SCOPE OF WORK Sheet Index Sheet Name **Sheet Number** (1) A new 20' – 6" long, 4' high retaining wall above existing retaining wall at the southeast side property. (2) Demolish existing pool, excavation and construction of new expanded pool and spa adjacent to existing COVER SHEET A-0.0 (3) New 42' – 8" long and 13' – 0" deep raised rear deck adjacent and attached to existing rear deck. PROPOSED SITE PLAN A-0.1 (4) Improvements to the existing rear deck (unspecified, includes at minimum alteration of existing openings, excavation around supports, replacement or alteration of decking joists). A-0.2 EXISTING SITE PLAN (5) Remove stairs to existing southeast side 2nd story balcony and expand balcony area. A-0.6 **BUILDING FLOOR PLAN** (6) Remove portion of west corner of front retaining wall that was constructed over property lines, highlighted A-0.7 BUILDING BOTTOM FLOOR PLAN on the site plan below. A-0.8 ELEVATIONS (7) Remove portion of southwest corner of rear deck that was constructed over property lines, highlighted on A-0.9 **ROOF PLAN** SECTION A-0.10 PROPERTY INFORMATION SECTION A-0.11 **SECTION** A-0.12 PICTURES A-0.13 1719 RUDELL RD. BURBANK PROPERTY ADDRESS A-2 BUR1* A-3 CAL GREEN MANDATORY MEAUSRES OCCUPANCY GROUP R-3 5608-027-019 CAL GREEN MANDATORY MEAUSRES A-4 PARCEL AREA 21,538 (sq ft) A-5 CAL GREEN MANDATORY MEAUSRES **BUIDLING AREA** 4,081 SQ FT TYPE OF CONSTRUCTION NUMBER OF STORIES Plan approval is conditional that a separate Main Electrical Service Panel **BUILDING HEIGHT** 25'-8" relocation/upgrade permit is obtained and completed by the applicant prior to the NUMBER OF DWELLING UNITS issuance of a building permit final.

CONSULTANTS

FIRE SPRINKLERS

LEGAL DESCRIPTION

NUMBER OF PARKING SPACES

EXISITING NUMBER OF BEDROOMS AND BATHROOMS

DESIGNER: GEVIK GHAZARIAN / UP DEVELOPMENTS INC. 225 E. BROADWAY #100 GLENDALE CA 91205 (818) 660-6596

STRUCTURAL ENGINEER: ARDASHES KAZARIAN / KAZARIANS ENGINEERING SERVICES, INC 1528 CANADA BLVD SUITE 206 GLENDALE CA 91208 (818) 240-8763

4 BEDROOM & 4 BATHROOMS

4 BEDROOM & 3 BATHROOMS

TR=40026 FOR LEGAL DESC SEE DOC 0397322, 870318 POR OF LOTS 4 AND 5 N

GRADING ENGINEER: HAYK MARTIROSIAN /TECHNA LAND CO. INC. 1545 N. VERDUGO RD. SUITE #2 GLENDALE, CA 91208

OWNER

CHRIS KISTORIAN

1719 RUDELL RD BURBANK 91501

	GENERAL NOTES & NOTE BLOCKS
	 All construction shall comply with the 2022 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition All property lines, easements, and existing buildings have been indicated on this site plan. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3302.4) Water shall be provided on the site and used to control dust. Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1) The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4, CRC R401.3) The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)
	Provide on the cover of the plans a note identifying which building code is being used for this project, either: • The 2022 California Residential Code (CRC) OR • The 2022 California Building Code (CBC) Section 1.1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, but not both, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.
	On the COVER SHEET list only, the specific applicable codes used for this project. 2022 California Building Code (CBC) 2022 California Residential Code (CRC) 2022 California Mechanical Code (CMC) 2022 California Electrical Code (CEC) 2022 California Plumbing Code (CPC) 2022 California Green Building Code (CALGreen) 2022 California Energy Code
\boxtimes	SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-107).

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE

APPLICABLE CODES

2022 California Residential Code (CRC) 2022 California Electrical Code (CEC) 2022 California Mechanical Code (CMC) 2022 California Plumbing Code (CPC)

2022 California Green Building Standards Code (CALGreen)

2022 California Energy Code

Exit Alarms:

Install exit alarms on all doors of the private single-family residence that provide direct access to the swimming pool or spa. These alarms must either emit an audible alert or provide a verbal warning, such as a repeated message stating, "The door to the pool is open."

Self-Closing, Self-Latching Devices:

Equip all doors providing direct access to the swimming pool or spa with a self-closing, self-latching device. The release mechanism must be installed at least 54 inches above the floor.

Pool Entry Alarm:

Install a pool or spa alarm that activates upon detecting accidental or unauthorized entry into the water. The alarm must comply with and be independently certified to ASTM Standard F2208, "Standard Safety Specification for Residential Pool Alarms." This includes alarms that use surface motion, pressure, sonar, laser, or infrared detection. Personal immersion alarms worn by individuals (e.g., child-worn devices that sound when submerged or moved beyond a set distance) do not meet this requirement.

VICINITY MAP

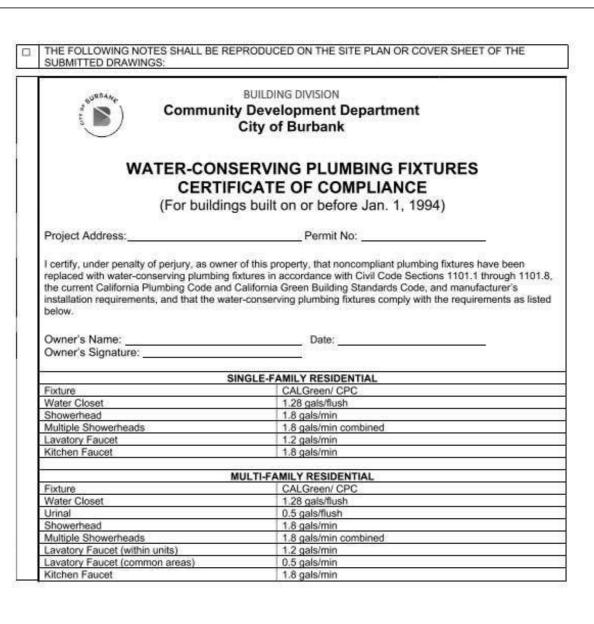
LEGEND

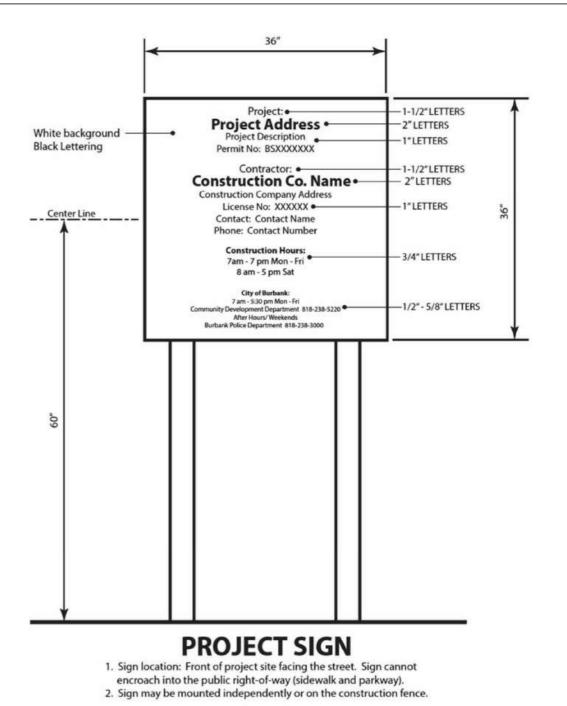


WATER FLOW DIRECTION

ABBREVIATONS

& AND	FLOOR FLUORESCENT	QT QUARRY TILE
< ANGLE	FOC FACE OF CONC	R RISER
@ AT	FOF FACE OF FIN	RAD RADIUS
C.L. CENTERLINE	FOS FACE OF FIN	REINF REINFORCED
	FPRF FIREPROOF	REQ REQUIRED
Ø DIA OR ROUND	FTG FOOTING	RESIL RESILIENT
# POUND OR NO.	FURR FURRING	RO ROUGH OPENING
ACOUS ACOUSTICAL	GA GAUGE	RWD REDWOOD
ADJ ADJUSTABLE	GALV GALVANIZED	S SOUTH
A/C AIR CONDITIONING	GB GRAB BAR	SC SOLID CORE
AL ALUMINUM	GL GLASS	SCD SEAT COVER DISPENSER
APX APPROXIMATE	GR GRADE (GROUND)	SD SOAP DISPENSER
BD BOARD	GYP GYPSUM	SHT SHEET
BLK BLOCK	HC HOLLOW CORE	SIM SIMILAR
BOT BOTTOM	HNDCP HANDICAPPED	SND/R SANITARY NAPKIN
CAB CABINET	HBD HARDBOARD	DISPENSER/ RECEPTACLE
CPT CARPET	HWD HARDWOOD	SPEC SPECIFICATION
CEM CEMENT	HDW HARDWARE	(S)STL (STAINLESS) STEEL
CER CERAMIC	HM HOLLOW METAL	SSK SERVICE SINK
CI CAST IRON	HOR HORIZONTAL	STD STANDARD
CLG CEILING CLKG CALKING	HGT HEIGHT	SUSP SUSPENDED
	ID INSIDE DIA	SYM SYMMETRICAL
CLR CLEAR CONC CONCRETE	INSUL INSULATION	T TREAD
CONC CONCRETE CONST CONSTRUCTION	INT INTERIOR	TB TOWEL BAR
	JT JOINT	TEL TELEPHONE
CONT. CONTINUOUS CTR CENTER	LAM LAMINATE(D)	T&G TOUNGE & GROOVE
DBL DOUBLE	LAV LAVATORY	THK THICK
DF DRINKING FOUNTAIN	LT LIGHT	TPD TOILET PAPER DISPENSER
DIA DIAMETER	MC MEDICINE CAB	TYP TYPICAL
DIM DIMENSION	MECH MECHANICAL	UNF UNFINISHED
DN DOWN	MEMB MEMBRANE	UON UNLESS OTHERWISE
DR DOOR	MTL METAL	NOTED
DWG DRAWING	MIR MIRROR	UR URINAL
E EAST	MNT MOUNT(ED)	VERT VERTICAL
EA EACH	N NORTH	W WEST
EL ELEVATION	NIC NOT IN CONTRACT	WDW WINDOW
ELEC ELECTRICAL	NOM NOMINAL	W/ WITH
EMER EMERGENCY	NTS NOT TO SCALE	WC WATER CLOSET
ENCL ENCLOSURE	OBS OBSCURE	WD WOOD
EQ EQUAL	OC ON CENTER	W/O WITHOUT
EQPT EQUIPMENT	OD OUTSIDE DIA	WP WATERPROOF
EX EXISTING	OPNG OPENING	WR WATER RESISTANT
EXPO EXPOSED	OPP OPPOSITE	WGT WEIGHT
EXP EXPANSION	PRCST PRECAST	
EXT EXTERIOR	PL PLATE	
FA FIRE ALARM	P PLASTIC	
FDN FOUNDATION	PLAS PLASTER	
FE(C) FIRE EXTINGUISHER CABINET	PLYWD PLYWOOD	
FHC FIRE HOSE CAB	PR PAINT	
FIN FINISH	PNT PAINT(ED)	
FL FLOOR (LINE) FLASH FLASHING	PTD/R PAPER TOWEL DISPENSER RECEPTACLE	
	PTN PARTITION	





SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation aspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-109.3.1.1)

Plan approval is conditional that a separate Main Electrical Service Panel relocation/upgrade permit is obtained and completed by the applicant prior to the issuance of a building permit final.

