



SITE INFORMATION
 Address: 1001 W. Riverside Drive
 City: Burbank, CA
 APNs: 2443-001-018 & 2243-001-019
 County: Los Angeles
 Zoning/Land Use: CR Zone - Commercial Recreation
 (Article 24 Rancho Master Plan Zones - Division 6)
 Construction Type/Fire Rating: V-B
 Occupancy Type: R3
 Fire Sprinkler Type: NFPA 13-D

DEVELOPMENT STANDARDS
 Front Yard Setback: 25' Min.
 Interior Side Yard Setback: 5' Min.
 Street-facing Side Yard Setback: 25' Min.
 Rear Yard Setback: 5' Min.
 Minimum Parking Lot setback from Street: 10' Min.
 Building Height: 35'
 Building Separation: 10'
 Maximum Residential Density: 20 DU/AC
 Required Resident Parking: 1 space/unit (Per Section 65913.4.(d)(2))

SITE PLAN SUMMARY
 Site Area: ± 5.89 acres/ 256,582 SF (Existing Gross)
 ± 5.09 acres/ 221,901 SF (Existing Net)
 ± 5.01 acres/ 218,449 SF (Net - After Dedication)

Units:**
 12 Units - Plan 1 - 1816 sf - 3bd/3.5 ba - 2 car/side by side garage
 38 Units - Plan 2 - 1880 sf - 4bd/3.5 ba - 2 car/side by side garage
 26 Units - Plan 3 - 1931 sf - 4bd/3.5 ba - 2 car/side by side garage
 16 Units - Plan 3X - Corner (ALT) Condition
 92 Units - Total (174,334 SF)
 ** (Accessible Units (A) Provided - Total 9 Units, based on 10% of 83 Units - Building Types larger than a Tri-Plex)

Site Density: ±18.36 DU/AC
 Parking Provided:
 Garage 184 spaces
 Guest Open Spaces 24 spaces
 Total: 208 spaces (2.26 spaces/DU)

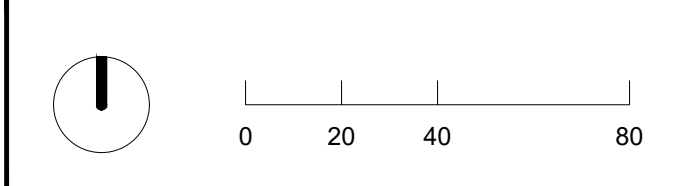
OPEN SPACE
 * For Open Space and Landscape Areas refer to Landscape Sheet L-8.

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**THE PICKWICK
 RIVERSIDE & MAIN**
 BURBANK, CA # 2021-0094

Plot Date: 10.04.2022
 1st (Full) Planning Submittal: 2022-02-01
 Re-Submittal: 2022-10-04



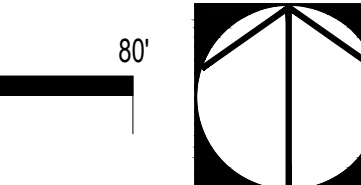
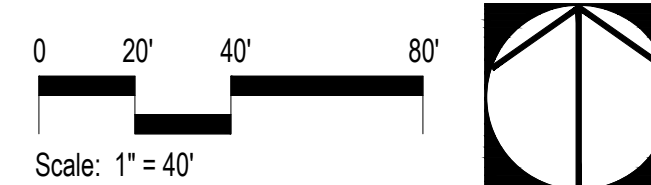
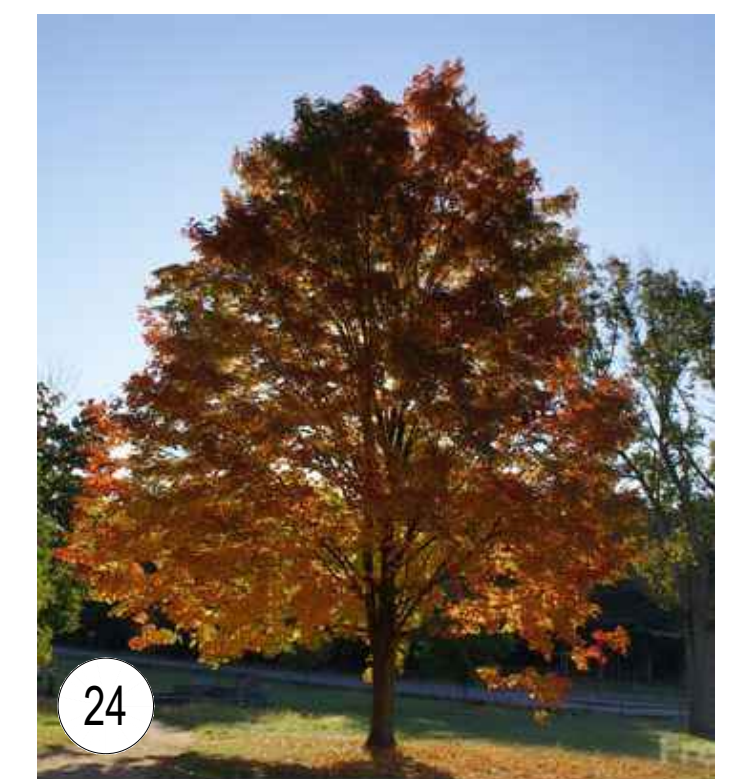
ARCHITECTURAL SITE PLAN

A1.0



LEGEND

1. Central community open space area with large turf area, dining area with BBQ, seating for small gathering, play area with ping-pong tables and fire-pit with Adirondacks. Refer to Enlargement Sheet L2.
2. North, south pocket parks and reading nooks with specimen tree for shade with bench seating. Refer to Enlargement sheet L3.
3. Eight community cluster mailboxes, per USPS review and approval.
4. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
5. Enhanced paving at main project entry.
6. Integral colored concrete paving at open space gathering.
7. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
8. 6' wide stoop unit entry natural colored concrete walk, with light top-cast finish and saw-cut joints.
9. Accessible parking stall and striping, per Civil plans.
10. Guest parking stall.
11. Natural colored concrete driveway, with light broom finish and tooled joints.
12. Pot on pedestal at pedestrian entry.
13. Project monument sign. Refer to Section-Elevation Sheet L5.
14. Private patio / yard area, homeowner maintained.
15. Common area landscape, builder installed and HOA maintained.
16. Community dog bag station (black in color), for pet owners.
17. Property line.
18. Public street R.O.W.
19. Proposed public street sidewalk, per Civil plans.
20. Transformer to be screened with landscape, quantity and final locations to be determined.
21. Short term bike parking (6 bike stalls to accommodate 12 bike parking).
22. Easement, per Civil plans.
23. Existing Buildings to remain.
24. Proposed tree, per Planting Plan.
25. Line of Sight.
26. Entry Secondary Monument. Refer to Section-Elevation Sheet L5.
27. Proposed 8'-0" Wide DG Equestrian Trail, along Riverside Dr. & Main Street. See L-12 Exhibit.



Revision 1 Date: Oct., 03, 2022
MJW Investments, LLC

Schematic Landscape Plan

Project No.: MJW04

L-1

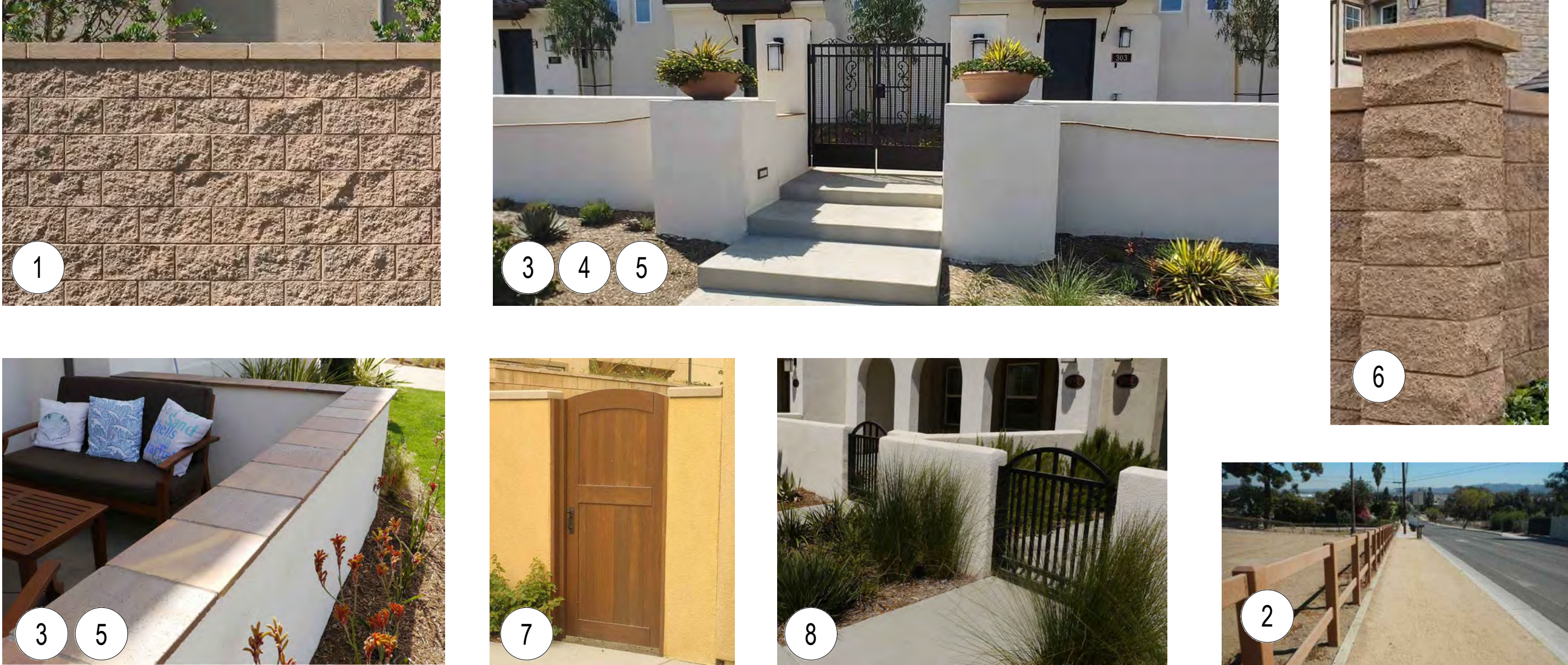
Burbank-Riverside PAD





WALL & GATE LEGEND

- 1 6'-0" High split-face CMU wall, with 2" high precision CMU cap (tan color).
 - 2 4'-0" High wooden fence
 - 3 3'-0" High stucco over CMU wall, with enhanced precast concrete cap (tan color).
 - 4 3'-6" High stucco over CMU patio wall, with flat stucco cap (retaining per Civil plans; tan color).
 - 5 3'-0" High retaining stucco wall, with enhanced precast concrete cap (tan color).
 - 6 6'-6" High (16" sq.) split-face block pilaster, with 18" sq. (4" H). CMU cap (tan color).
 - 7 5'-6" High wood private yard gate (dark brown stain color).
 - 8 3'-6" High metal pedestrian patio gate (black color).
- ADA Path of Travel



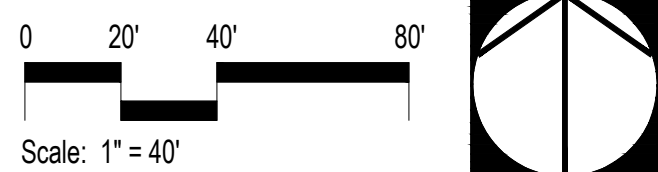
*Conceptual images (provided herein are conceptual and subject to change)

WALL REFERENCE NOTES (as pertained to ARTICLE 24. RANCHO MASTER PLAN ZONES, DIVISION 6. COMMERCIAL RECREATION (CR) ZONE)

10-1-1113.1 Commercial and Industrial Design Standards:

J. FENCE AND WALLS

- Height - Except as otherwise provided for property located at an intersection, the height of walls, fences and hedges may not exceed:
- Three (3) feet above the finished grade of the lot within any required front yard and within the required side yard on the street side of a corner or reverse corner lot; provided, however, that where a parking lot abuts or is across the street from a residential zone, a six (6) foot high masonry wall may be constructed within the required front yard and within the required side yard on the street side of a corner or reverse corner lot to the extent specified in Article 14, Division 4 of this Chapter or in a Conditional Use Permit granted by the Board or the Council.
- Eight (8) feet above the finished grade of the lot within any yard area behind the required front yard or required side yard on the street side of a corner or reverse corner lot except cutoff area.
- All fences and walls must comply with the corner cutoff provisions of Section 10-1-1303:
- No structure, object, or feature, including but not limited to fences, walls, and hedges, may be erected or maintained in any zone below a height of ten (10) feet and above a height of three (3) feet above the finished ground surface within a corner cutoff area. The corner cutoff area is defined by a horizontal plane making an angle of 45 degrees with the front, side, or rear property lines as the case may be, and passing through points as follows:
- STREETS: At intersecting streets, ten (10) feet from the intersection at the corner of a front or side property line.
- ALLEYS: At the intersection of an alley with a street or another alley, ten (10) feet from the edges of the alley where it intersects the street or alley right-of-way.
- DRIVEWAYS: At the intersection of a driveway with a street or alley, five (5) feet from the edges of the driveway where it intersects the street or alley right-of-way. [Formerly numbered Section 31-152; Renumbered by Ord. No. 3058, eff. 2/21/87; Amended by Ord. No. 3750, eff. 10/17/08; 3690; 2301.]
- The subdivider shall construct Portland cement concrete sidewalks on both sides of all streets in the subdivision. The sidewalks shall be at least five feet (5') wide and three and one-half inches (3 1/2") thick, and otherwise constructed in accordance with City specifications. Sidewalks on one side of a street may be deleted where the approving body determines that they are not needed.

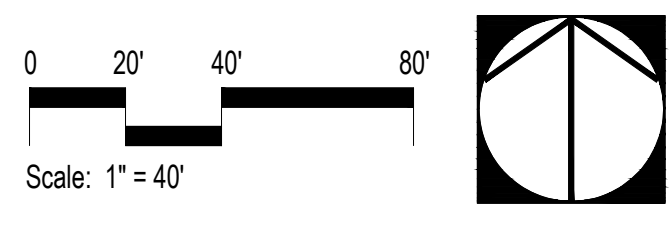


Revision 1 Date: Oct. 03, 2022
MJW Investments, LLC

Schematic Wall Plan

Project No.: MJW04 **L4**

Burbank-Riverside **studio PAD**
Landscape Architecture



Schematic Planting Plan

PLANTING LEGEND

Symbol	Type/Form	Suggestions	Trunk	Size	WUCOLS (R3)	Qty.
TREES						
	Specimen	<i>Erythrina caffra</i> (Kaffirboom Coral Tree) <i>Olive sp.</i> (Fruitless Olive)	Single Natural	48" Box B&B	Low	3
	Focal	<i>Magnolia grandiflora</i> 'Little Gem' (Southern Magnolia)	Single	24" Box	Mod.	15
	Canopy Deciduous	<i>Sycamore racemosa</i> (California Sycamore)	Single	36" Box	Mod.	22
	Deciduous Flowering	<i>Lagerstroemia ixif 'Natchez'</i> (Crape Myrtle) <i>Chilopsis linearis</i> (Desert Willow)	Single Multi	24 Box 15 Gal	Mod. Low	28
	Street	<i>Tristania conferta</i> (Brisbane Box)	Single	36"/24" Box	Mod.	32
	Medium	<i>Rhus lancea</i> (African Sumac)	Single	24" Box	Low	23
	Street Frontage	<i>Geijera parviflora</i> (Australian Willow)	Single	36" Box	Low	31
	Columnar	<i>Cupressus sempervirens</i> (Italian Cypress) <i>Podocarpus macrophyllus</i> (Yew Pine)	Single	15 Gal	Low	32
	Vertical	<i>Prunus caroliniana 'Monus'</i> (Bright n Tight)	Single	15 Gal	Mod.	21
	Vines	<i>Macfadyena unguis-cati</i> (Cat's Claw Vine) <i>Bougainvillea x 'Monka'</i> (Oo-La-La Bougainvillea)	Single	5 Gal	Low	24
						Total = 236

SHRUBS and GROUND COVER

Anigozanthos	Kangaroo Paw	Low
Agave sp.	Agave	Low
Aloe sp.	Aloe	Low
Artemisia californica	California Sagebrush	Low
Bougainvillea sp.	Bougainvillea	Low
Callistemon citrinus 'Little John'	Dwarf Bottlebrush	Low
Carex divulsa	Berkeley Sedges	Low
Carissa m. 'Green Carpet'	Dwarf Natal Plum	Low
Ceanothus sp.	California Lilac	Low
Cordylone 'Pink Passion'	Pink Passion Dracaena Palm	Low
Delosperma cooperi	Trailing Ice Plant	Low
Dianella revoluta 'Little Rev'	Little Rev™ Flax Lily	Low
Epilobium cancum	California Fuchsia	Low
Kalanchoe thyrsiflora	Flapjack Paddle Plant	Low
Lavandula stoechas 'Larkman Hazel'	Hazel™ Spanish Lavender	Low
Ligustrum japonicum 'Texanum'	Japanese Privet	Low
Nassella pulchra	Purple Needlegrass	Low
Muhlenbergia rigens	Deer Grass	Low
Rhaphiolepis indica 'Clara'	India Hawthorn	Low
Rosmarinus p. 'Huntington Carpet'	Groundcover Rosemary	Low
Salvia 'Bee's Bliss'	Sage	Low
Salvia leucophylla	Purple Sage	Low
Westringia sp.	Westringia	Low
Xylosma congestum 'Compact'	Compact Xylosma	Low
Yucca gloriosa	Spanish Dagger	Low

WUCOLS (R3)

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VINES & ESPALIERS

<i>Antigonon leptopus</i>	Coral Vine
<i>Bougainvillea 'Monka'</i> (Oo-La-La® Bougainvillea)	Bougainvillea
<i>Macfadyena unguis-cati</i>	Cat's Claw Vine
<i>Pandorea jasminoides</i> 'Lady Di'	White Bower Vine
<i>Trachelospermum jasminoides</i>	Star Jasmine

- NOTES:
- Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881); Plans must comply with Municipal Water Efficient Landscape Ordinance (MWEL) requirements if over 500 square feet of landscape - .
 - Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted per local codes & regulations.
 - The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this project. However, substitutions may be required due to availability, soils tests, or other conditions.
 - All trees within 5' of hardscape to be installed with deep root barriers.
 - Refer to Sheets L-8, L-9 for additional open space, landscape area calculations & notes.

ARTICLE 6. RESIDENTIAL USES AND STANDARDS - DIVISION 4. MULTIPLE FAMILY RESIDENTIAL ZONE (R-3)

C. Vegetation
Landscaping must include the following types of trees and vegetation, or similar species complementary to the existing Rancho environment that are approved by the Community Development Director:

- California pepper
- Olive
- Live oak
- California holly
- Eucalyptus
- Cactus and succulents

Revision 1 Date: Oct. 03, 2022
MJW Investments, LLC

Project No.: MJW04 **L-6**



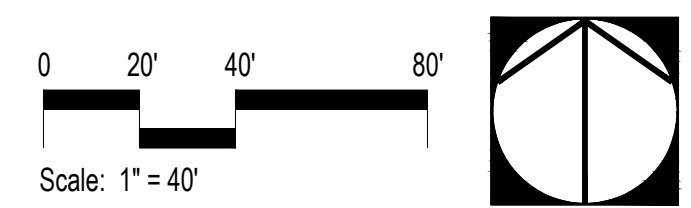
OPEN SPACE LEGEND & CALCULATIONS		
SYMBOL	NOTES	QTY
	COMMON PROGRAMMED OPEN SPACE Includes Walks. (Builder installed, HOA maintained)	16,251 sf
	PRIVATE OPEN SPACE (MIN. 5' DIM.) (Homeowner installed, Homeowner maintained)	12,822 sf
	COMMON LANDSCAPE / OPEN SPACE (Builder installed, HOA maintained)	21,024 sf
	PRIVATE OPEN SPACE FRONT/SIDE SETBACK (Homeowner installed, Homeowner maintained)	4,895 sf
	COMMON O.S. LANDSCAPE IN FRONT/SIDE SETBACK (Builder installed, HOA maintained)	8,339 sf

PRIVATE OPEN SPACE AT DECKS (PROVIDED BY ARCHITECT)	2,580 sf
Provided (16,251 + 21,024)	37,275 sf
COMMON O.S.	37,275 sf
PRIVATE O.S.	(12,822+DECKS 2,580sf) 15,402 sf
TOTAL PROVIDED OPEN SPACE	52,677 sf.
TOTAL FRONT/SIDE SETBACK O.S.	13,234 sf
TOTAL O.S. (INCL. SETBACK)	65,911 sf.
TOTAL NET SITE AREA	±5.05 acres / 220,041sf.

- NOTES:
- Open space areas shown comply with ARTICLE 24. RANCHO MASTER PLAN ZONES, DIVISION 6. COMMERCIAL RECREATION (CR) ZONE, 10-1-2441 B. Open Space.
 - Refer to Sheet L-9 for additional landscape area calculations & notes.

EXISTING BUILDINGS TO REMAIN

Schematic Open Space Plan



Revision 1 Date: Oct., 13, 2022
MJW Investments, LLC

Project No.: MJW04 **L-8**

Burbank-Riverside PAD



LANDSCAPE LEGEND		
SYMBOL	NOTES	QTY
[Light Green Box]	LANDSCAPE (COMMON PROGRAMMED O.S.) (Builder installed, HOA maintained)	9,862 sf
[Medium Green Box]	COMMON LANDSCAPE / OPEN SPACE (Builder installed, HOA maintained)	25,195 sf
[Yellow-Green Box]	LANDSCAPE IN PRIVATE OPEN SPACE (MIN. 5' DIM.) 50% must be Landscape (Homeowner installed, and maintained)	9,455 sf
[Light Blue Box]	COMMON O.S. LANDSCAPE IN FRONT/SIDE SETBACK (Builder installed, HOA maintained)	8,142 sf
[Dark Blue Box]	LANDSCAPE PRIVATE OPEN SPACE FRONT/SIDE SETBACK 50% must be Landscape (Homeowner installed, and maintained)	3,415 sf

TOTAL NET SITE AREA = ±5.05 ACRES / 220,041 sf

PROVIDED LOT AREA LANDSCAPE (9,862+25,195+9,455+8,142+3,415 sf) = 56,069 sf (25%)
(Includes Front/Side Setback Landscape)

TOTAL COMMON PROGRAMMED O.S. = 16,251 sf

PROVIDED COMMON PROGRAMMED O.S. LANDSCAPE = 9,455 sf (58%).

TOTAL FRONT / SIDE YARD SETBACK AREA = ±12,558 sf
(not including landscape in private patios and vehicular entry)

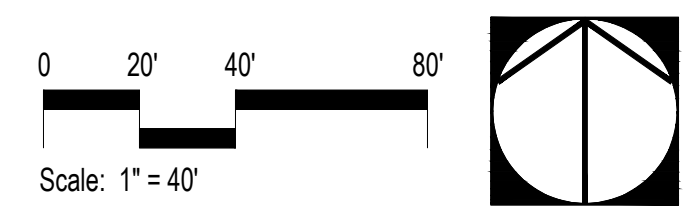
TOTAL LANDSCAPE AREA IN THE FRONT/SIDE YARD SETBACK AREA = ±8,142 sf. (65%)

*PER CITY OF BURBANK Table 10-1-628(A) AND Section 10-1-705(C) *

ADDITIONAL CITY STANDARDS & NOTES (as pertained to ARTICLE 24. RANCHO MASTER PLAN ZONES, DIVISION 6. COMMERCIAL RECREATION (CR) ZONE)

- 10-1-2441 B. Open Space**
- Distance Requirements.
 - Each lot which abuts or is adjacent to an R-1, R-1-H or R-2 lot shall provide open space not less than 20 feet wide along the area that abuts the residential property. Lots abutting or adjacent to R-3 and R-4 lots shall provide a minimum five (5) foot open space between the properties.
 - Determination of Open Space.
 - This open space shall be measured from the lot line of the residential property to the commercial structure. Public rights-of-way may be included within the calculation of such area, except as otherwise provided in this section.
 - Landscaping Requirement. When the commercial property abuts or is adjacent to R-1, R-1-H, or R-2 property, a five (5) foot strip of the open space which lies adjacent to the residential property shall be landscaped, unless a public right-of-way is utilized in the calculation of the open space. This landscaping is intended to provide screening between the different zones.
 - Parking Allowed in Open Space.
 - When the commercial property abuts property other than R-1, R-1-H, or R-2, open space may be used for surface parking.
- 10-1-2441 C. Yard:**
- Landscaping.
 - Californian native plants and California Sycamore trees shall be used as required landscaping materials. California Sycamore trees shall be used as the required street trees.
 - The following landscaping requirements shall apply in the CR Zone:
 - A minimum of 50 percent of front and exposed side yards shall be landscaped.
 - The provision of outdoor amenities and decorative hardscape, such as outdoor seating areas with benches permanently affixed to the ground or hardscaped areas enriched with decorative materials which are under a tree canopy, shall be credited toward up to 50 percent of the required landscaping in all yards. Vehicular access areas may not be considered as decorative hardscape.
 - The planting of vines on masonry buildings is encouraged.
 - To qualify as landscaped area, all areas not occupied by trees or shrubs must be planted with turf or other ground cover with a minimum soil depth of 12 inches. All planters must be a minimum of 18 inches deep and two (2) feet in their smallest inside dimension, unless a tree is required, in which case a three (3) foot planter depth shall be required and the planter must have a minimum inside dimension of four (4) feet.
 - In required front and exposed side yards, a minimum of one (1) tree shall be planted for every 40 linear feet of street frontage or fraction thereof. Turf is allowed in up to 50 percent of required landscaped areas. In shrub areas, a minimum of one five (5) gallon shrub is required for every ten (10) square feet of shrub area.
 - A minimum of 50 percent of required trees shall be a minimum 36-inch box size, with the remainder a minimum 24-inch box size. The required 36-inch box trees shall be equally distributed in required front or street side yards.
 - If trees are planted in planters, the planters must have a minimum length and width of five (5) feet.
 - For additional landscaping requirements for above-grade parking structures and surface parking lots, see Article 14, Division 4 of this Chapter.

- TITLE 11 SUBDIVISION REGULATIONS:**
- The tree palette will be in accordance to the Rancho Master Plan zones, microclimate zone and will be approved by the Community Development Director.
 - 11-1-1517: Street Trees and Plants: The subdivider shall plant and install trees in the parkways of the subdivision. If the subdivision contains service road islands, street trees and plants shall be installed in the islands. The type or species and location of the trees and plants shall be subject to the approval of the Park, Recreation and Community Services Director. When a service road island is provided, the subdivider shall install a stub-out water line consisting of a minimum two inch (2") feeder pipe to, and centrally located within, the island.



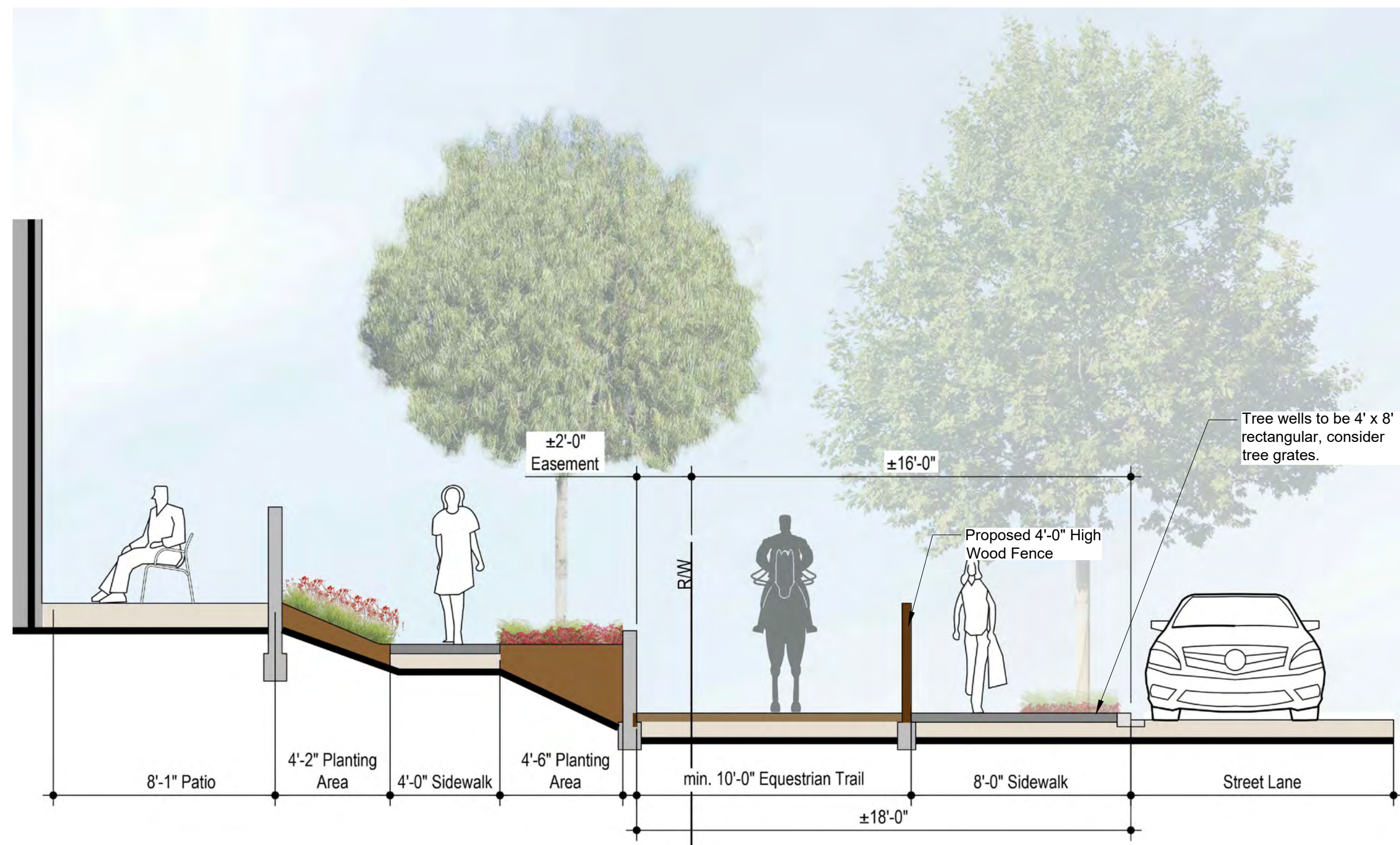
Schematic Landscape Area Exhibit

Revision 1 Date: Oct., 13, 2022
MJW Investments, LLC

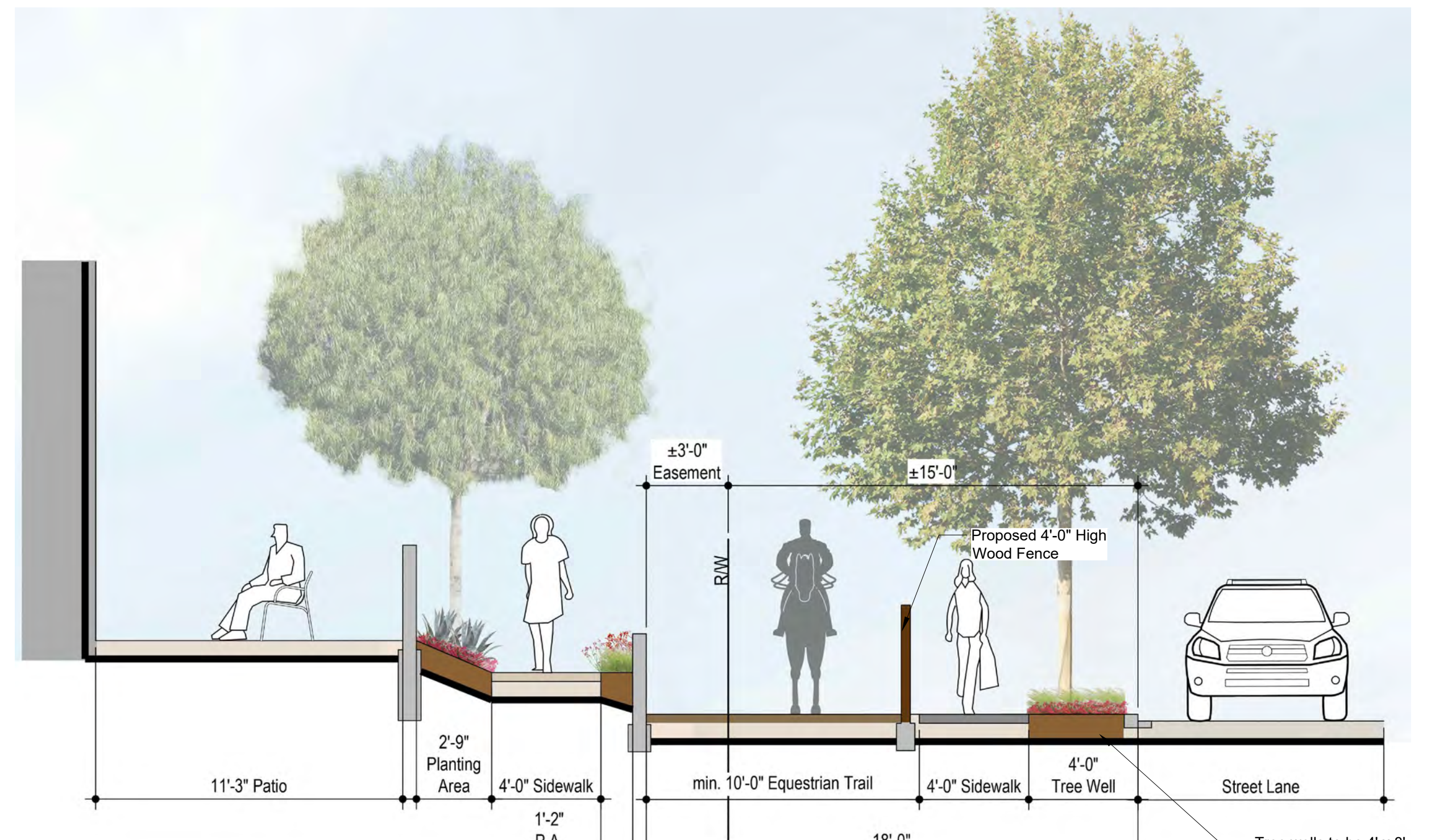
Project No.: MJW04 **L-9**

Burbank-Riverside





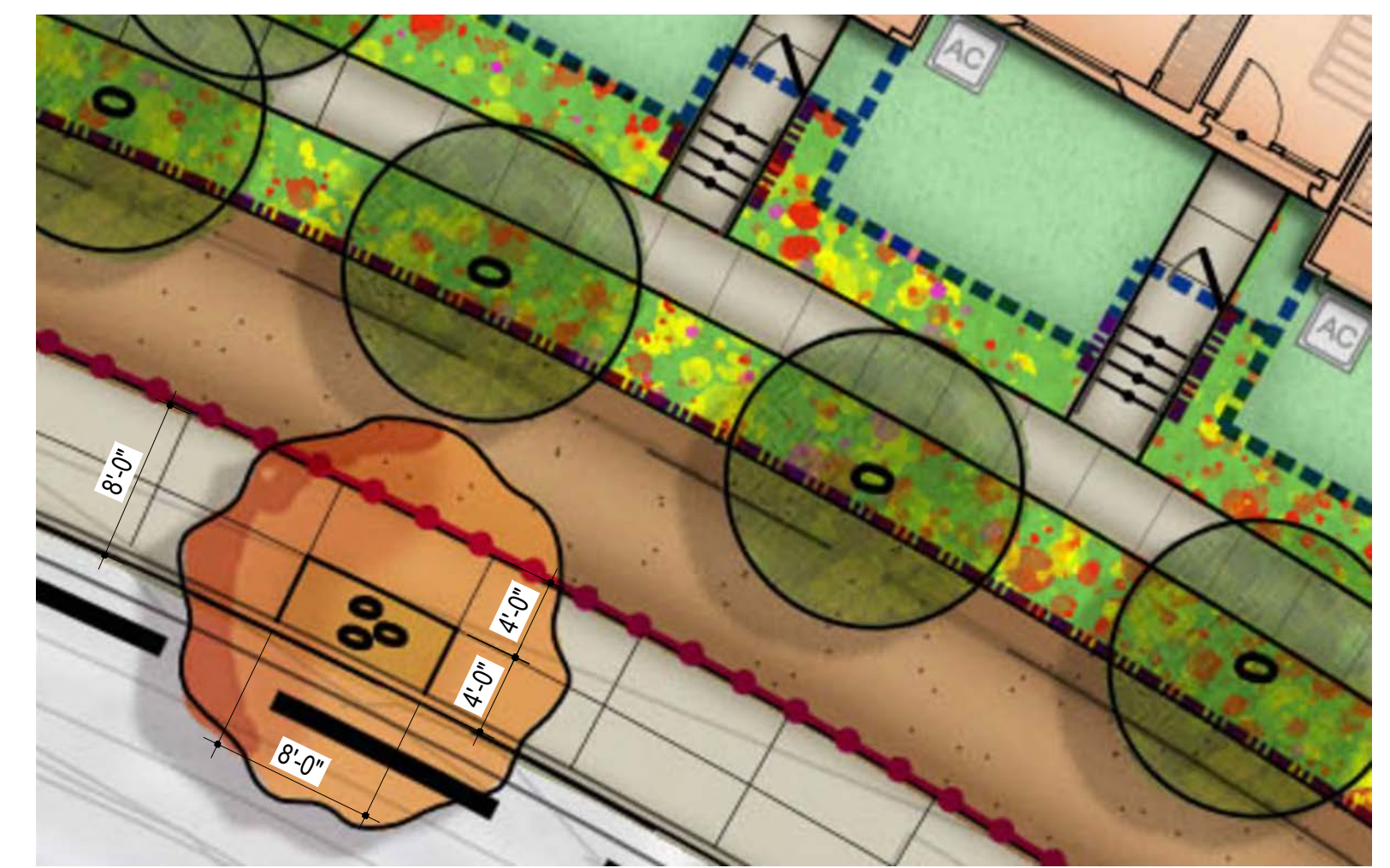
Section A: Riverside Drive Parkway
Scale: 1/4" = 1'-0"



Section B: Main Street
Scale: 1/4" = 1'-0"



Plan View
Scale: 1" = 30'-0"



Typical Parkway Tree Well Enlargement
Scale: 1/8" = 1'-0"

Key Map
Scale: NTS

Schematic Complete Street & Equestrian Trail Exhibit

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
 - 4 Recessed 1" Stucco /Simulated Wood Header Trim
 - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
 - 6 Accent Ceramic Tile
 - 7 Stucco Recess /Reveal at Windows/Doors
 - 8 Exposed Wood Truss Tails with 2x3 Wood Fascia

- 9 Decorative Stucco Eave
- 10 Decorative Metal Railing / Jacket Balcony
- 11 Decorative Metal Grille Work
- 12 Decorative Tile Cap
- 13 Decorative Scalloped Stucco Sill Trim/Shelf
- 14 Decorative Simulated Wood Corbel
- 15 Decorative Canvas/Metal Spear Awning
- 16 Fiberglass Decorative Front Door
- 17 Metal Scupper with Decorative Trim
- 18 Fiber Cement Trim at Bay Window

- 19 Fiber Cement Bd. Panel
- 20 Stucco Arch
- 21 Low Tile Wall w/ Tile Cap (Barranca)
- 22 Decorative Shutters with Metal Faux Straps
- 23 Decorative Stucco Chimney/Stucco Final
- 24 Alternative "Saltillo" Tile Veneer
- 25 Decorative Shaped Stucco Hood/Awning
- 26 Decorative Metal Tube and Wood Plank Pot Holder
- 27 Vinyl Windows
- 28 Decorative Stucco Corbel

- 29 Exposed Decorative Rafter Tails with 2x3 Wood Fascia (At Bay Windows Only)
- 30 Accent Battered Ceramic Tile Surround
- 31 Prefab/Precast Entry Surround (EL)
- 32 Prefab/Precast Clad at Low Barranca (EL)
- 33 Metal Decorative Sectional Garage Door
- 34 Decorative Exterior Lights & Address
- 35 Metal Utility Door
- 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



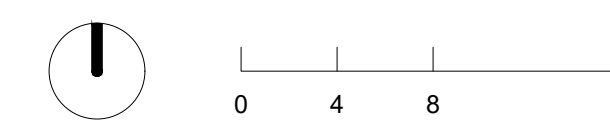
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RIVERSIDE & MAIN**
BURBANK, CA # 2021-0094

Plot Date: 10.04.2022
1st (Full) Planning Submittal: 2022-02-01
Re-Submittal: 2022-10-04



BT-200 ELEVATION
SPANISH COLONIAL

A3.0



PARTIAL RIVERSIDE DRIVE - STREET ELEVATION



MAIN STREET - STREET ELEVATION



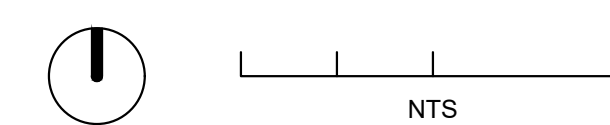
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THE PICKWICK
RIVERSIDE & MAIN
BURBANK, CA # 2021-0094

Plot Date: 01.14.2022
1st (Full) Planning Submittal: 2022-0114



CONCEPTUAL STREET ELEV.

