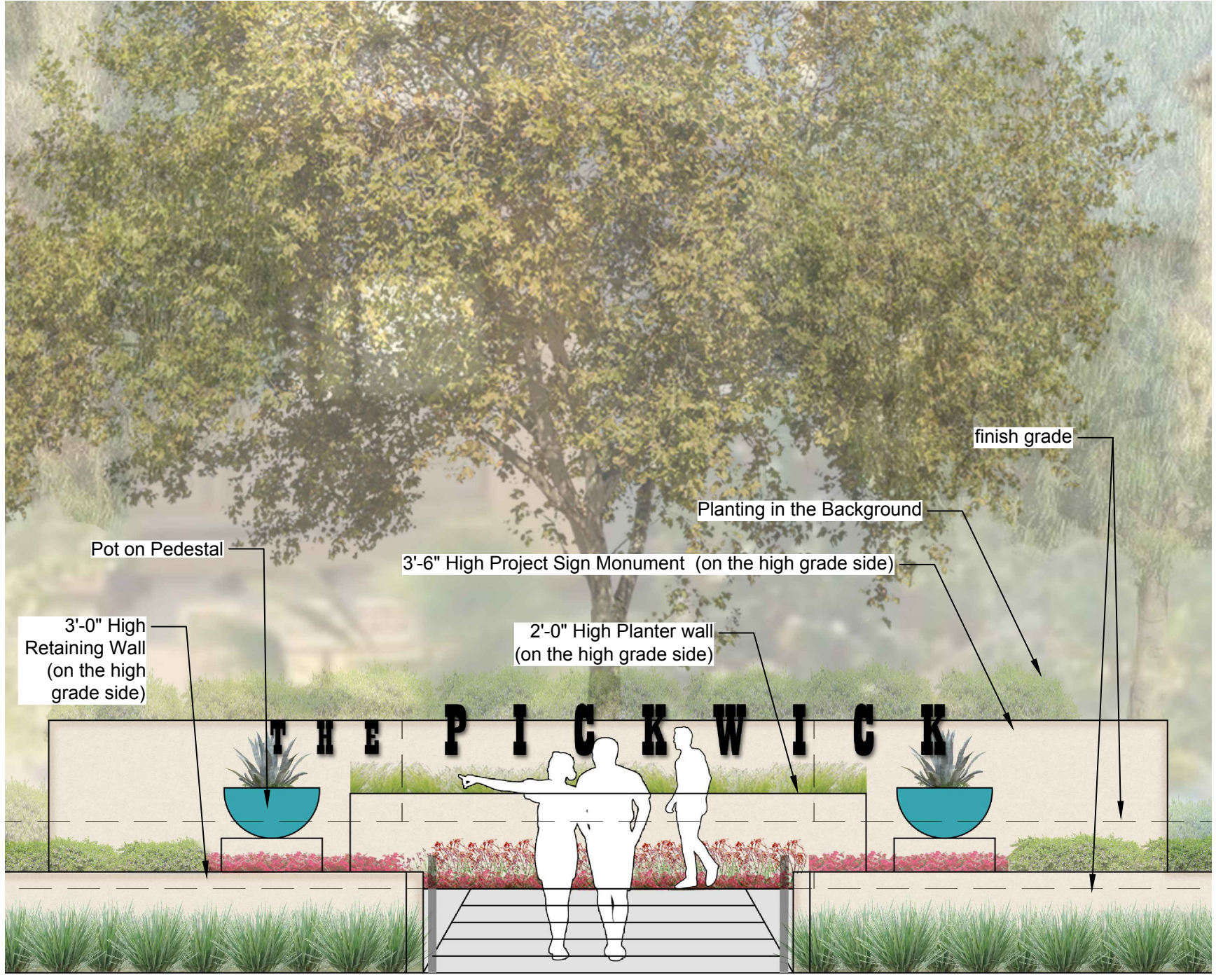
**Section 2: Riverside Dr. to Monument**  
Scale: 1/4" = 1'-0"