NOTES:

SCAQMD Rule 1403 requires the contractor t ith the SCAQMD 10 days prior to issuance of a Demolition Permit.

M.	FIRE HAZARD SEVERITY ZONE REQUIREMENTS (BMC 9-1-2-701A.1.1):
	SHOW ON PLANS
	ROOFS: Roof coverings on buildings or structures shall be a Class A roof covering or a Class A roof assembly. (BMC 9-1-1-705A.2.1) Wood shake or shingle roofing is not permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1501.1.1).
	GUTTERS AND DOWNSPOUTS: Noncombustible gutters and downspouts.
	Eaves and soffits shall be protected on the exposed underside as required for exterior one-hour-rated fire resistive construction, 2-inch nominal dimension lumber, or 1-inch fire-retardant-treated lumber, or 3/4-inch nominal fire-retardant-treated plywood. Fascia's are required shall be of 2-inch nominal dimension lumber minimum or protected on the backside by materials approved for a minimum of 1-hour fire-resistance-rated construction. Provide assembly detail.
	EXTERIOR WALLS: Constructed of one-hour-rated fire-resistive construction on the exterior side or constructed with approved noncombustible materials. Such material shall extend from the top of the foundation to the underside of the roof sheathing. Provide assembly detail. EXCEPTION:
	Vinyl over ½" Type 'X" Gypsum Board, or Aluminum over ½" type 'X' Gyp. Bd. Wood Siding, hardboard siding or plywood siding are not permitted in the Fire Hazard Severity Zone.
	SHAKE AND SHINGLE SIDING: No wood shake or shingle siding is permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1404.3.3.1).
	UNENCLOSED UNDERFLOOR AREAS: Buildings or structures shall have all under floor areas enclosed to the ground, with exterior walls. EXCEPTION: Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour-rated fire-resistive construction or heavy timber construction.
	PROJECTION FROM BUILDINGS: Architectural projections shall be protected on exposed surfaces as required for one-hour fire- resistive construction.
	BALCONIES, DECKS, PORCHES AND PATIOS: Unenclosed accessory structures attached to building with habitable spaces shall be a minimum one-hour fire-resistive construction, heavy timber construction, approved non-combustible materials, or fire-retardant-treated wood. Provide assembly detail. Unenclosed balconies, decks, porches may be constructed of: 1. Columns: 6 x 6 inches minimum. 2. Beams and Girders: 6 x 6 inches minimum. 3. Joists: 4 x 6 inches minimum. 4. Roof and Floor Decking: 2-inch tongue and groove planks or 1-1/8-inch tongue and groove plywood minimum.
	GLAZING: Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multi-layered glass panels, glass block, or have a fire-protection rating of not less than 20 minutes. EXCEPTION: Stained-glass panels may be installed provided a back panel of tempered glass is installed behind the stained-glass panel.
	DOORS: Noncombustible exterior doors, solid core wood complying with R337.8.3, or have a fire-protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with CRC R337.8.2.1. EXCEPTION: Garage doors and vehicle access doors.

Jevelopments

Design Permitting Consulting

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. **BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

NO.	Description	Date

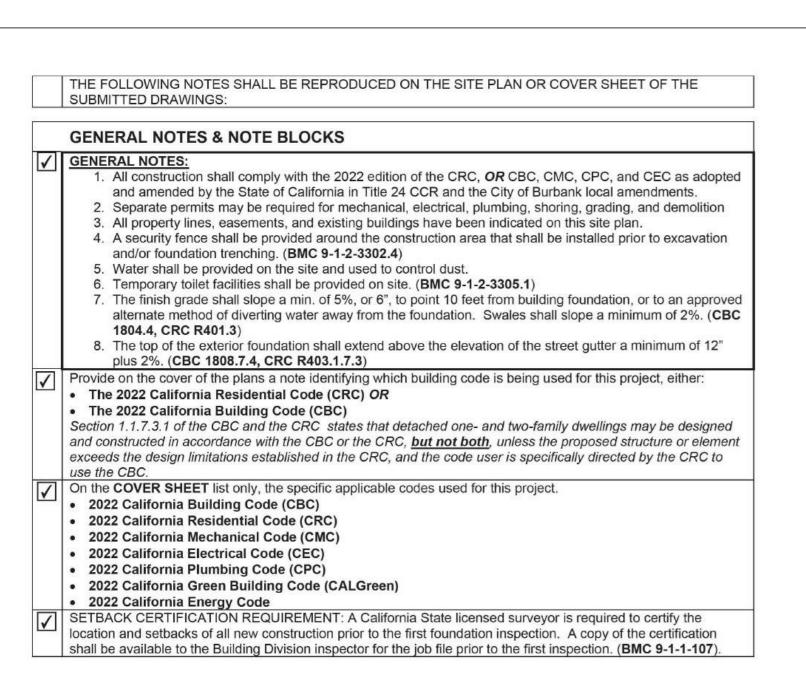
COVER SHEET

Project number **MARCH 2024** GEVIK G. Drawn by Checker Checked by

A-0

1/4" = 1'-0"

Scale



	DEMOLITION NOTES & NOTE BLOCKS
	Residential
✓	DIVERSION OF C&D DEBRIS: A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. An administrative fee and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012).
	DEMOLITION NOTE: All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site. If a Single-Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure. This may also be required for a flat lot as determined by the Building Official. Documents indicating rodent and insect abatement has been performed must be presented to the building inspector prior to start of demolition.
✓	RESIDENTIAL DEMOLITION NOTE: Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.
	Residential and Commercial Demolition
	Per BMC 9-1-11-1012 the following information is required:
	 The completed WMP must be signed by the Applicant and shall indicate all of the following: The site address; The names, addresses, and phone numbers of the property owner and the general contractor; The existing square footage, the proposed square footage, the percentage of increase in project size, or the square footage of the structure to be demolished; The estimated volume or weight of construction and demolition debris, by material type, to be generated of the project site; The estimated volume or weight of construction and demolition debris, by material type, to be diverted to
	recycling, reuse or salvage; 6. The vendor or facility that the applicant proposes to use to collect or receive that material;
	The estimated volume or weight of the construction and demolition materials that will be landfilled;

10. Other information Applicant believes is relevant to determining its efforts to comply with this Division.

8. Certification that the minimum Diversion Requirement will be met;

✓ ELECTRICAL NOTES per 2022 California Electrical Code

Panels shall not be located in the vicinity of easily ignitable material,

dedicated to an appliance or that are not readily accessible shall be GFCI. [CEC 210.8(A)(2)].

In hallways of 10 ft. or more in length, at least one receptacle

shall be provided [CEC 210.52(H)].

such as clothes closets [CEC 240-24(D)], or in bathrooms [CEC

PANEL LOCATIONS

9. Such other data and information as may be required by the Building Official;

S	TRUCTURAL NOTE	ES & NOTE BLOCK	S					
FOUNDATION NOTES:								
1		for foundations shall be 2						
ı	2. Minimum footing reinforcement shall be two #4 bar top and bottom.							
ı	 Minimum anchor bolt size and spacing shall be 5/8" dia. AB @ 72" oc., with 7" embedment, and 3" x 3" x 1/4" plate washers. Anchor bolts shall be located a maximum of 12" and 4 1/2" minimum from the end of the shall be located a maximum of 12" and 4 1/2" minimum from the end of the shall be located a maximum of 12" and 4 1/2" minimum from the end of the shall be located a maximum of 12" and 4 1/2" minimum from the end of the shall be sha							
ı	plate.	Allohor bolto shall be loo	ated a maximum of 12 and 4 i	72 minimum nom the end of the				
ST	RUCTURAL OBSERV	ATION						
		ible for the structural obs	servation:					
	ame:	Calif. Reg						
	FOUNDATION	WALLS & WALL	OTHER STRUCTURAL	ROOF AND FLOOR				
ᆫ		FRAMING	MEMBERS	DIAPHRAGM				
	Footings, Stem Walls, Piers	Concrete Wall	Steel Moment Frame	Concrete				
	Pad Footings	Masonry Wall	Steel Braced Frame	Steel Deck				
	Slab	Wood Wall & Shear Wall	Concrete Moment Frame	Wood				
	Caisson, Piles, Grade Beams	Wood Structural Beams & Members	Masonry Wall Frame	Other				
	Stepped Footing, Hillside	Other	Other	Other				
SF	PECIAL INSPECTION	-20						
	ITEMS							
\vdash	Concrete over 2,							
╙	Bolts installed in		8					
⊢		-Resisting Concrete Fran	me					
⊢		l and Steel Tendons	9					
⊢	Structural Weldir							
⊢	High-strength Bo							
Structural Masor		*						
\vdash	Reinforced Gyps Insulating Concre		-					
	Spray-Applied Fi	re Resistive Materials						
Spray-Applied Fire Resistive Materials Piling, Piers, and Caissons			+					
\vdash	Shotcrete	Calosofio						
		Excavation, and Fill						
	Structural Wood							
	Smoke-Control S							
	Other	***************************************	-					

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE STRUCTURAL PLAN SHEET OF THE

✓ NOTE ON PLAN: A. Luminaire Efficacy: All installed luminaires must meet the requirements in Table 150.0-A. ble 150.0-A Classification of High Luminous Efficacy Light Sou Automatically considered high luminous efficacy (does Must be JA8 certified/marked NOT require JA8 certification) 7. All light sources installed in ceiling recessed 1. LED light sources installed outdoors downlight luminaires: Note that ceiling-recessed downlight luminaires must not have screw base sockets regardless of lamp type, as specified in §150.0(k)1C. 2. Inseparable solid state lighting (SSL) luminaires Anything not listed in this table containing colored light sources that are installed to provide decorative lighting 3. Pin-based linear fluorescent or compact fluorescents with electronic ballasts 4. High-intensity discharge (HID) light sources including pulse start metal halide and high-pressure sodium light Luminaires with a hardwired, high-frequency generator and induction lamp 6. Ceiling fan lights kits subject to federal appliance Integrated Device Lighting: Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and 2. Navigation Lighting: Lighting such as night lights, step lights and path lights less than 5 watts 3. Cabinet Lighting: Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per B. Screw-based Luminaires: Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8. C. Recessed Downlight Luminaires in Ceilings: There is a new exception to the airtight labeling and installation requirements for recessed luminaires that are either marked for use in fire-rated installations or are installed in Light Sources in Enclosed or Recessed Luminaires: No change, although this section has been reorganized. E. Blank Electrical Boxes: Language is added about how the blank electrical boxes must be served for dimmer, vacancy sensor control, low voltage wiring or fan speed control. INDOOR LIGHTING CONTROLS E. Automatic-off Controls: Walk-in closets have been added in addition to bathrooms, garages, laundry room and utility rooms as spaces requiring an occupancy/vacancy sensor with automatic-off functionality. It was clarified that lighting in opaque-fronted drawers and cabinetry must be controlled with automatic-off when a drawer or door F. Dimming Controls: Dimmers that are required for lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens and bedrooms) must have readily accessible dimming controls. Forward phase-cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A. EXCEPTIONS: Ceiling fans with integrated lighting may use remote control. 2. Luminaires connect to a circuit in which the controlled lighting power is <20 watts OR controlled by an occupancy/vacancy sensor providing automatic-off functionality.