A1.1

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
 - 4 Recessed 1" Stucco /Simulated Wood Header Trim
 - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
 - 6 Accent Ceramic Tile
 - 7 Stucco Recess /Reveal at Windows/Doors
 - 8 Exposed Wood Truss Tails with 2x3 Wood Fascia

- 9 Decorative Stucco Eave
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- 18 Fiber Cement Trim at Bay Window

- 19 Fiber Cement Bd. Panel
- 20 Stucco Arch
- 21 Low Tile Wall w/ Tile Cap (Barranca)
- 22 Decorative Shutters with Metal Faux Straps
- 23 Decorative Stucco Chimney/Stucco Final
- 24 Alternative "Saltillo" Tile Veneer
- 25 Decorative Shaped Stucco Hood/Awning
- 26 Decorative Metal Tube and Wood Plank Pot Holder
- 27 Vinyl Windows
- 28 Decorative Stucco Corbel

- 29 Exposed Decorative Rafter Tails with 2x3 Wood Fascia (At Bay Windows Only)
 - 30 Accent Battered Ceramic Tile Surround
 - 31 Prefab/Precast Entry Surround (EL)
 - 32 Prefab/Precast Clad at Low Barranca (EL)
 - 33 Metal Decorative Sectional Garage Door
 - 34 Decorative Exterior Lights & Address
 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



P3R

RIGHT

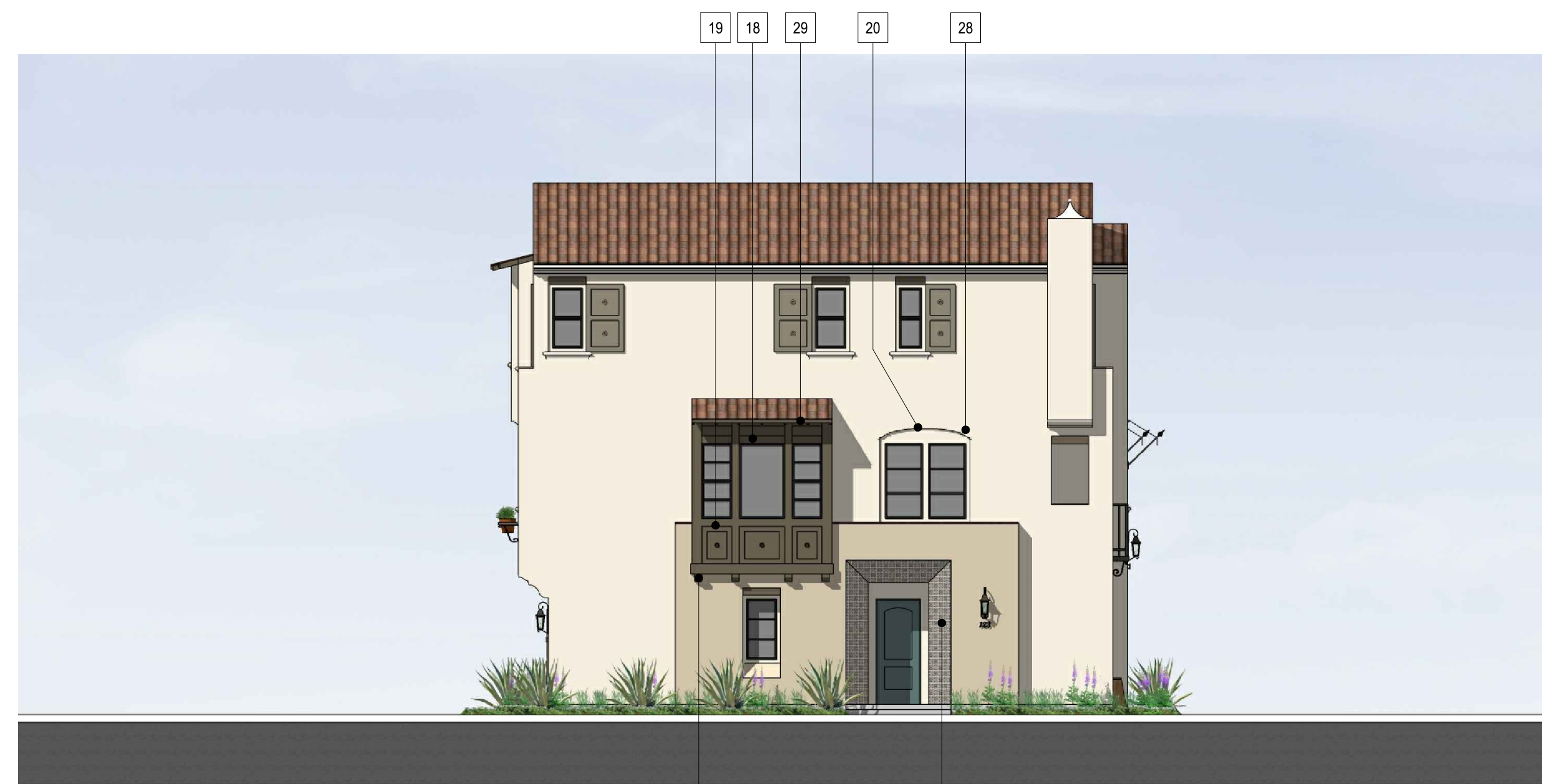


P3R

P2R

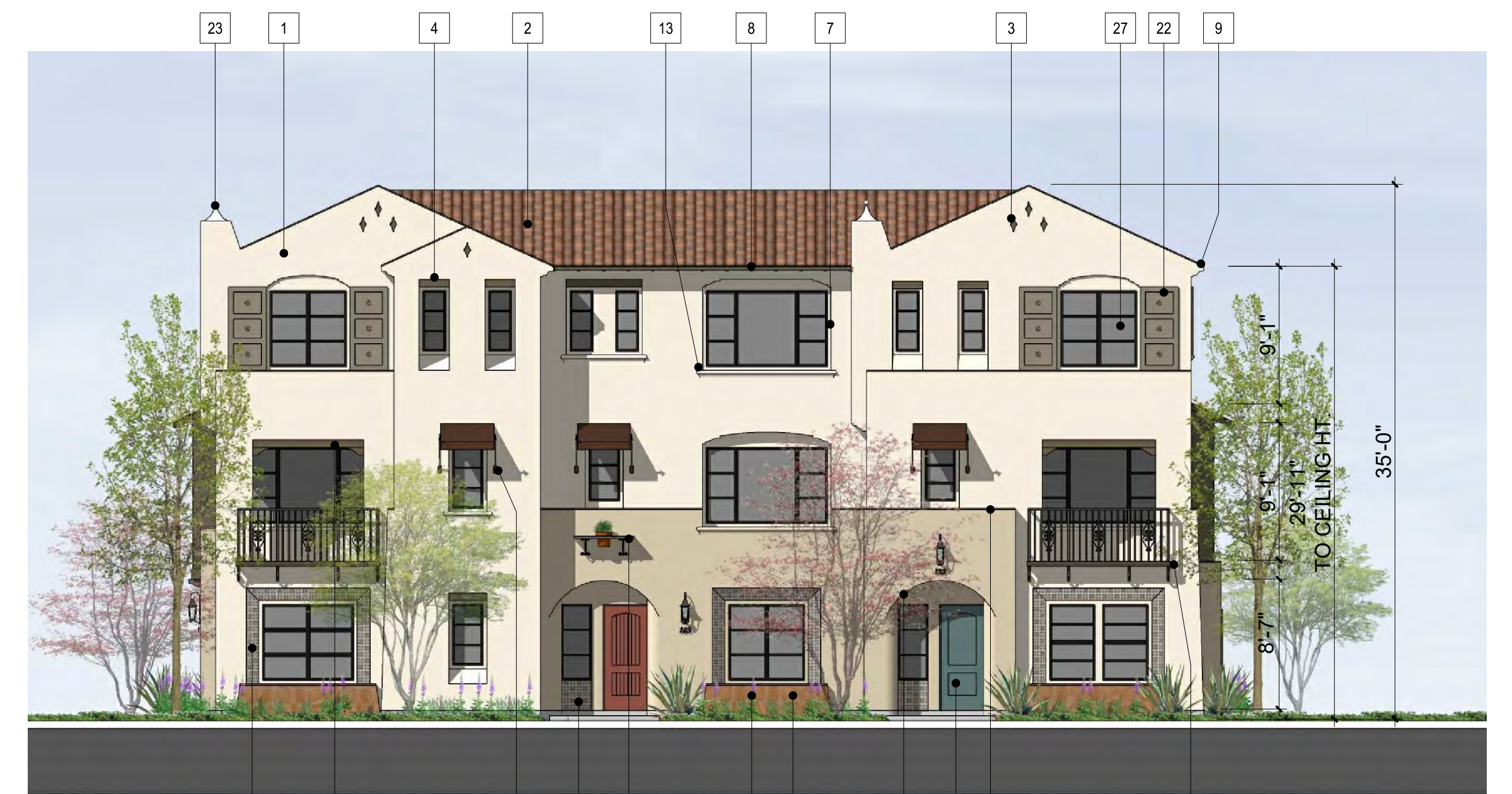
P3X

REAR



P3X

LEFT



P3X

P2R

P3R

FRONT



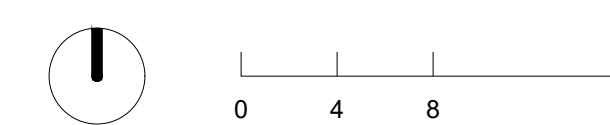
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**THE PICKWICK
RIVERSIDE & MAIN**
BURBANK, CA # 2021-0094

Plot Date: 01.14.2022
1st (Full) Planning Submittal: 2022-0114



BT-100 ELEVATIONS (STANDARD)
SPANISH COLONIAL

A2.0

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
 - 4 Recessed 1" Stucco /Simulated Wood Header Trim
 - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
 - 6 Accent Ceramic Tile
 - 7 Stucco Recess /Reveal at Windows/Doors
 - 8 Exposed Wood Truss Tails with 2x3 Wood Fascia

- 9 Decorative Stucco Eave
- 10 Decorative Metal Railing / Jacket Balcony
- 11 Decorative Metal Grille Work
- 12 Decorative Tile Cap
- 13 Decorative Scalloped Stucco Sill Trim/Shelf
- 14 Decorative Simulated Wood Corbel
- 15 Decorative Canvas/Metal Spear Awning
- 16 Fiberglass Decorative Front Door
- 17 Metal Scupper with Decorative Trim
- 18 Fiber Cement Trim at Bay Window

- 19 Fiber Cement Bd. Panel
- 20 Stucco Arch
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- 23 Decorative Stucco Chimney/Stucco Final
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 - 34 Decorative Exterior Lights & Address
 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



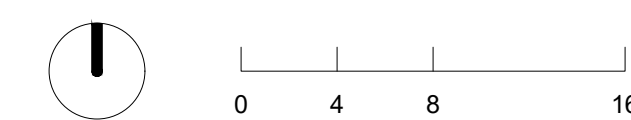
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**THE PICKWICK
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BURBANK, CA # 2021-0094

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**BT-101 ELEVATION (ALTERNATE)
STREET ENHANCED** SPANISH COLONIAL

A2.1

LEGEND

- 1 Stucco, 16/20 Sand Finish
- 2 Concrete 'S' Tiles
- 3 Gable End Faux Decorative Vent (Recesses)
- 4 Recessed 1" Stucco /Simulated Wood Header Trim
- 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
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 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



P3XR

30

RIGHT



P3XR

P2R

P2R

P3

28

34

33

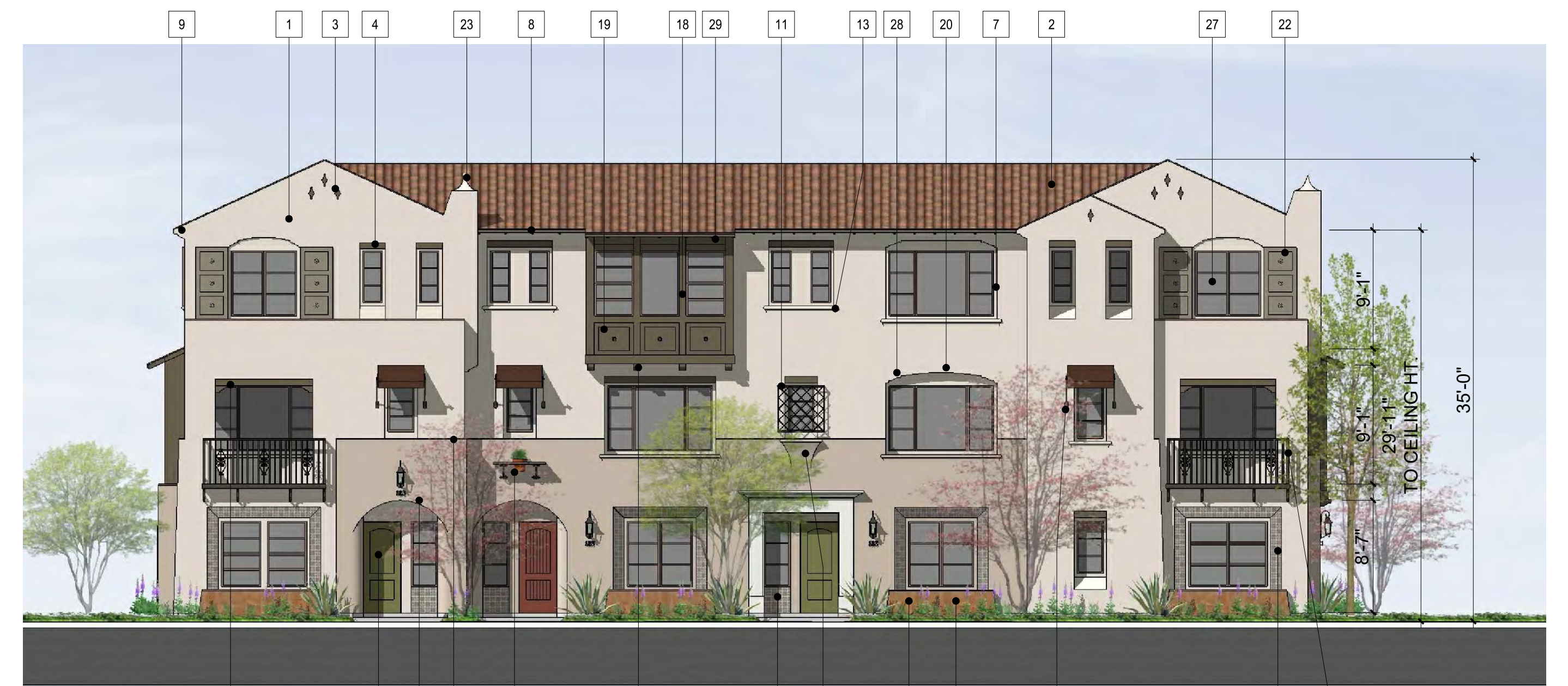
REAR



P3

35

LEFT



P3

P2R

P2R

P3XR

9

1

3

4

23

8

19

18

29

11

13

28

20

7

2

27

22

8'-7" TO CEILING HT

9'-1" TO CEILING HT

35'-0"

FRONT



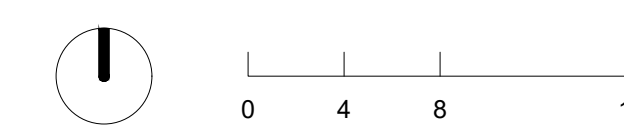
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THE PICKWICK
RIVERSIDE & MAIN
BURBANK, CA # 2021-0094

Plot Date: 01.14.2022
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BT-200 ELEVATIONS (STANDARD)
SPANISH COLONIAL

A3.0

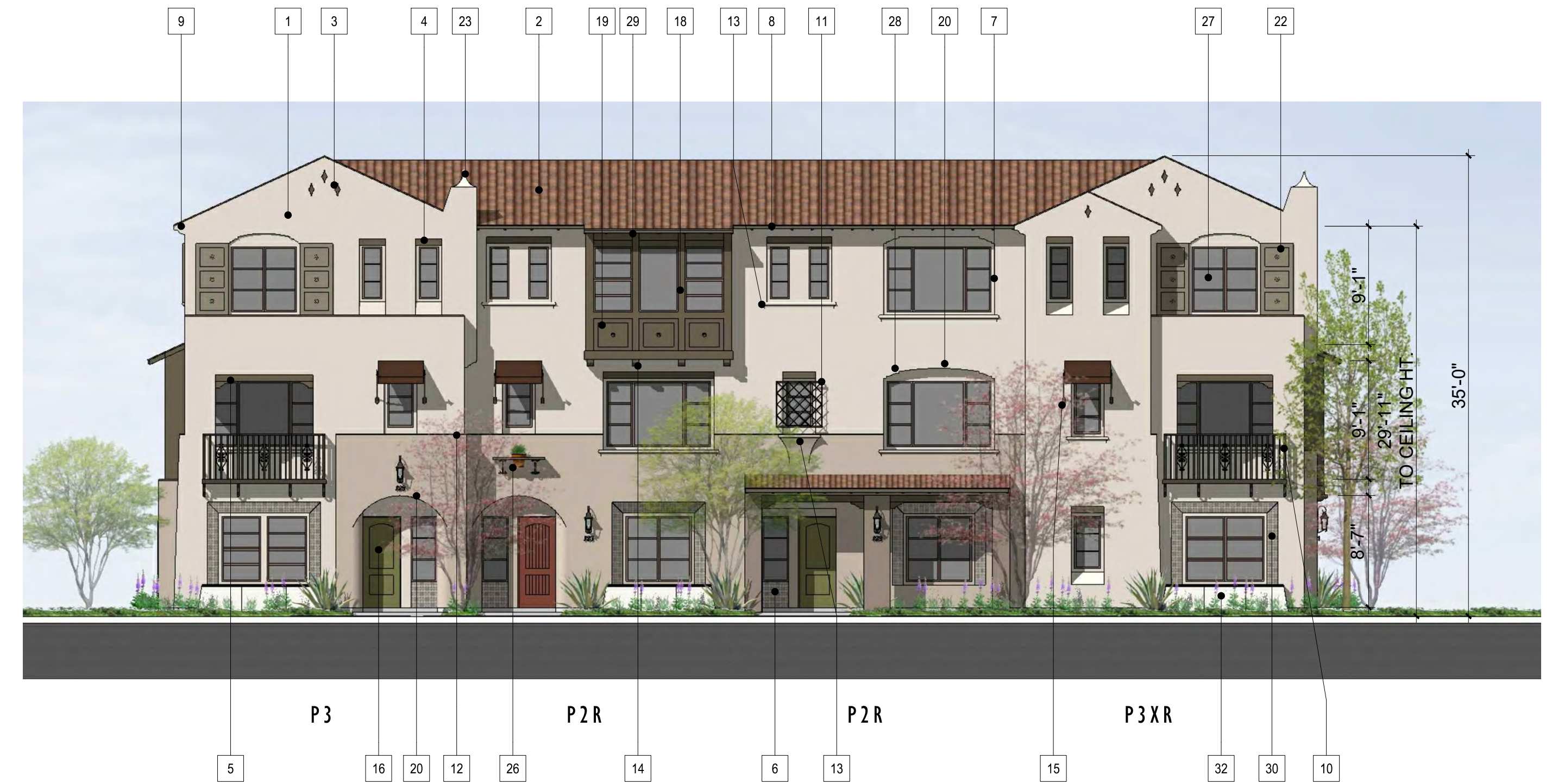
LEGEND

- 1 Stucco, 16/20 Sand Finish
- 2 Concrete 'S' Tiles
- 3 Gable End Faux Decorative Vent (Recesses)
- 4 Recessed 1" Stucco /Simulated Wood Header Trim
- 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
- 6 Accent Ceramic Tile
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- 8 Exposed Wood Truss Tails with 2x3 Wood Fascia

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- 10 Decorative Metal Railing / Jacket Balcony
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- 19 Fiber Cement Bd. Panel
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- 21 Low Tile Wall w/ Tile Cap (Barranca)
- 22 Decorative Shutters with Metal Faux Straps
- 23 Decorative Stucco Chimney/Stucco Final
- 24 Alternative "Saltlito" Tile Veneer
- 25 Decorative Shaped Stucco Hood/Awning
- 26 Decorative Metal Tube and Wood Plank Pot Holder
- 27 Vinyl Windows
- 28 Decorative Stucco Corbel

- 29 Exposed Decorative Rafter Tails with 2x3 Wood Fascia (At Bay Windows Only)
- 30 Accent Battered Ceramic Tile Surround
- 31 Prefab/Precast Entry Surround (EL)
- 32 Prefab/Precast Clad at Low Barranca (EL)
- 33 Metal Decorative Sectional Garage Door
- 34 Decorative Exterior Lights & Address
- 35 Metal Utility Door
- 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



FRONT - ALTERNATE



RIGHT - ALTERNATE ENHANCED



FRONT - ALTERNATE ENHANCED



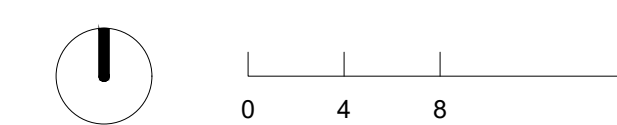
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**THE PICKWICK
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Plot Date: 01.14.2022
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**BT-201 ELEVATION (ALTERNATE)
STREET ENHANCED** SPANISH COLONIAL

A3.1

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
 - 4 Recessed 1" Stucco /Simulated Wood Header Trim
 - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
 - 6 Accent Ceramic Tile
 - 7 Stucco Recess /Reveal at Windows/Doors
 - 8 Exposed Wood Truss Tails with 2x3 Wood Fascia

- 9 Decorative Stucco Eave
- 10 Decorative Metal Railing / Jacket Balcony
- 11 Decorative Metal Grille Work
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- 18 Fiber Cement Trim at Bay Window

- 19 Fiber Cement Bd. Panel
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 - 30 Accent Battered Ceramic Tile Surround
 - 31 Prefab/Precast Entry Surround (EL)
 - 32 Prefab/Precast Clad at Low Barranca (EL)
 - 33 Metal Decorative Sectional Garage Door
 - 34 Decorative Exterior Lights & Address
 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



P1

PIX

RIGHT



PIX

P2R

P2R

P3

REAR



P3

P1

LEFT



P3

P2R

P2R

P1

FRONT



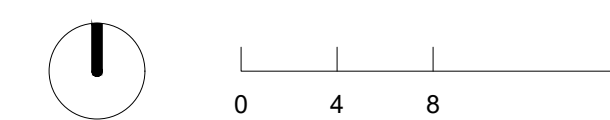
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**THE PICKWICK
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BURBANK, CA # 2021-0094

Plot Date: 01.14.2022
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BT-300 ELEVATIONS (STANDARD)
SPANISH COLONIAL

A4.0

- LEGEND**
- | | | | |
|-------------------------------------------------------------------------|------------------------------------------------|----------------------------------------------------|-------------------------------------------------------------------------------|
| 1 Stucco, 16/20 Sand Finish | 9 Decorative Stucco Eave | 19 Fiber Cement Bd. Panel | 29 Exposed Decorative Rafter Tails with 2x3 Wood Fascia (At Bay Windows Only) |
| 2 Concrete 'S' Tiles | 10 Decorative Metal Railing / Jacket Balcony | 20 Stucco Arch | 30 Accent Battered Ceramic Tile Surround |
| 3 Gable End Faux Decorative Vent (Recesses) | 11 Decorative Metal Grille Work | 21 Low Tile Wall w/ Tile Cap (Barranca) | 31 Prefab/Precast Entry Surround (EL) |
| 4 Recessed 1" Stucco /Simulated Wood Header Trim | 12 Decorative Tile Cap | 22 Decorative Shutters with Metal Faux Straps | 32 Prefab/Precast Clad at Low Barranca (EL) |
| 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels | 13 Decorative Scalloped Stucco Sill Trim/Shelf | 23 Decorative Stucco Chimney/Stucco Final | 33 Metal Decorative Sectional Garage Door |
| 6 Accent Ceramic Tile | 14 Decorative Simulated Wood Corbel | 24 Alternative "Saltillo" Tile Veneer | 34 Decorative Exterior Lights & Address |
| 7 Stucco Recess /Reveal at Windows/Doors | 15 Decorative Canvas/Metal Spear Awning | 25 Decorative Shaped Stucco Hood/Awning | 35 Metal Utility Door |
| 8 Exposed Wood Truss Tails with 2x3 Wood Fascia | 16 Fiberglass Decorative Front Door | 26 Decorative Metal Tube and Wood Plank Pot Holder | 36 Wood Post |
| | 17 Metal Scupper with Decorative Trim | 27 Vinyl Windows | EL - Enhancement Locations Only Along Street Frontage |
| | 18 Fiber Cement Trim at Bay Window | 28 Decorative Stucco Corbel | |



PIR P3R

RIGHT



P3R P2 P2 P2 PIXR

REAR



PIXR PIR

LEFT



PIR P2 P2 P2 P3R

FRONT



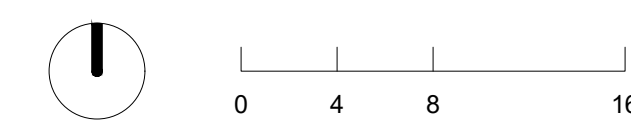
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BT-400 ELEVATIONS (STANDARD)
SPANISH COLONIAL

A5.0

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
 - 4 Recessed 1" Stucco /Simulated Wood Header Trim
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 - 6 Accent Ceramic Tile
 - 7 Stucco Recess /Reveal at Windows/Doors
 - 8 Exposed Wood Truss Tails with 2x3 Wood Fascia

- 9 Decorative Stucco Eave
- 10 Decorative Metal Railing / Jacket Balcony
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- 12 Decorative Tile Cap
- 13 Decorative Scalloped Stucco Sill Trim/Shelf
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- 16 Fiberglass Decorative Front Door
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- 19 Fiber Cement Bd. Panel
- 20 Stucco Arch
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 - 31 Prefab/Precast Entry Surround (EL)
 - 32 Prefab/Precast Clad at Low Barranca (EL)
 - 33 Metal Decorative Sectional Garage Door
 - 34 Decorative Exterior Lights & Address
 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



P3R

RIGHT



P3R

P2R

P2R

P2R

P3

REAR



P3

LEFT



P3

P2R

P2R

P2R

P3R

FRONT



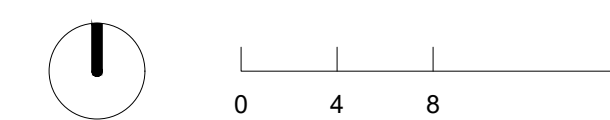
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BT-500 ELEVATIONS (STANDARD)
SPANISH COLONIAL

A6.0

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
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 - 32 Prefab/Precast Clad at Low Barranca (EL)
 - 33 Metal Decorative Sectional Garage Door
 - 34 Decorative Exterior Lights & Address
 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



P3XR

30

RIGHT



P3XR

P2R

P2R

P2R

P3

26

28

34

33

REAR



P3

35

LEFT



P3

P2R

P2R

P2R

P3XR

30

5

20

16

6

14

12

13

21

24

15

FRONT



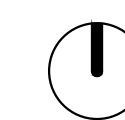
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THE PICKWICK
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Plot Date: 01.14.2022
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0 4 8 16

BT-501 ELEVATIONS (ALTERNATE)
SPANISH COLONIAL

A6.1

- LEGEND**
- 1 Stucco, 16/20 Sand Finish
 - 2 Concrete 'S' Tiles
 - 3 Gable End Faux Decorative Vent (Recesses)
 - 4 Recessed 1" Stucco /Simulated Wood Header Trim
 - 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels
 - 6 Accent Ceramic Tile
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- 9 Decorative Stucco Eave
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 - 32 Prefab/Precast Clad at Low Barranca (EL)
 - 33 Metal Decorative Sectional Garage Door
 - 34 Decorative Exterior Lights & Address
 - 35 Metal Utility Door
 - 36 Wood Post
- EL - Enhancement Locations Only Along Street Frontage



P3XR
30
RIGHT - ALTERNATE ENHANCED



P3 P2R P2R P2R P3XR
10 32 5 20 13 12 26 31 30 6 16 14 15 36 19 18
FRONT - ALTERNATE ENHANCED



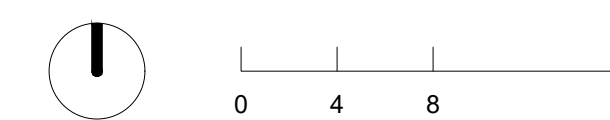
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**BT-502 ELEVATION (ALTERNATE)
STREET ENHANCED** SPANISH COLONIAL

A6.2

- LEGEND**
- | | | | |
|-------------------------------------------------------------------------|------------------------------------------------|----------------------------------------------------|-------------------------------------------------------------------------------|
| 1 Stucco, 16/20 Sand Finish | 9 Decorative Stucco Eave | 19 Fiber Cement Bd. Panel | 29 Exposed Decorative Rafter Tails with 2x3 Wood Fascia (At Bay Windows Only) |
| 2 Concrete 'S' Tiles | 10 Decorative Metal Railing / Jacket Balcony | 20 Stucco Arch | 30 Accent Battered Ceramic Tile Surround |
| 3 Gable End Faux Decorative Vent (Recesses) | 11 Decorative Metal Grille Work | 21 Low Tile Wall w/ Tile Cap (Barranca) | 31 Prefab/Precast Entry Surround (EL) |
| 4 Recessed 1" Stucco /Simulated Wood Header Trim | 12 Decorative Tile Cap | 22 Decorative Shutters with Metal Faux Straps | 32 Prefab/Precast Clad at Low Barranca (EL) |
| 5 Recessed Beam/Trim (Wrap Color as Needed) with Simulated Wood Corbels | 13 Decorative Scalloped Stucco Sill Trim/Shelf | 23 Decorative Stucco Chimney/Stucco Final | 33 Metal Decorative Sectional Garage Door |
| 6 Accent Ceramic Tile | 14 Decorative Simulated Wood Corbel | 24 Alternative "Saltito" Tile Veneer | 34 Decorative Exterior Lights & Address |
| 7 Stucco Recess /Reveal at Windows/Doors | 15 Decorative Canvas/Metal Spear Awning | 25 Decorative Shaped Stucco Hood/Awning | 35 Metal Utility Door |
| 8 Exposed Wood Truss Tails with 2x3 Wood Fascia | 16 Fiberglass Decorative Front Door | 26 Decorative Metal Tube and Wood Plank Pot Holder | 36 Wood Post |
| | 17 Metal Scupper with Decorative Trim | 27 Vinyl Windows | |
| | 18 Fiber Cement Trim at Bay Window | 28 Decorative Stucco Corbel | |
- EL - Enhancement Locations Only Along Street Frontage



P3 R

35

RIGHT



P3 R

P2 R

P2 R

P2 R

P2 R

P3 X

28

34

33

REAR



P3 X

30

LEFT



P3 X

P2 R

P2 R

P2 R

P2 R

P3 R

10

15

26

13

16

30

14

12

6

21

24

20

5

35'-0"
TO CEILING HT.