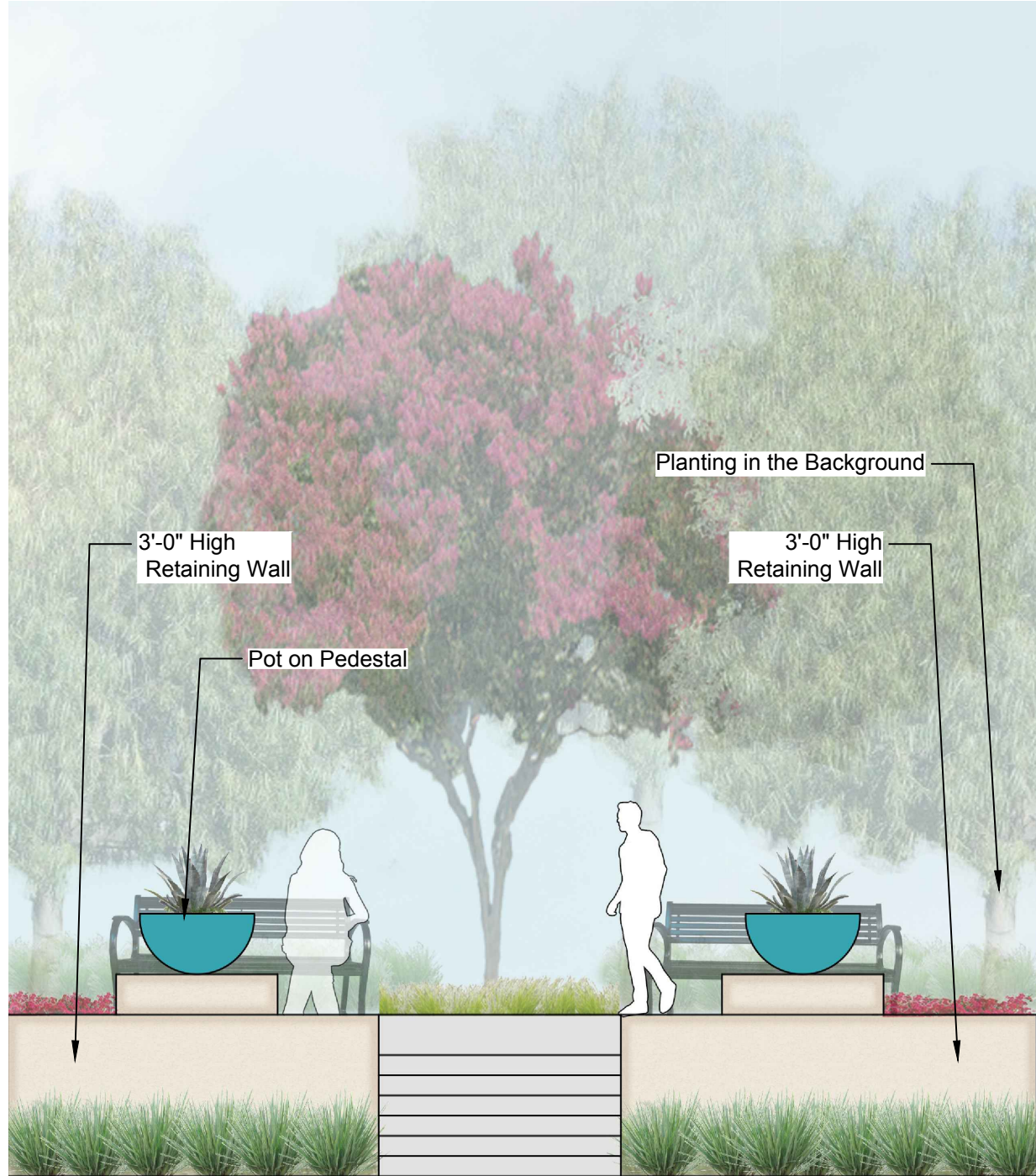
**Key Map**  
Scale: NTS



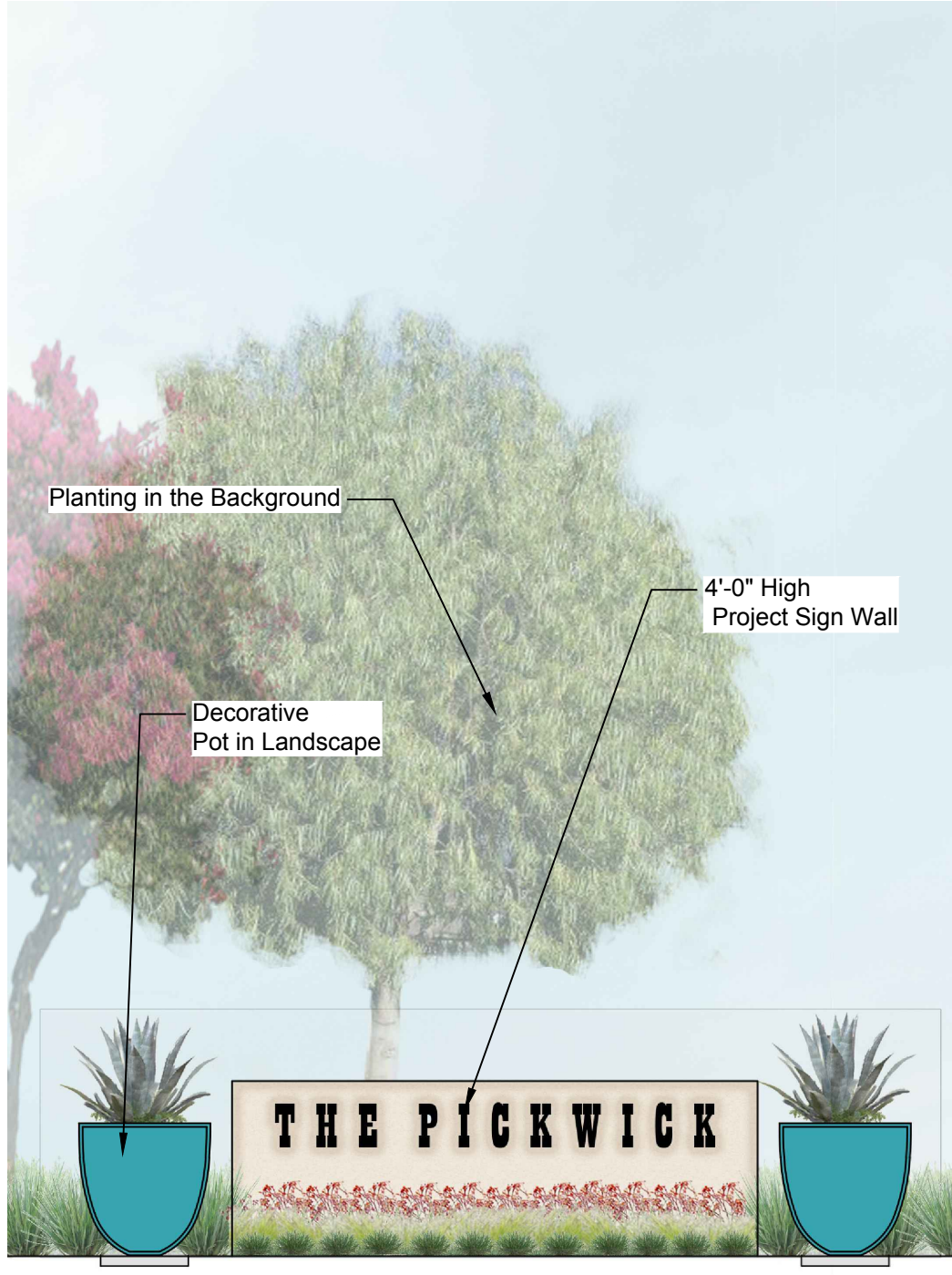
**Section 3: Main St. to Building**  
Scale: 1/4" = 1'-0"



**Elevation A: Primary Project Signage**  
Scale: 1/4" = 1'-0"

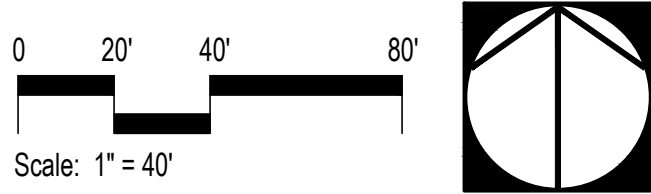


**Elevation B: Reading Nukes**  
Scale: 1/4" = 1'-0"



**Elevation C: Entry Project Signage**  
Scale: 1/4" = 1'-0"

# Conceptual Sections & Elevations



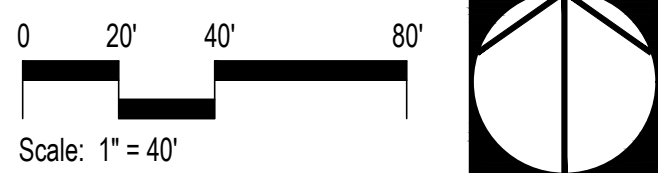
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**Burbank-Riverside**

**L-5**  
**studio**  
**PAD**  
Landscape Architecture  
22171 S. Pacific Coast Hwy. 103  
Laguna Hills, CA 92653 (www.studiopad.com)













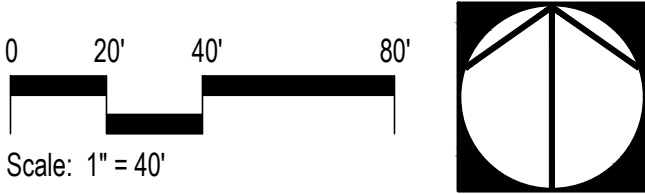


LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	SVE-3 - Pole Light Area Pole Light, HID - Direct Lighting Sales, Model San Vicente #SVE-3 Cast Aluminum, Textured Bronze, RA21 Radius Lamp: Per Elec. Eng., Per Elec. Eng., Per Elec. Eng. Accessories: On DBC-1 Base & 10' round pole.	15
	Shade Structure Downlight - Kichler model #16017AZT27 Cast Aluminum, Textured Architectural Bronze, Surface Mounted Bracket Lamp: LED, 5.25 W-12W, 2700K Warm White	4
	Tree uplight, Staked - Kichler model VLO #16018-16020 Order #16019AZT27 (35Flood) Cast aluminum, Textured Architectural Bronze, Staked Lamp: LED, 5.25 W-12W, 2700K Warm White	33
	Exterior Electrical GFI Outlet Cast Aluminum, Textured Architectural Bronze, Wall	2
	Kichler-Flood Light VLO 12V LED Flood Variable Lumen AZT 16022AZT27 Brass, Textured Architectural Bronze, Surface Lamp: LED	3
	Top Light - Low-voltage transformer - model #TOP-GL-100-SS. Stainless Steel, Stainless Steel, Wall or post. 100	6

LIGHTING NOTES:  
1. Landscape lighting (landscape up-lights, path lights/bollards, etc.) to be coordinated with Electrical Engineer in future CD phase.