 3. Lighting is under <5 watts for navigation (e.g., night lights, step lights and path lights), or lighting is internal to opaque-fronted drawers and cabinetry (which may alternatively use automatic-off controls).

. Independent Controls: The following must be controlled independently:

Integrated lighting of exhaust fans from the fan function

Undercabinet lighting

Interior lighting of display cabinets

Undershelf lighting

Switched outlets

15

	-24(E)].	1		attached to the dwelling unit and are accessible from inside the
NO	N-METTALIC SHEATHED CABLE [CEC 334]			dwelling unit shall have at least one outlet, Receptacles shall
Nor	n-metallic sheathed cable shall be:			be accessible at grade level and not more than 6-1/2 ft. above
1.	Protected by rigid metal conduit, intermediate metal conduit,			grade or walking surface [CEC 210.52(E)].
	electrical metallic tubing, schedule 80 PVC conduit, type	1	9.	All crawl space receptacles shall be GFCI [CEC 210.8(A)(4)].
	RTRC marked with the suffix -XW, or other means when cable			All unfinished basement receptacles shall be GFCI unless they
	is exposed or subject to physical damage. [CEC 334.15(B)]	1	10.	are not readily accessible or are service a dedicated appliance
2	[18]	1		
2.	Protected by a 1/16-inch steel plate or sleeve or be not less	1		[CEC 210.8(A)(5)].
	than 1-1/4 inch from the nearest edge of the framing member,	1	11.	All receptacles within 6 ft. of a wet bar shall be GFCI [CEC
	when installed through framing members. Steel plates or	1		210.8(A)(7)].
	sleeves are required on all double shear walls when cable is	1	12.	All receptacles on 15A or 20A branch circuits that supply
	installed either through or parallel to framing members [CEC			kitchens, family rooms, dining rooms, living rooms, parlors,
	334.17, 300.4].	1		libraries, dens, bedrooms, sunrooms, recreation rooms,
3.	Protected by guard strips within 6 feet of an attic access when			closets, hallways laundry areas or similar rooms or areas shall
	no permanent stairs or ladders are provided [CEC 334.23,			be protected by combination-type Arc-Fault Circuit Interrupters
	320.23].	1		(AFCI), including switched outlets [CEC 210.12(A)].
4.	Protected by guard strips in the entire attic when permanent	1	13	All receptacles serving appliances or motors with a rating of 1
7.		1	15.	
	stairs or ladders are provided. Access panels or doors from			HP or 6 Amps shall be on a separate circuit.
	the second floor into the attic are considered permanent		14.	For HVAC equipment, a separate 15A or 20A circuit with an
	access and guard strips are required in the entire attic [CEC	1		accessible receptacle at the equipment shall be provided
	320.23].			within 25 ft, of the equipment [CEC 210.63]. If located in an
5.	Have a bending radius not less than 5 times the diameter of	1		under-floor area, the receptacle shall be GFCI [CEC 210.8(4)].
	the cable [CEC 334.24].		15.	Basements, Garages and Accessory Buildings. For a one-family
6.	Supported at intervals not exceeding 4-1/2 feet and within 12"	1		dwelling, at least one receptacle outlet shall be installed in the
	of every outlet box, junction box, cabinet, or fitting [CEC	1		areas specified in 210.52(G)(1) through (3)/ These receptacles
	334.301.			shall be in addition to receptacles required for specific
CIR	CUITS AND RECEPTACLES			equipment. [CEC210.52]
1.	Tamper-Resistant Receptacles shall be installed as specified			(1) Garages. In each attached garage and in each
1.	in dwelling units in all areas specified in 210.52 and 550.13.	1		detached garage with electrical power. The branch circuit
		1		
•	[CEC 406.12]	1		supplying this receptacle(s) shall not supply outlets outside
2.	Receptacles shall be installed so that no point along the floor			of the garage. At least one receptacle outlet shall be
	line in any wall space is more than 6 ft. from an outlet,	1		installed for each car space.
	including any wall space 2 ft. wide or greater. Note: A fixed	1		(2) Accessory Buildings. In each accessory building with
	panel of a sliding glass door is considered wall space. [CEC	1		electric power.
	210.52(A)].	1		(3) Basement. In each separate unfinished portion of a
3.	In kitchens, breakfast rooms, pantries and dining rooms a	1		basement.
	minimum of 2-20A circuits shall be provided [CEC 210.11(C)	D.	LIGH	HTING [CEC 210.70]
	(1)]. Counter space receptacles shall be GFCI [CEC 210.8(A)]	10000	1.	Switched lighting shall be installed in:
	and installed:	1	953	Every habitable room, kitchen, and bathroom, hallways, and
	At each wall counter space that is 12 in. or greater [CEC]			stairways at each level,
		1		
	210.52(C)];	1		Garages,
	Maximum 24 in. from the end of the counter [CEC 210.52]			 At all outdoor entrances and exits,
	(C)(2(a))];	1		 In all attics, under floor areas, utility rooms and basements
	 Maximum 20 in. above counter surface [CEC 210.52) 	1		used for storage
	(C)(3(1))];			. Near HVAC equipment in attic, under floor areas, rooms or
	Below countertop or works surfaces (one receptacle min.)	1		basements, with a switch at the access point.
	not more than 12 in. below counter surface [CEC 210.52	1	2.	Lighting installed in a closet shall be a surface mounted or
	(C)(3(3));	1	Mar.	recessed fluorescent fixture or a surface mounted
4.	Bathrooms shall have a separate 20A circuit [CEC 210.11(C)			
4.	(3)] with at least one GFCI wall receptacle within 36 in. of each	1		incandescent fixture with completely enclosed lamps or recessed incandescent fixture with completely enclosed lamps.
		1		있다. 100 HTM : 1
-	basin [CEC 210.8(A)(1); CEC 210.52(D)].			Surface incandescent lighting shall be installed a minimum of
5.	Laundry rooms shall have a separate 20A circuit with at least			12 in. from the nearest point of a storage space. Surface
	one receptacle shall be provided [CEC 210.11(C)(2)]. All			fluorescent lighting and recessed lighting shall be installed a
	receptacles within 6 ft. of the sink shall be GFCI [CEC			minimum of 6 in. from the nearest point of a storage space.
	210.8(A)(7)].			[CEC 410.16(C)]
6.	In garages, at least one GFCI receptacle shall be provided	E.	FAN	S
	[CEC 210.52(G)]. All other garage receptacles except those		Each	bathroom containing a bathtub, shower, or bathtub/shower

Outdoor outlets shall be GFCI [CEC 210.8(A) (3)]. One outlet

of the dwelling. Balconies, decks, and porches that are

shall be installed at the front of the dwelling and one at the rear

SUBMITTED DRAWINGS:	BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE
Commu	BUILDING DIVISION unity Development Department City of Burbank
CER	ONSERVING PLUMBING FIXTURES RTIFICATE OF COMPLIANCE Idings built on or before Jan. 1, 1994)
	Permit No:
the aurent California Diverbine Cada	
installation requirements, and that the below.	Date:
installation requirements, and that the below. Owner's Name:	e water-conserving plumbing fixtures comply with the requirements as l
installation requirements, and that the below. Owner's Name: Owner's Signature:	e water-conserving plumbing fixtures comply with the requirements as Date: Date: SINGLE-FAMILY RESIDENTIAL
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture	Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet	Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead	Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads	Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.8 gals/min combined at 80 psi
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead	Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet	Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi 1.8 gals/min at 60 psi 1.8 gals/min at 60 psi
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet Kitchen Faucet	Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi 1.8 gals/min at 60 psi MULTI-FAMILY RESIDENTIAL
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet Kitchen Faucet Fixture	Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.8 gals/min combined at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi MULTI-FAMILY RESIDENTIAL CALGreen/ CPC
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet Kitchen Faucet Fixture Water Closet	Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.8 gals/min combined at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 60 psi 1.8 gals/min at 60 psi 1.8 gals/flush MULTI-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet Kitchen Faucet Fixture Water Closet Showerhead	Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.8 gals/min combined at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet Kitchen Faucet Fixture Water Closet Showerhead Multiple Showerheads	Date: Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi
installation requirements, and that the below. Owner's Name: Owner's Signature: Fixture Water Closet Showerhead Multiple Showerheads Lavatory Faucet Kitchen Faucet Fixture Water Closet Showerhead	Date: Date: SINGLE-FAMILY RESIDENTIAL CALGreen/ CPC 1.28 gals/flush 1.8 gals/min at 80 psi 1.8 gals/min combined at 80 psi 1.2 gals/min at 60 psi 1.8 gals/min at 60 psi

UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

NO.	Description	Date

NOTES

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.0

19

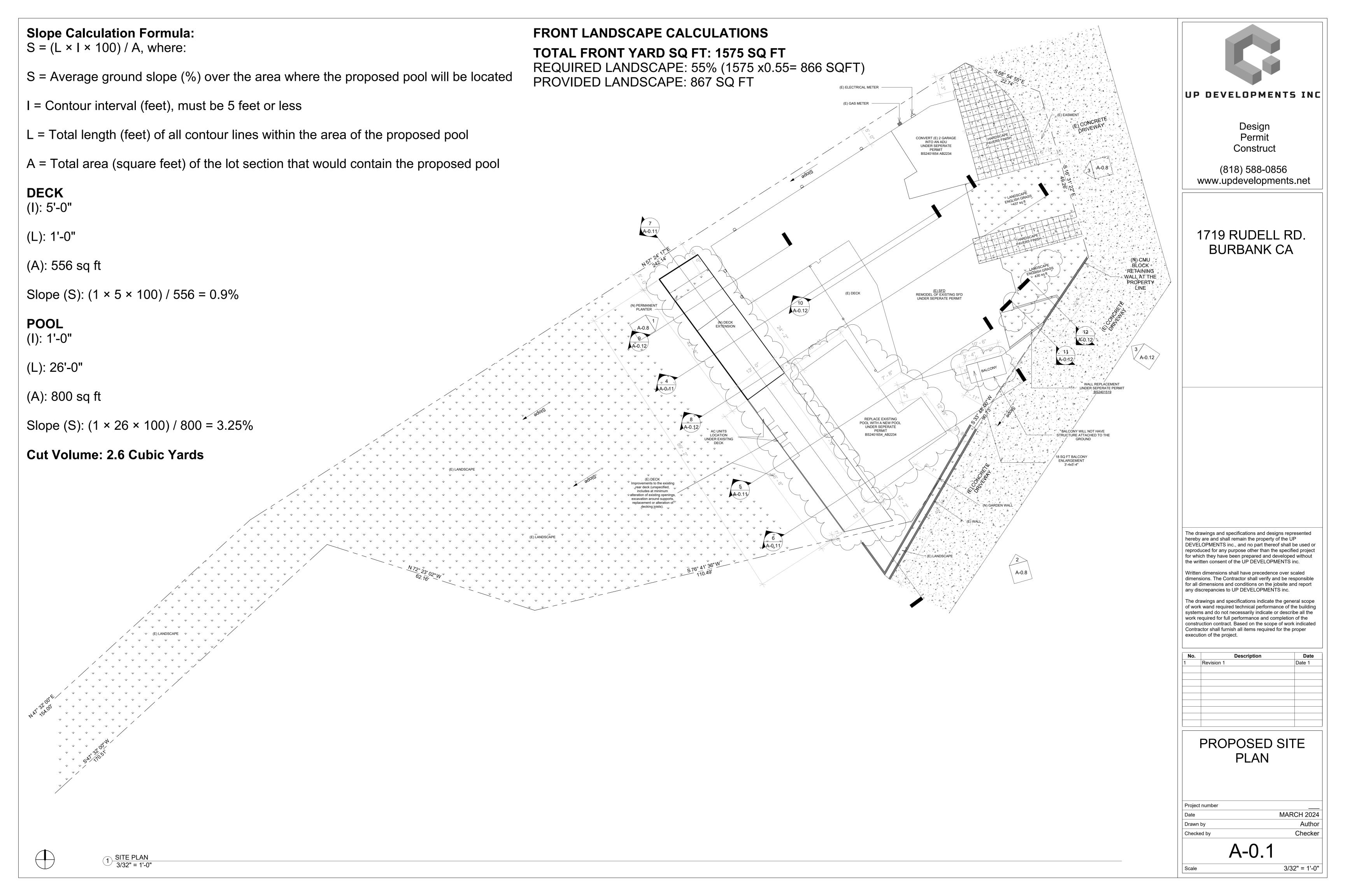
SMOKE ALARMS

combination shall be mechanically ventilated for purposes of humidity control in accordance with the California Mechanical Code

In new construction, smoke alarms shall receive their primary power from the building wiring. The wiring shall be permanent and

installed without a disconnecting switch other than those required for overcurrent protection [CRC R314.4, CBC 907.2.10.5].

and the California Green Building Standards Code.







Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

EXISTING SITE PLAN

Project number

Checked by

Drawn by

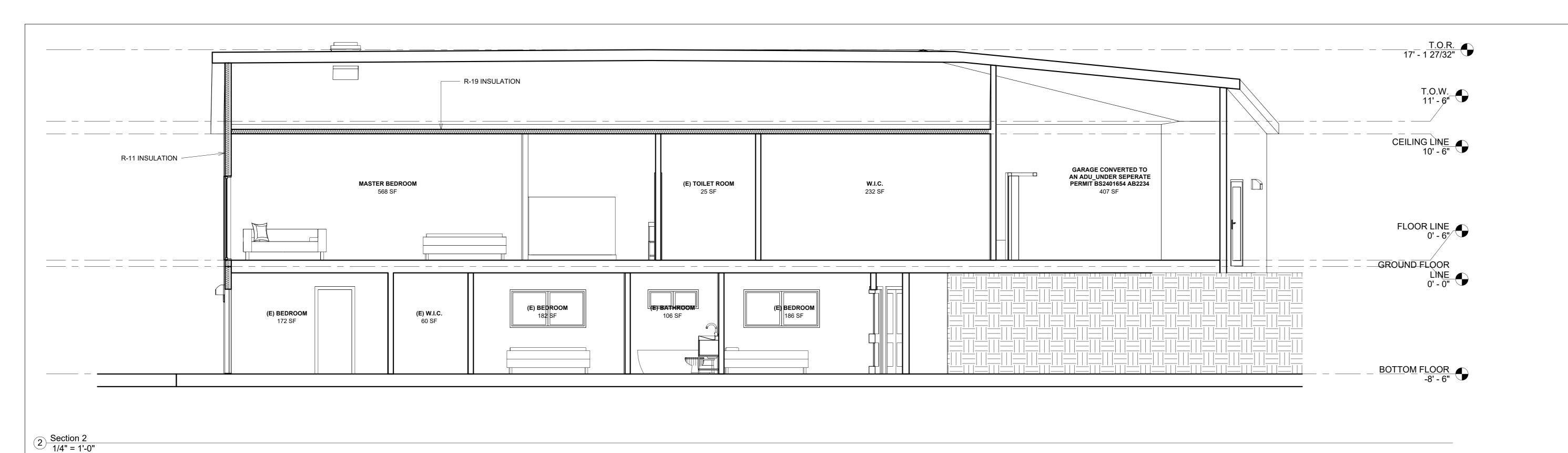
A-0.2

MARCH 2024

Checker

1/16" = 1'-0"

(E) Garden wall





UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. **BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

SELF FURRING LATH

- CEMENT PLASTER

FRAMING MEMBER

WATER RESISTANT BARRIER(S)-LAP OVER SCREED FLANGE

No. 26 galvanized sheet gage

- BOTTOM OF FLANGE SET BELOW

TOP OF FOUNDATION AND PLATE

- SHEATHING

weep screed

- FOUNDATION

WEEP SCREED DETAIL

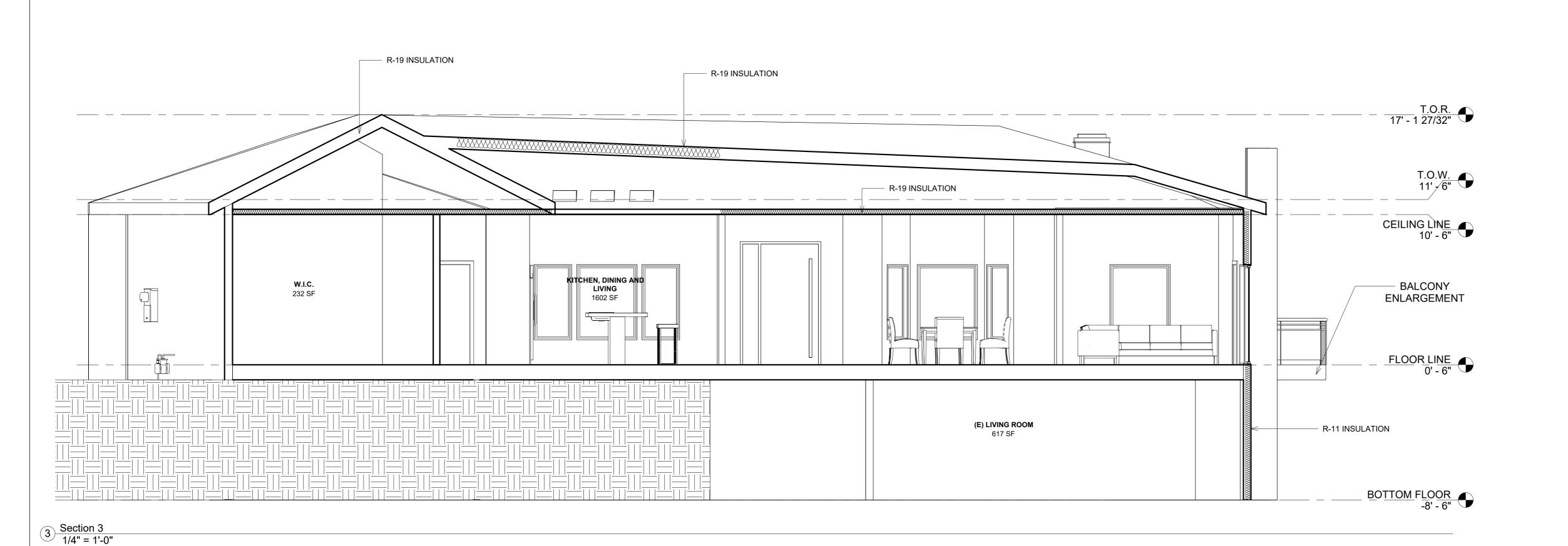
The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

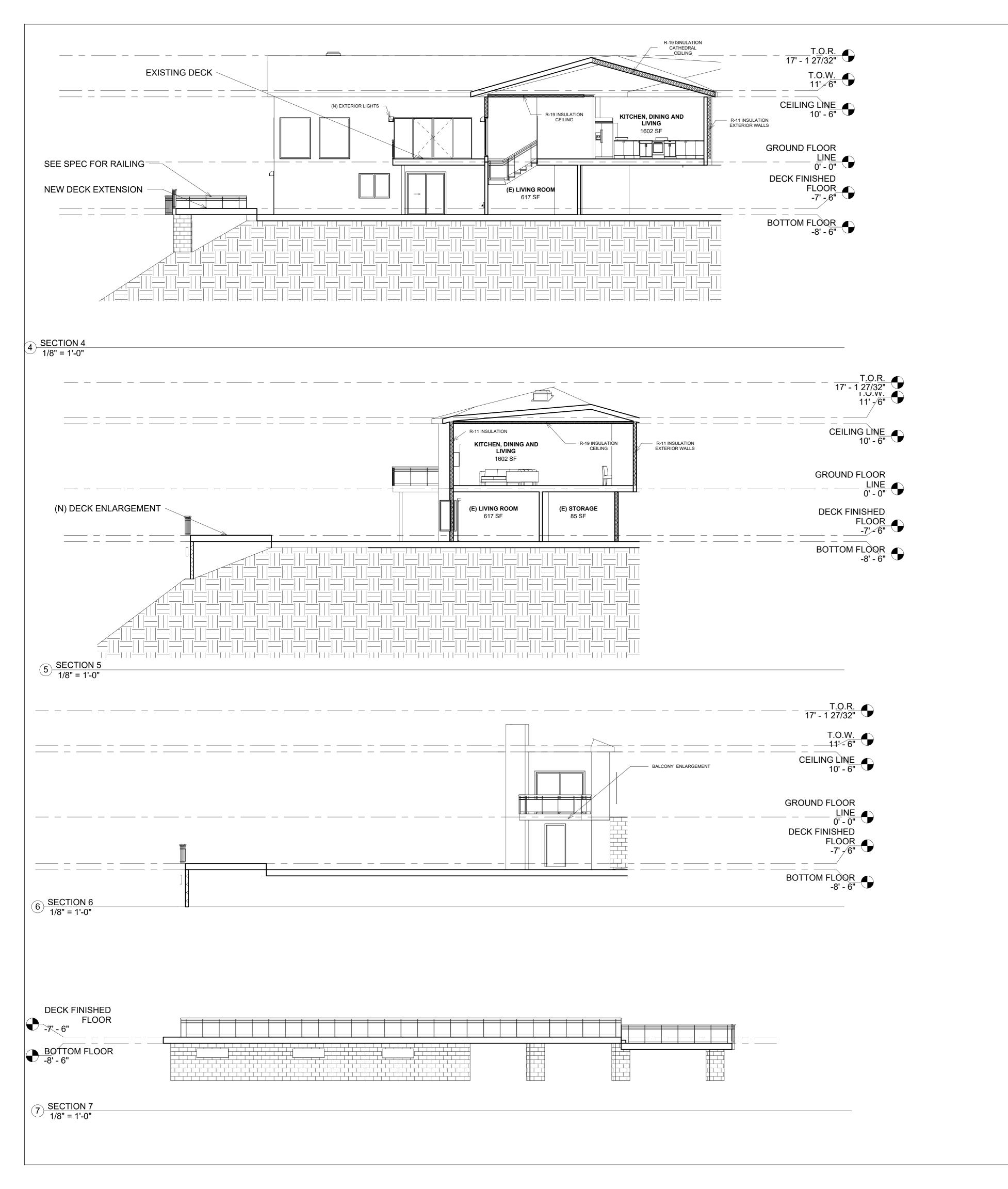
No.	Description	Date
	SECTION	
Project numbe	er	
Date		MARCH 2024
Drawn by		Author
Checked by		Checker