FRONT



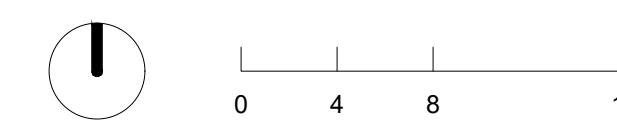
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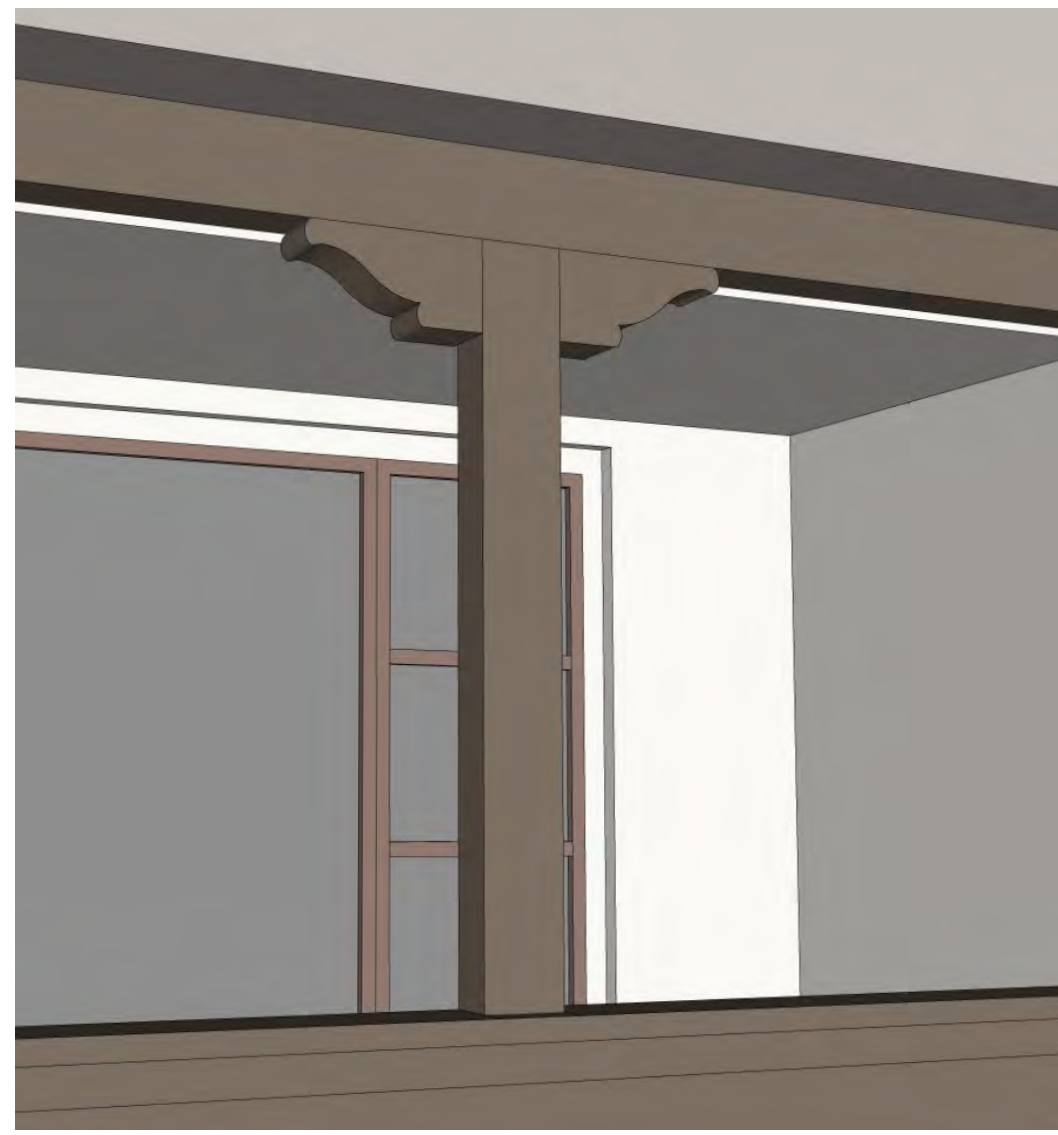
**THE PICKWICK
RIVERSIDE & MAIN**
BURBANK, CA # 2021-0094

Plot Date: 01.14.2022
1st (Full) Planning Submittal: 2022-0114



BT-600 ELEVATIONS (STANDARD)
SPANISH COLONIAL

A7.0



D1. Wood Post w/ Decorative Wood Corbels



D2. Decorative Stucco Eave



D3. Deep Recessed Window w/ 1" Recessed Stucco Simulated Wood Beam



D4. Decorative Scalloped Stucco Sill Trim



D5. Decorative Stucco Faux Chimney/Stucco Final



D6. Decorative Stucco Corbel & Arch



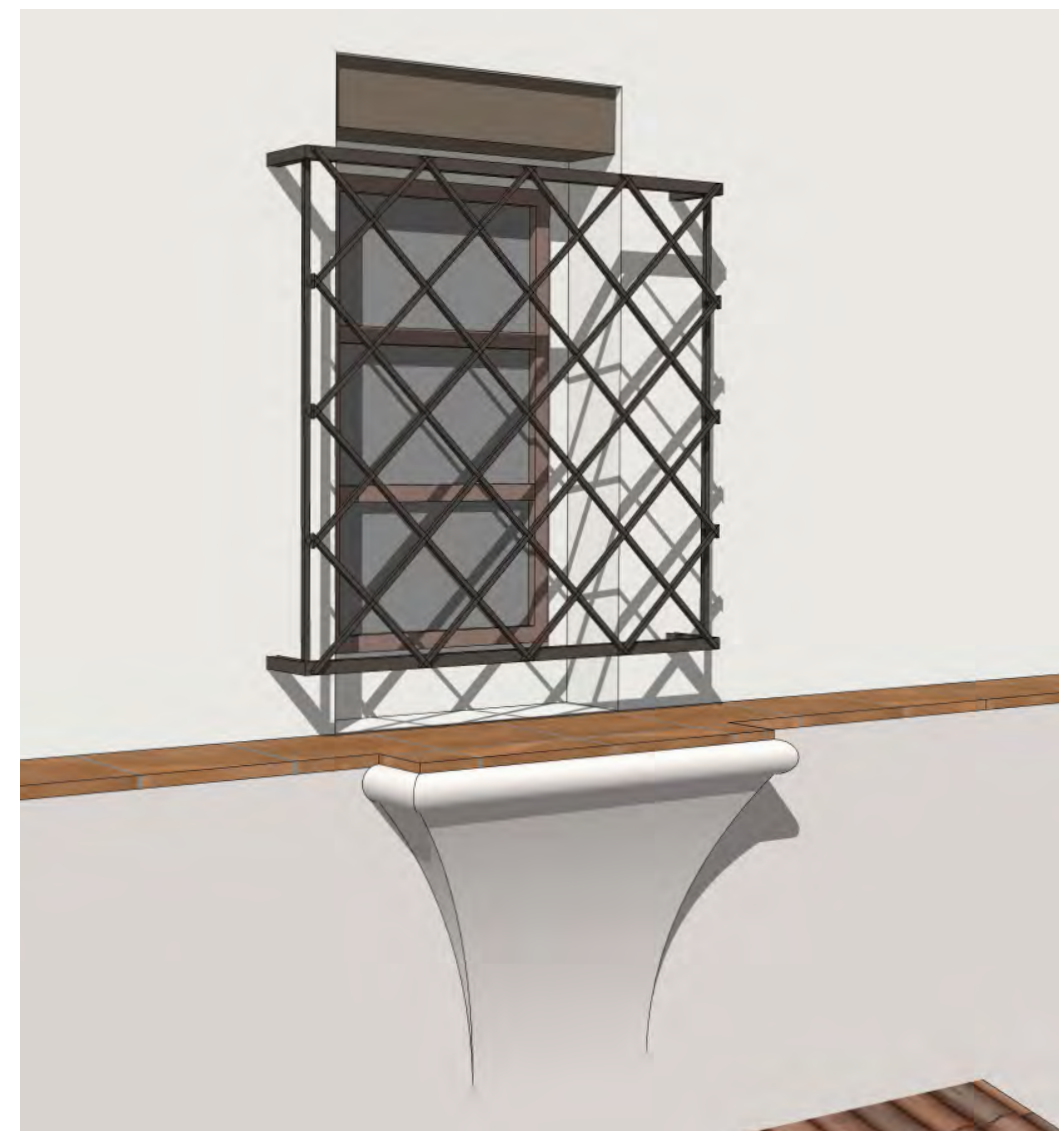
D14. Fiber Cement Railing w/ Decorative Fiber Cement Bd. Panels, Faux Wood Corbel & Deck Trim



D7. Decorative Juliet Metal Balcony



D13. Decorative Stucco Corbel



D12. Decorative Metal Grille Work/Scalloped Shelf



D11. Accent Battered Ceramic Tile Surround w/ Precast cladded Barranca @ Enhance Locations Only



D10. Prefab/Precast Entry Surround @ Enhance Locations Only



D9. Decorative Ceramic Tile Cap



D8. Stucco Arch



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626.710.6377

RIVERSIDE & Main
BURBANK, CA #2021-0094

CONCEPTUAL DESIGN
AUGUST 10, 2021

3D Building Details



A. Decorative Metal Grille Work



D. Stucco Entry Surround



G. Decorative Canvas/Metal Spear Awning



K. Decorative Shutters



N. Decorative Stucco Corbels at Cantilever



R. Decorative Cantilever Deck Details



B. Accent Battered Ceramic Tiled Surround



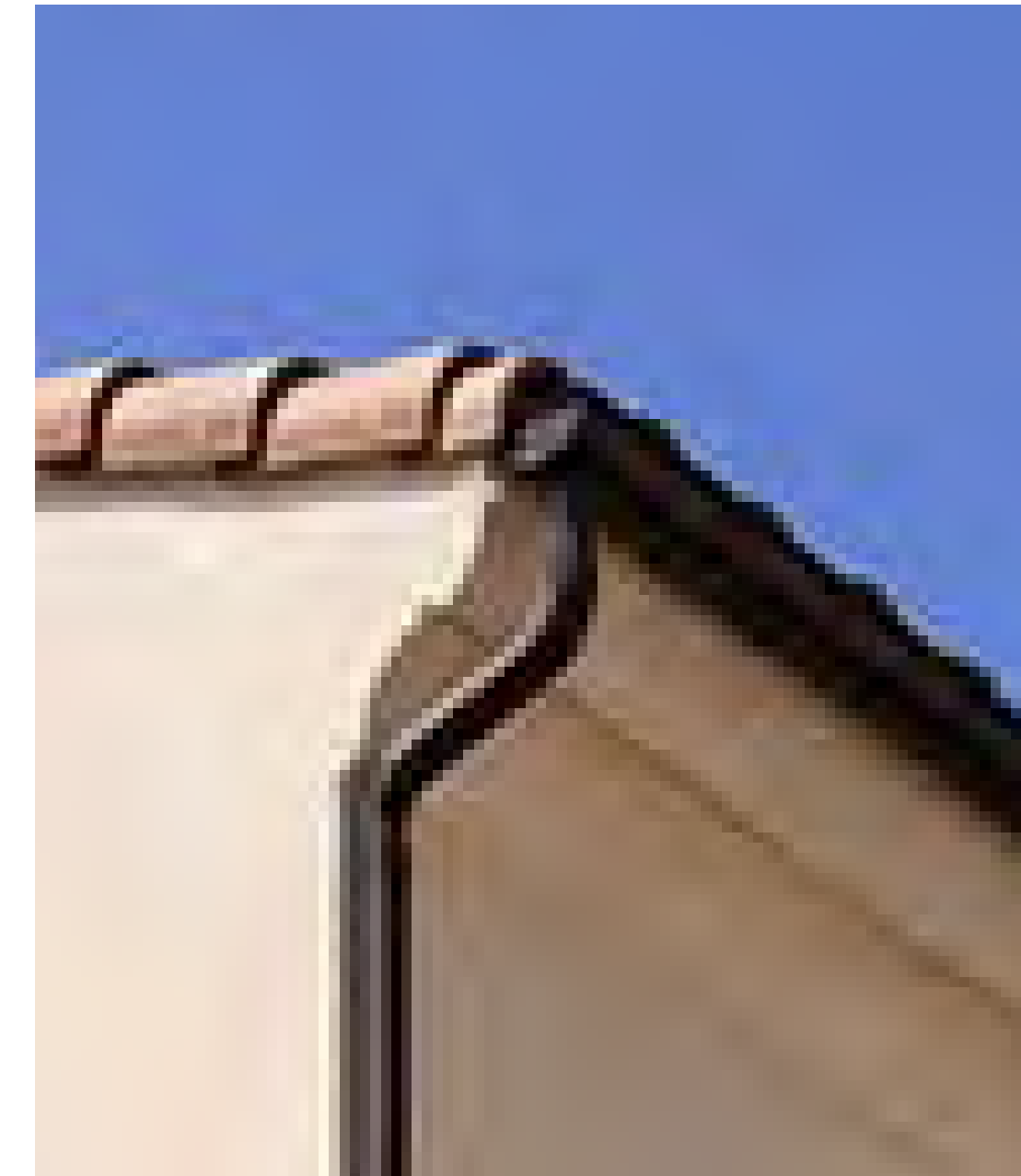
E. Prefab/Precast Entry Surround



H. Decorative Scalloped Stucco Sill Trim



L. Stucco/Simulated Wood Header Trim



O. Decorative Stucco Eave



S. Bay Window



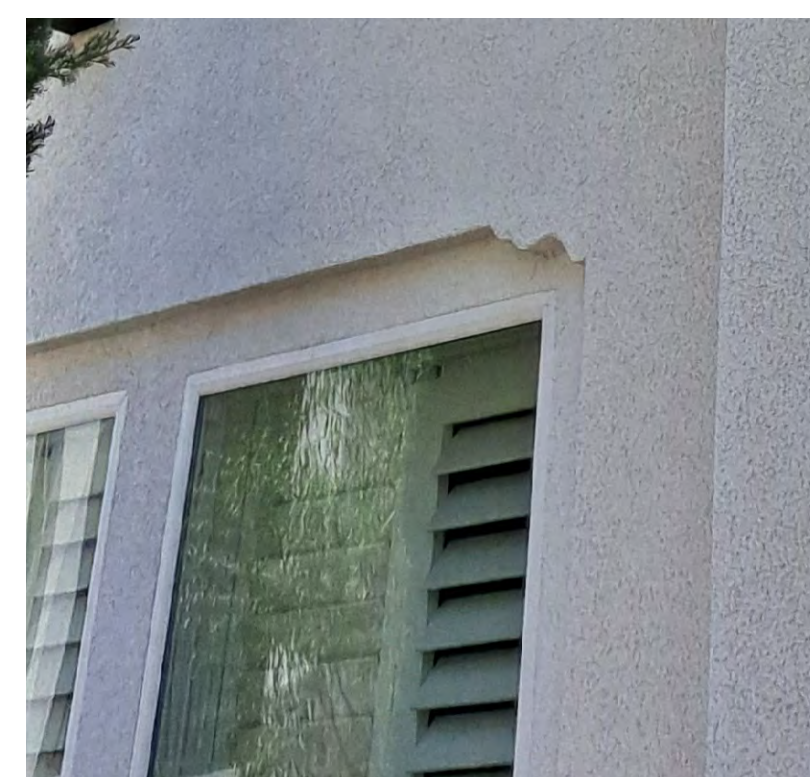
C. Gable End Faux Decorative Vent (Recesses)



F. Decorative Stucco Chimney/Final



I. Decorative Metal Tube Pot Holder



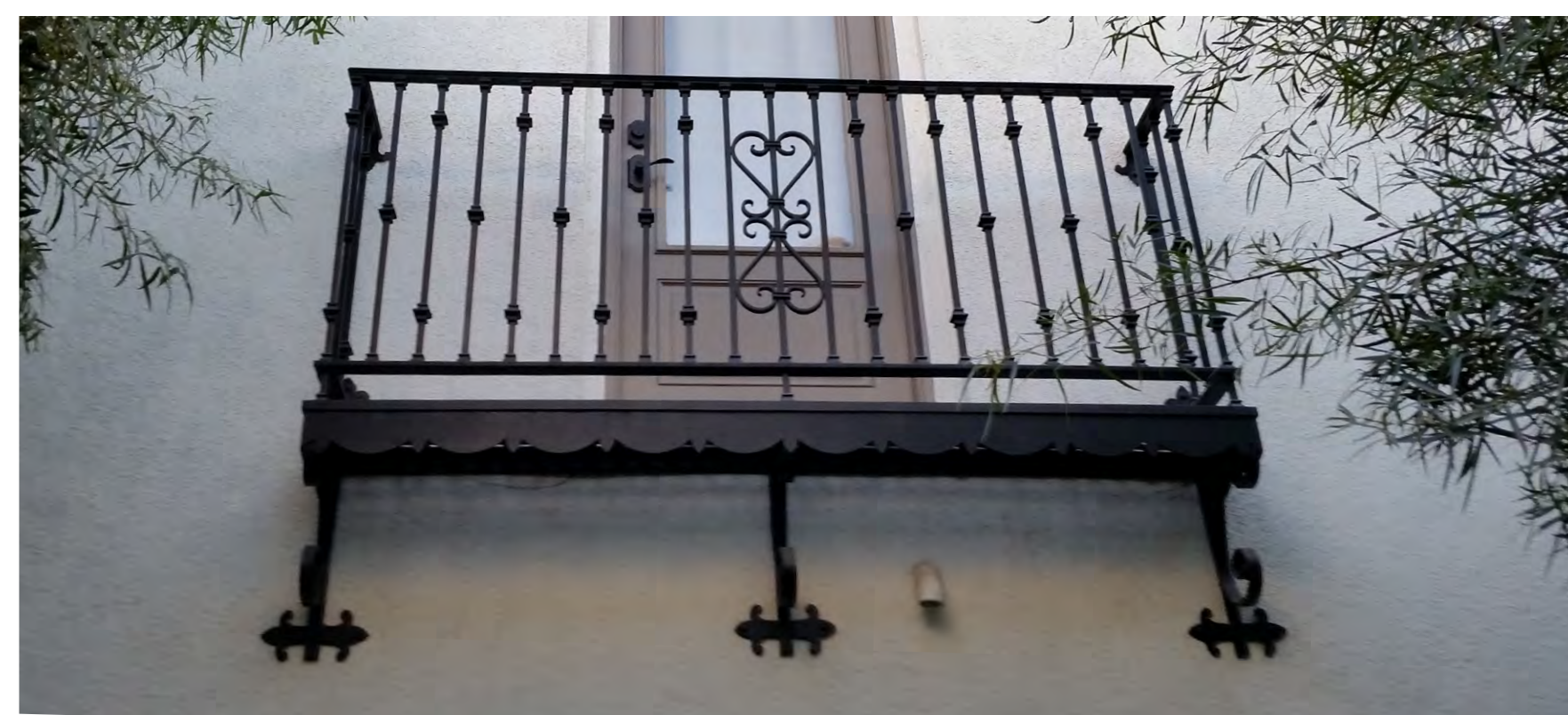
M. Decorative Stucco Corbel



P. Exposed Wood Truss Tails with 2x3 Wood Fascia



T. Recessed Beam/Trim With Faux Wood Corbels



J. Decorative Metal Railing



Q. Exposed Decorative Rafter Tails At Bay Window Only w/ 2x3 Wood Fascia



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Plot Date: 08.18.2021

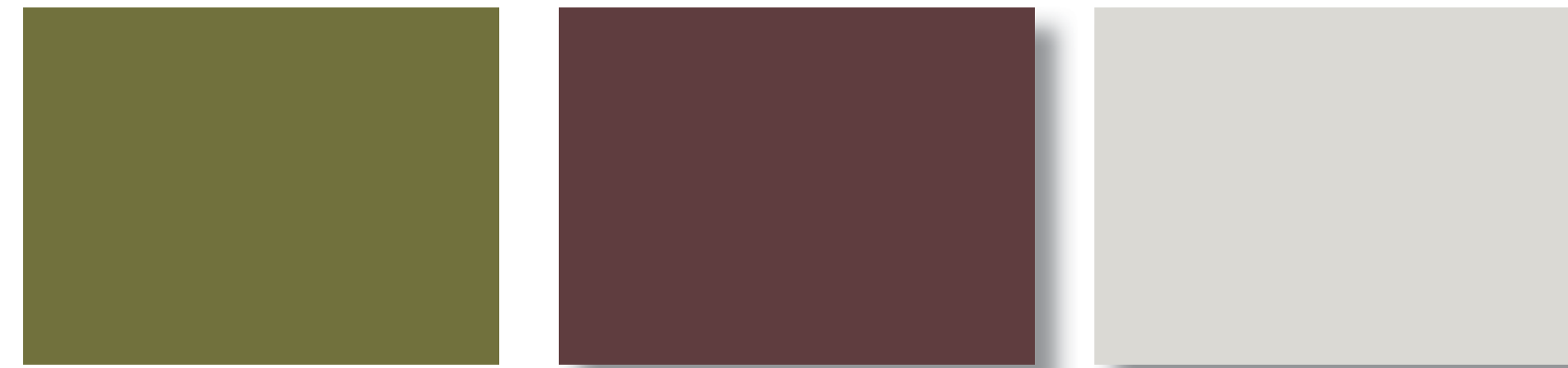
BUILDING DETAILS

A10.0

COLOR SCHEME 1



STUCCO BASE SNOWFALL (SW6000) **STUCCO ACCENT** GRAYISH (SW6001) **ENH. ACCENT** PROPER GRAY (SW6003) **TRIM** GRIFFIN (SW7026)



DOOR 1 RELENTLESS OLIVE (SW 6425) **DOOR 2** CORDOVAN (SW 6027) **ENTRY SURROUND** FIRST STAR (SW 7646)



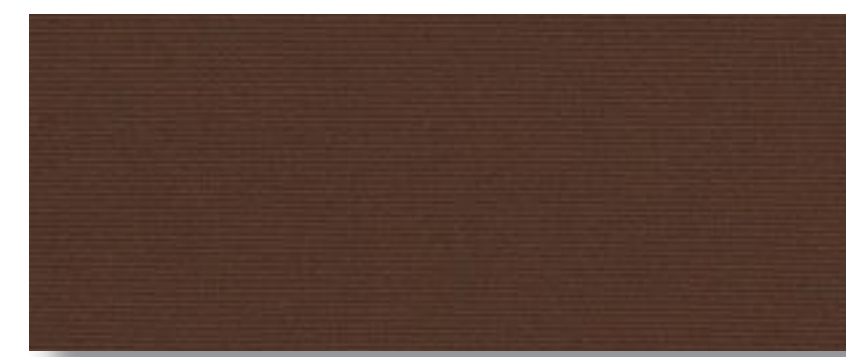
IRON BLACK FOX (SW7020) **SHUTTER** DEEPEST MAUVE (SW0005) **WINDOW** MILGARD - TWEED



PORCELAIN SALTILLO (OPTION) VILLA STONE IMPORTS PORCELAIN LAGUAN - DARK **ROOF** BORAL - COPPER MOUNTAIN BLEND

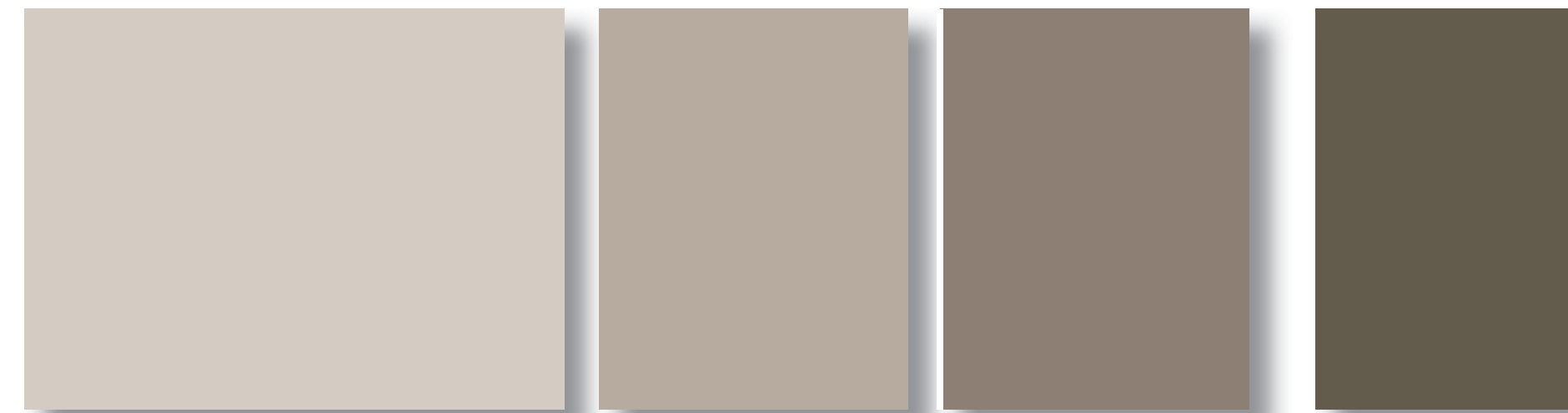


CERAMIC ACCENT TILES TIERRA Y FUEGO - SANTA BARBARA SERIES CARNAVAL FLOWER 1, CARNAVAL FLOWER 2



CANVAS SUNBRELLA - TRUE BROWN

COLOR SCHEME 2



STUCCO BASE POPULAR GRAY (SW6071) **STUCCO ACCENT** PERFECT GRIEGE (SW6073) **ENH. ACCENT** SPALDING GRAY (SW6074) **TRIM** OAK LEAF BROWN (SW7054)



DOOR 1 RED BARN (SW 7591) **DOOR 2** RELENTLESS OLIVE (SW 6425) **ENTRY SURROUND** FIRST STAR SW 7646



IRON URBANE BRONZE (SW7048) **SHUTTER** ADAPTIVE SHADE (SW7053) **WINDOW** MILGARD - TWEED



PORCELAIN SALTILLO (OPTION) VILLA STONE IMPORTS PORCELAIN LAGUAN - DARK **ROOF** BORAL - CASA GRANDE BLEND



CERAMIC ACCENT TILES TIERRA Y FUEGO - SANTA BARBARA SERIES JAZMIN 1, JAZMIN 2



CANVAS SUNBRELLA - TAUPE

COLOR SCHEME 3



STUCCO BASE PANDA WHITE (SW6147) **STUCCO ACCENT** RELAXED KHAKI (SW6149) **ENH. ACCENT** UNIVERSAL KHAKI (SW6150) **TRIM** OAK LEAF BROWN (SW7054)



DOOR 1 RIVERWAY (SW 6222) **DOOR 2** FLOWER POT (SW 6334) **ENTRY SURROUND** FIRST STAR SW 7646



IRON URBANE BRONZE (SW7048) **SHUTTER** ADAPTIVE SHADE (SW7053) **WINDOW** MILGARD - BLACK



PORCELAIN SALTILLO (OPTION) VILLA STONE IMPORTS PORCELAIN LAGUAN - DARK **ROOF** BORAL - CASA GRANDE BLEND



CERAMIC ACCENT TILES TIERRA Y FUEGO - SANTA BARBARA SERIES SANTA HELENA FLOWER 2, SANTA HELENA FLOWER TEAL



CANVAS SUNBRELLA - SLATE



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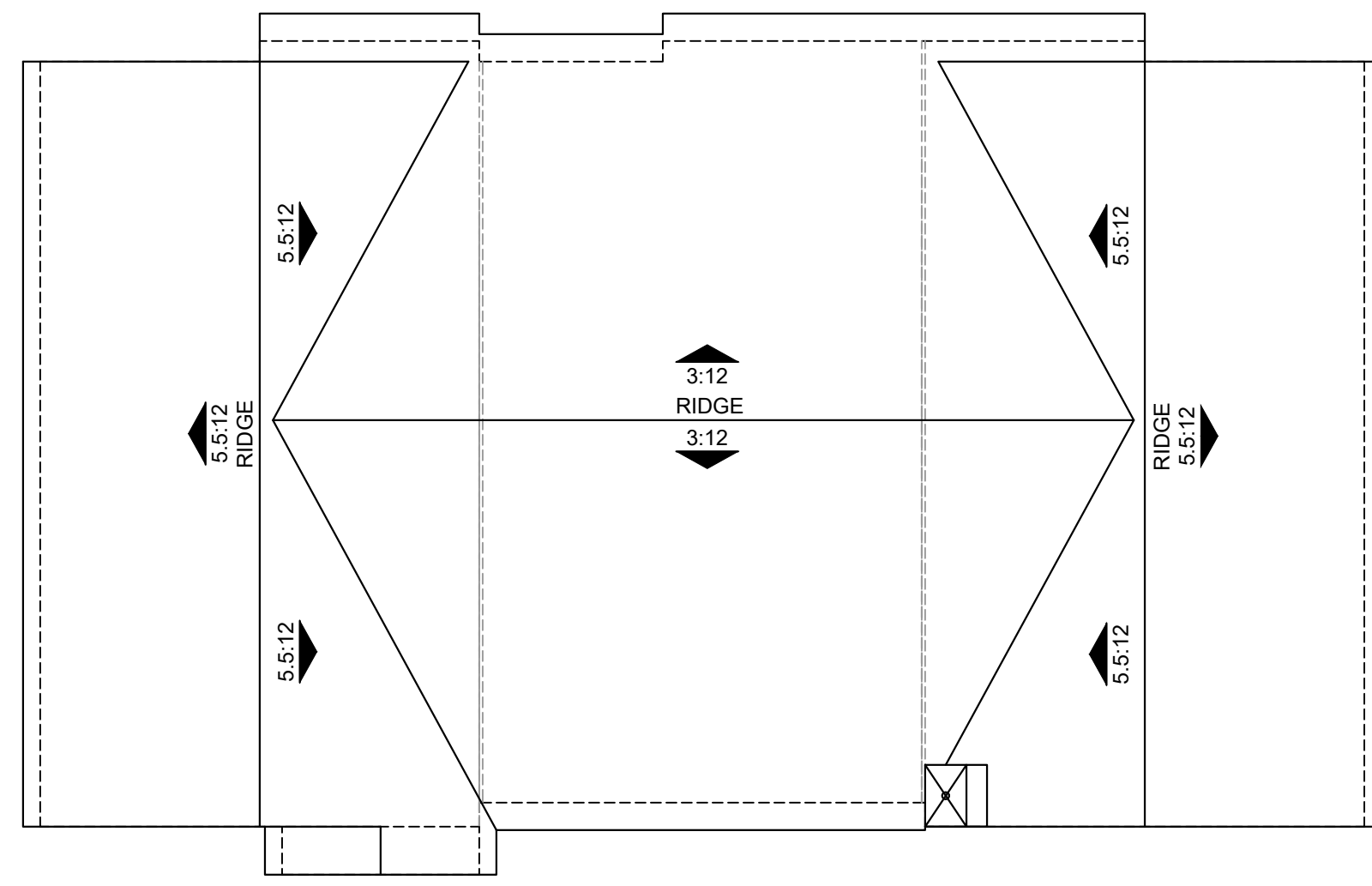
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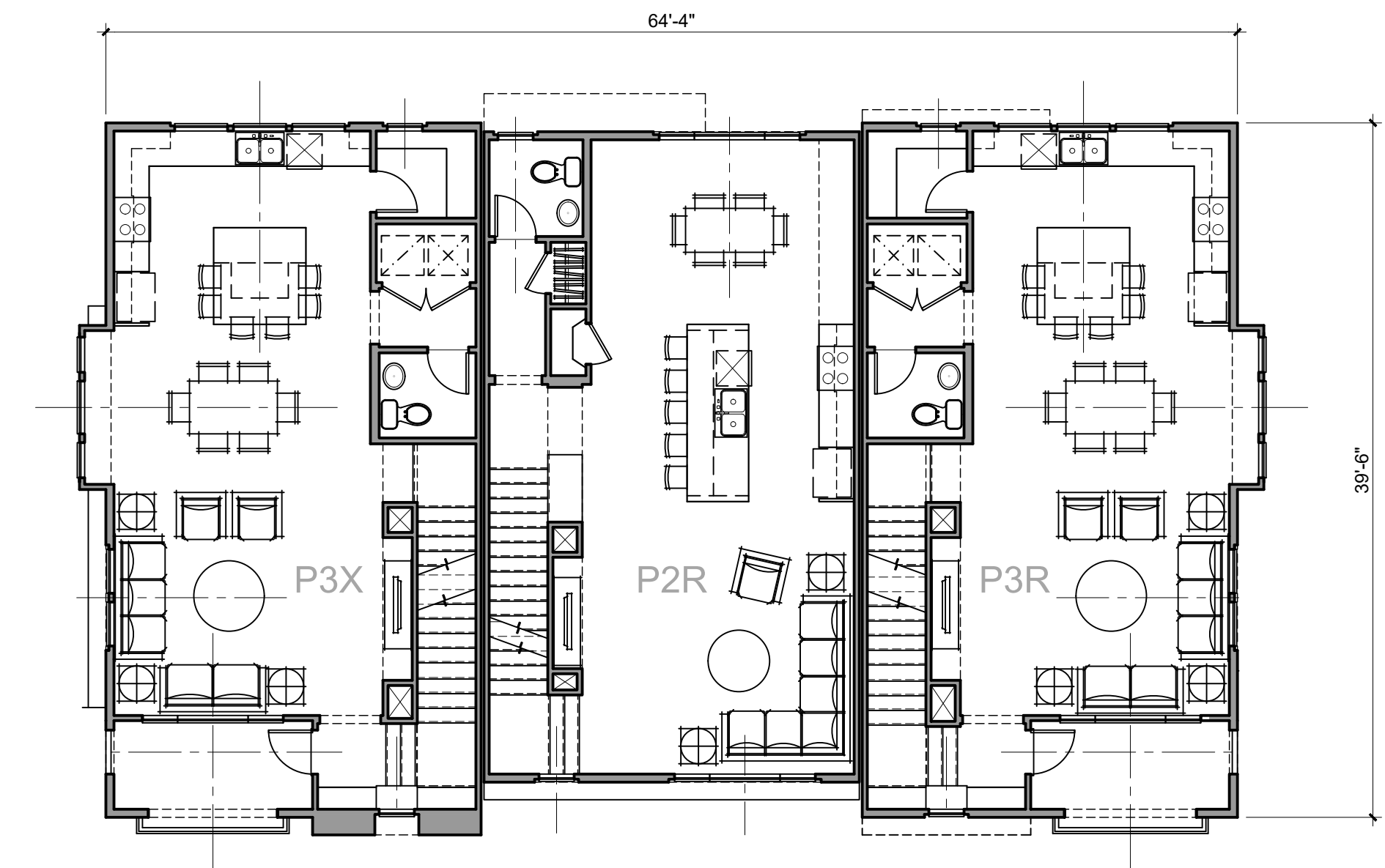
Plot Date: 08.26.2021