Conceptual Lighting Plan



MJW Investments, LLC

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OPEN SPACE LEGEND & CALCULATIONS		
SYMBOL	NOTES	QTY
	COMMON PROGRAMMED OPEN SPACE (Includes Walks. (Builder installed, HOA maintained))	16,603 sf
	PRIVATE OPEN SPACE (MIN. 5' DIM.) (Homeowner installed, Homeowner maintained)	11,338 sf
	COMMON LANDSCAPE / OPEN SPACE (Builder installed, HOA maintained)	24,151 sf
	PRIVATE OPEN SPACE FRONT/SIDE SETBACK (Homeowner installed, Homeowner maintained)	4,893 sf
	COMMON O.S. LANDSCAPE IN FRONT/SIDE SETBACK (Builder installed, HOA maintained)	10,878 sf

PRIVATE OPEN SPACE AT DECKS (PROVIDED BY ARCHITECT) 7,036 sf

MIN. COMMON O.S. REQUIRED (96X150) 14,400 sf  
MIN. (20% OF 14,400 sf) COMMON O.S. TO BE LANDSCAPE 2,880 sf  
PROVIDED COMMON O.S. THAT IS LANDSCAPE (NOT INCL. PROG. O.S.) 24,151 sf  
TOTAL COMMON O.S. PROVIDED (16,603+24,151 sf) 40,754 sf

MIN. PRIVATE O.S. REQUIRED (96X50) 4,800 sf  
TOTAL PRIVATE O.S. PROVIDED (11,338+DECKS 7,036 sf) 18,424 sf

**TOTAL PROVIDED OPEN SPACE 59,178 sf**

TOTAL FRONT/SIDE SETBACK O.S. 15,771 sf

**TOTAL O.S. (INCL. SETBACK) 74,356 sf**

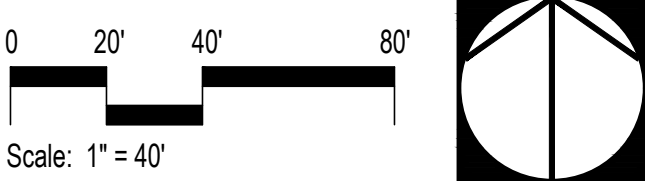
TOTAL NET SITE AREA = ±5.09 ACRES / 221,720.4 sf  
MIN. (25%) OF LOT AREA THAT MUST BE LANDSCAPE = 55,430 sf

ASSUMES (25%) PRIVATE GROUND-LEVEL O.S. TO BE LANDSCAPE  
(11,338+4,893 sf=16,231 sf) 4,058 sf  
**PROVIDED LOT AREA LANDSCAPE (40,754+10,878+4,058 sf) = 55,690 sf (25.2%).**  
(Includes Front/Side Setback Landscape)  
TOTAL PRIVATE OPEN SPACE (11,338+4,893+7,036) = 23,267 sf (10.5%)

TOTAL FRONT / SIDE YARD SETBACK AREA  
(not including landscape in private patios and vehicular entry) = ±19,296 sf.  
TOTAL LANDSCAPE AREA (50% MIN. REQUIRED) = ±10,878 sf. (56.4%).

\*PER CITY OF BURBANK Table 10-1-628(A)\*

Conceptual Open Space Plan



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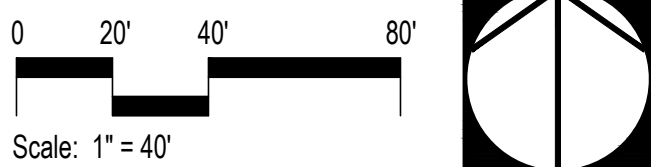
**LEGEND**

- Regular trash bin.
- ◻ Recycle bin.
- ◻ Green Waste bin.
- ▬▬▬▬ Trash hauler path of travel.  
(Backing up into one small lane would be required)

\*Green Waste would be disposed of by HOA Landscape Contractor\*

- NOTES:
- Individual trash bins, sizes and locations, to follow City of Burbank, Public Works / Trash & Recycling standards.

Conceptual Trash Exhibit & Hauler Circulation Plan



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