A-0.10

Scale

1/4" = 1'-0"







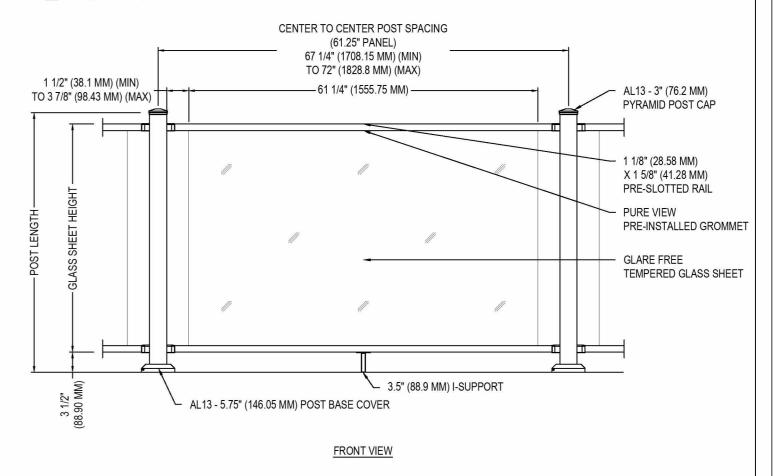
SELECT DESIRED PICKET HEIGHT:

34" (863.6 MM)

40" (1016 MM)

SELECT DESIRED POST LENGH:

39.5" (1003.3 MM) 45.5" (1155.7 MM)



1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

- 2. NOTE TO ARCHITECT, SCALE DRAWING IN AUTOCAD MODEL SPACE. 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY

CADdetailsPLUS™

THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE. 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER

REFERENCE NUMBER 5171-023

PROTECTED BY COPYRIGHT ©2020 CADDETAILS.COM LTD.

PURE VIEW GLASS RAILING

PURE VIEW: FULL GLASS PANEL AL13 - 61.25 PANEL - RESIDENTIAL

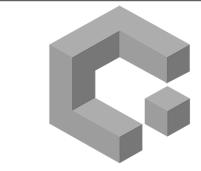
REVISION DATE 10/08/2020 CADdetails.com

FORTRESS RAILING PRODUCTS

1720 NORTH FIRST STREET GARLAND, TX 75040

TOLL FREE: 1-866-323-4766 FAX: (972) 644-3720

www.fortressbp.com/railing



UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. **BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