COLORS & MATERIALS BOARD

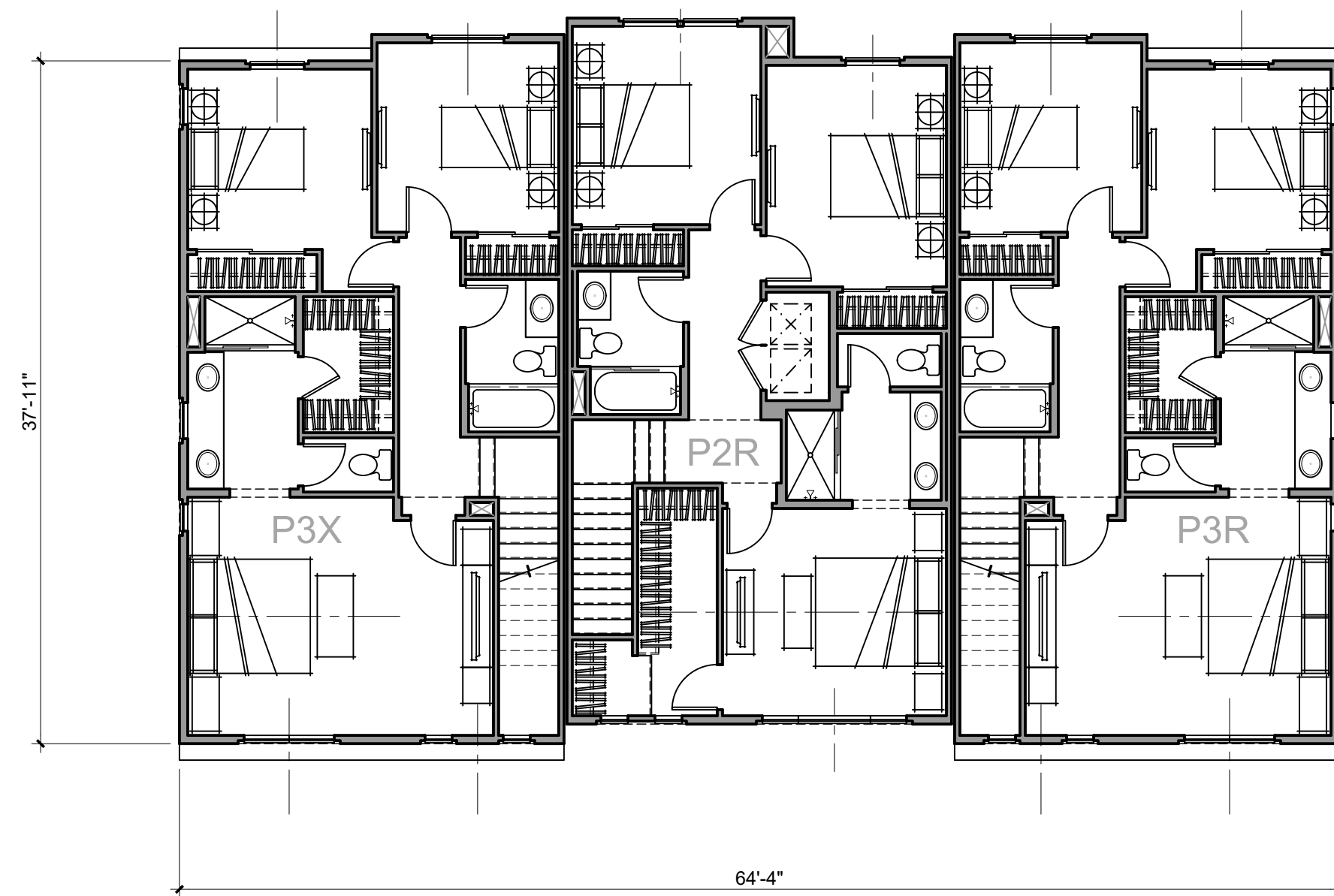
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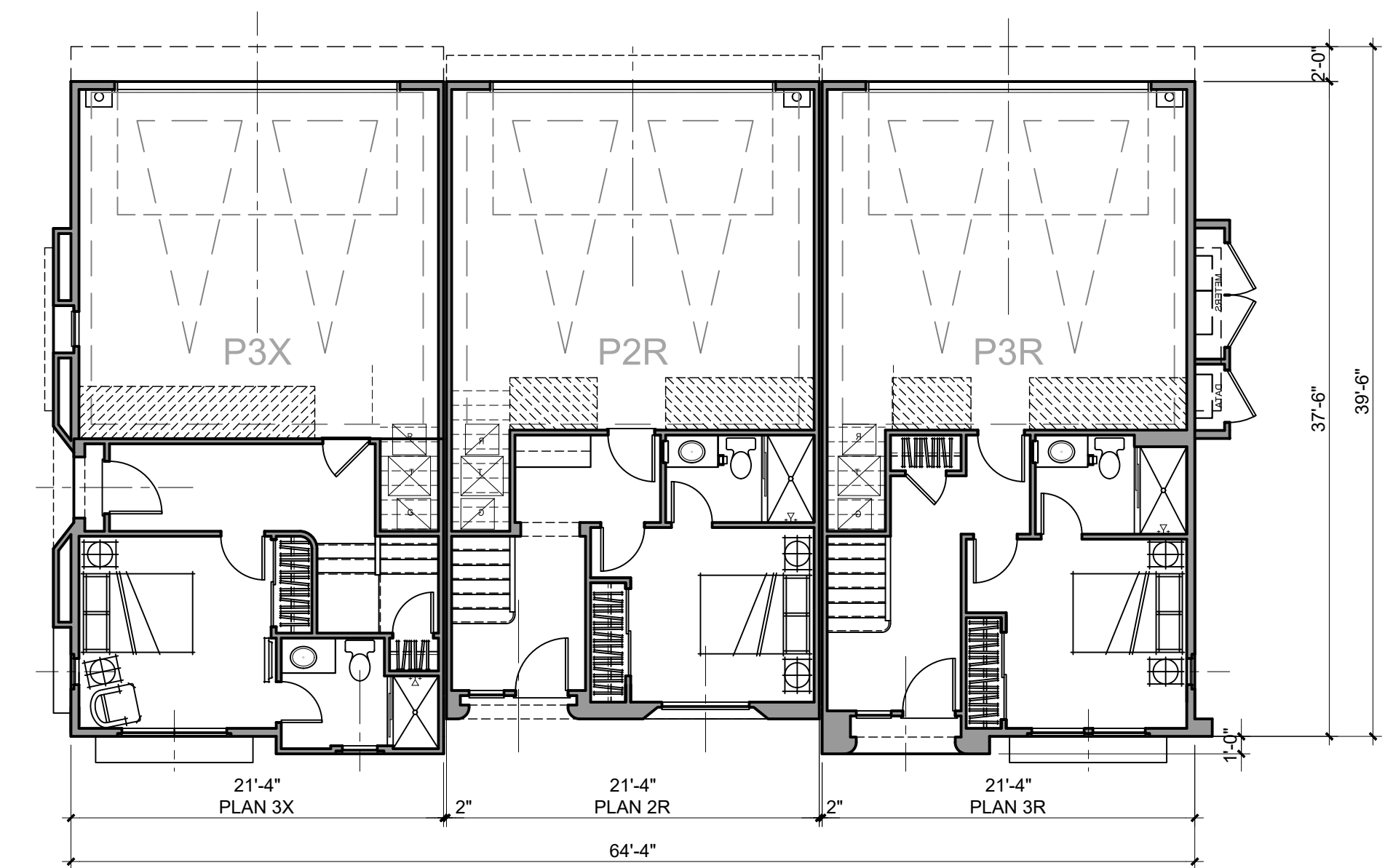
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



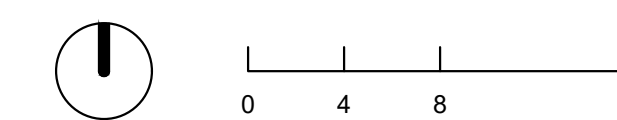
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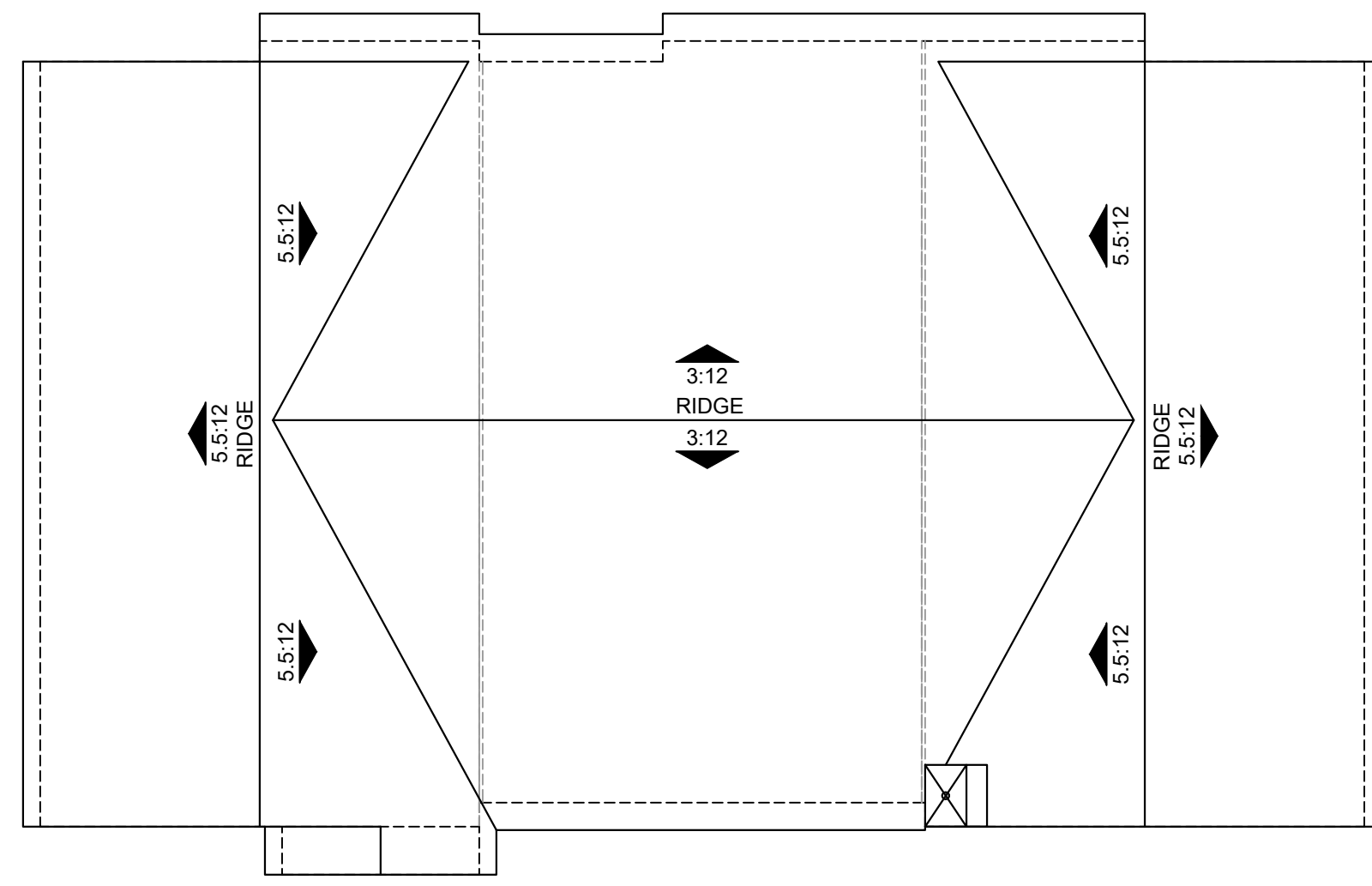
THE PICKWICK
RIVERSIDE & MAIN
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Plot Date: 10.04.2022
1st (Full) Planning Submittal: 2022-02-01
Re-Submittal: 2022-10-04

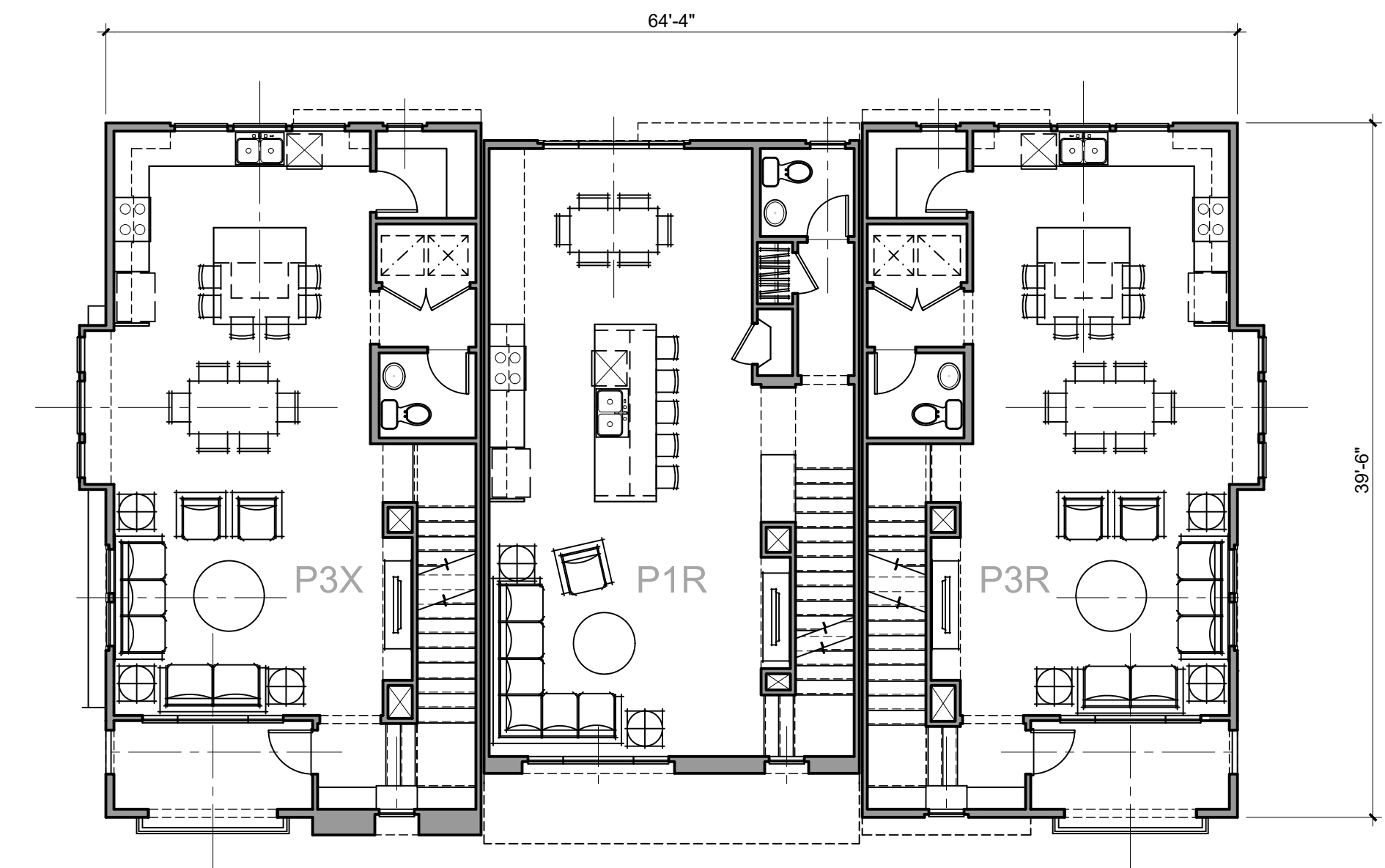


BT-100 (3-PLEX)
BUILDING & ROOF PLANS

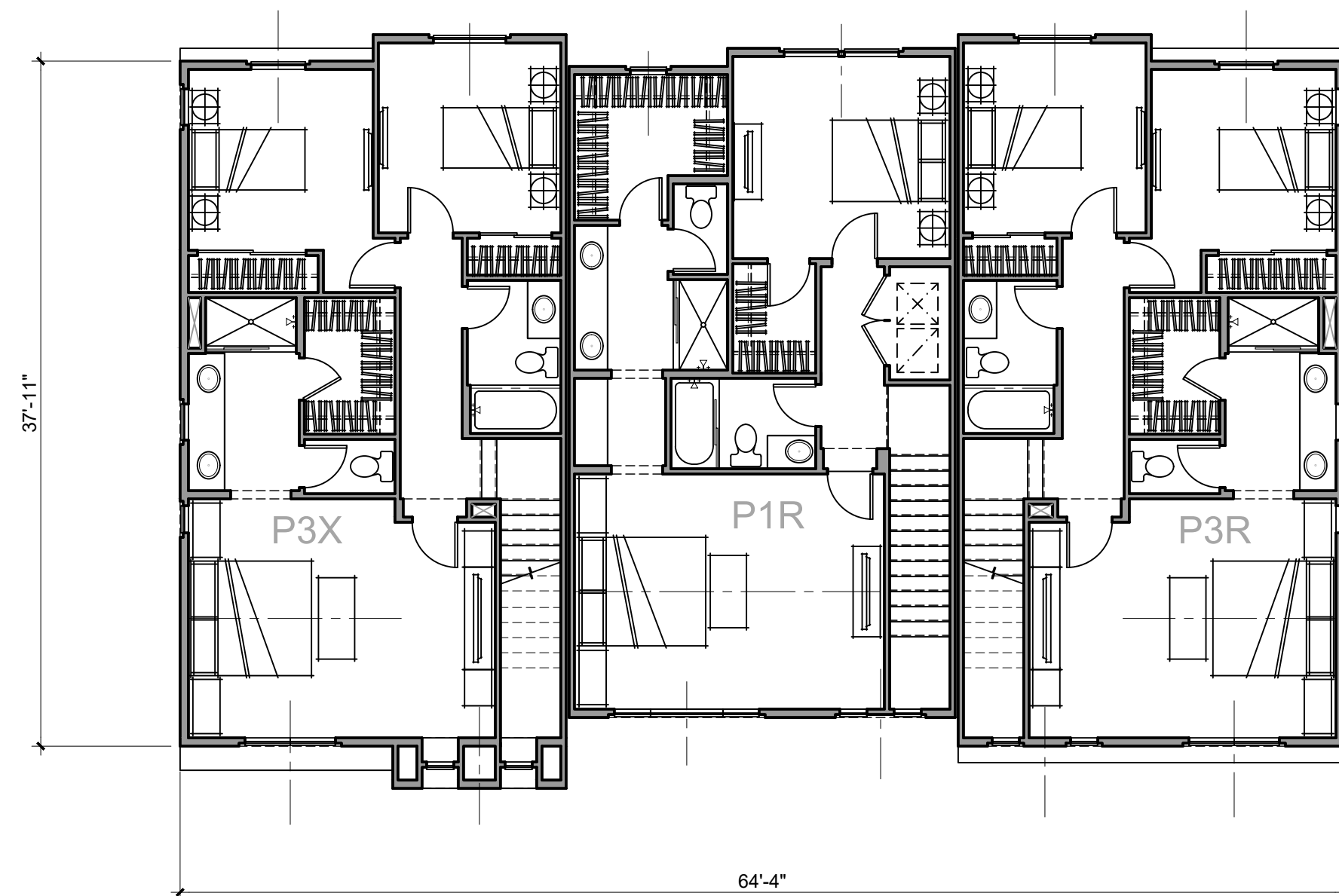
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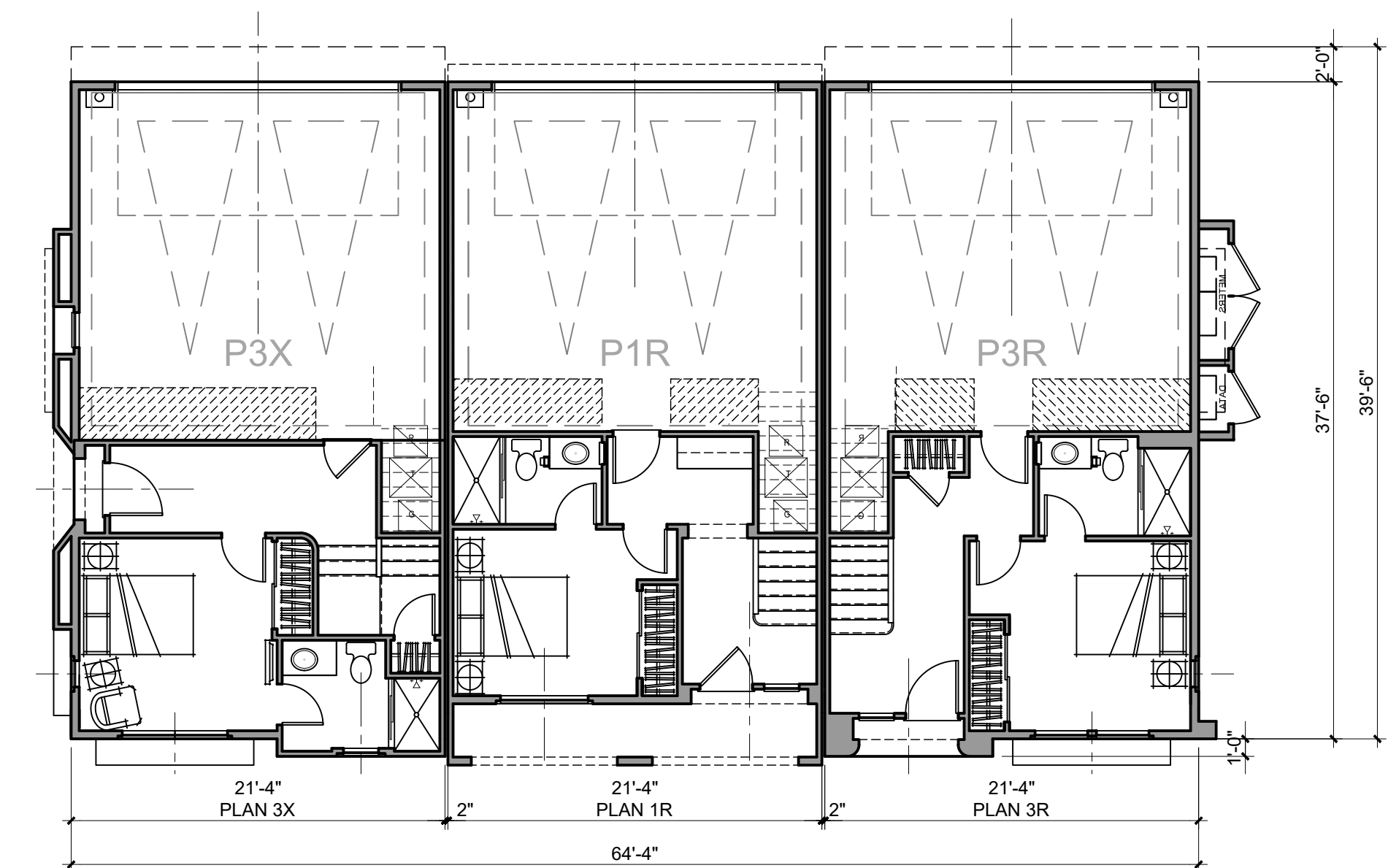
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



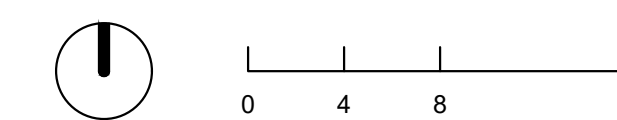
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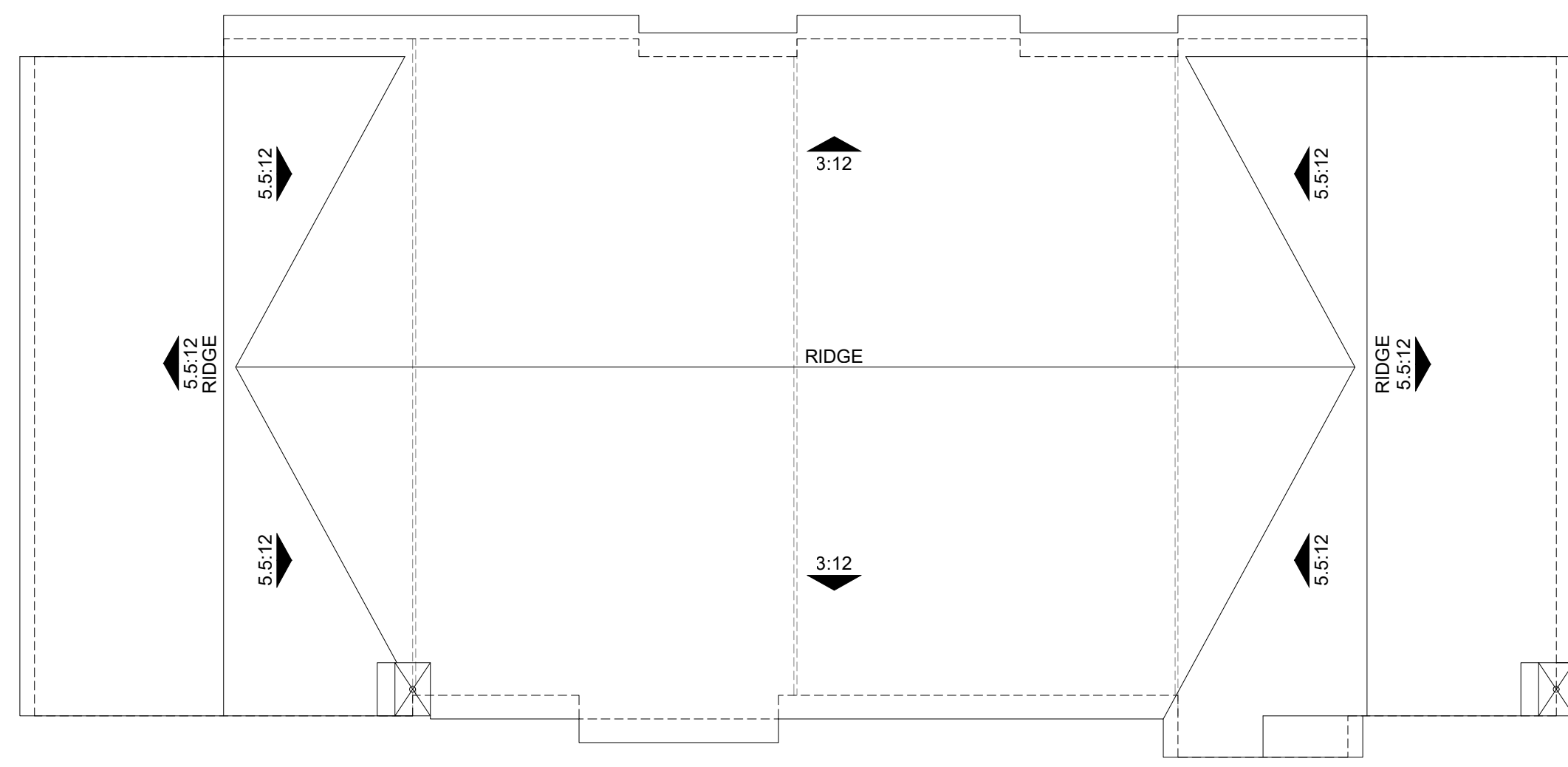
THE PICKWICK
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Plot Date: 10.04.2022
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Re-Submittal: 2022-10-04

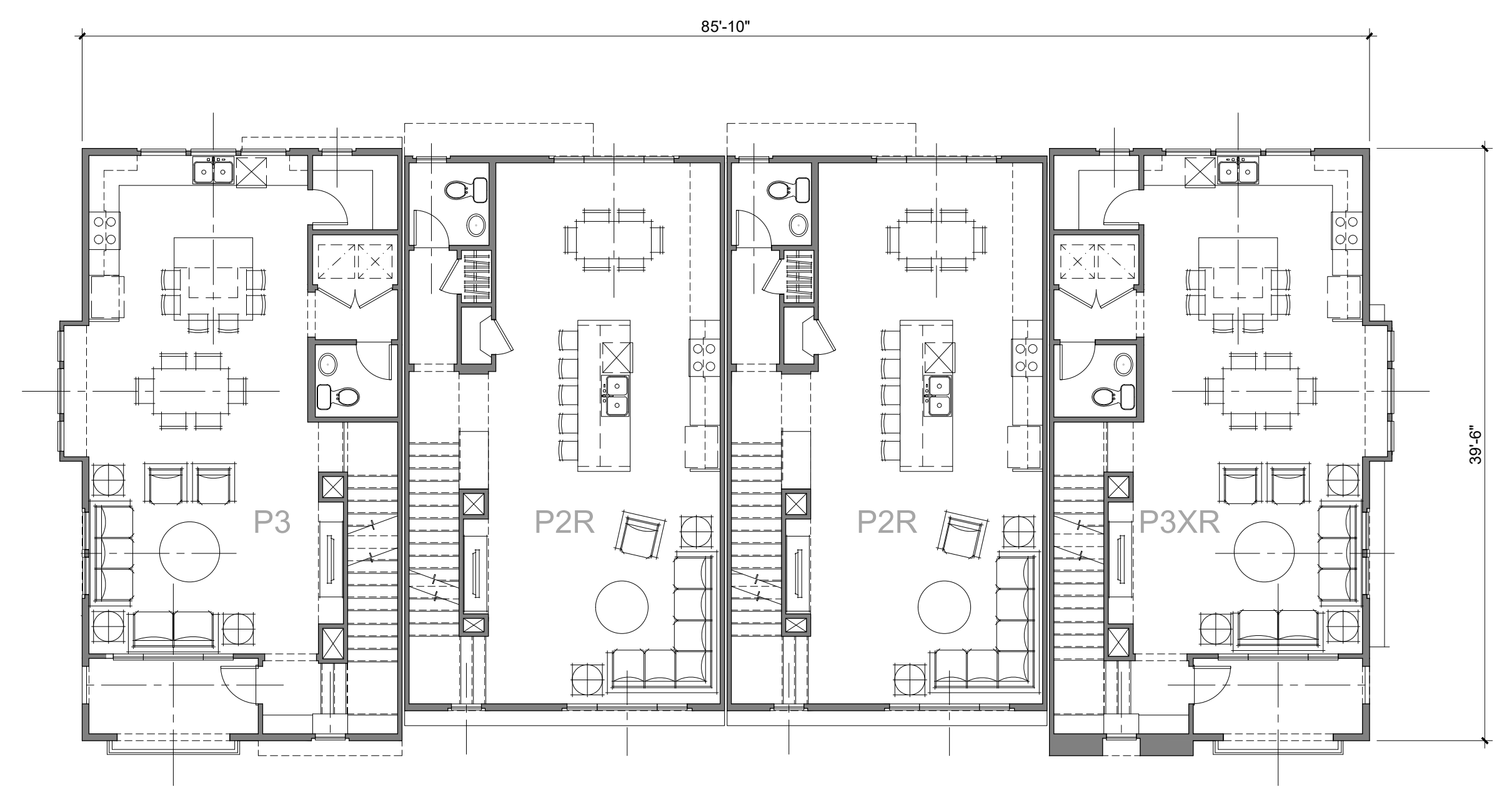


BT-101 (3-PLEX)
BUILDING & ROOF PLANS

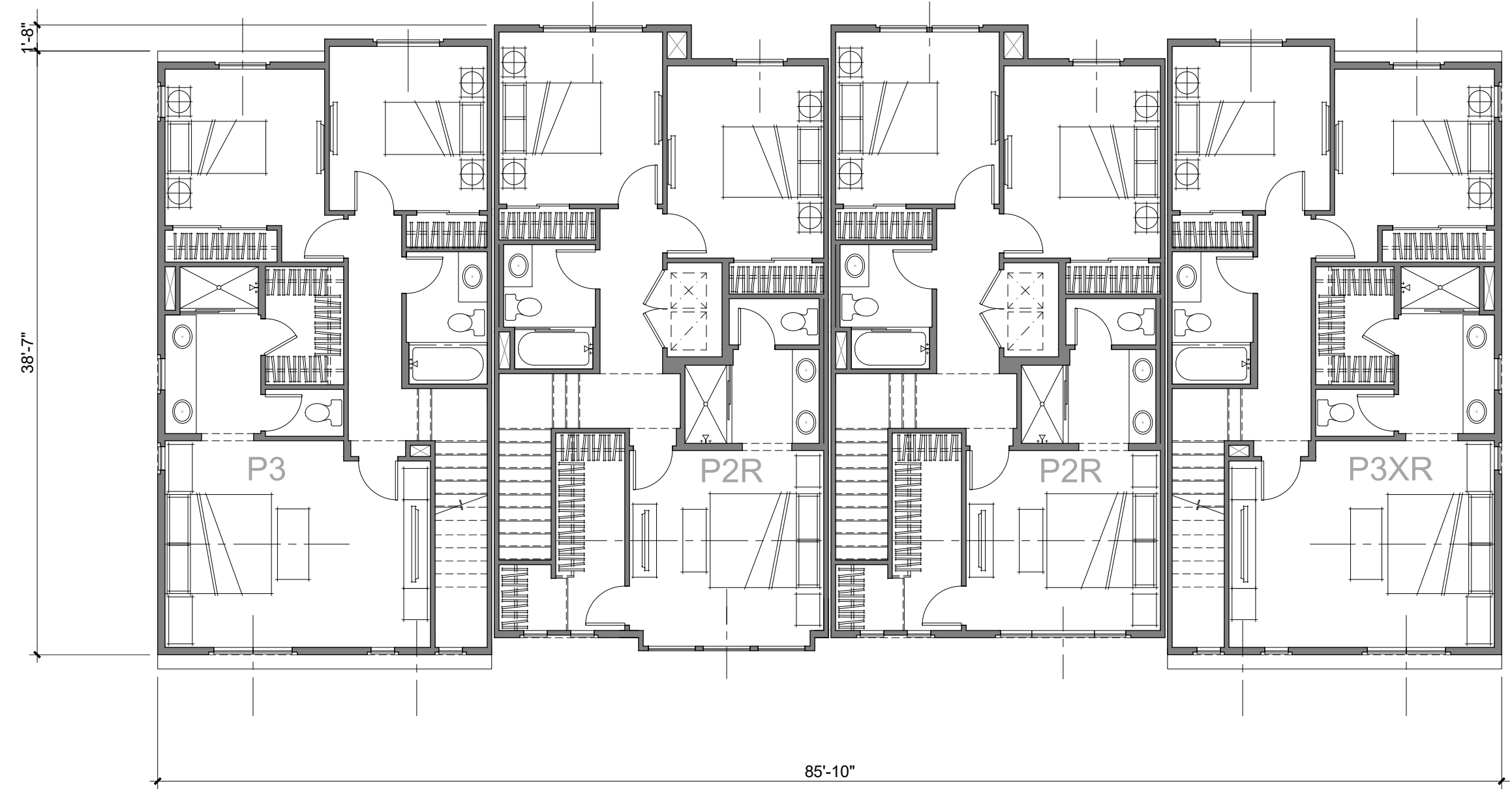
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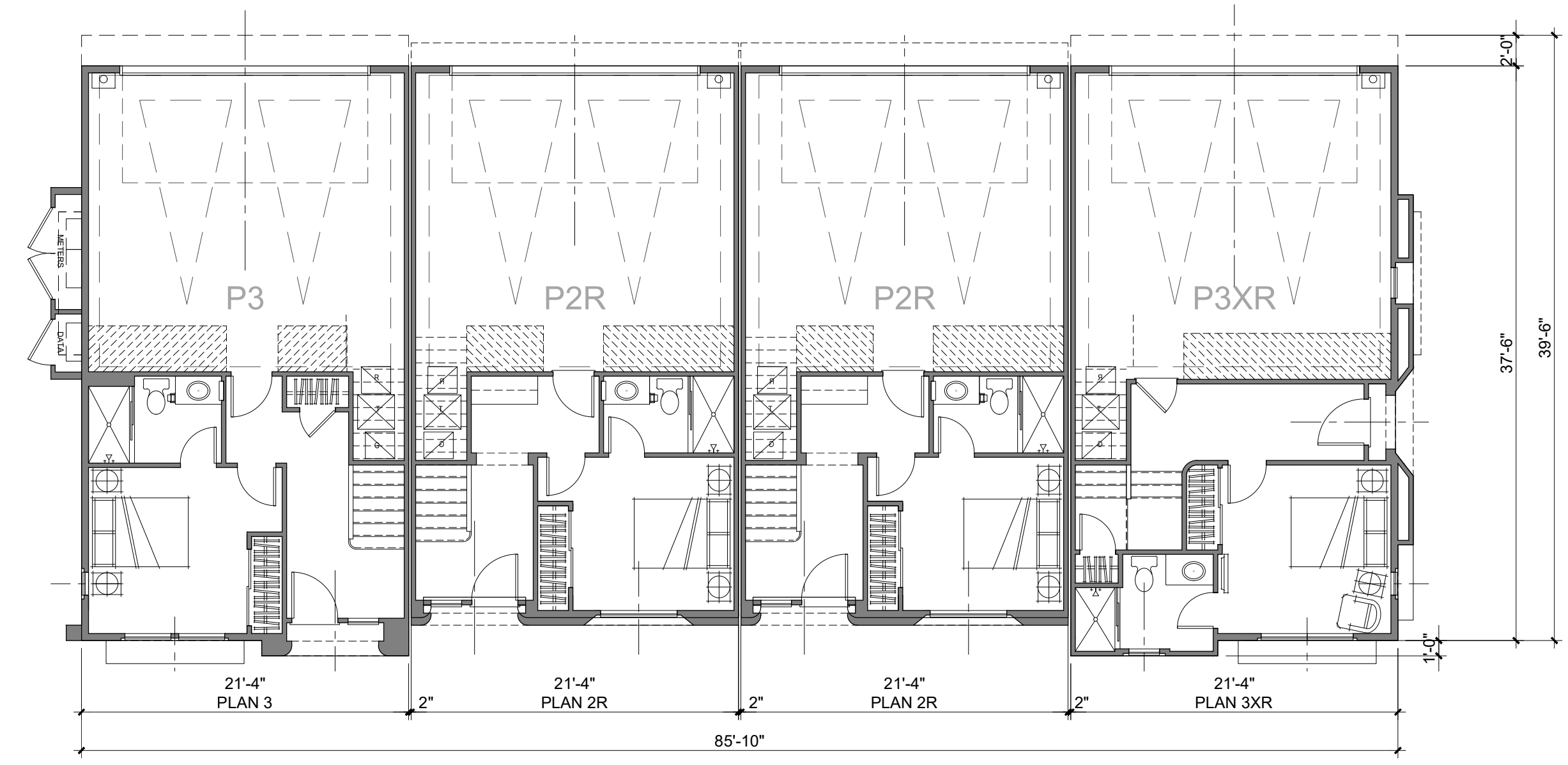
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



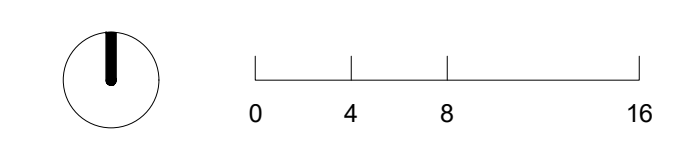
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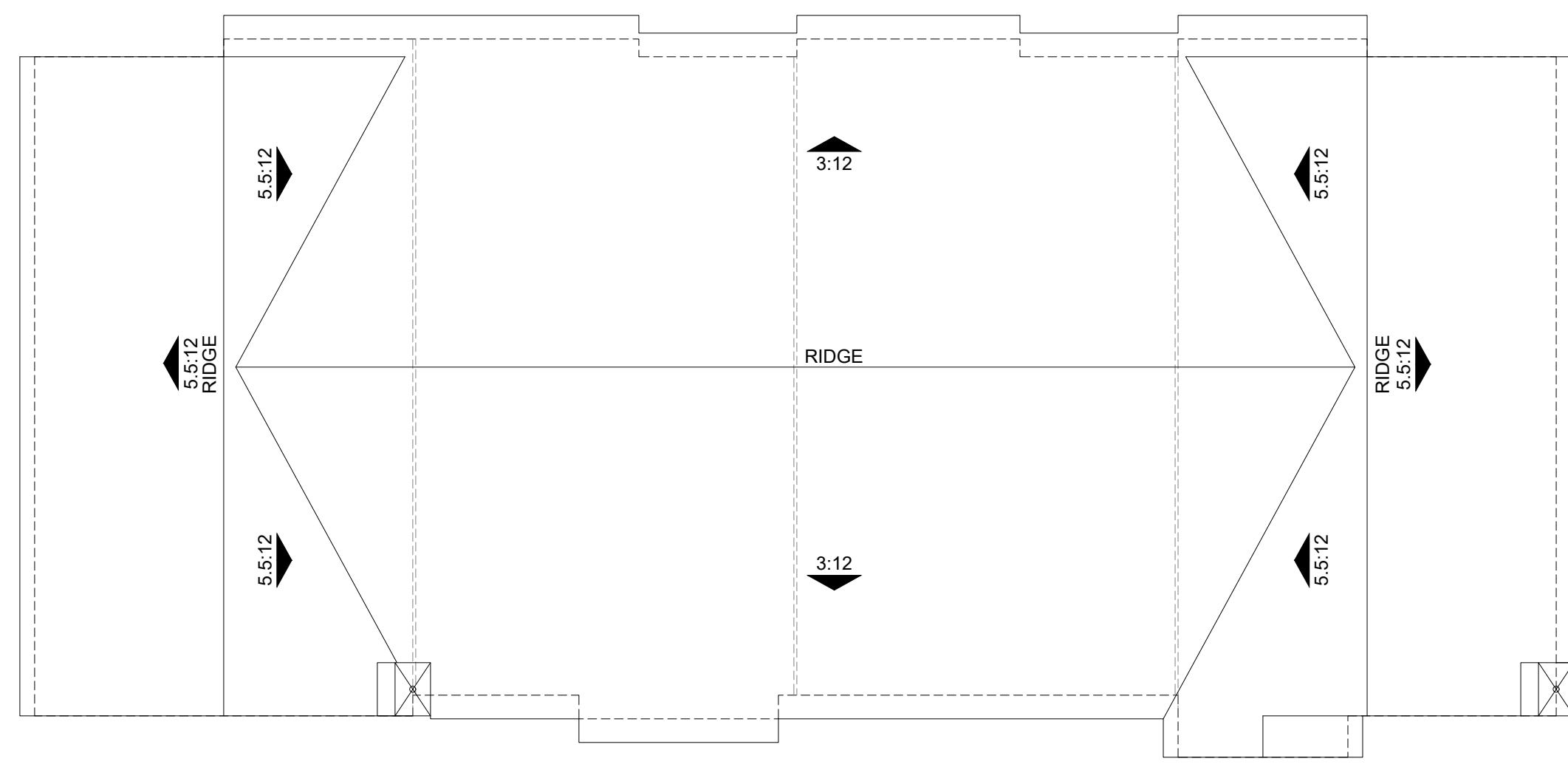
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Plot Date: 10.04.2022
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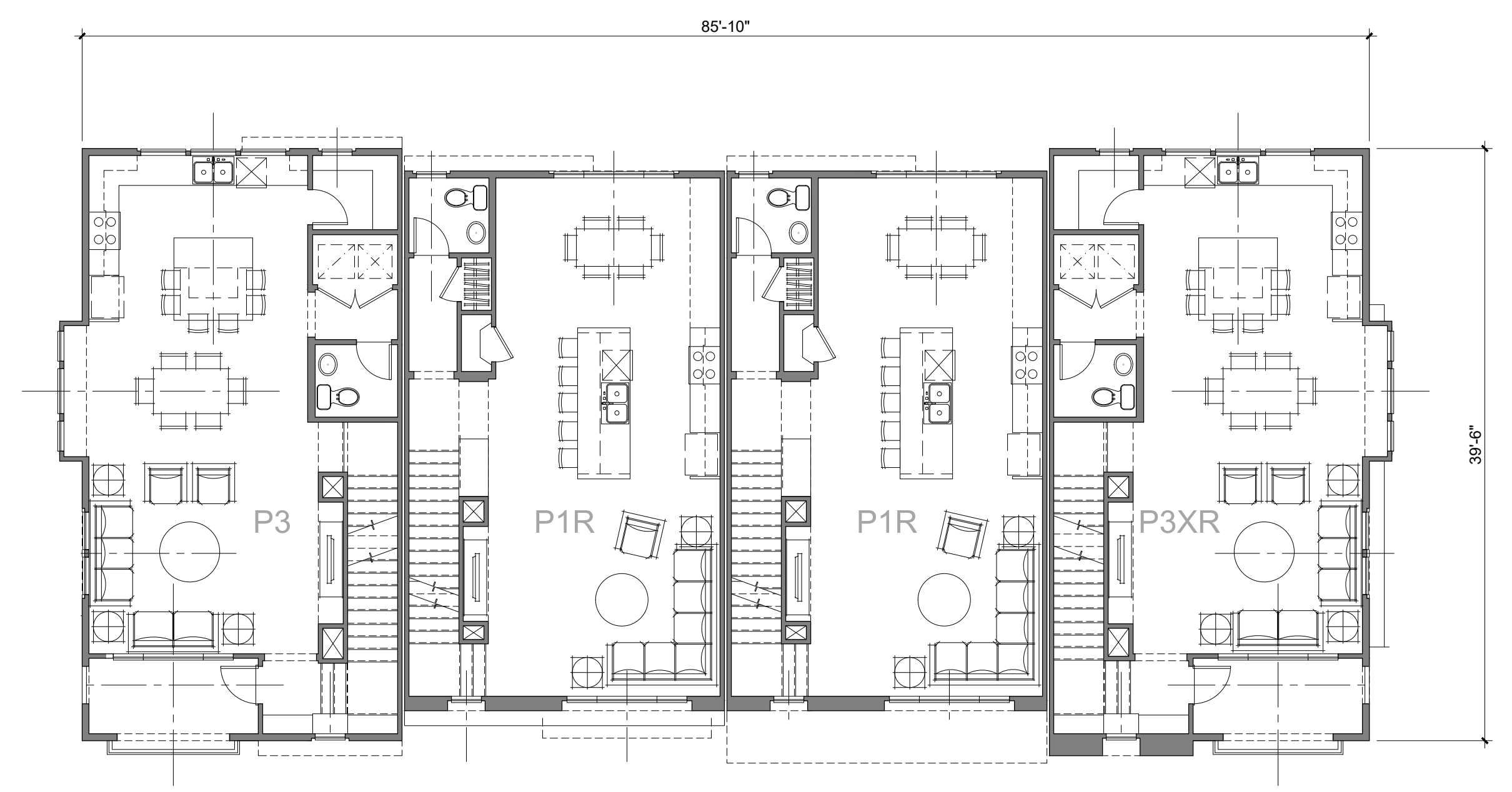


BT-200 (4-PLEX)
BUILDING & ROOF PLANS

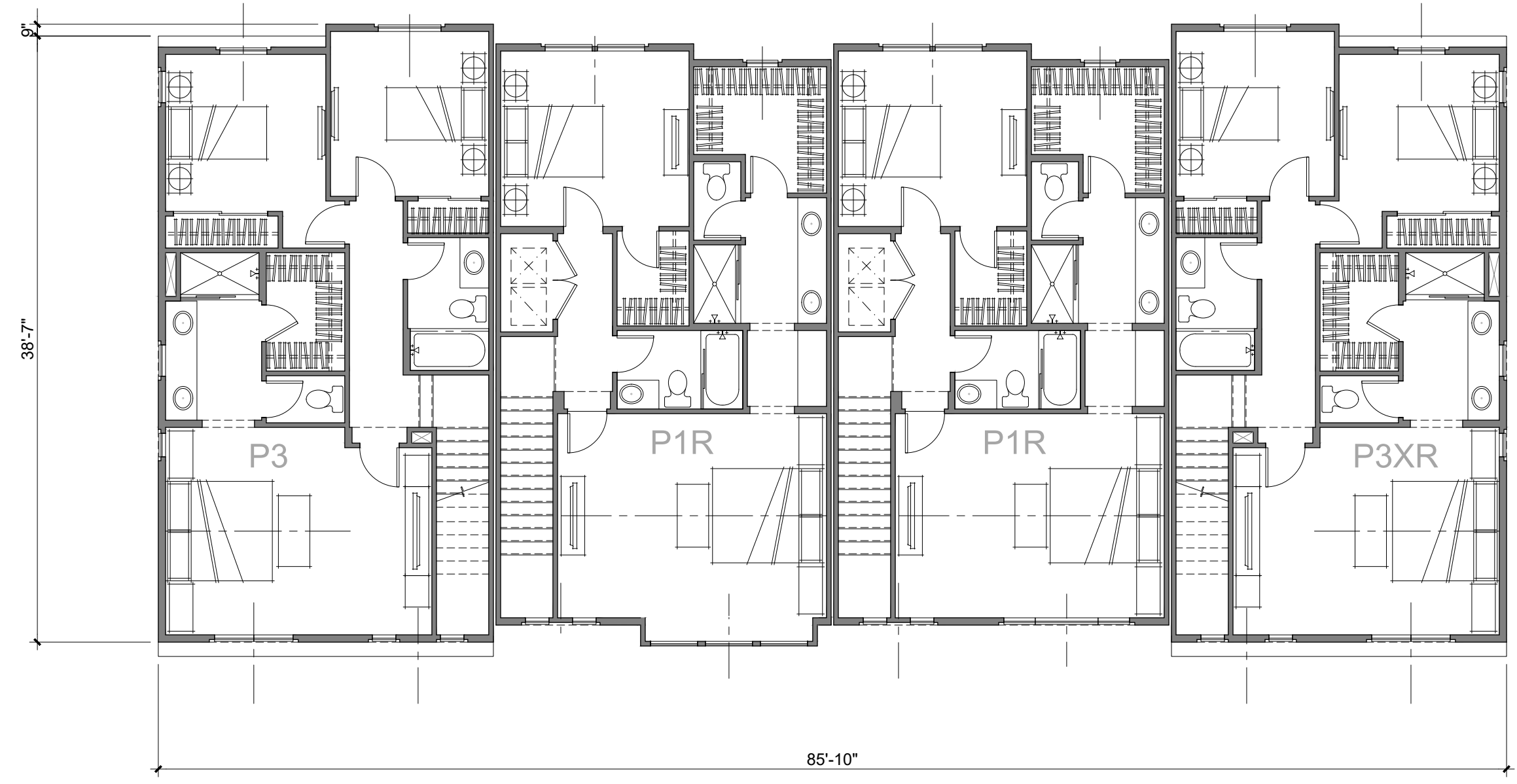
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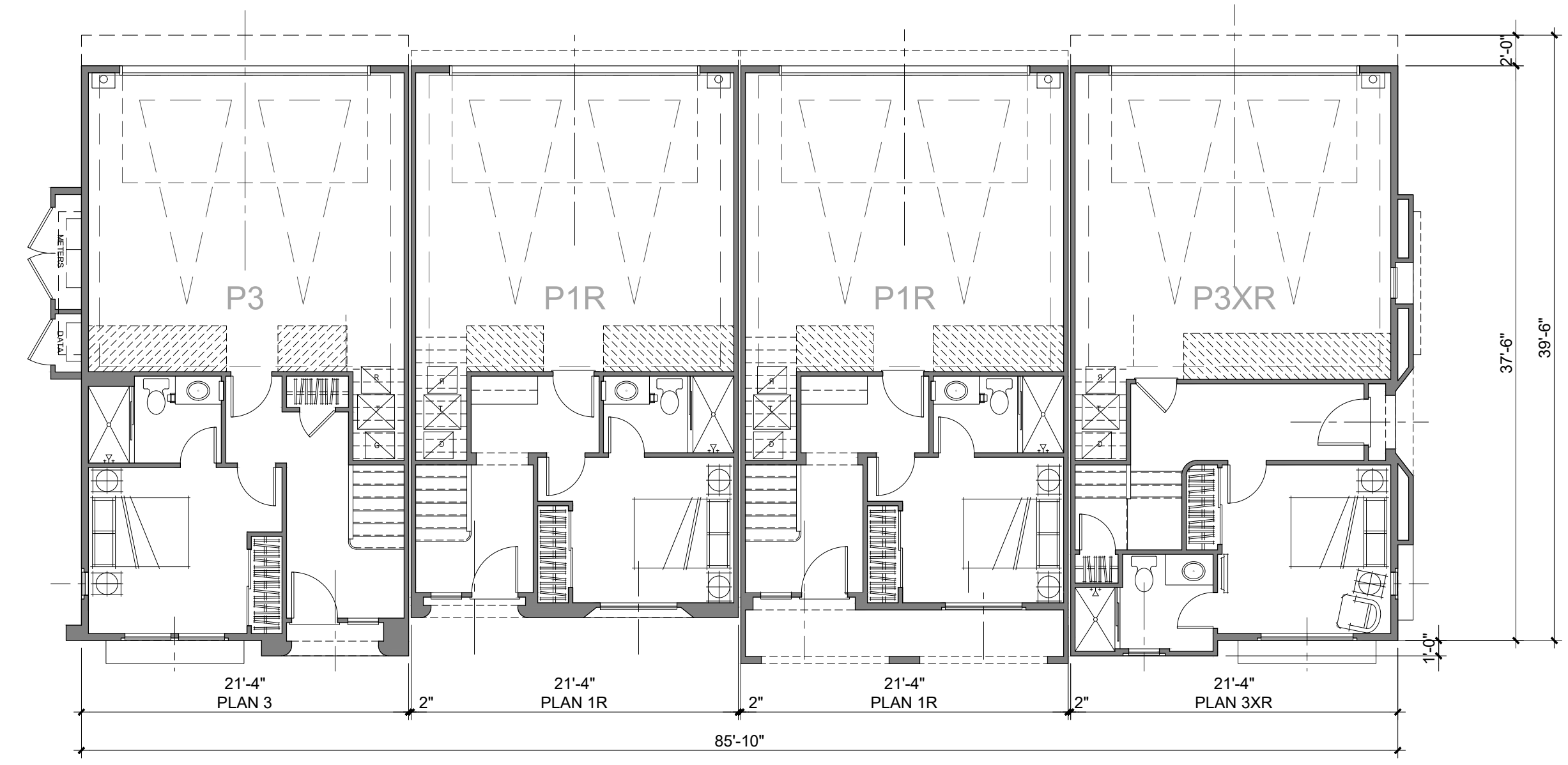
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

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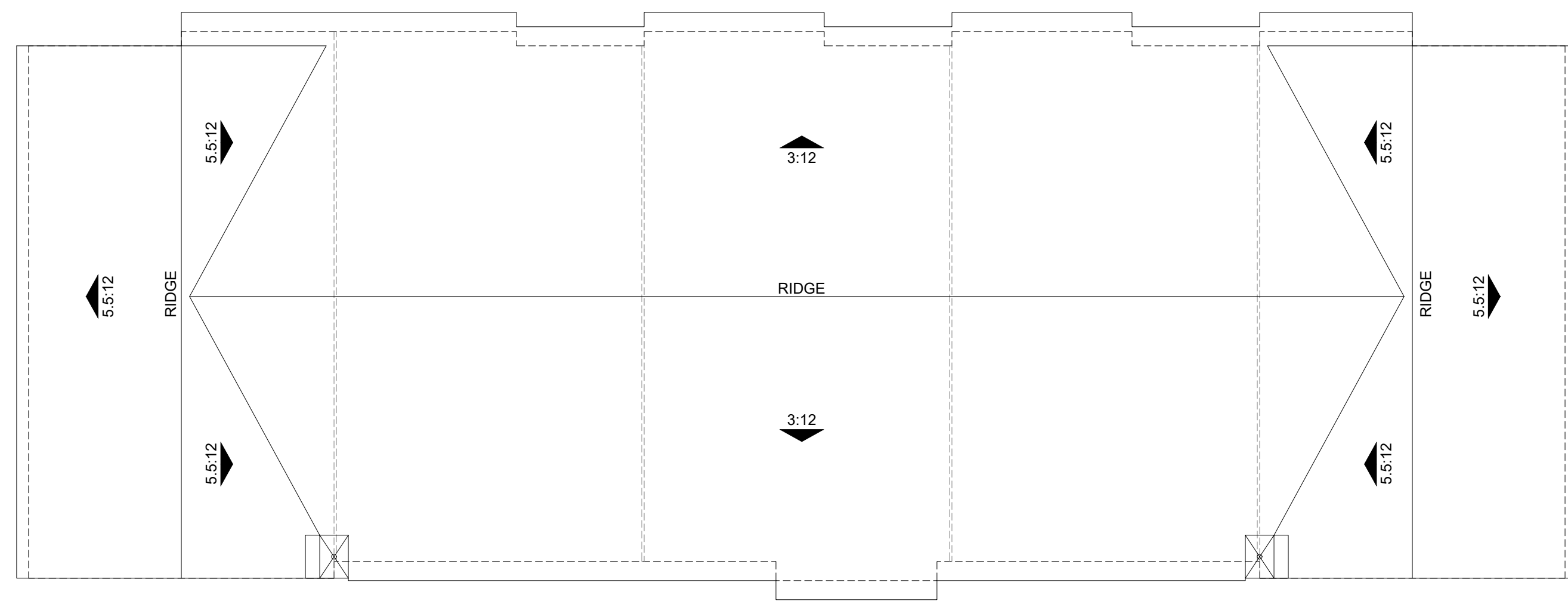
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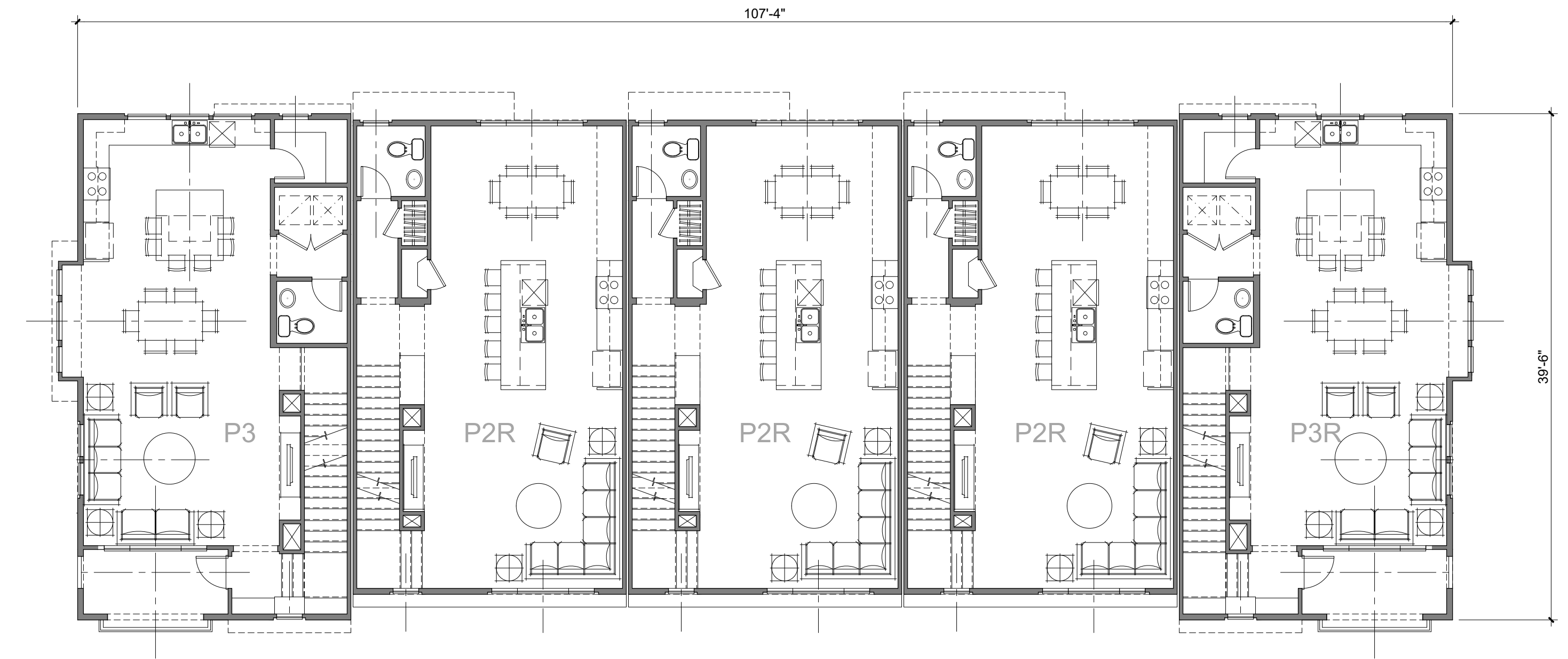


BT-201 (4-PLEX)
 BUILDING & ROOF PLANS

A3.3



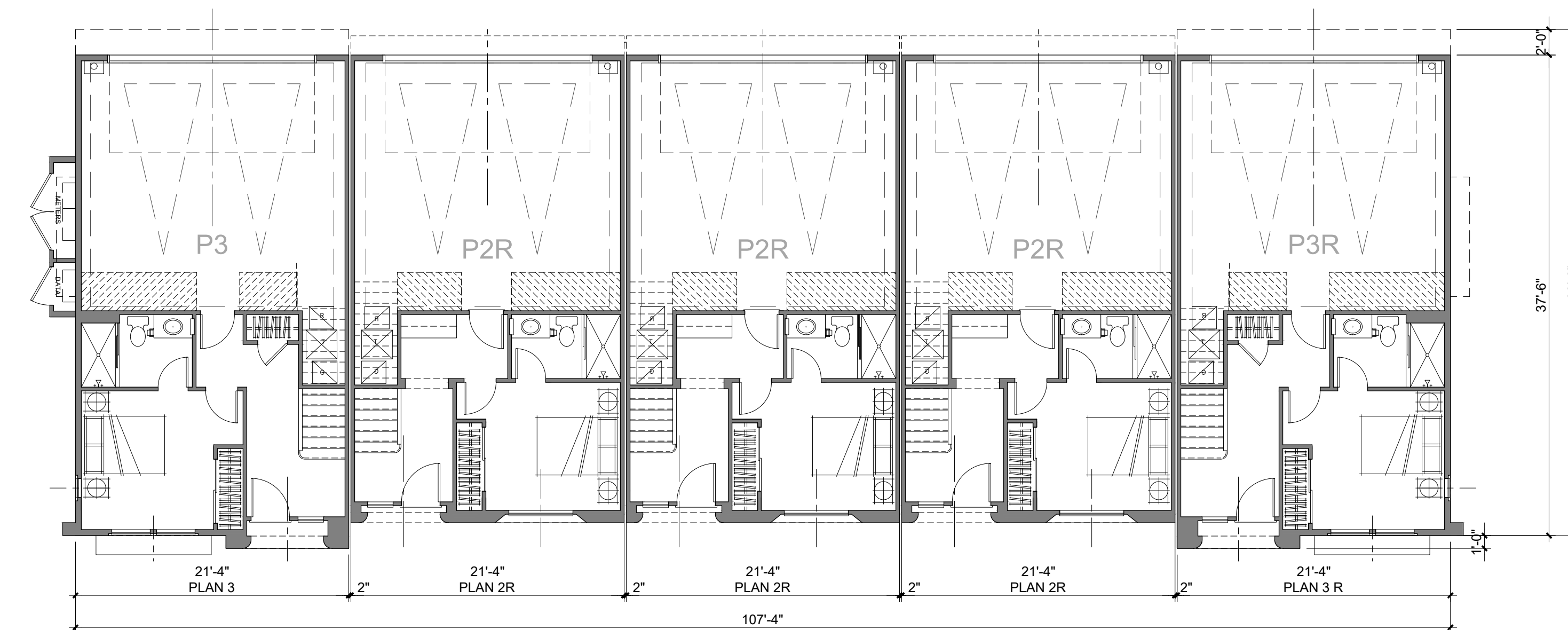
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



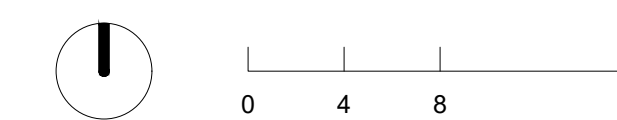
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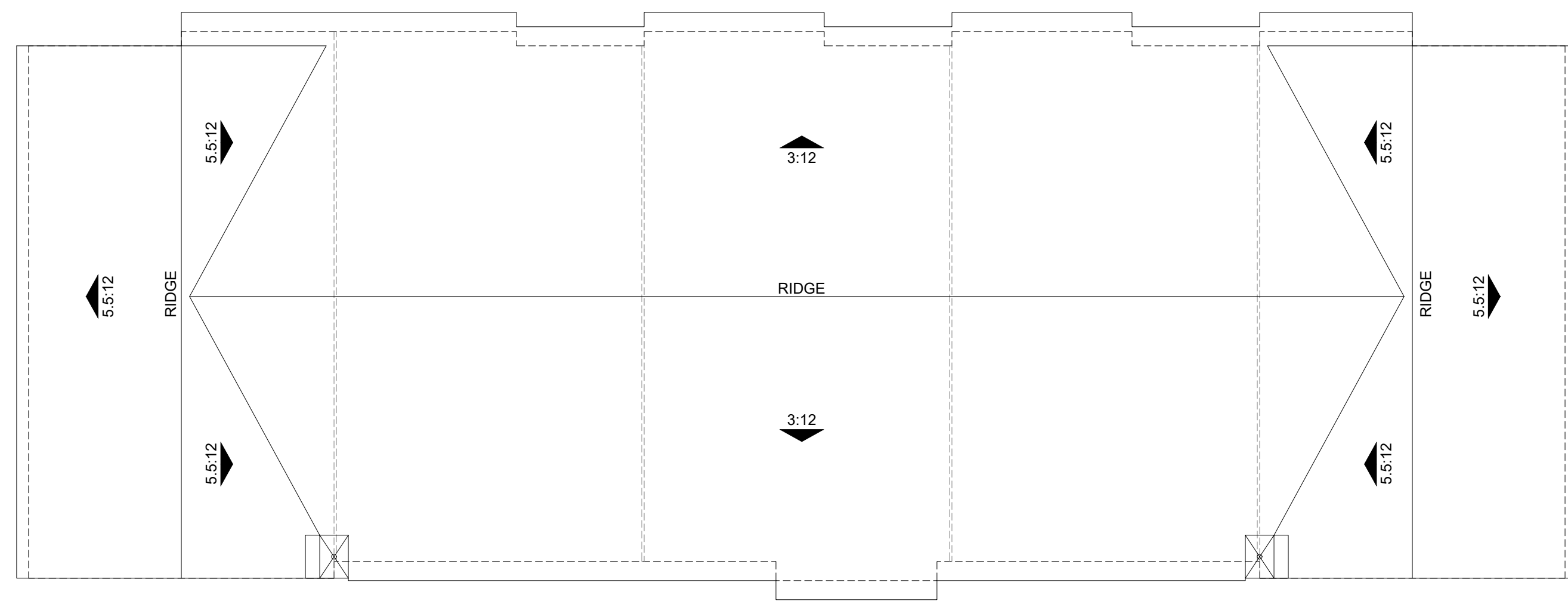
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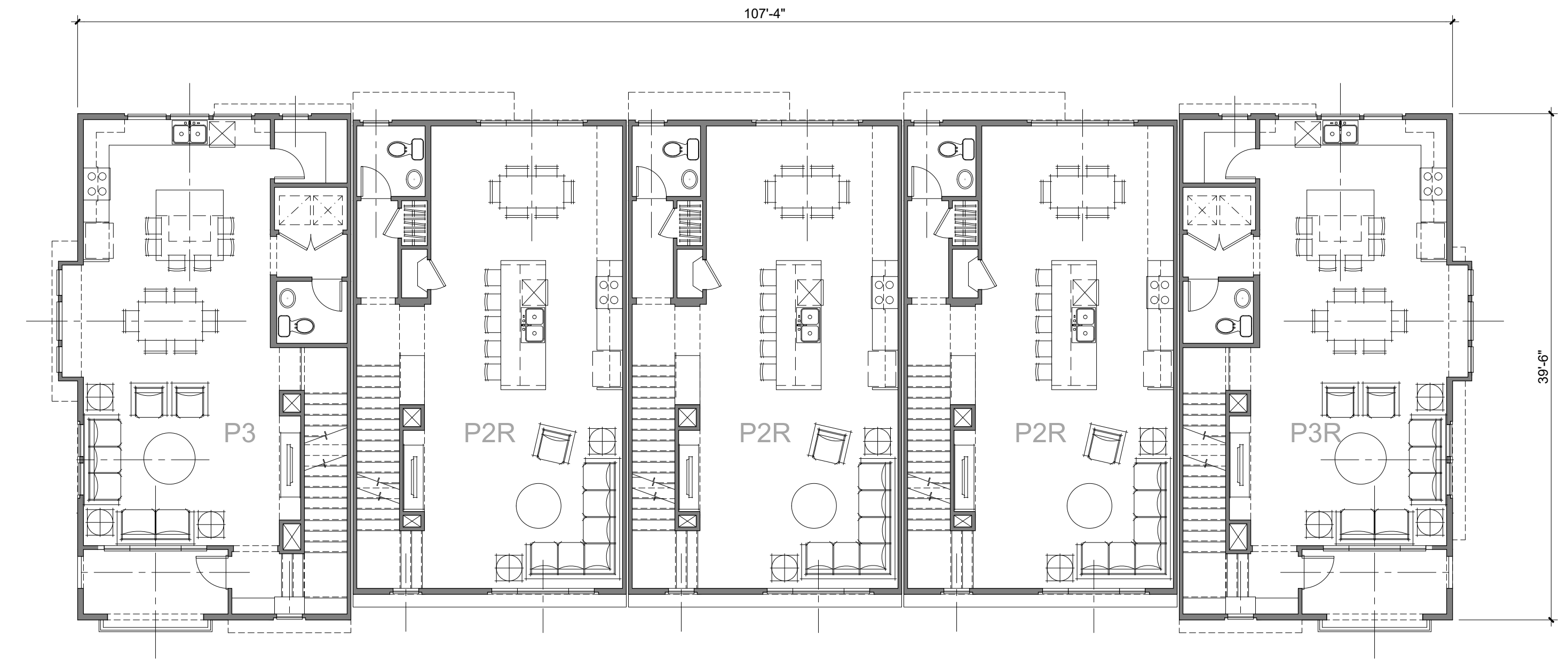


BT-500 (5-PLEX)
BUILDING & ROOF PLANS

A6.3



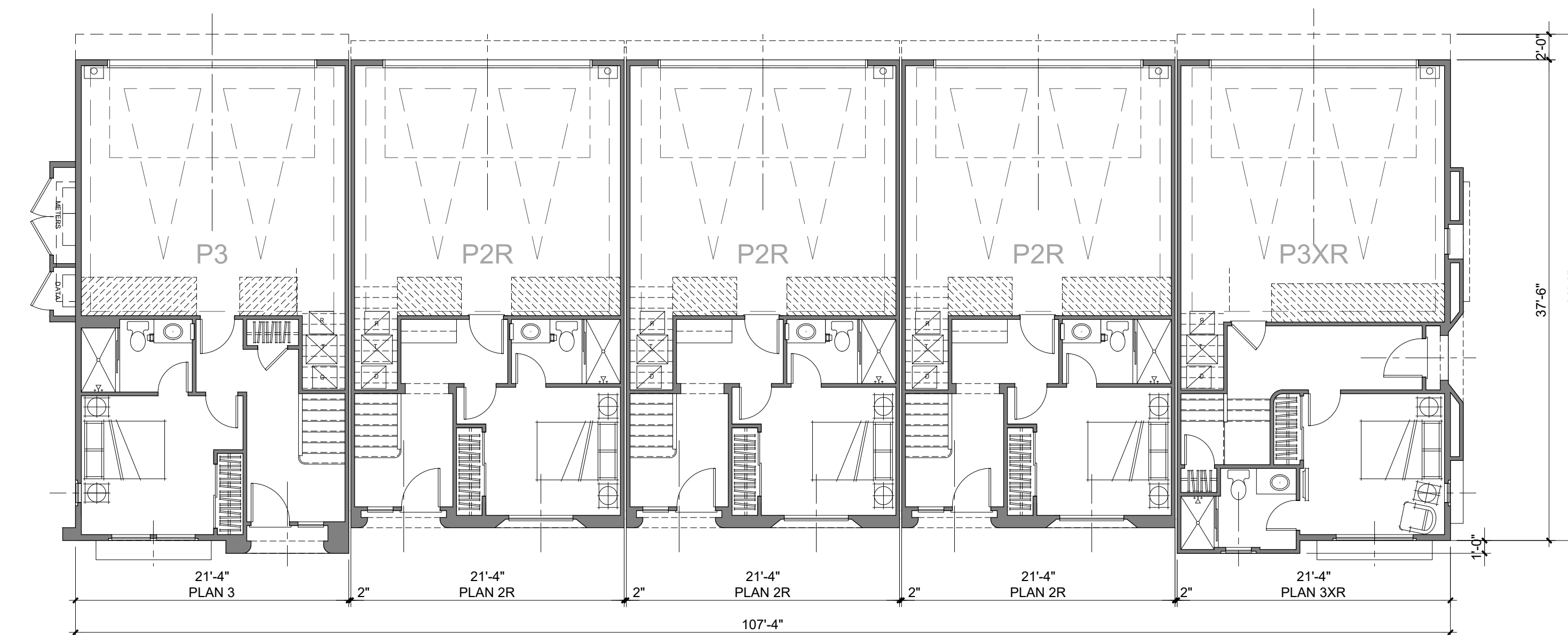
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