NO.	Description	Date

SECTION

Project number

Drawn by

Checked by

MARCH 2024

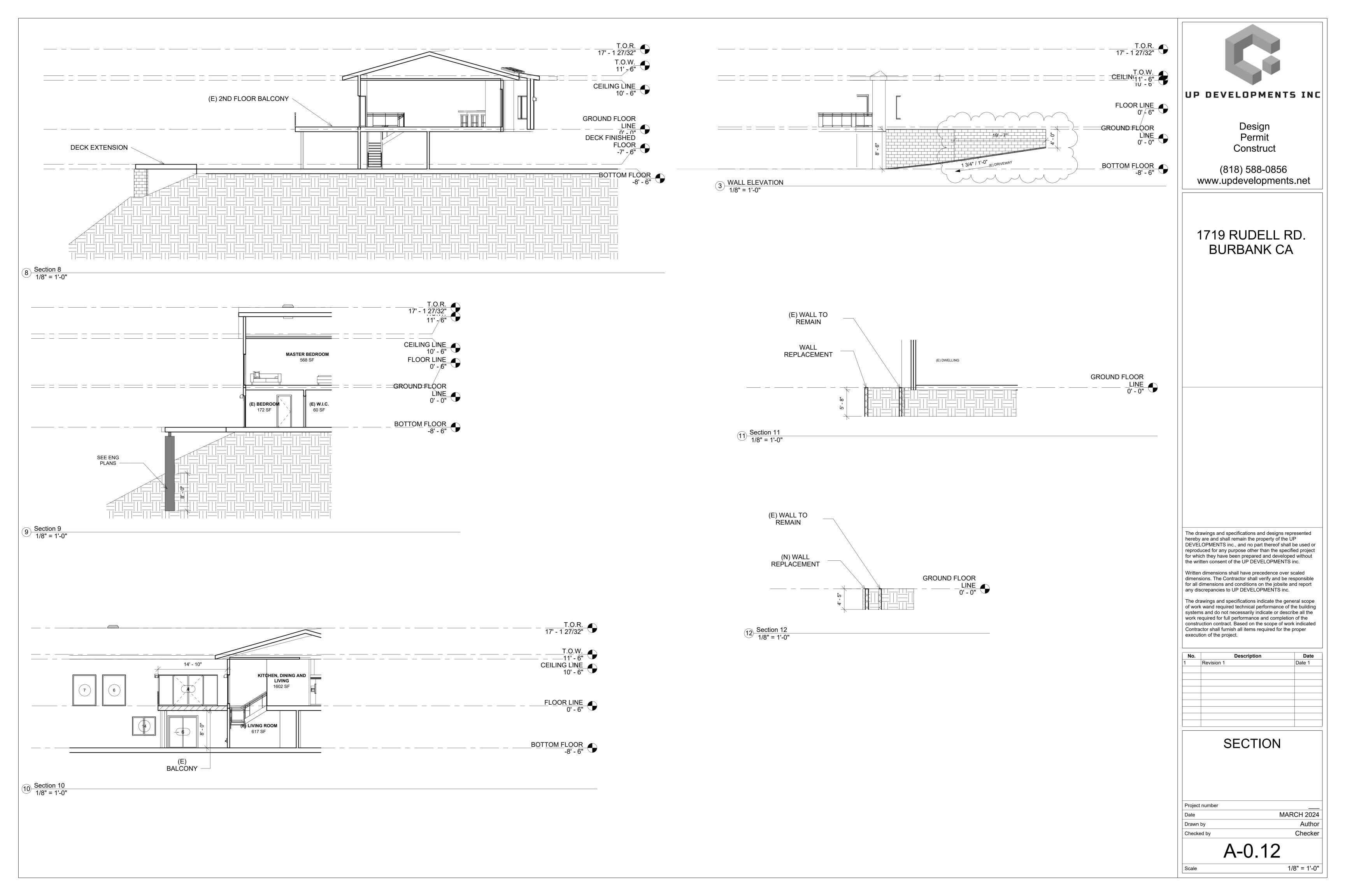
A-0.11

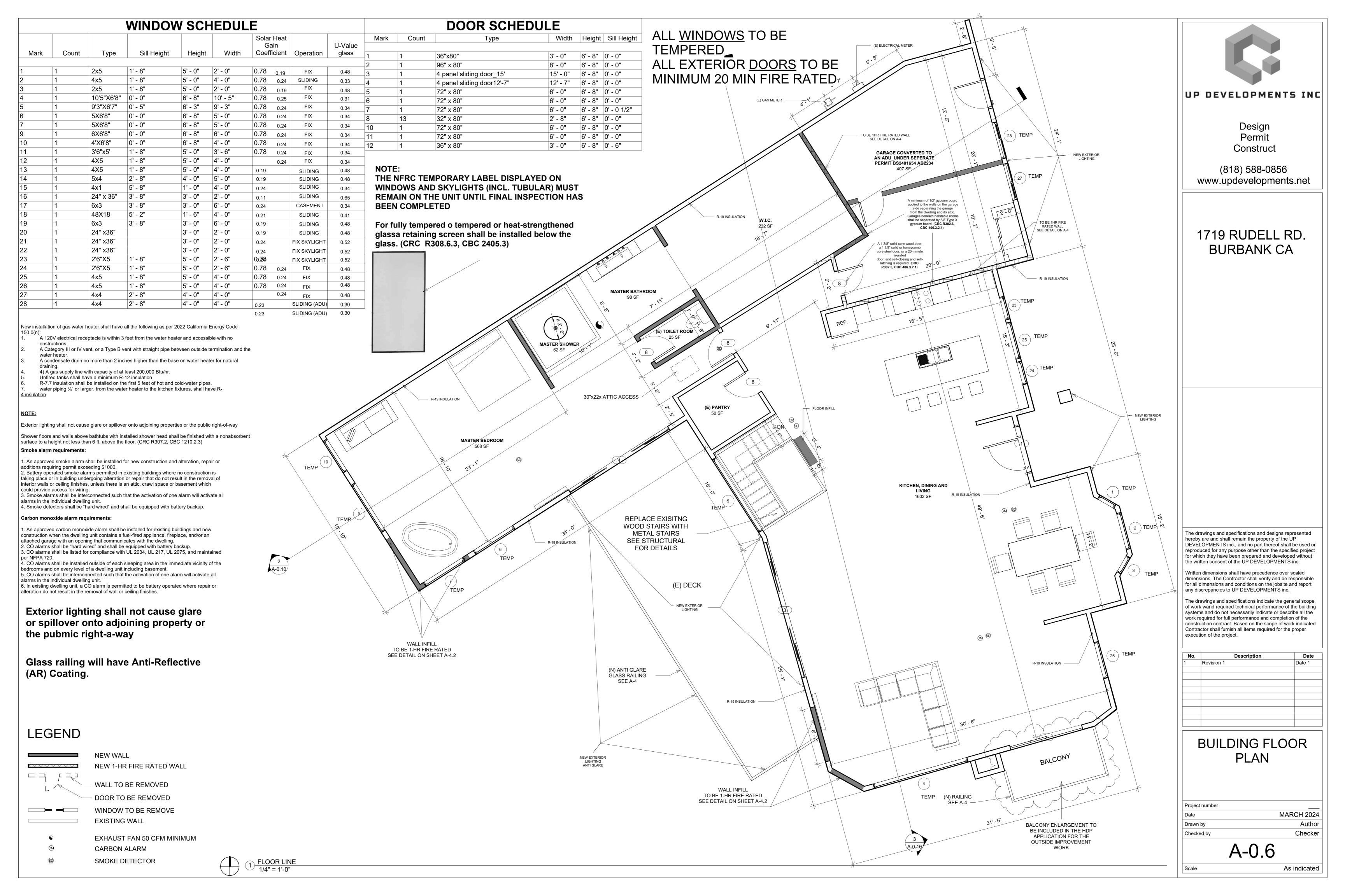
Scale

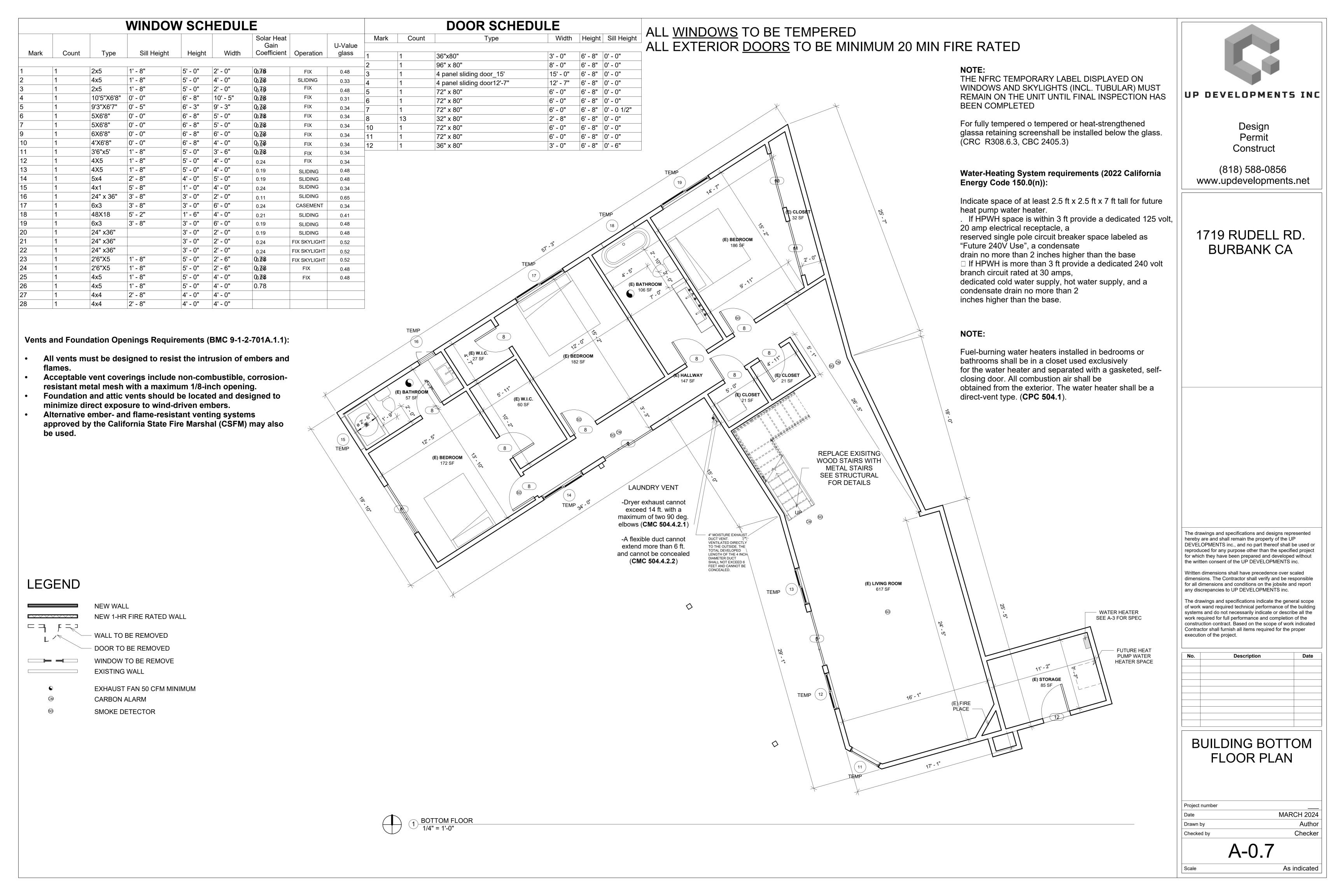
1/8" = 1'-0"