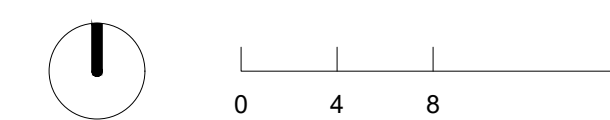
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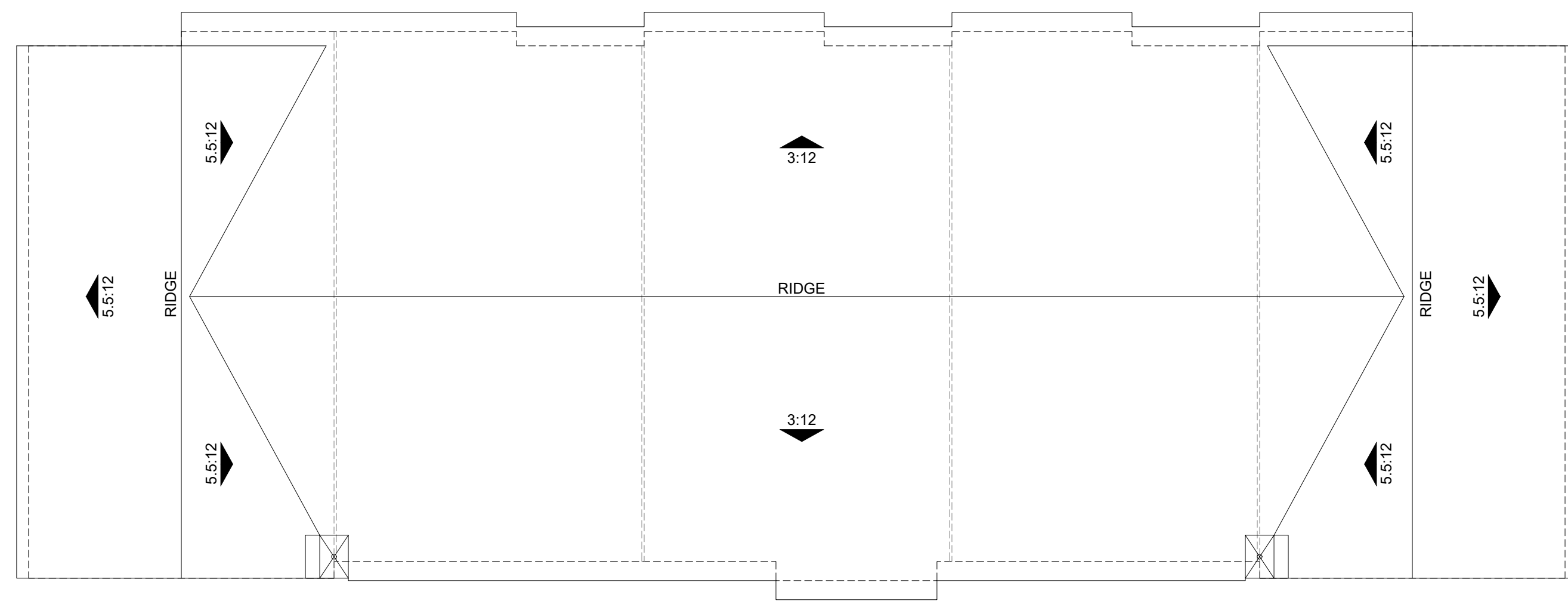
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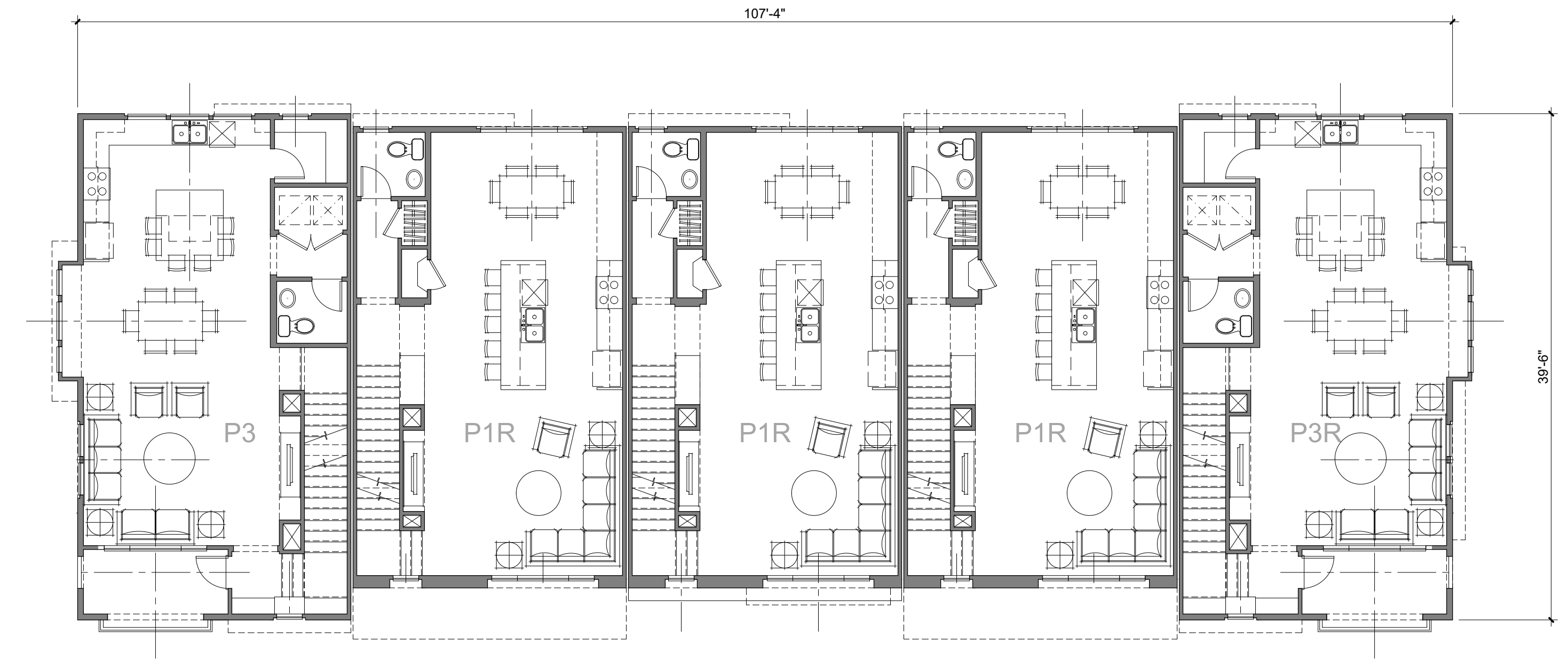


BT-501 (5-PLEX)
BUILDING & ROOF PLANS

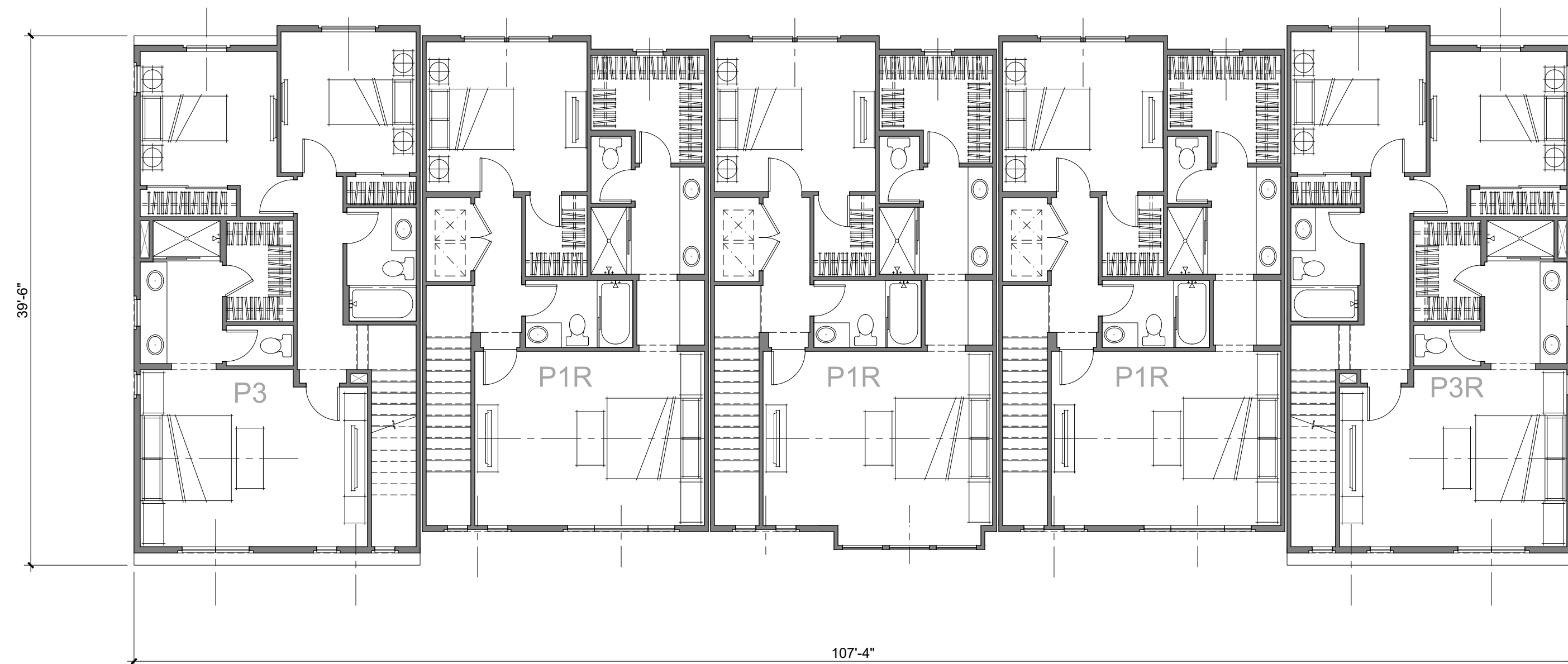
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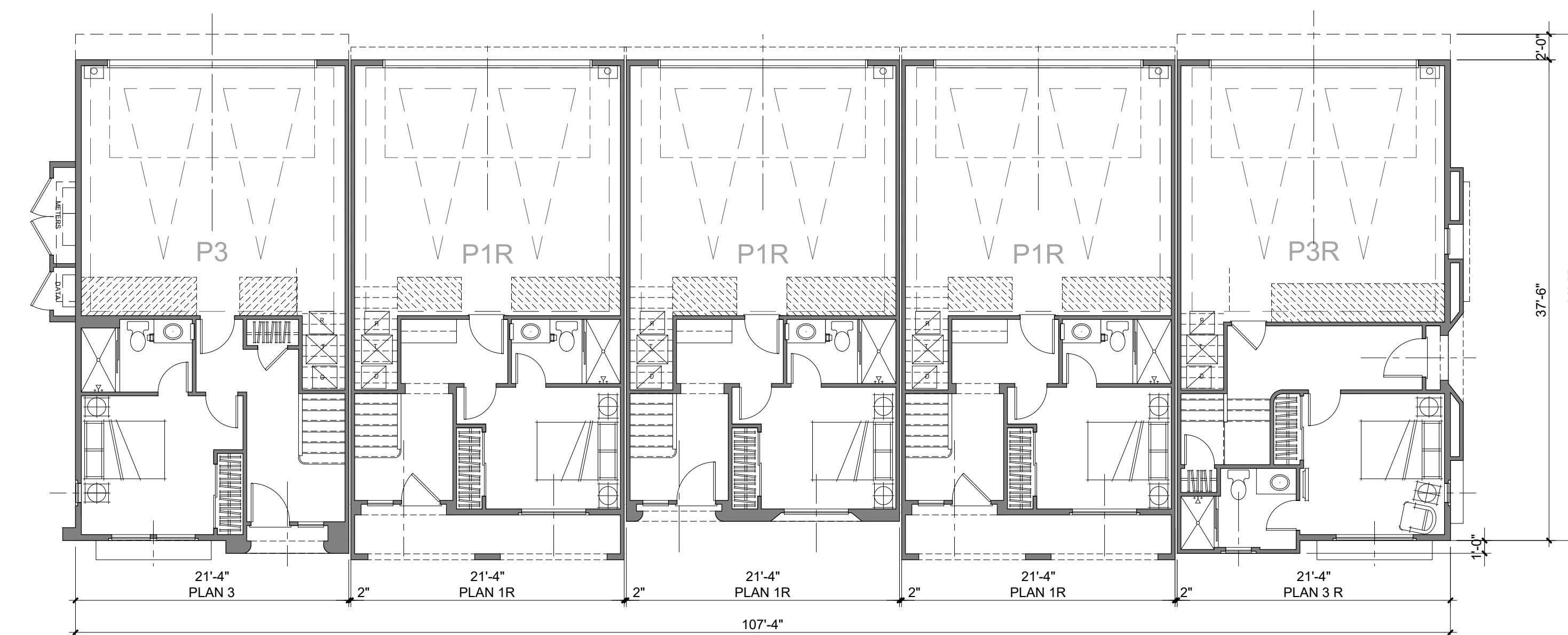
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



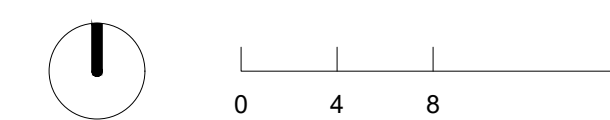
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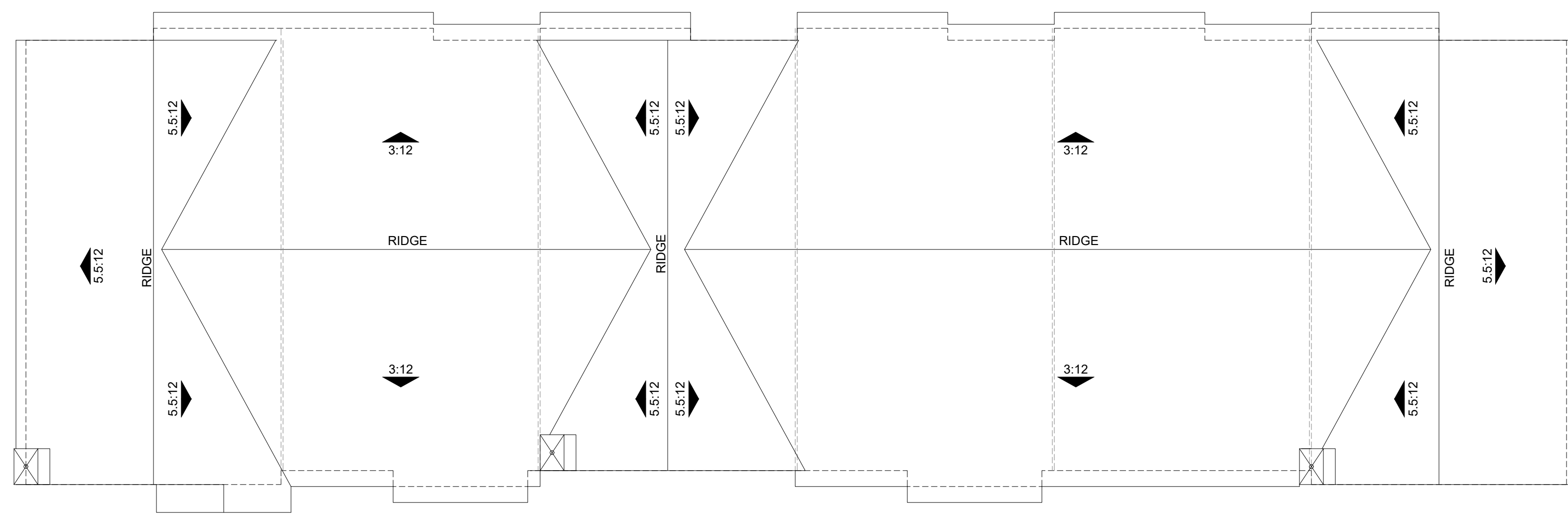
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Re-Submittal: 2022-10-04

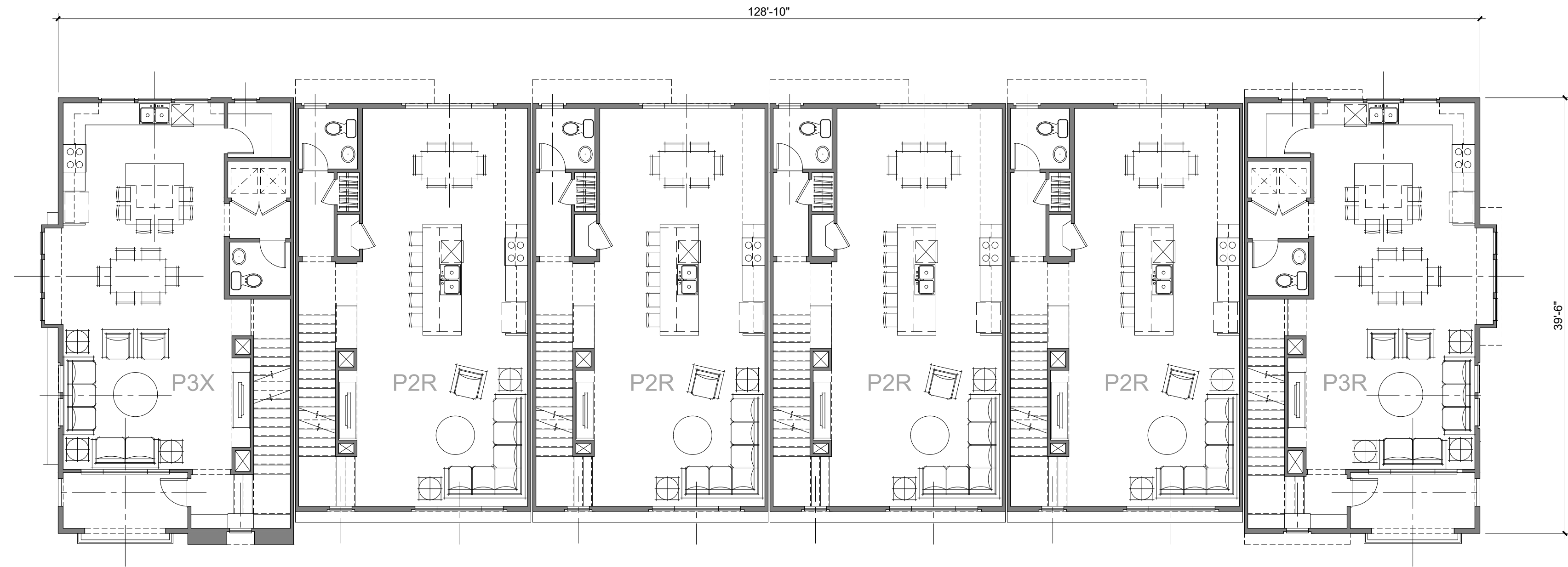


BT-502 (5-PLEX)
BUILDING & ROOF PLANS

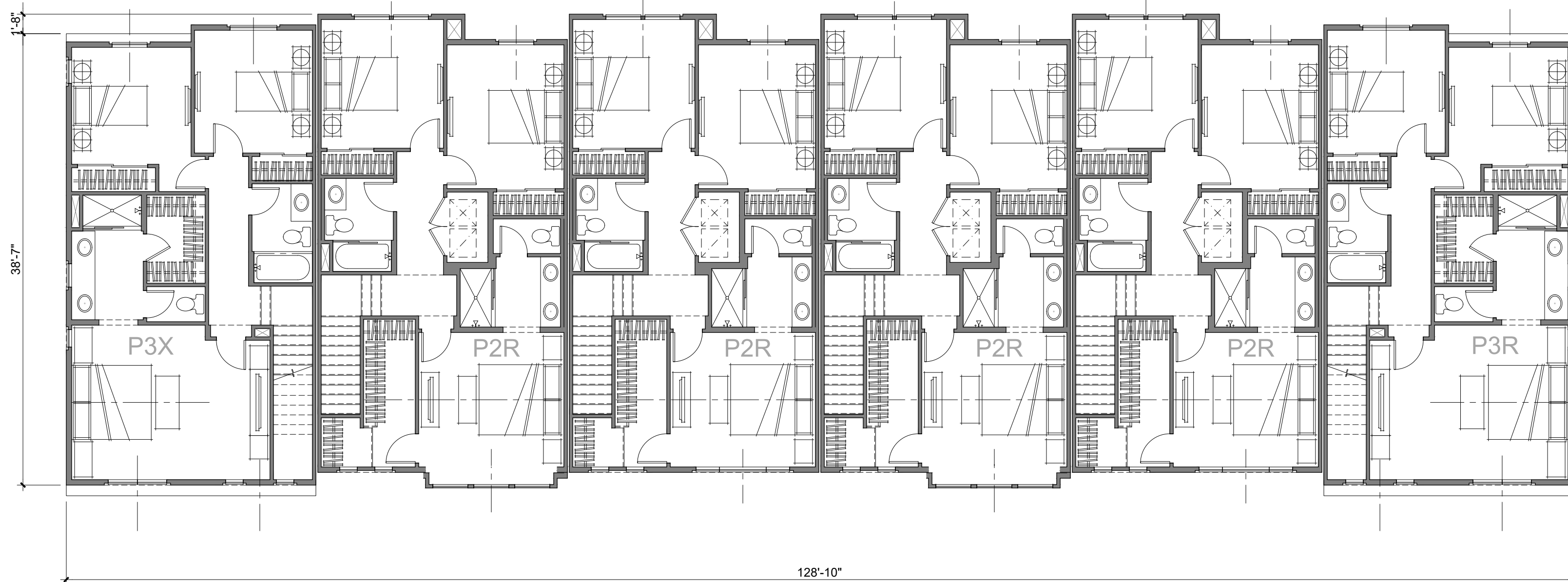
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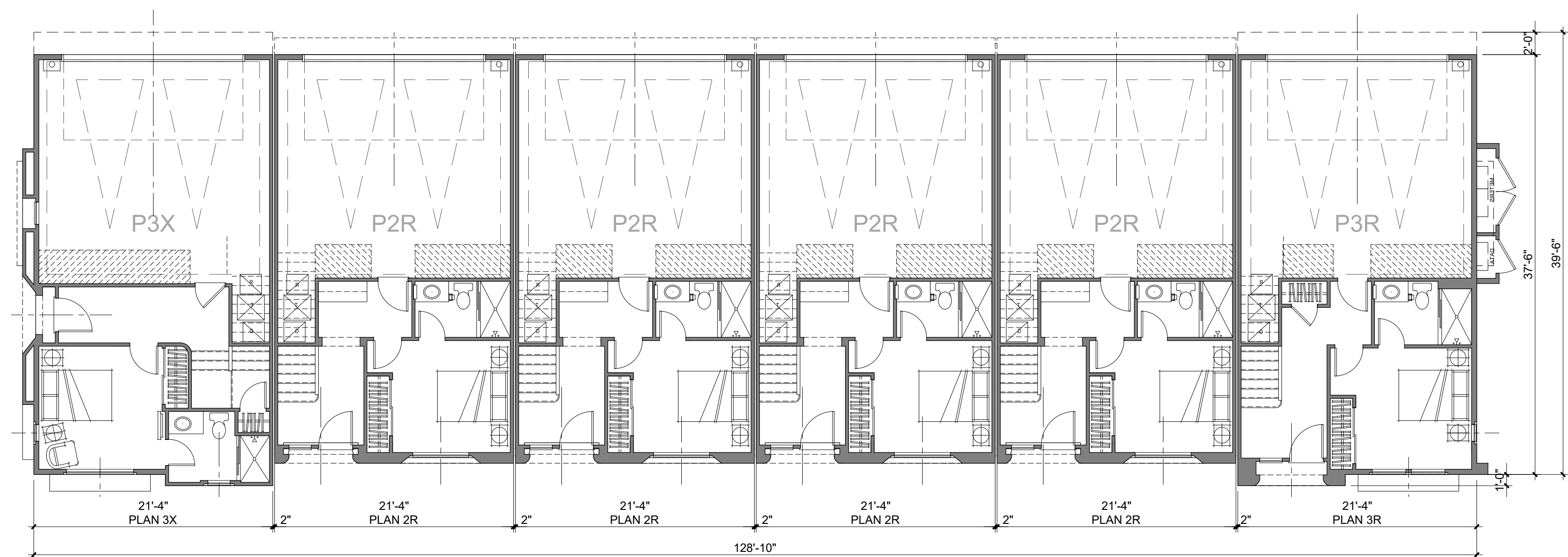
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



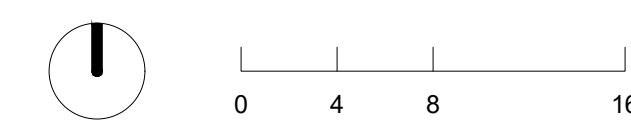
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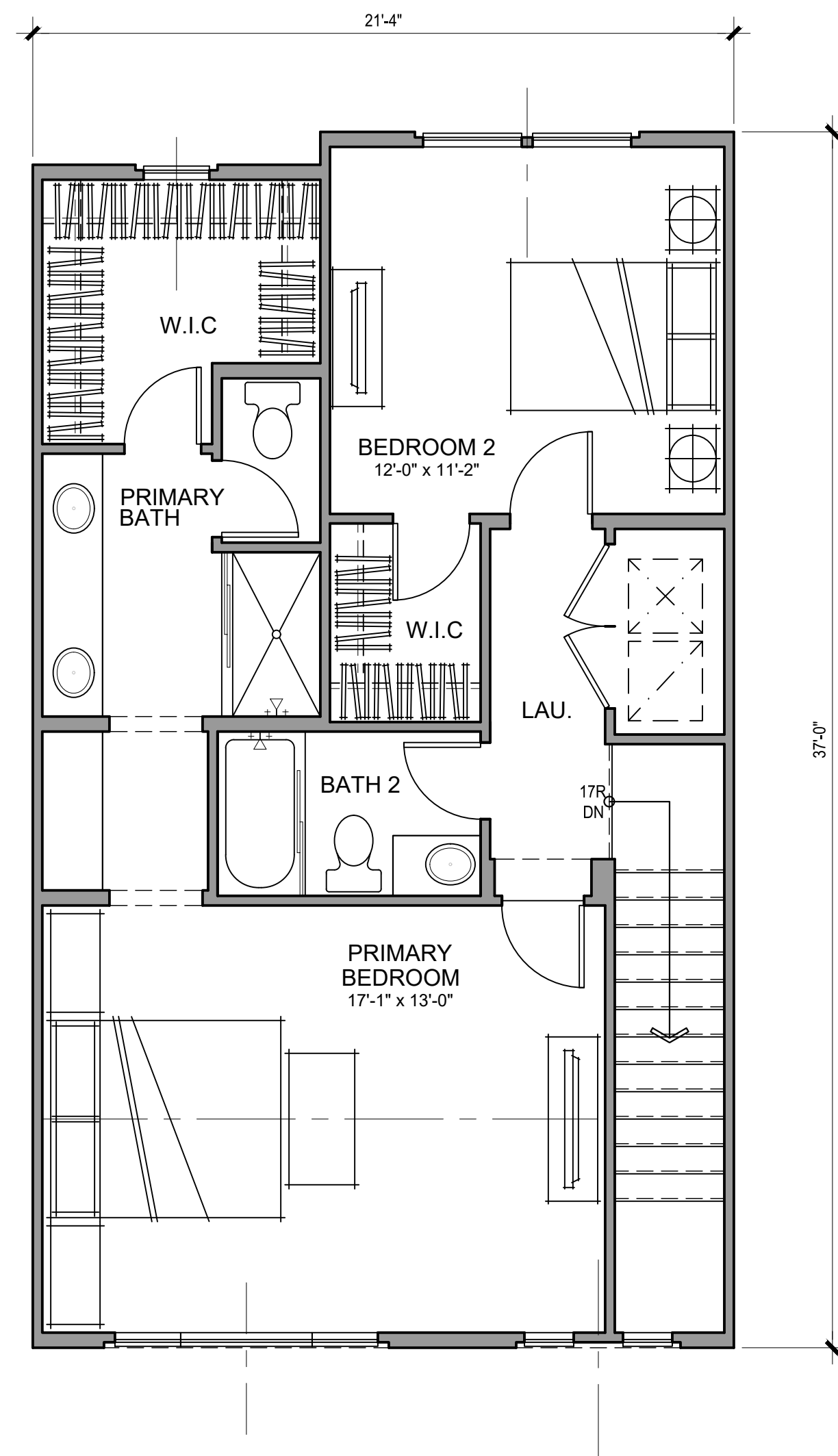
THE PICKWICK
RIVERSIDE & MAIN
BURBANK, CA # 2021-0094

Plot Date: 10.04.2022
1st (Full) Planning Submittal: 2022-02-01
Re-Submittal: 2022-10-04

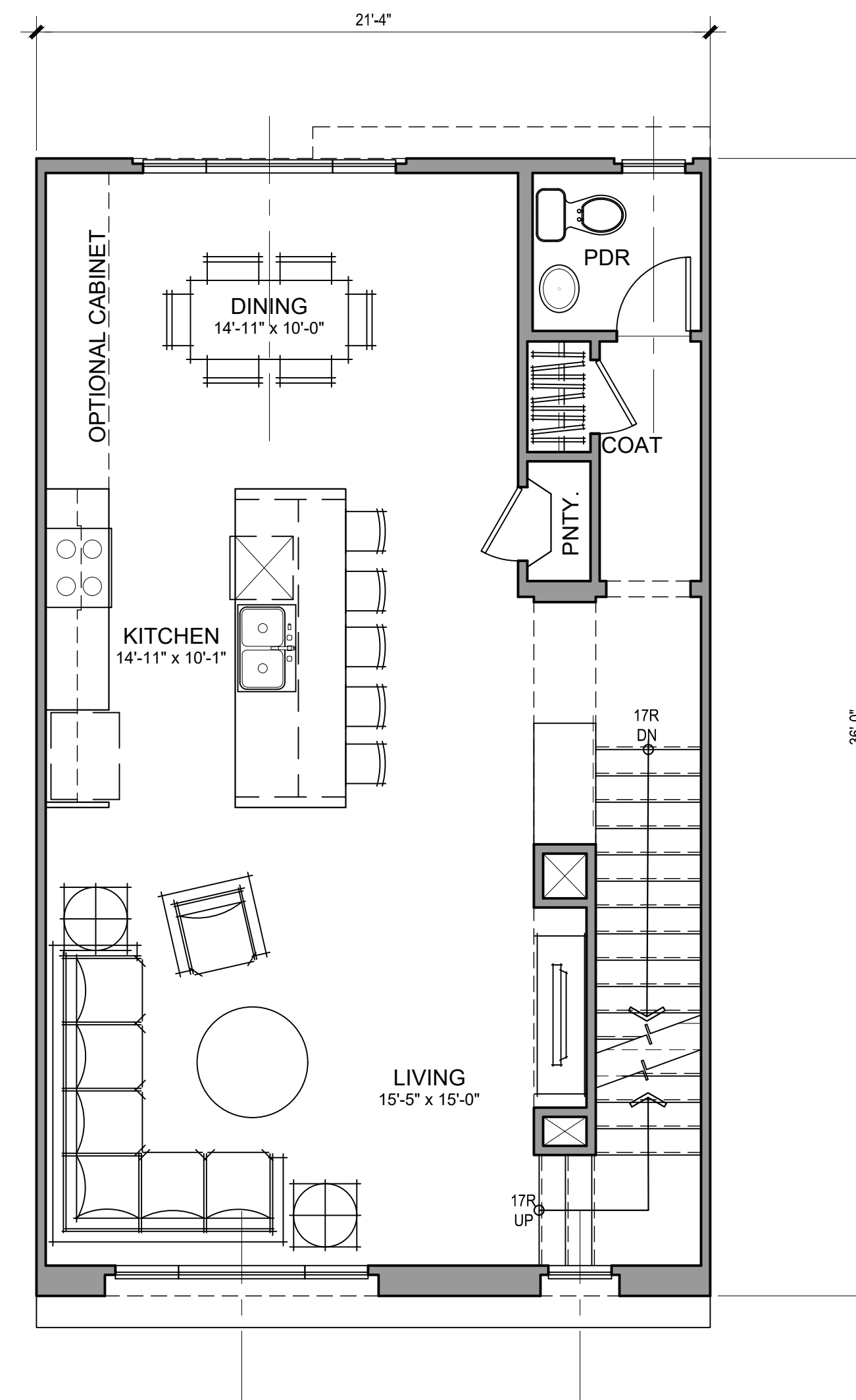


BT-600 (6-PLEX)
BUILDING & ROOF PLANS

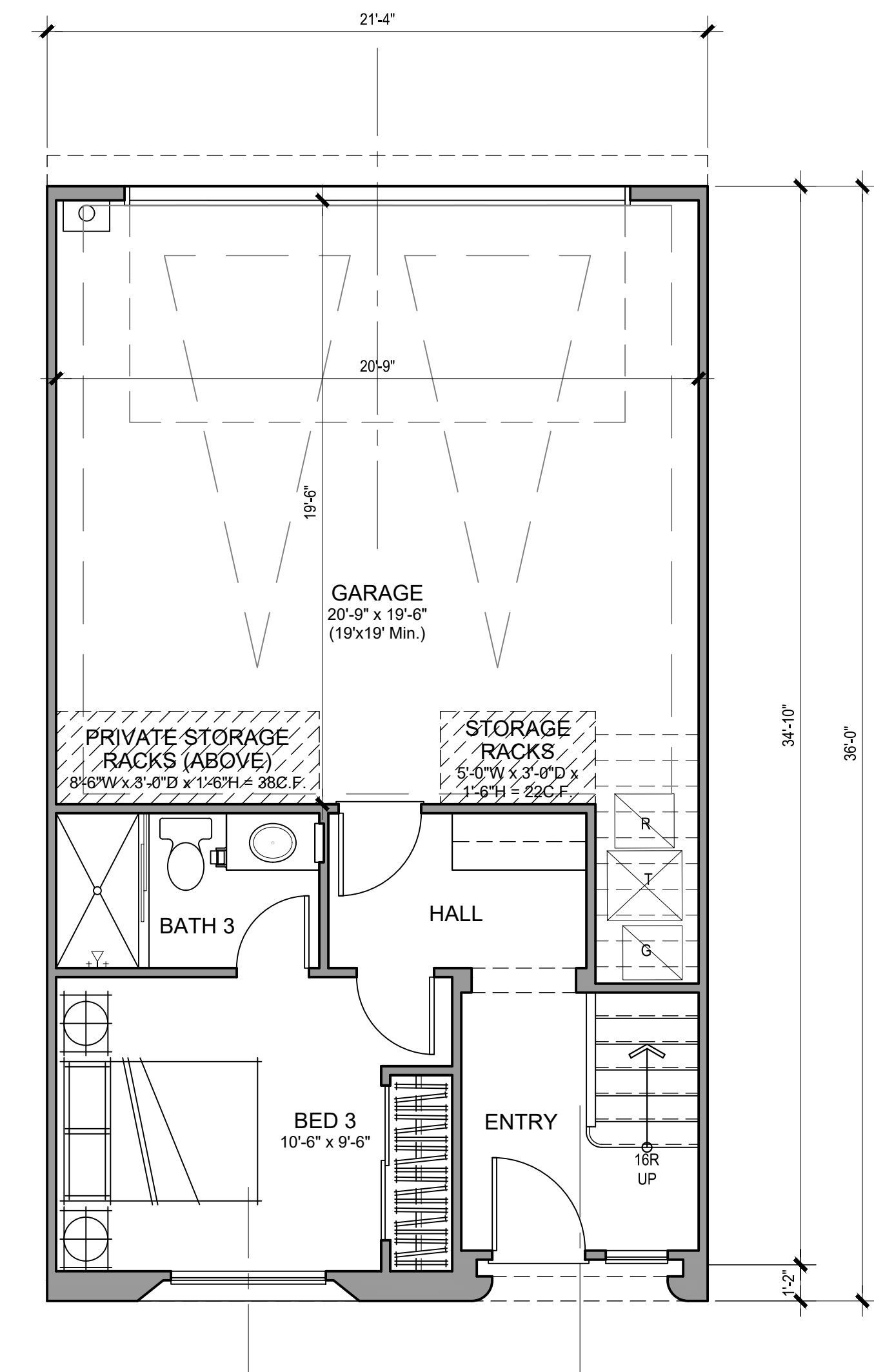
A7.1



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P1 - GROSS SF	
1ST FLOOR	334 SQ. FT.
2ND FLOOR	768 SQ. FT.
3RD FLOOR	714 SQ. FT.
TOTAL LIVING	1816 SQ. FT.
GARAGE	447 SQ. FT.



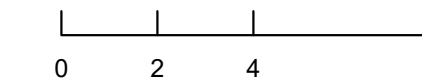
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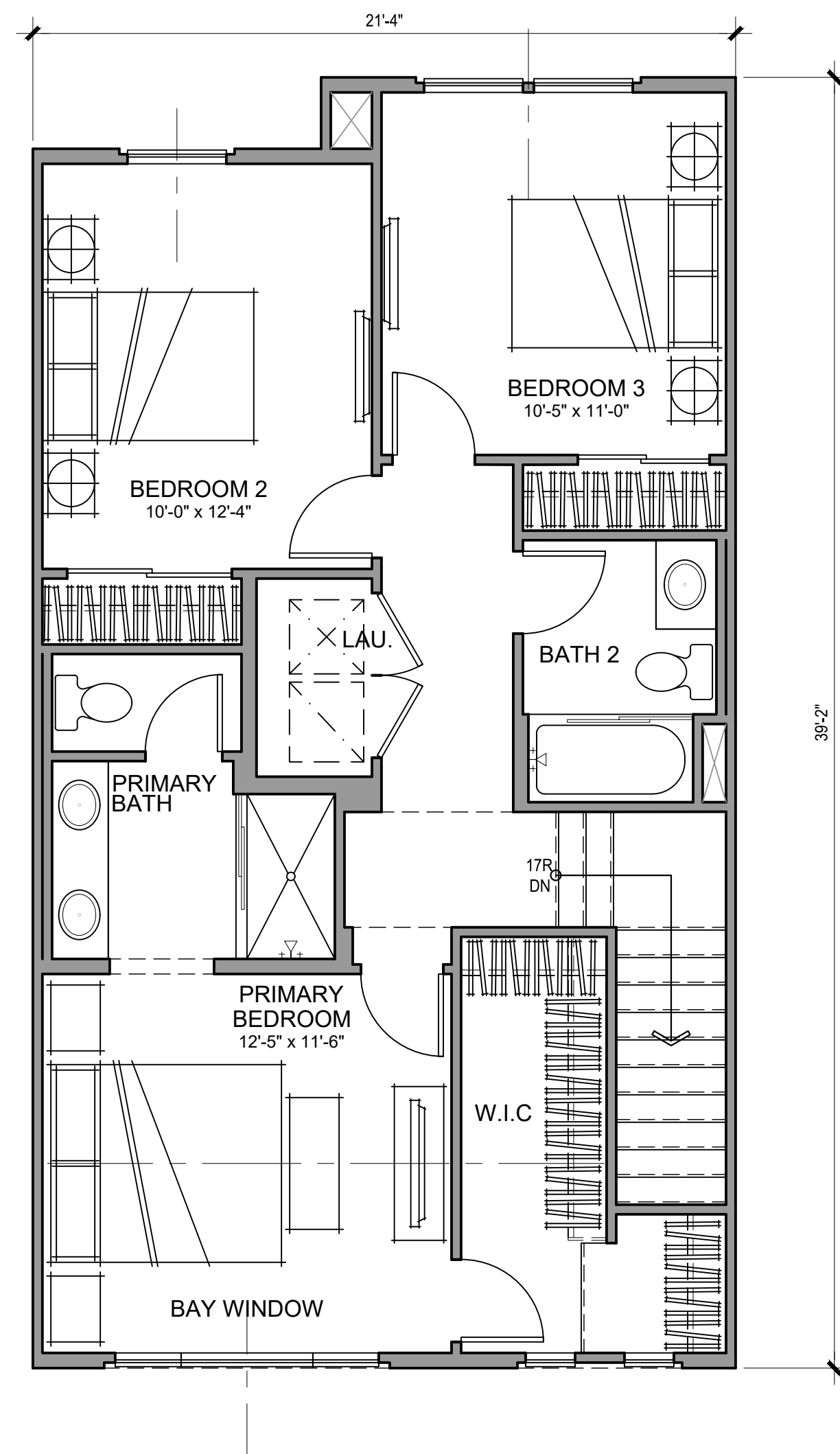
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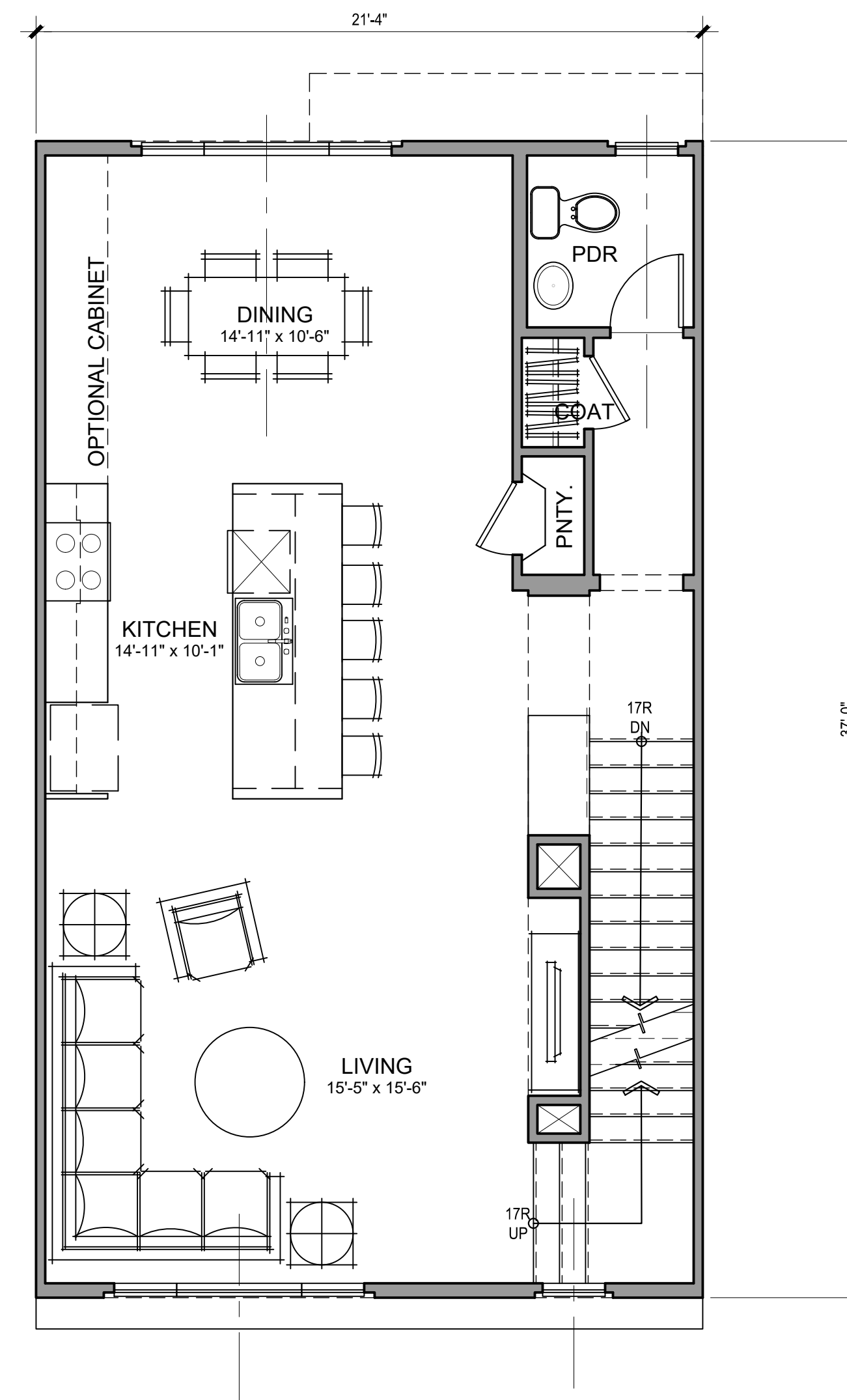


PLAN 1 FLOOR PLANS

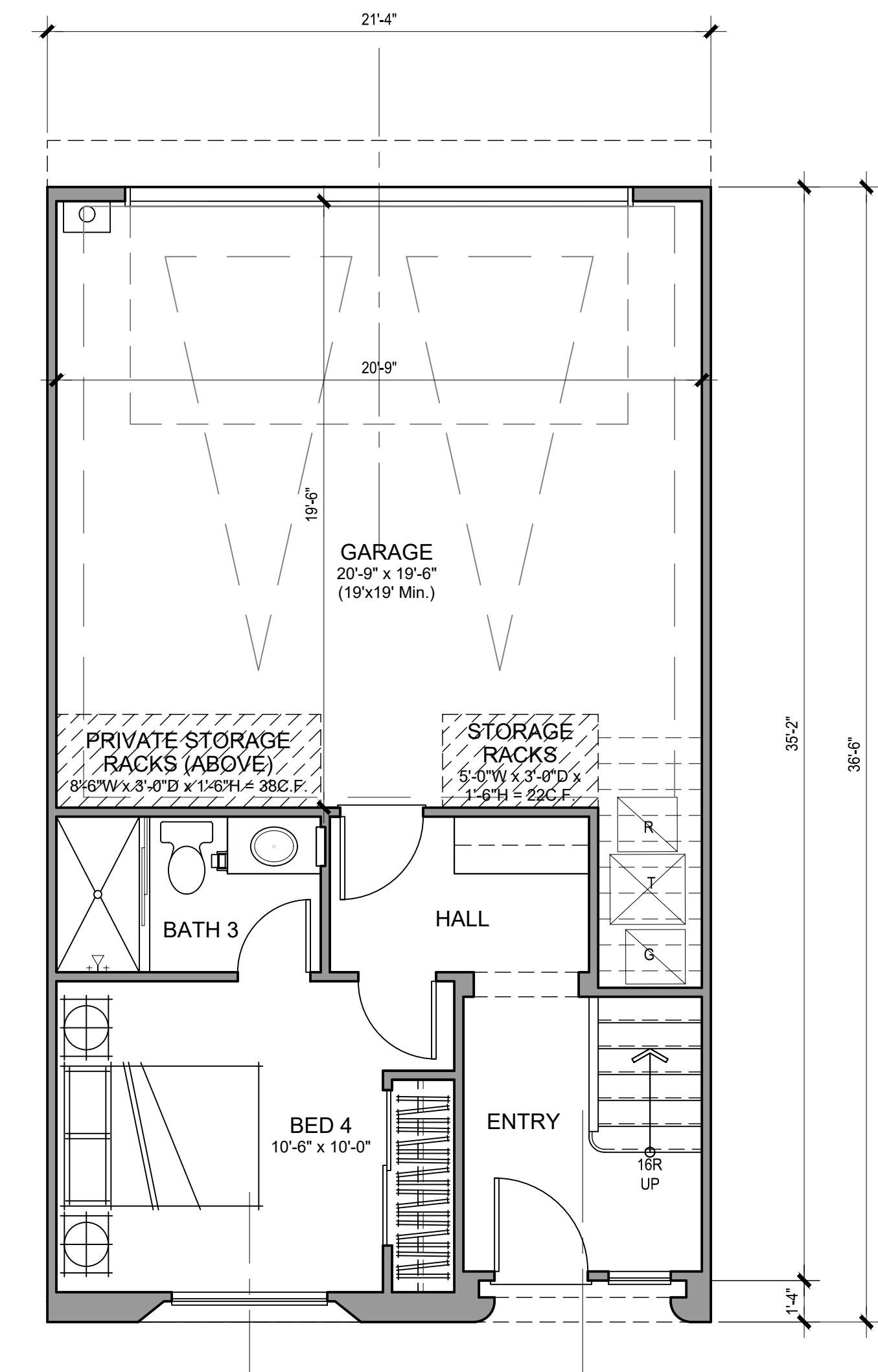
A8.0



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P2 - GROSS SF	
1ST FLOOR	345 SQ. FT.
2ND FLOOR	786 SQ. FT.
3RD FLOOR	749 SQ. FT.
TOTAL LIVING	1880 SQ. FT.
GARAGE	447 SQ. FT.



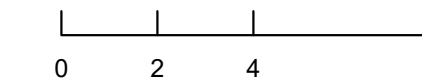
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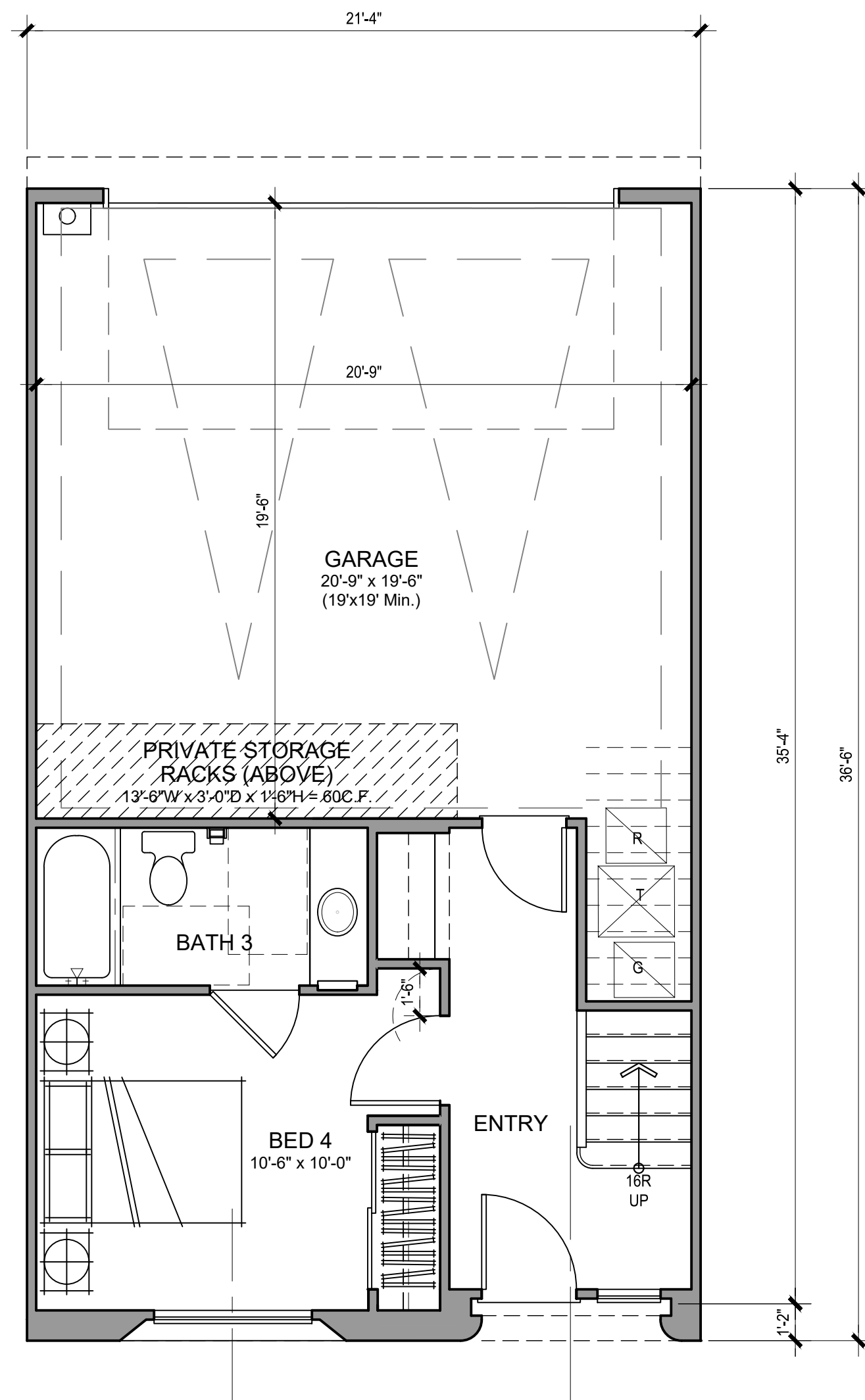
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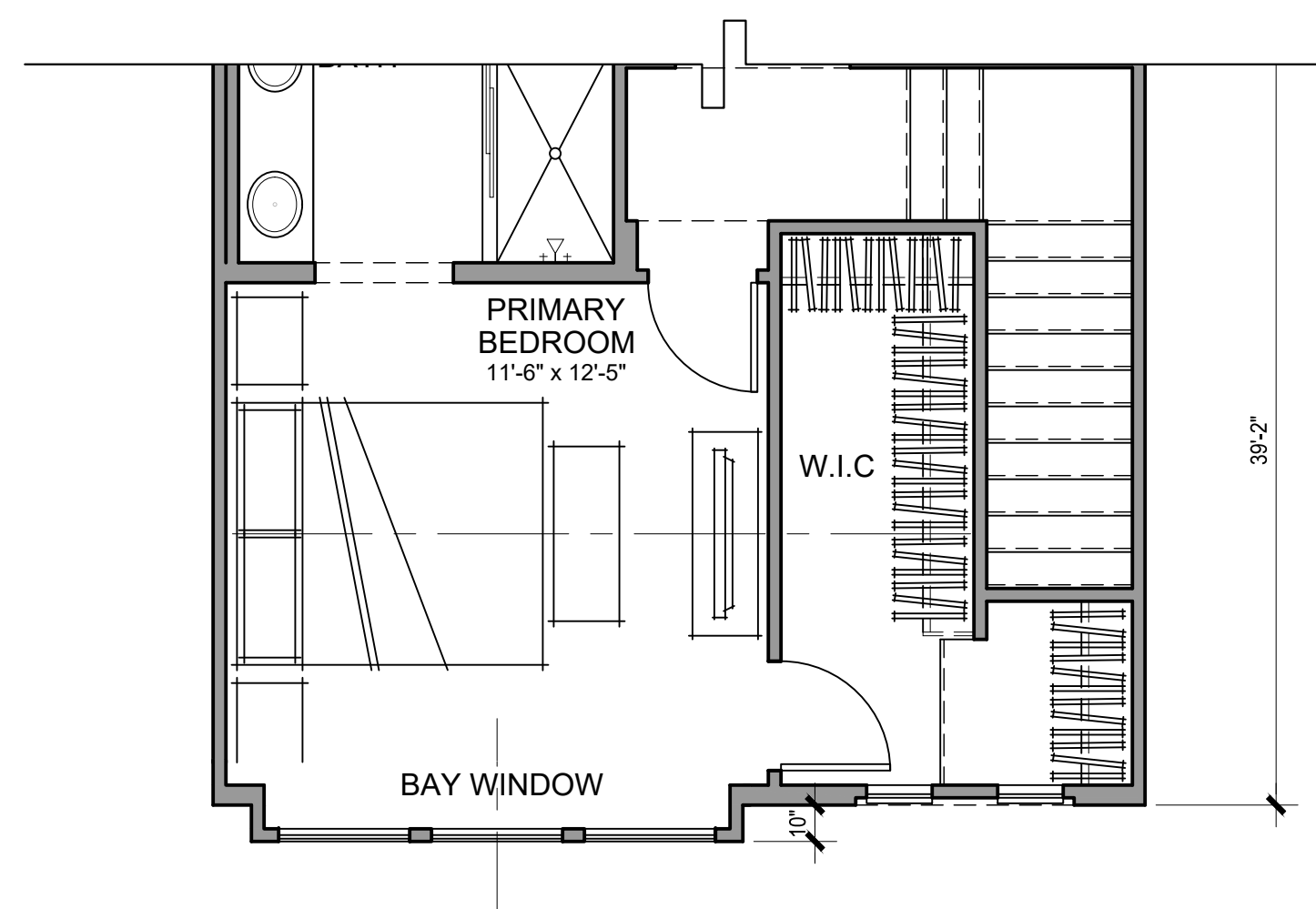


PLAN 2 FLOOR PLANS

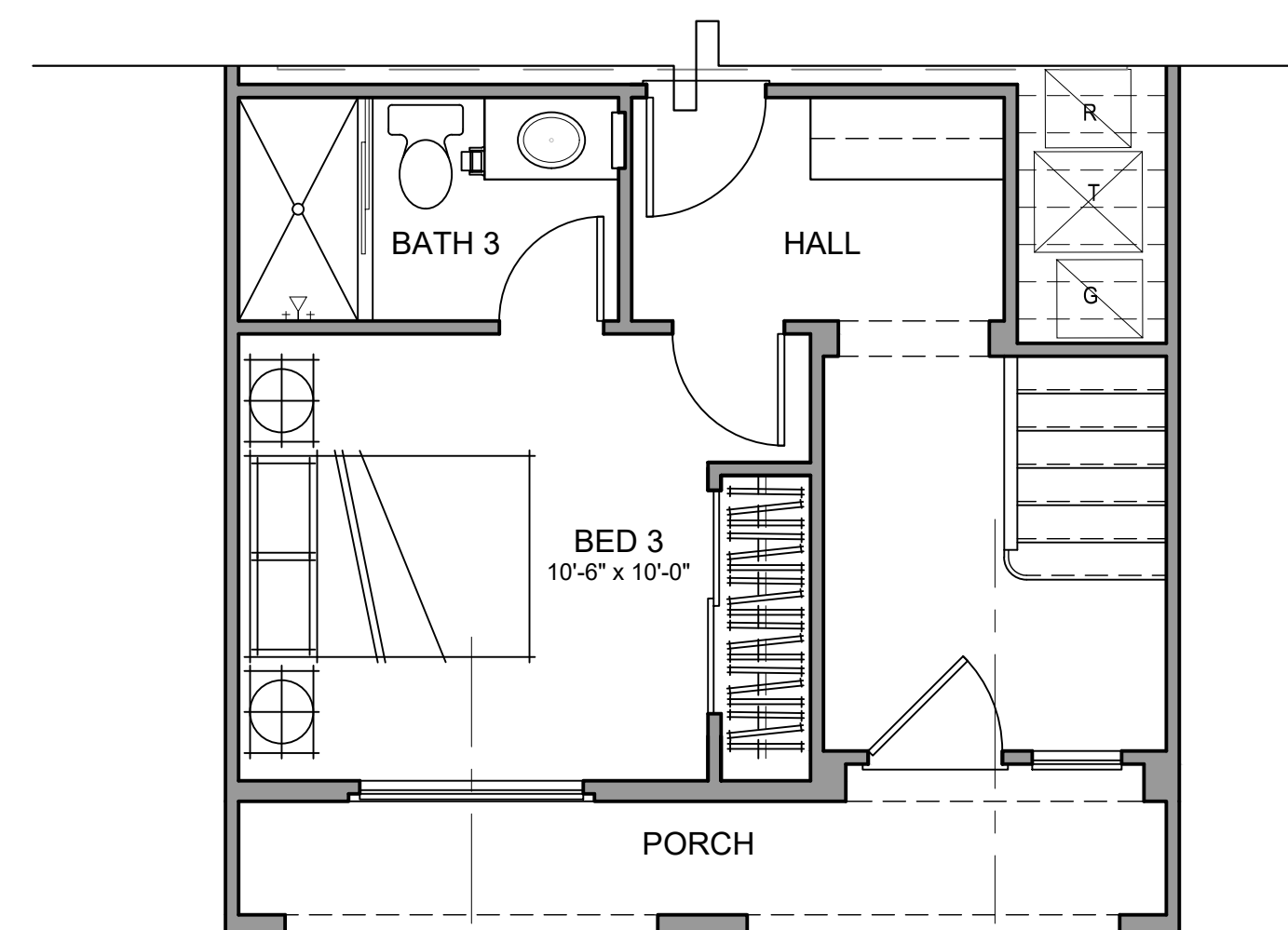
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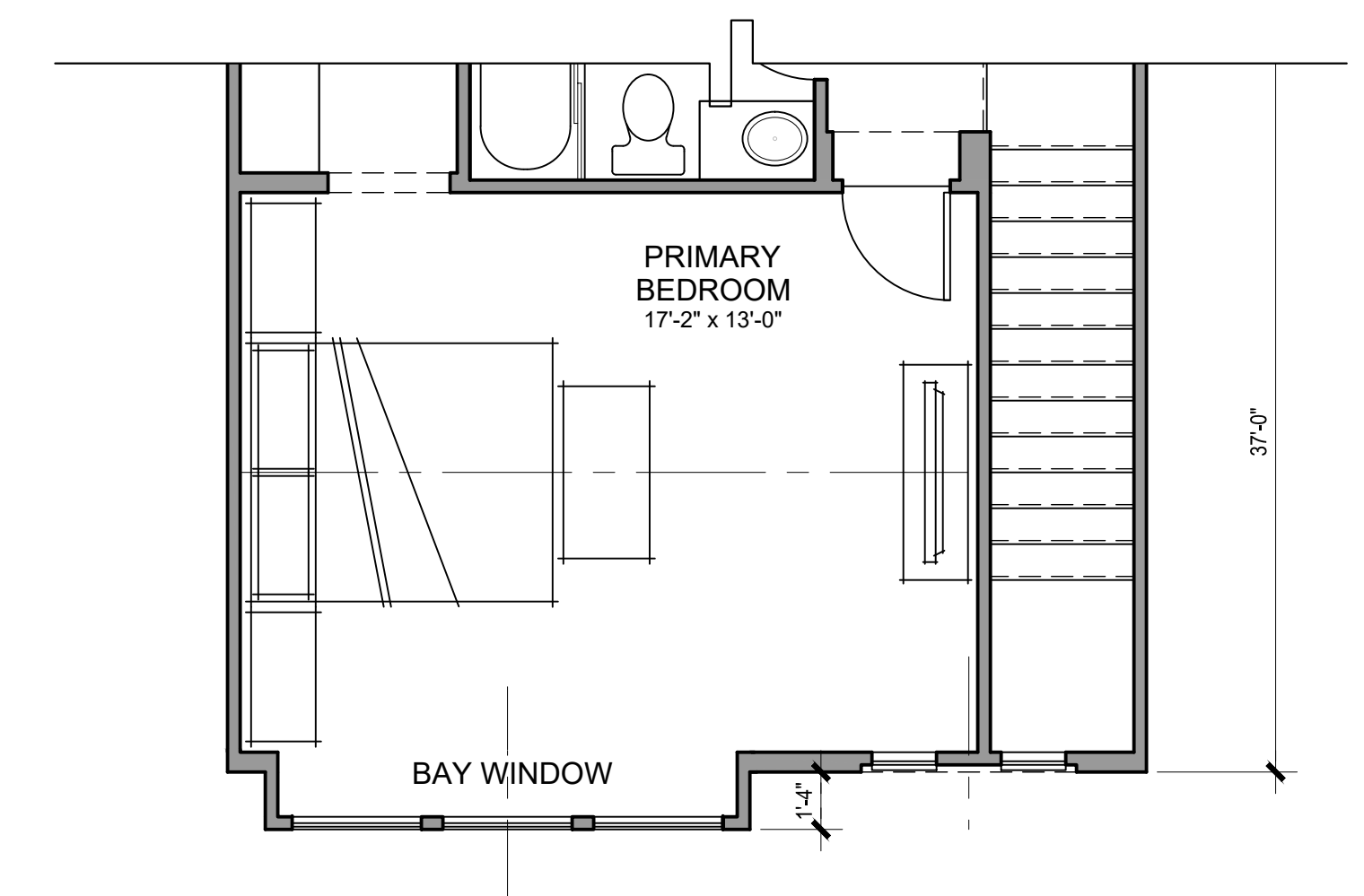
PLAN 2
ACCESSIBLE PLAN FIRST FLOOR



PLAN 2
ALTERNATIVE ELEVATION BAY WINDOW
THIRD FLOOR
10" POP OUT



PLAN 1
ALTERNATIVE ENHANCED ELEVATION
FIRST FLOOR
PORCH (STREET FACING ONLY)



PLAN 1
ALTERNATIVE ELEVATION BAY WINDOW
THIRD FLOOR
16" POP OUT



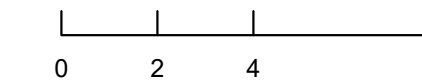
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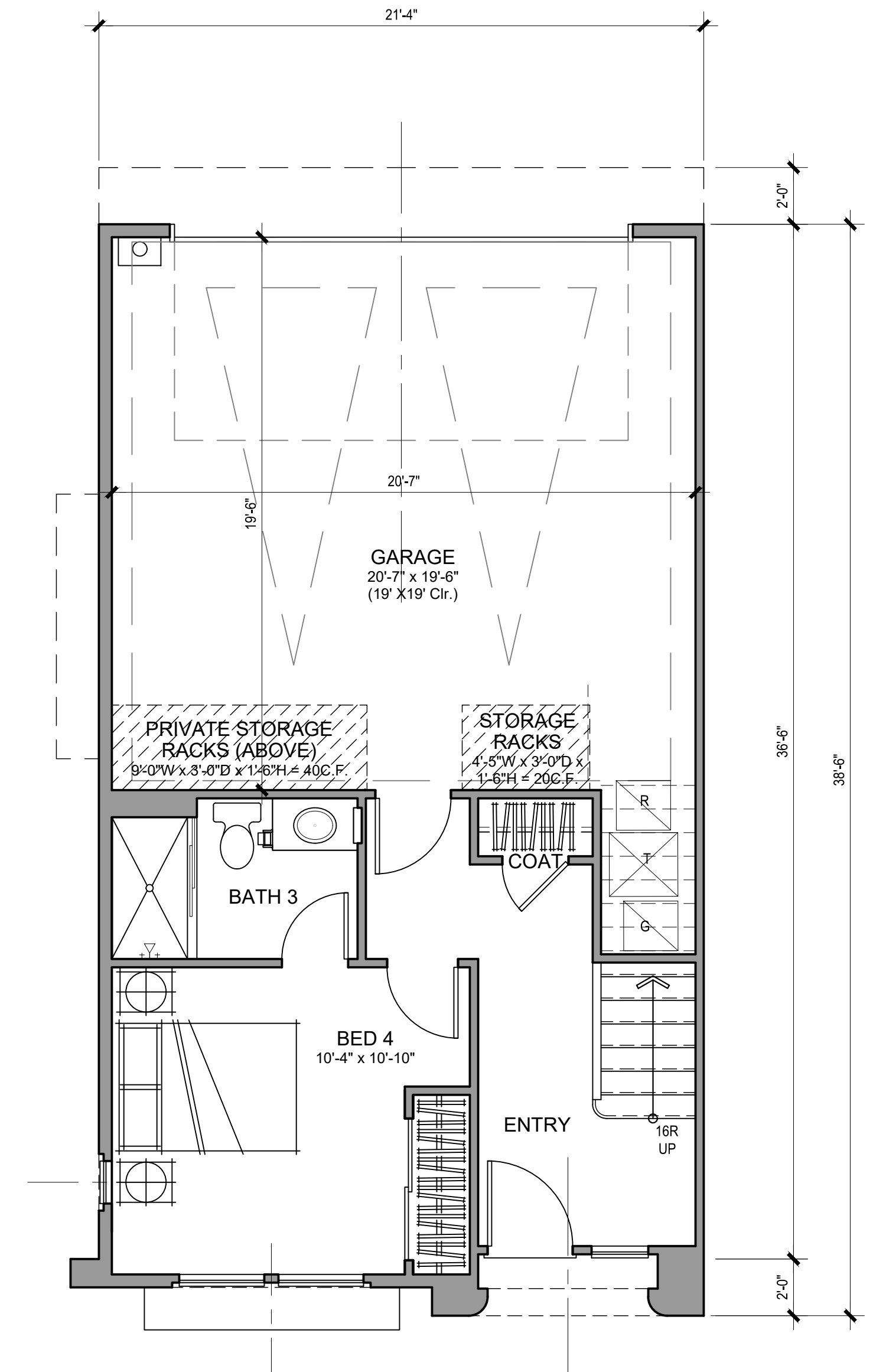
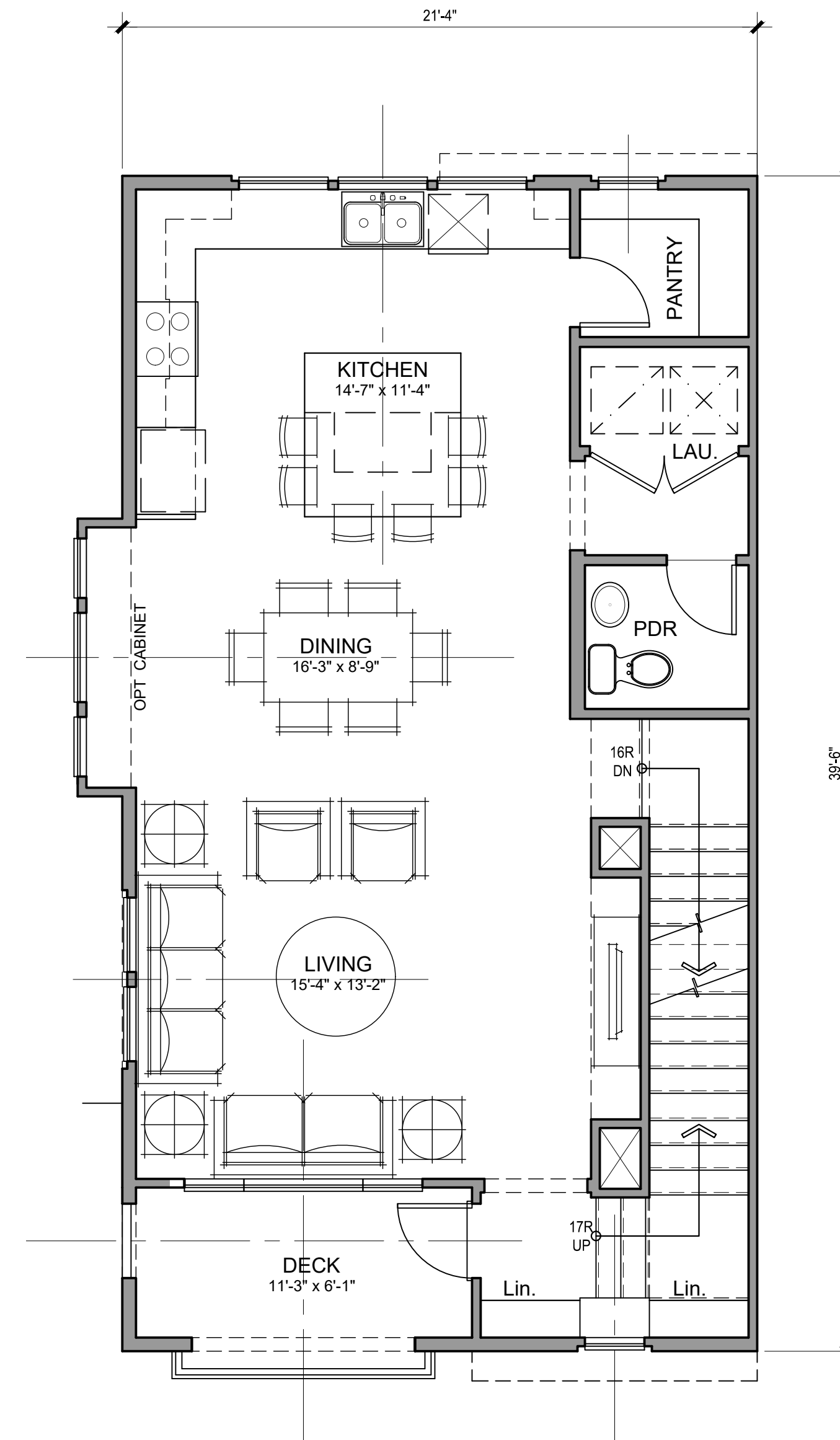
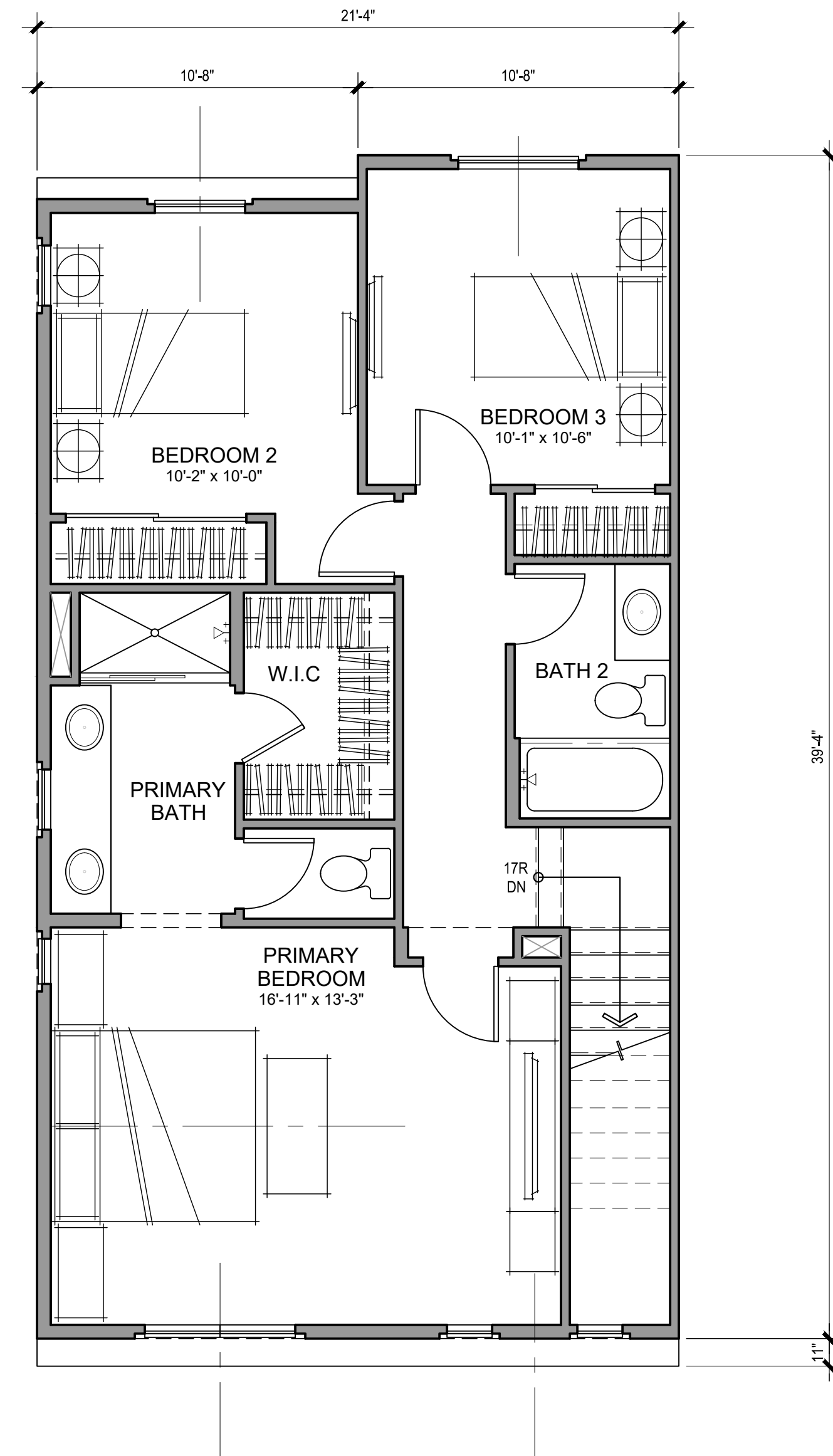
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BURBANK, CA # 2021-0094

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Re-Submittal: 2022-10-04



PLAN 1 & 2 ALT. FLOOR PLANS

A8.2



P3 - GROSS SF	
1ST FLOOR	381 SQ. FT.
2ND FLOOR	792 SQ. FT.
3RD FLOOR	758 SQ. FT.
TOTAL LIVING	1931 SQ. FT.
PORCH	15 SQ. FT.
GARAGE	447 SQ. FT.
DECK	72 SQ. FT.