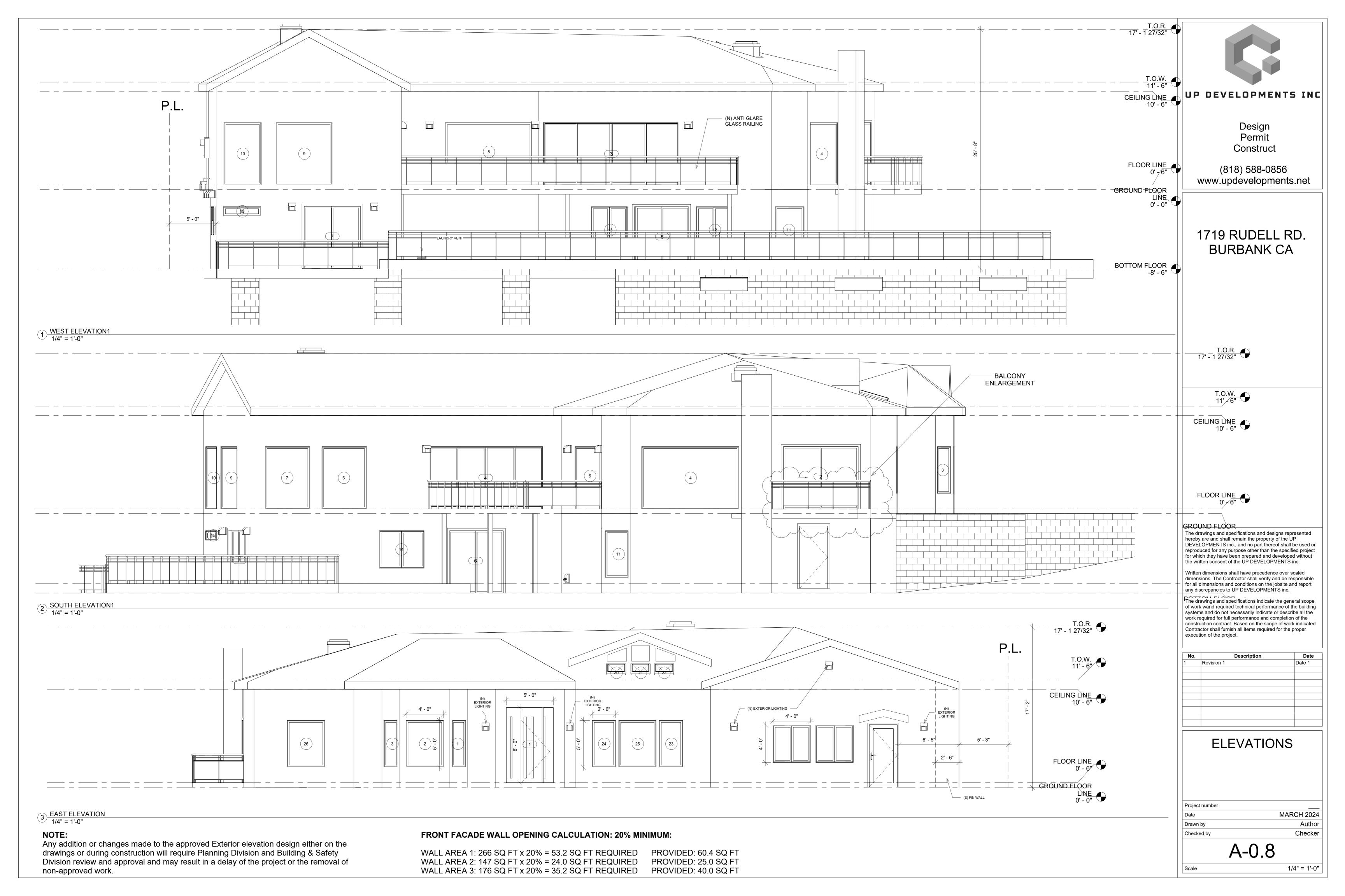
Author

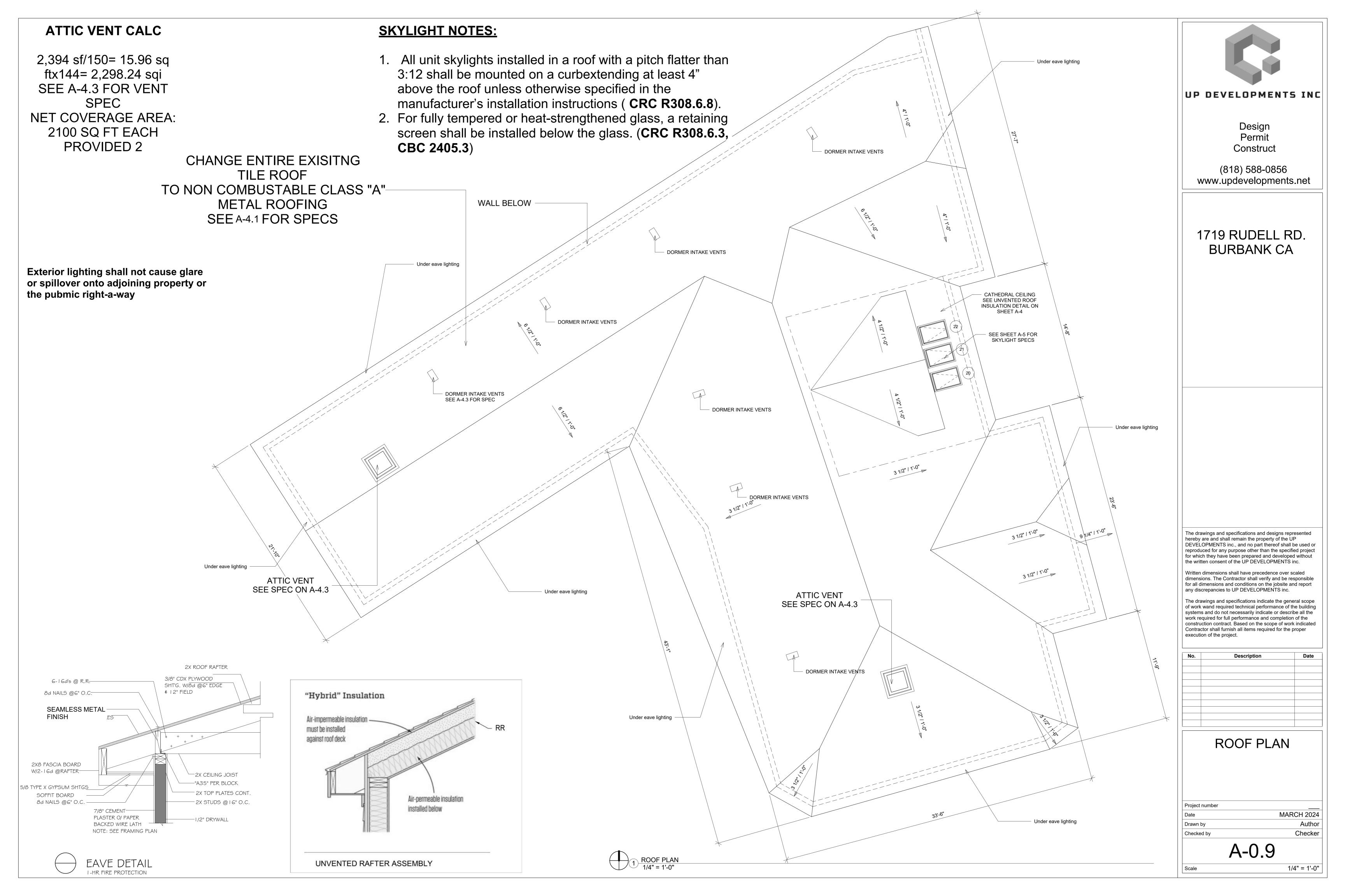
Checker











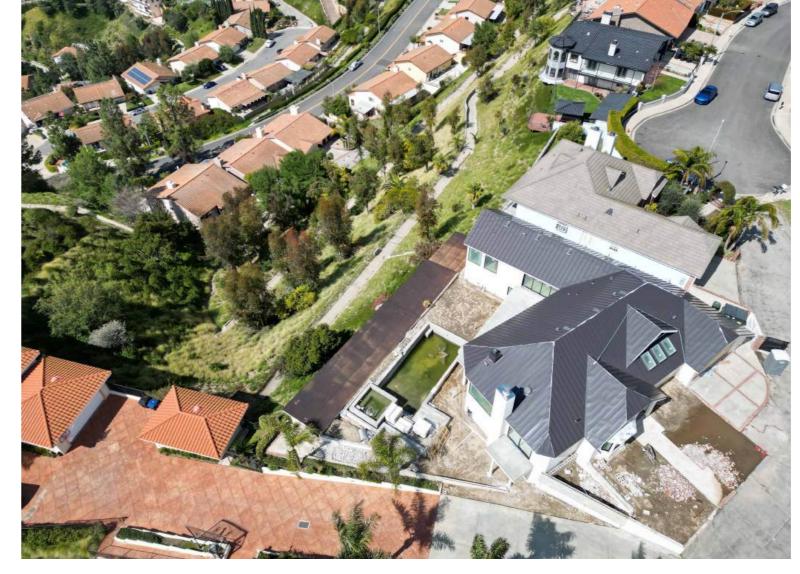


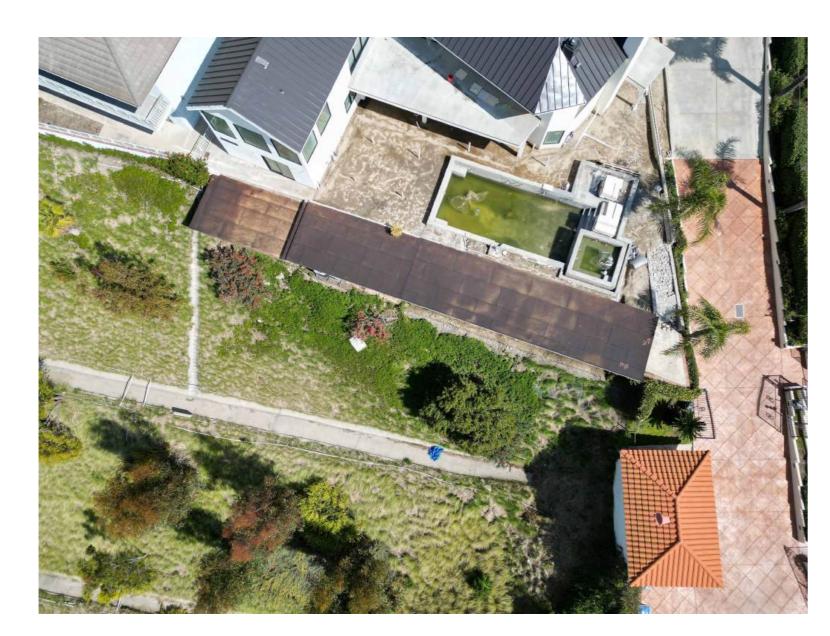


















UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. **BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

PICTURES

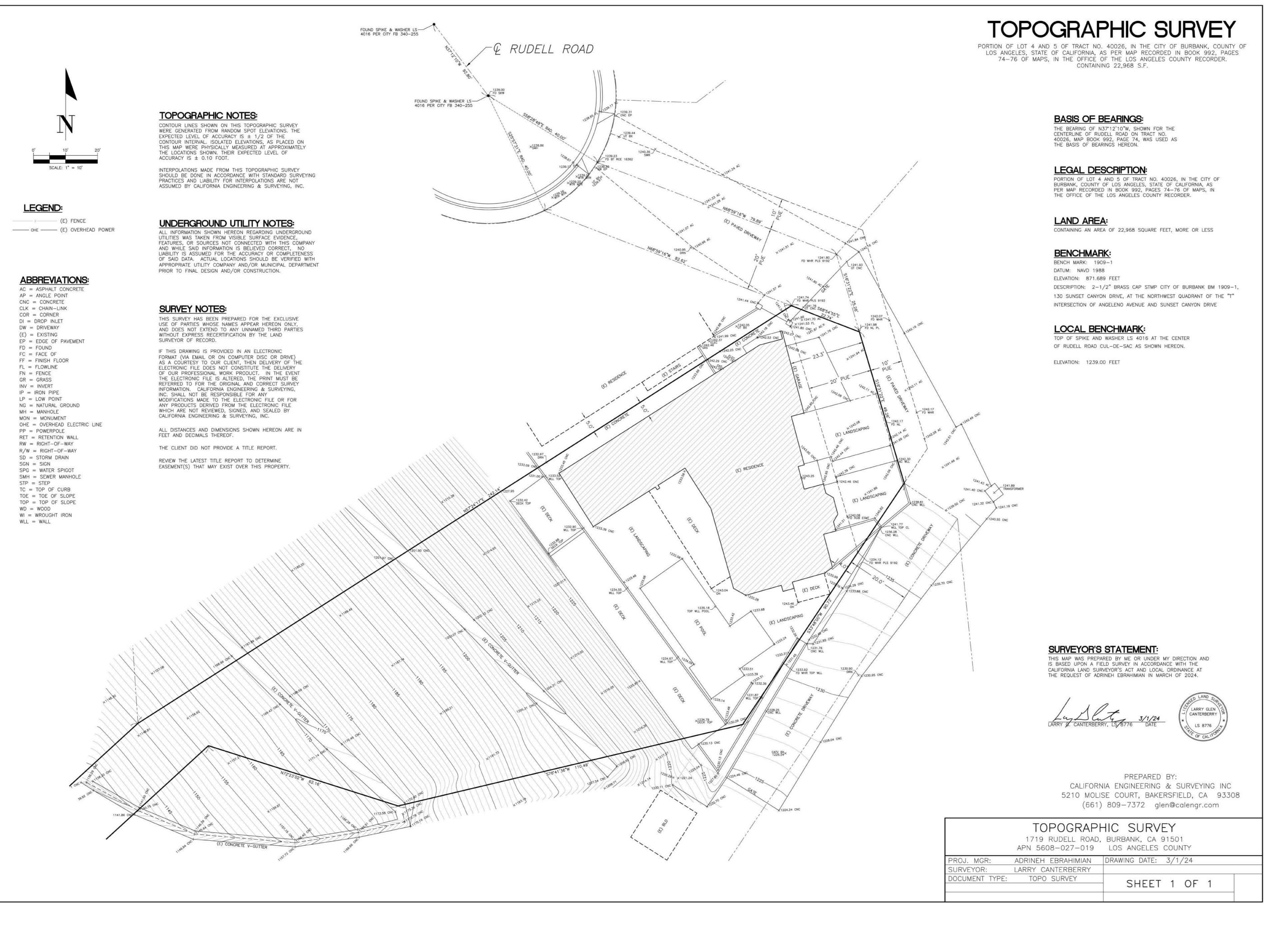
Project number MARCH 2024 Drawn by

A-0.13

Author

Checker

Checked by





UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date
l		[

SURVAY

Project number

Checked by

Date
Drawn by

A-2

MARCH 2024

Checker

Scale



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

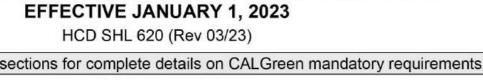
See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

CHAPTER 1 – ADMINISTRATION		
SECTION	REQUIREMENTS	
	Scope	
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.	
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.	

102.3	acceptable to the enforcing agency to be used for documentation of conformance.		
CHAPTER 3	- GREEN BUILDING		
SECTION	REQUIREMENTS		
	Additions and alterations		
301.1.1	Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.		
	 Requirements only apply within the specific area of the addition or alteration. 		
	Requirements for electric vehicle charging may apply to additions to or alterations of parking facilities for multifamily buildings		
	Low-rise and high-rise residential buildings		
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].		
	Mixed occupancy buildings		
	Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.		
302.1	Exceptions:		
002.1	 Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable. 		
	 Live/work units complying with the California Building Code Section 508.5 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable. 		

Page 1 of 17





2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

CHAPTER 4	- RESIDENTIAL MANDATORY MEASURES
DIVISION 4.	1 – PLANNING AND DESIGN
SECTION	REQUIREMENTS
	Storm water drainage and retention during construction
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan o development shall manage storm water drainage during construction.
	Grading and paving
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings.
	Exception: Additions and alterations which do not alter the existing drainage path.
	Electric vehicle (EV) charging for new construction and existing multifamily parking facilities
	 Comply with Section 4.106.4.1 or 4.106.4.2 for installation and use of EV chargers and receptacles.
	Electric vehicle supply equipment (EVSE) shall comply with the California Electrical Code.
4.106.4	Exceptions:
	 On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following:
	1.1. Where there is no local utility power supply, or the local utility is unable to supply adequate power.
	1.2. Where local enforcing agency determines additional local utility infrastructure design requirements for implementation of Section 4.106.4, may adversely impact the construction cost of the project.
	Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities.

Page 2 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

	2022 CALGREEN CODE
	EV charging: New 1- & 2-family dwellings/townhouses with attached private garages
	 Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit.
	Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).
4.106.4.1	 Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger.
	 Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces.
	 Service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240- volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
	Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i> .
	Identification
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."
	EV charging for new multifamily dwellings, hotels and motels and new residential parking facilities
	Applies to all new multifamily dwelling units, hotels and motels and new residential parking facilities.
4.106.4.2	Shall meet the requirements of Sections 4.106.4.2.1 or 4.106.4.2.2.
	Calculations for spaces shall be rounded up to the nearest whole number.
	 A parking space served by electric vehicle supply equipment (EVSE) or designed as a future EV charging space shall count as at least one standard parking space in order to comply with minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2.

Page 3 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

	Multifam	ily development projects, hotels, and motels with less than 20 units
	The number building on a	of dwelling units, sleeping units or guest rooms shall be based on all project site.
	EV spa shall d site dis minimu	pable. 10% of the total number of parking spaces on a building site shall be aces capable of supporting future Level 2 EVSE. Electrical load calculations emonstrate electrical panel service capacity, electrical system, and any onstribution transformer(s) have sufficient capacity to charge all EVs at a sum of 40 amps. The service panel/subpanel shall identify overcurrent tive device spaces reserved for future EV charging as "EV CAPABLE."
	Ехсер	tions:
4.106.4.2.1	1.	When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.
	2.	When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities by parking lifts.

2. EV Ready. 25% of the total number of parking spaces shall be equipped with low

power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

Multifamily development projects, hotels and motels with 20 or more units

The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site.

1. EV Capable. 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any onsite distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amperes. The service panel/subpanel shall identify future EV spaces as "EV CAPABLE."

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than 5% of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the 5% required.

4.106.4.2.2

2. EV Ready. 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3. EV Chargers. 5% of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or EVSE are installed beyond the minimum required, automatic load management systems (ALMS) may be used to reduce electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EVCS.



the EV space is 12 feet.