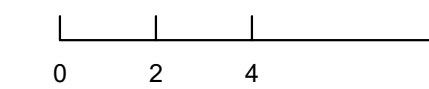
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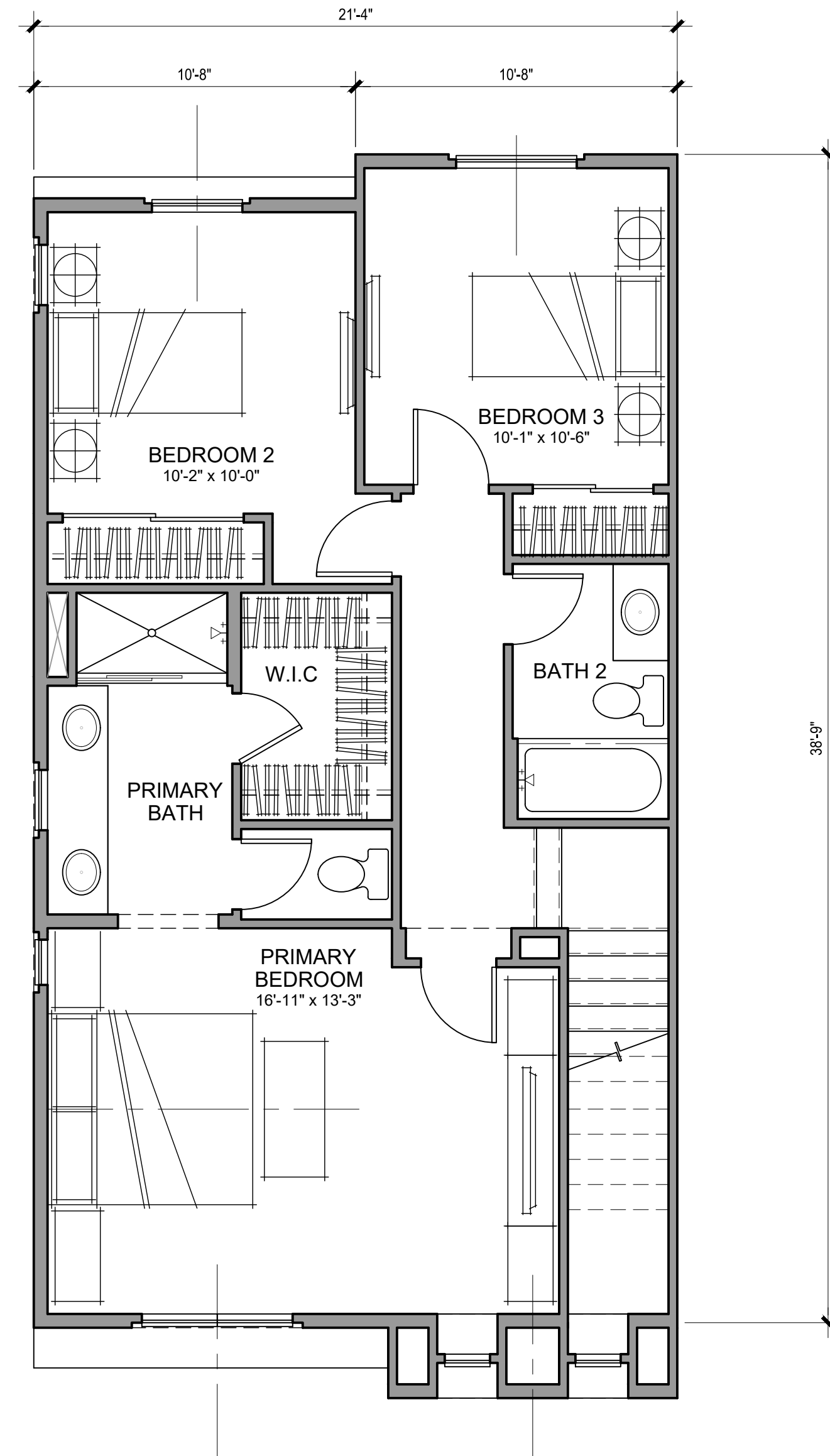
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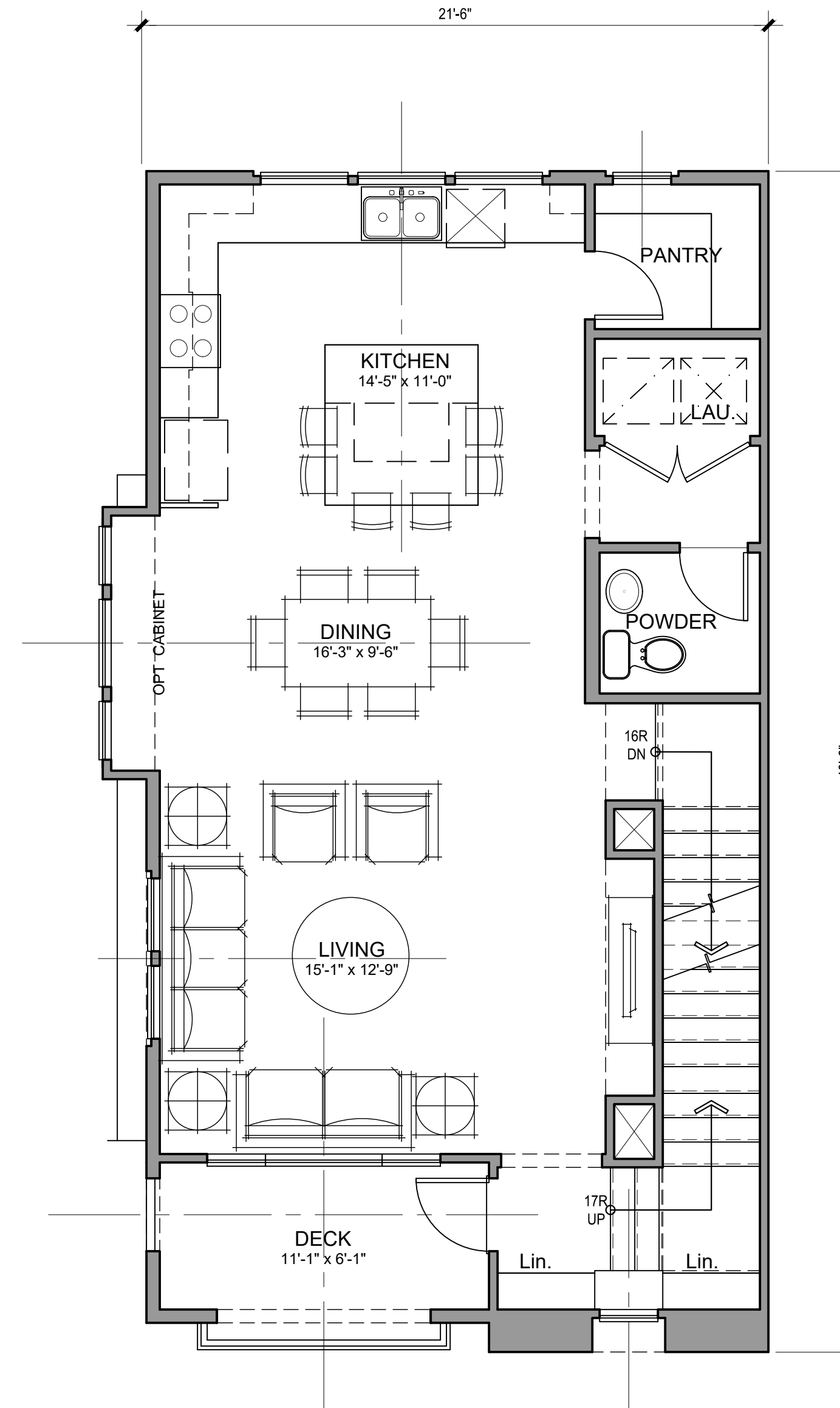


PLAN 3 FLOOR PLANS

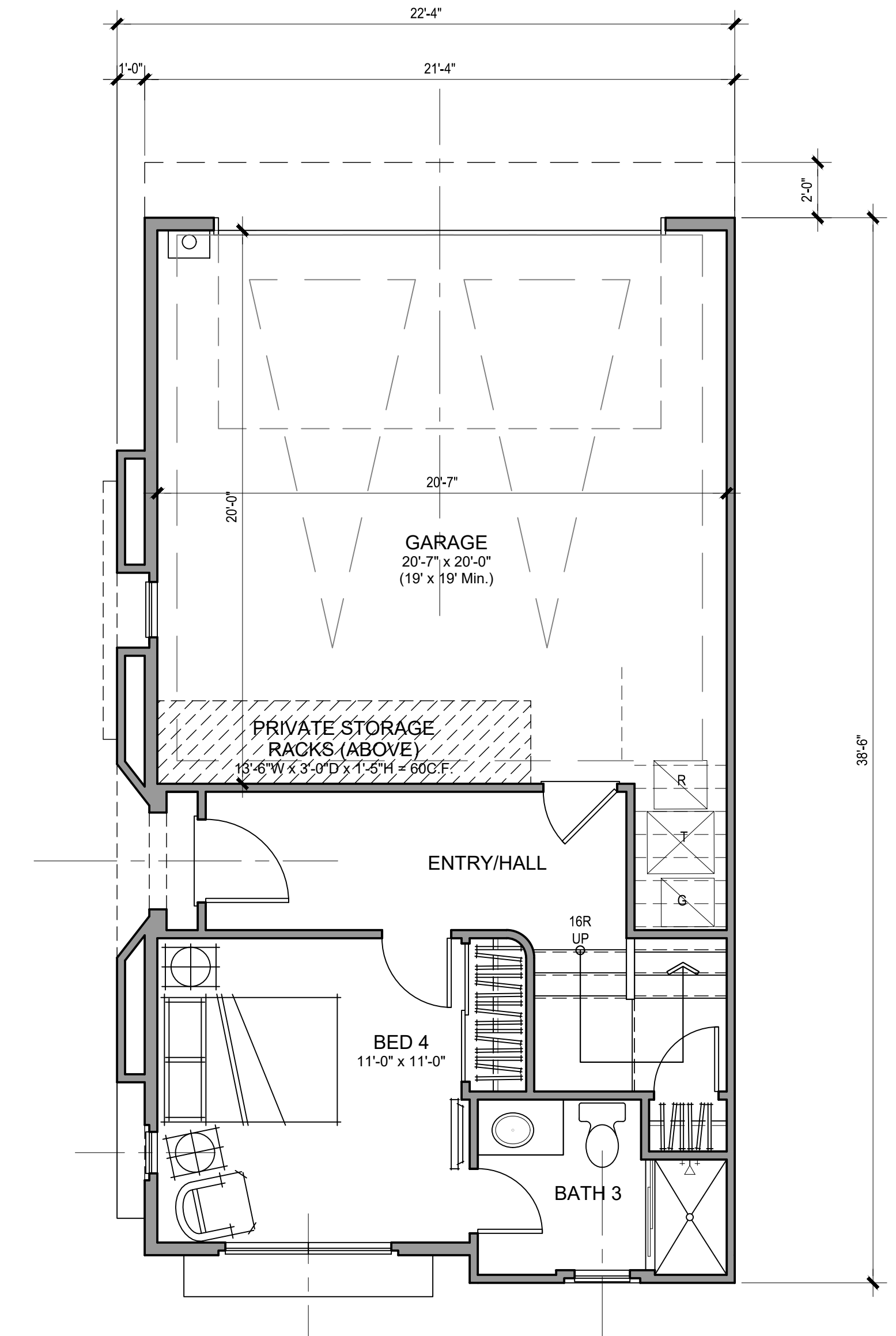
A8.3



ALTERNATE THIRD FLOOR



ALTERNATIVE SECOND FLOOR
@ CORNER



ALTERNATIVE FIRST FLOOR
@ ENTRY CORNER

P3X/CORNER - GROSS SF	
1ST FLOOR	381 SQ. FT.
2ND FLOOR	792 SQ. FT.
3RD FLOOR	758 SQ. FT.
TOTAL LIVING	1931 SQ. FT.
PORCH	15 SQ. FT.
GARAGE	457 SQ. FT.



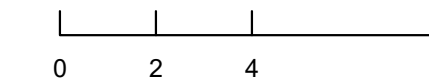
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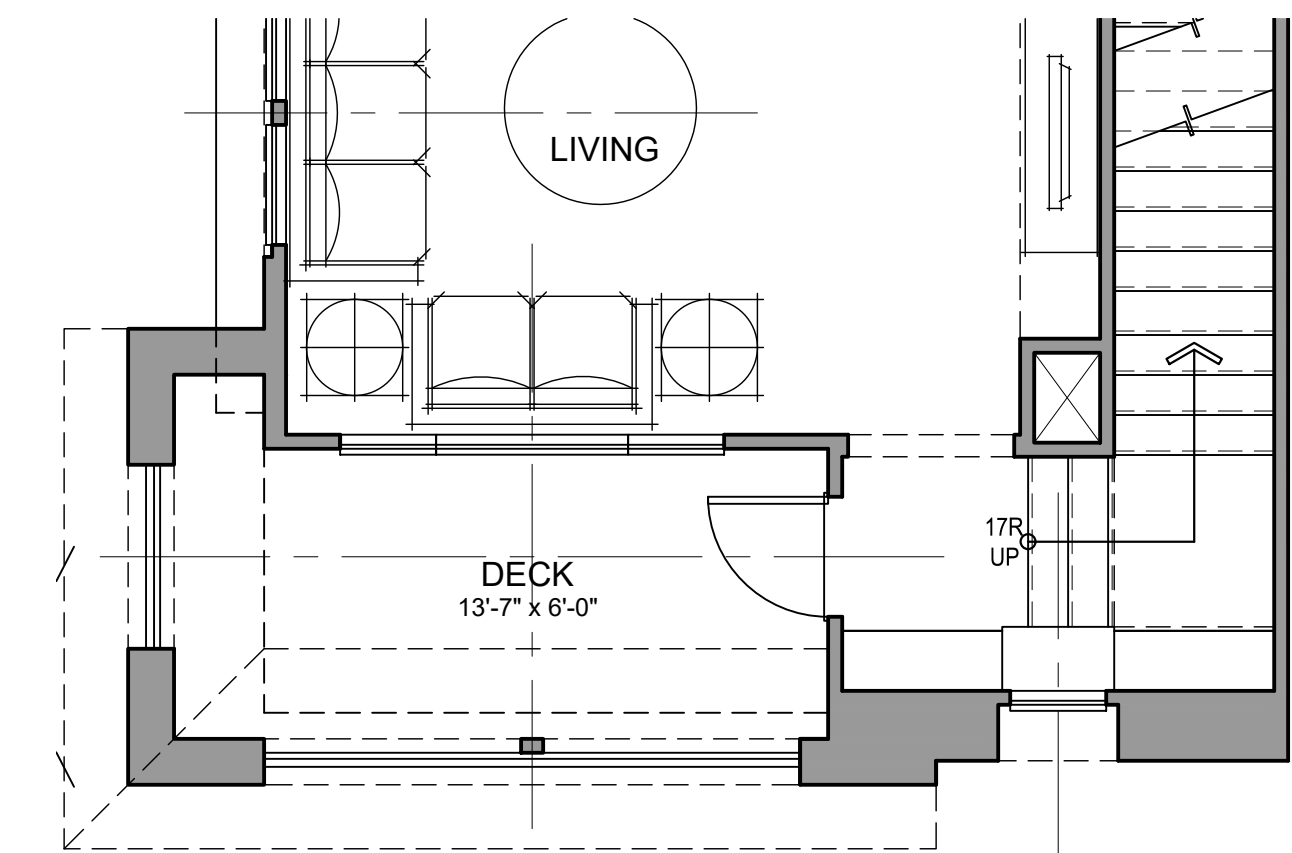
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PLAN 3X FLOOR PLANS

A8.4



ALTERNATIVE ENHANCEMENT SECOND FLOOR
@ CORNER - DECK 94 SF



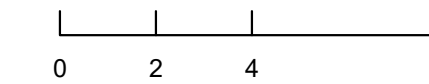
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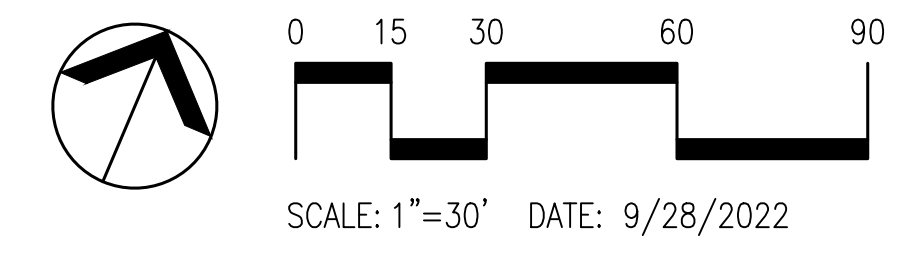
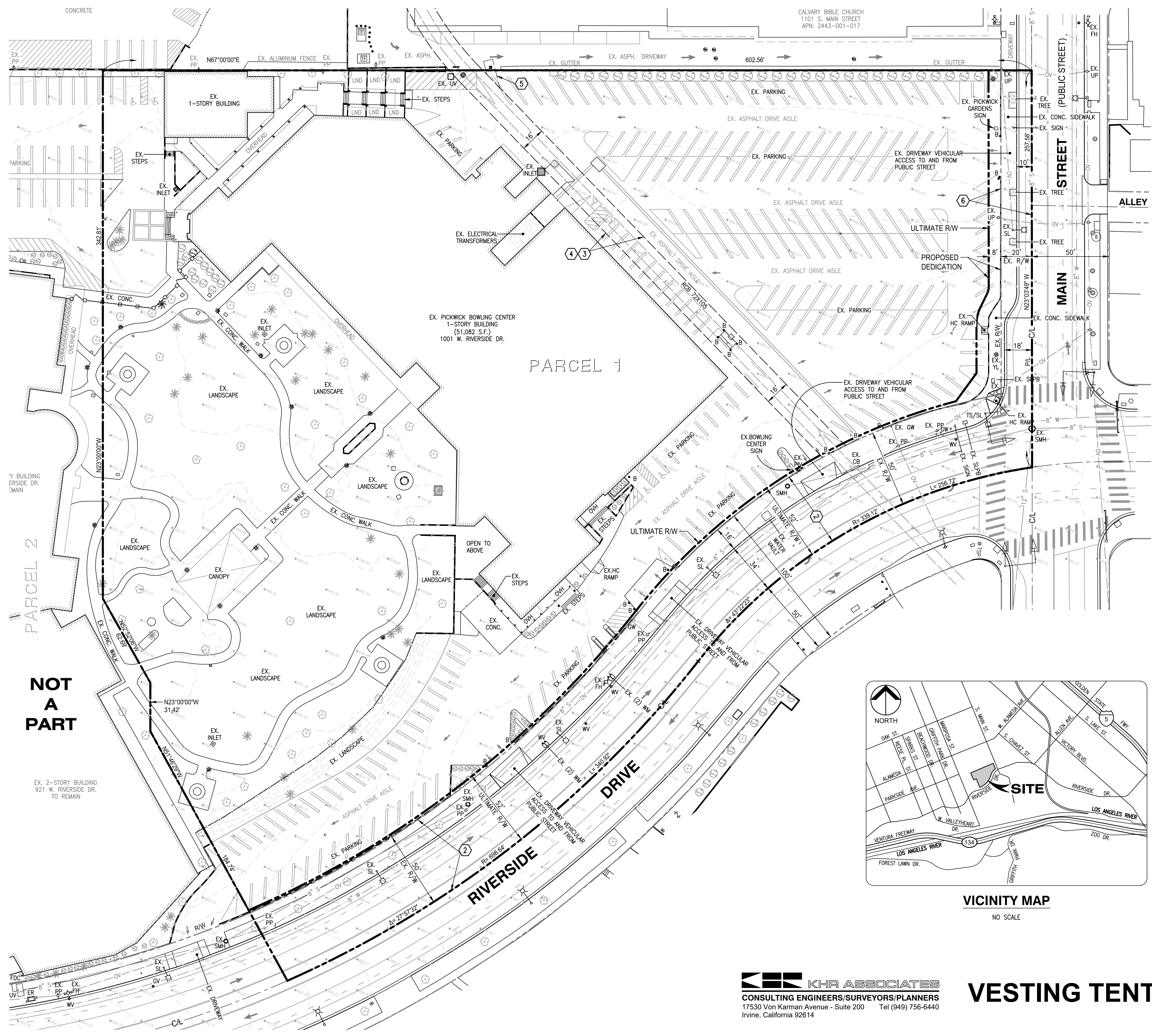
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Re-Submittal: 2022-10-04



PLAN 3X ENHANCEMENT

A8.5



OWNER

MW INVESTMENT GROUP, LLC
 27702 CROWN VALLEY PARKWAY, SUITE D-4-197
 LADERA RANCHO, CALIFORNIA 92694
 ATTN: MATT WAKEN
 PHONE NO. (626) 710-6377

SUBDIVIDER

MW INVESTMENT GROUP, LLC
 27702 CROWN VALLEY PARKWAY, SUITE D-4-197
 LADERA RANCHO, CALIFORNIA 92694
 ATTN: MATT WAKEN
 PHONE NO. (626) 710-6377

CIVIL ENGINEER

KHR ASSOCIATES
 17530 VON KARMAN AVENUE, SUITE 200
 IRVINE, CALIFORNIA 92614
 ATTN: JAMES H. KAWAMURA
 R.C.E. NO. 30560
 PHONE NO. (949) 756-6440

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 OF LOT LINE ADJUSTMENT RECORDED FEBRUARY 7, 2022 AND FILED AS INSTRUMENT NO. 20220153074 OF OFFICIAL RECORDS.

AREA

AREA OF THE SUBJECT PROPERTY CONSISTS OF: ± 256,582 S.F. (5.89 ACRES) EXISTING GROSS
 ± 221,901 S.F. (5.09 ACRES) EXISTING NET
 ± 218,449 S.F. (5.01 ACRES) AFTER DEDICATIONS

NOTE:
 NET AREA EXCLUDES AREA WITHIN RIVERSIDE DRIVE AND MAIN STREET, PUBLIC STREETS.

FLOOD ZONE

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED), CONSIDERED TO BE AN AREA OF MINIMAL FLOOD HAZARD AND AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP NOS. 06037C1345F AND 06037C1337F WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE AO, CONSIDERED TO BE AN AREA SUBJECT TO INUNDATION BY 1% ANNUAL-CHANCE SHALLOW FLOODING (USUALLY SHEET FLOW ON SLOPING TERRAIN) WHERE AVERAGE DEPTHS ARE BETWEEN ONE AND THREE FEET, AS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 06037C1345F WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

BENCHMARK

BM #1307-2 ELEVATION: 512.187 FEET
 (SUPERSEDED BM# 1307-1)

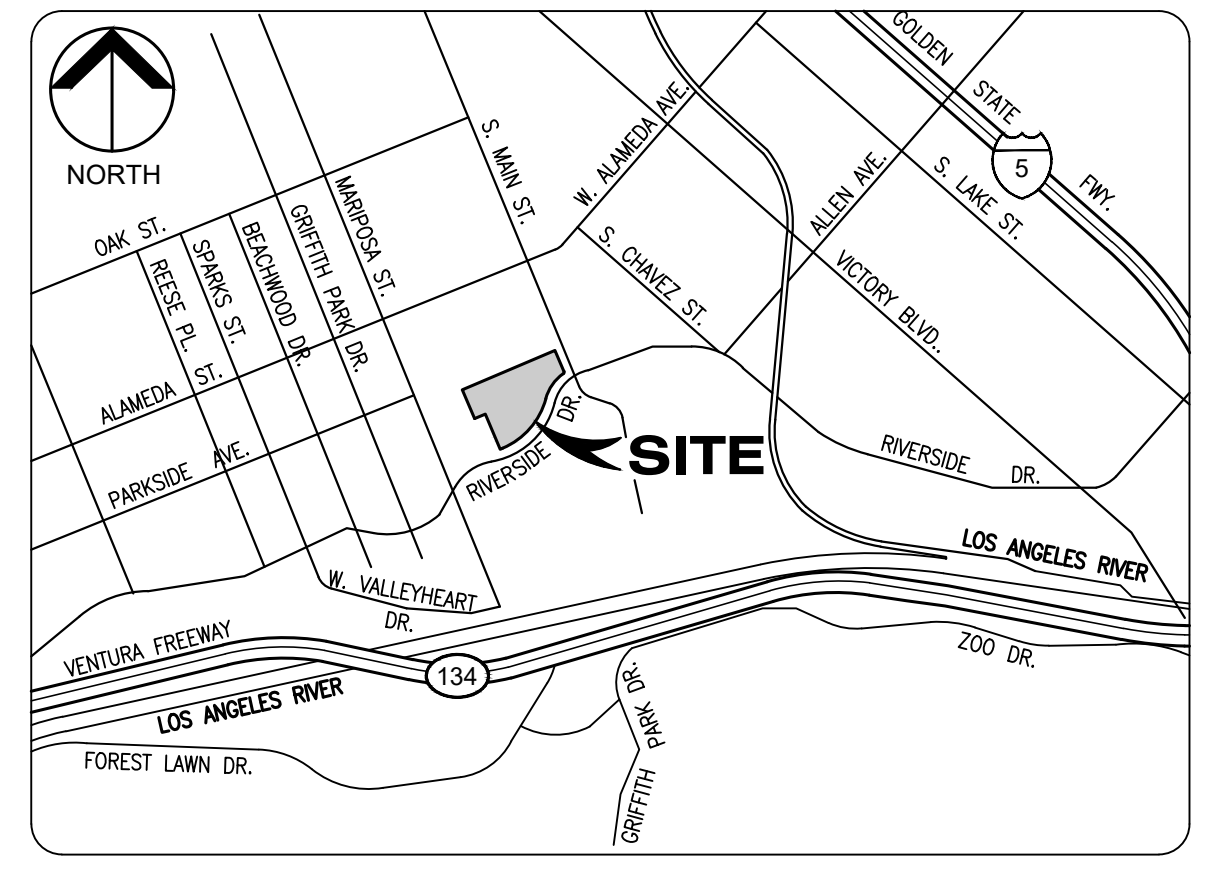
2" BRASS CAP STAMPED 1307-2 AT NORTHEAST QUADRANT ALAMEDA AVENUE AND SHELTON STREET, 4.7 FEET EAST OF THE EAST CURB OF SHELTON STREET AND 90.5 FEET NORTH OF THE NORTH CURB OF ALAMEDA AVENUE SET IN THE TOP NORTHEAST CORNER OF A 5 FOOT BY 15 FOOT CATCH BASIN.

NOTES

1. ALL EXISTING FACILITIES WITHIN THE PROPERTY BOUNDARY ARE TO BE REMOVED.
2. EXISTING COUNTY STORM DRAIN TO BE PROTECTED.
3. OVERHEAD UTILITY LINES WHICH CURRENTLY SERVE THE SUBDIVISION, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, COMMUNICATIONS, STREET LIGHTING AND CABLE TELEVISION, WILL BE PLACED UNDERGROUND.
4. ABANDONED UTILITIES WITHIN PUBLIC RIGHT OF WAY WILL BE REMOVED.

EXCEPTIONS

1. EASEMENT(S) FOR IRRIGATION PURPOSE(S) RECORDED IN BOOK 783 PAGE 120, OF DEEDS. SAID EASEMENT IS UNDETERMINED IN NATURE.
2. EASEMENT(S) FOR THE STREET PURPOSE(S) RECORDED IN BOOK 3791 PAGE 10, OFFICIAL RECORDS.
3. EASEMENT(S) FOR STORM DRAIN PURPOSE(S) RECORDED DECEMBER 5, 1956 IN BOOK 53043, PAGE 168, OFFICIAL RECORDS.
4. EASEMENT(S) FOR STORM DRAIN PURPOSE(S) RECORDED DECEMBER 28, 1956 IN BOOK 53234 PAGE 254, OFFICIAL RECORDS.
5. EASEMENT(S) FOR DRAINAGE PURPOSE(S) RECORDED JUNE 9, 1958 IN BOOK D122 PAGE 59, OFFICIAL RECORDS.
6. EASEMENT(S) FOR THE PUBLIC ROAD AND UTILITY PURPOSES AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT NO. 9634 RECORDED IN BOOK 133 PAGE 89, OF OFFICIAL RECORDS.



VICINITY MAP

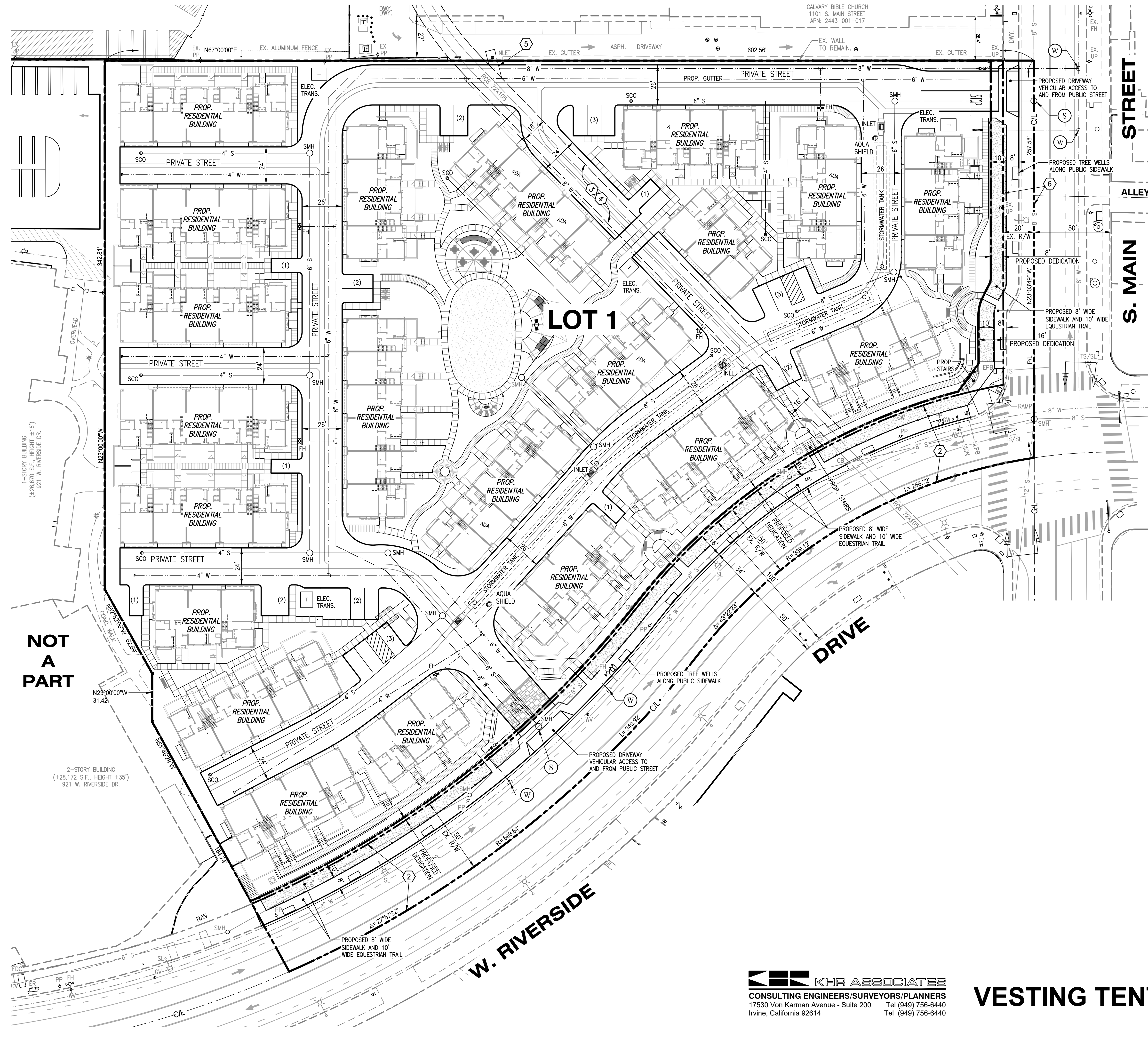
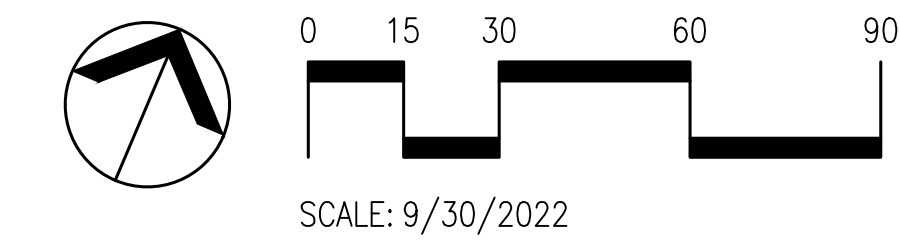
NO SCALE

KHR ASSOCIATES
 CONSULTING ENGINEERS/SURVEYORS/PLANNERS
 17530 Von Karman Avenue - Suite 200 Tel (949) 756-6440
 Irvine, California 92614

VESTING TENTATIVE TRACT MAP NO. 83627
 FOR CONDOMINIUM PURPOSES

(EXISTING SITE CONDITIONS) SHEET 1 OF 2
 SEPTEMBER 28, 2022

C:\Users\Luiz\KHR Associates\Dropbox\K Drive\MW Investments\VM-Pickwick-Burbank\Subdivision & Legals\Tentative Tract Map\VMFPB-VTM 83627-1.dwg Sep 28, 2022 - 4:04pm



SITE INFORMATION

ADDRESS: 1001 W. RIVERSIDE DRIVE
 APNS: 2443-001-026
 ZONING/LAND USE: CR ZONE - COMMERCIAL RECREATION
 OCCUPANCY TYPE: R3

DEVELOPMENT STANDARDS

FRONT YARD SETBACK:	25' MIN.
INTERIOR SIDE YARD SETBACK:	5' MIN.
STREET-FACING SIDE YARD SETBACK:	25' MIN.
REAR YARD SETBACK:	5' MIN.
BUILDING HEIGHT:	35'
MAXIMUM RESIDENTIAL DENSITY:	20 DU/AC
REQUIRED RESIDENT PARKING:	1 SPACE/UNIT

SITE PLAN SUMMARY

SITE AREA: ± 5.05 ACRES
 UNITS:
 12 UNITS - PLAN 1 - 1816 SF - 3BD/3.5 BA - 2 CAR/SIDE BY SIDE GARAGE
 38 UNITS - PLAN 2 - 1880 SF - 4BD/3.5 BA - 2 CAR/SIDE BY SIDE GARAGE
 26 UNITS - PLAN 3 - 1931 SF - 4BD/3.5 BA - 2 CAR/SIDE BY SIDE GARAGE
 16 UNITS - PLAN 3X - CORNER (ALT) CONDITION
 92 UNITS - TOTAL

SITE DENSITY: ±18.2 DU/AC
 PARKING PROVIDED:
 GARAGE: 184 SPACES
 GUEST OPEN SPACES: 25 SPACES
 TOTAL: 209 SPACES (2.27 SPACES/DU)

ABBREVIATIONS

ASPH.	ASPHALT
C/L	CENTERLINE
CB	CATCH BASIN
CONC.	CONCRETE PAVEMENT
ER	ELECTRICAL RISER
ELEC.	ELECTRICAL
FH	FIRE HYDRANT
GV	GAS VALVE
GW	GUY WIRE
HC	HANDICAP
P/L	PROPERTY LINE
PP	POWER POLE
R/W	RIGHT OF WAY
S	SEWER
SCO	SEWER CLEANOUT
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SLPB	STREET LIGHT PULLBOX
SMH	SEWER MANHOLE
TS	TRAFFIC SIGNAL
UP	UTILITY POLE
UTIL.	UTILITY
UV	UTILITY VAULT
W	WATER
WM	WATER METER
WV	WATER VALVE

LEGEND

	BOUNDARY LINE
	CENTERLINE
	RIGHT OF WAY
	WATER
	SEWER
	STORM DRAIN
	STREET LIGHT
	FIRE HYDRANT
	SIGN
	VALVE
	TREE

- ### NOTES
1. PROPOSED WATER POINT OF CONNECTION. (W)
 2. PROPOSED SEWER OR STORM DRAIN POINT OF CONNECTION. (S)

NOT A PART

2-STORY BUILDING
(±28,172 S.F., HEIGHT ±35')
921 W. RIVERSIDE DR.

1-STORY BUILDING
(±28,670 S.F., HEIGHT ±16')
921 W. RIVERSIDE DR.

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 Irvine, California 92614 Tel (949) 756-6440

SHEET 2 OF 2
 (PROPOSED SITE PLAN) SEPTEMBER 30, 2022
VESTING TENTATIVE TRACT MAP NO. 83627
 FOR CONDOMINIUM PURPOSES