2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

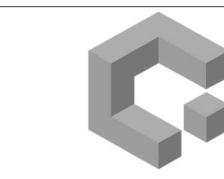
See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

	EV charging stations (EVCS)	
4.106.4.2.2.1	EVCS required by Section 4.106.4.2.2.1.2, Item 3 (1 in 25 EVCS with chargers) shall comply with Section 4.106.4.2.2.1.1.	
	Exception: EVCS serving public accommodations, public housing motels and hotel shall not be required to comply with this section. See <i>California Building Code</i> , Chapter 11B, for applicable requirements.	
	Location	
4.106.4.2.2.1.1	When EV chargers are installed, EVCS shall comply with at least one of the following options:	
	 The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 	
	The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.	
	Exception: EVCS designed and constructed in compliance with the <i>California Building Code</i> , Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.	
	EV charging stations (EVCS) dimensions	
	EV charging spaces shall be designed to comply with the following:	
	 Minimum length of each EV space shall be 18 feet. 	
4.106.4.2.2.1.2	 Minimum width of each EV space shall be 9 feet. 	
	 One in every 25 charging spaces, but not less than one, shall have an 8-foot minimum aisle. A 5-foot minimum aisle shall be permitted if the minimum width of 	

a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical

in 48 units horizontal (2.083% slope) in any direction.



UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. **BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Da

CAL GREEN **MANDATORY MEAUSRES**

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker
	\

A-3

Scale

Page 4 of 17 Page 5 of 17 Page 6 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

Accessible EV spaces

4.106.4.2.2.1.3	In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the <i>California Building Code</i> , Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with <i>California Building Code</i> , Chapter 11A, Section 1109A.
	EV space requirements
	Single EV space required
	 Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.
	 Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).
	 Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.
	 Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable.
4.106.4.2.3	 Service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit including an installed branch circuit overcurrent protective device; or spaces reserved to install a branch circuit overcurrent protective device.
	1950 1976 197 1cm/s

Construction documents shall indicate the raceway termination point and

• Plan design shall be based upon a 40-ampere minimum branch circuit.

wiring schematics and electrical load calculations.

construction in accordance with the California Electrical Code.

Page 7 of 17

proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s),

 Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the

Exception (applies to both single and multiple EV spaces): A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

	Identification	
4.106.4.2.4	The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the <i>California Electrical Code</i> .	
	EV ready space signage	
4.106.4.2.5	EV ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement markings) or its successor.	
4.106.4.3	EV charging for additions and alterations of parking facilities serving existing multifamily buildings	
	When new parking facilities are added, or electrical systems or lighting of existing parkin facilities are added or altered and the work requires a building permit, 10% of the total number of parking spaces added or altered shall be EV spaces capable of supporting future Level 2 EVSE.	
DIVISION 4.2	2 – ENERGY EFFICIENCY	
SECTION	REQUIREMENTS	
	Scope	
4.201.1 & 5.201.1	Energy efficiency requirements for low-rise residential (single-family) (Section 4.201.1); and high-rise residential (multifamily) and hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen.	
	Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2022 California Energy Code.	

Page 8 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

SECTION	REQUIREMENTS
	Water conserving plumbing fixtures and fittings
	Plumbing fixtures and fittings shall comply with the following:
	4.303.1.1 – Water closets: ≤ 1.28 gal/flush.
	4.303.1.2 - Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush
	4.303.1.3.1 - Single showerheads: ≤ 1.8 gpm @ 80 psi.
4.303.1	4.303.1.3.2 – Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or onl 1 shower outlet is to be in operation at a time.
	4.303.1.4.1 – Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi.
	4.303.1.4.2 – Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi.
	4.303.1.4.3 - Metering faucets: ≤ 0.2 gallons per cycle.
	4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
	4.303.1.4.5 – Pre-rinse spray valves: comply with California Code of Regulations (CCR), Title 20, Appliance Efficiency Regulations, Sections 1605.1(h)(4) Table H-2, Section 1605.3(h)(4)(A), and Section 1607(d)(7). Shall be equipped with an integral automatic shutoff.
	Submeters for multifamily buildings and dwelling units in mixed-use residential/commercial buildings
4.303.2	Submeters shall be installed to measure water usage on individual dwelling units in accordance with the California Plumbing Code.
	Standards for plumbing fixtures and fittings
4.303.3	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.

Page 9 of 17



time of original construction.

Multiple EV spaces required

2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.304.1	Outdoor potable water use in landscape areas
	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

SECTION	REQUIREMENTS
4.406.1	Rodent proofing
	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.
	Construction waste management
	 Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.
	Provide documentation to the enforcing agency per Section 4.408.5.
4.408.1	Exceptions:
	Excavated soil and land-clearing debris.
	 Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
	 The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
	Construction waste management plan
4.408.2	Submit a construction waste management plan that meets Items 1 through 5.



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

2022 CALGREEN CODE	
	Waste management company
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.
	Waste stream reduction alternative
4.408.4 & 4.408.4.1	 Low-rise residential projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
	 Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
	Operation and maintenance manual
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference, or other media acceptable to the enforcing agency which covers 12 specific subject areas shall be placed in the building.
	Recycling by occupants
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage, and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
	Exception: Rural jurisdictions that meet and apply for the exemption in <i>Public Resources Code</i> Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE DIVISION 4.5 - ENVIRONMENTAL QUALITY

SECTION	REQUIREMENTS
	Fireplaces – General
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.
4.504.1	Protection of mechanical equipment during construction
	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, Sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
	Adhesives, sealants and caulks
	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:
4.504.2.1	1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2.
	 Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of CCR, Title 17, commencing with Section 94507.



UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. **BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

INO.	Description	Date

CAL GREEN **MANDATORY MEAUSRES**

Project number MARCH 2024 Drawn by Author Checker Checked by

Scale

Page 10 of 17 Page 11 of 17 Page 12 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

ZVZZ O/ (ECINELIN GODE	
	Paints and coatings
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.
	Aerosol paints and coatings
4.504.2.3 & 4.504.2.4	 Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.
	Documentation is required per Section 4.504.2.4.
	Carpet systems
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
	Carpet cushion
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
	Carpet adhesive
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.
	Page 13 of 17

Page 13 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

2022 CALGREEN CODE	
	Resilient flooring systems
4.504.4	Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
	Composite wood products
4.504.5 &	 Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (CCR, Title 17, Section 93120 et seq.) as shown in Table 4.504.5.
4.504.5.1	Documentation is required per Section 4.504.5.1.
	 Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).
4.505.2	Concrete slab foundations
	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the <i>California Building Code</i> , Chapter 19, or the <i>California Residential Code</i> , Chapter 5, respectively, shall also comply with this section.
4.505.2.1	Capillary break
	A capillary break shall be installed in compliance with at least one of the following:
	 A 4-inch thick base of ½ inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
	Other equivalent methods approved by the enforcing agency.
	6

Page 14 of 17



CAL Green

2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.507.2	Heating and air-conditioning system design
	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods:
	 The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
	 Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
	 Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods.
	Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS		
SECTION	REQUIREMENTS	
	Installer training	
	Heating, ventilation, and air conditioning (HVAC) system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following:	
702.1	State certified apprenticeship programs.	
	Public utility training programs.	
	Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.	
	 Programs sponsored by manufacturing organizations. 	
	Other programs acceptable to the enforcing agency.	



CAL Green

2022 CALGREEN RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2023 HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

	Special inspection
702.2	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
	Documentation
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2023

HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

	2022 07.1207.2217 0002				
	Moisture content of building materials				
	Building materials with visible signs of water damage shall not be installed. Wall and floo framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following:				
	 Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 				
4.505.3	Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.				
	 At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. 				
	Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.				
	Bathroom exhaust fans				
	Each bathroom shall be mechanically ventilated and shall comply with the following:				
4.506.1	 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 				
	Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.				
	 a. Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. 				
	 A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. 				
	Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or				

Page 15 of 17

California Energy Code.

tub/shower combination. Lighting integral to bathroom exhaust fans shall comply with



Design Permit Construct

(818) 588-0856 www.updevelopments.net

1719 RUDELL RD. BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date
'		

CAL GREEN MANDATORY MEAUSRES

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker
	_

Page 16 of 17

A-5

Scale

1719 RUDELL ROAD, BURBANK, CA 91501

GENERAL NOTES

- 1. All grading and construction shall conform to the 2019 County of Los Angeles Building Codes and the State Model Water
- Efficiency Landscape Ordinance unless specifically noted on these plans. 2. Any modifications of or changes to approved grading plans must be approved by the Building Official.
- 3. No grading shall be started without first notifying the Building Official. A Pre-grading meeting at the site is required before of the grading with the following people present: Owner, grading contractor, design civil engineer, soils engineer, geologist, City grading inspector(s) or their representatives, and when required the archeologist or other jurisdictional agencies. Permittee or his agent are responsible for arranging Pre-grade meeting and must notify the Building Official at least two business days prior to proposed pre-grade
- 4. Approval of these plans reflect solely the review of plans in accordance with the County of Los Angeles Building Codes, City of Burbank and does not reflect any position by the County of Los Angeles or the Department of Public Works or city of Burbank regarding the status of any title issues relating to the land on which the improvements may be constructed. Any disputes relating to title are solely a private matter not involving
- 5. All grading and construction activities shall comply with County of Los Angeles Code, Title 12, Section 12.12.030 that controls and restricts noise from the use of construction and grading equipment from the hours of 8:00 PM to 6:30 AM, and on Sundays and Holidays. (More restrictive construction activity times may govern, as required by the City of Burbank and should be shown on the grading plans when
- 6. California Public Resources Code (Section 5097.98) and Health and Safety Code (Section 7050.5) address the discovery and disposition of human remains. In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, the law requires that grading immediately stops and no further excavation or disturbance of the site, or any nearby area where human remains may be located, occur until the following has been measures have been taken:
- a. The County Coroner has been informed and has determined that no investigation of the cause of death is required, and b. If the remains are of Native American origin, the descendants from the deceased Native Americans have made a recommendation for the means of treating or disposing, with appropriate dignity, of the human remains and any associated grave goods.
- 7. The location and protection of all utilities is the responsibility of the Permittee. 8. All export of material from the site must go to a permitted site approved by the Building Official or a legal dumpsite. Receipts for
- acceptance of excess material by a dumpsite are required and must be provided to the Building Official upon request.
- 9. A copy of the grading permit and approved grading plans must be in the possession of a responsible person and available at the site at all 10. Site boundaries, easements, drainage devices, restricted use areas shall be located per construction staking by Field Engineer or licensed
- surveyor. Prior to grading, as requested by the Building Official, all property lines, easements, and restricted use areas shall be staked. 11. No grading or construction shall occur within the protected zone of any oak tree as required per Title Chapter 22.56 of the County of Los Angeles Zoning Code and City of Burbank Zoning Code. The protected zone shall mean that area within the drip line of an oak tree extending there from a point at least five feet outside the drip line, or 15 feet from the trunk(s) of a tree, whichever is greater.
- If an oak tree permit is obtained: (Add the following Note:) All grading and construction within the protected zone of all oak trees shall be per oak tree permit no._ recommendations in the permit and associated oak tree report must be complied with and are a part of the grading plan. A copy of the
- oak tree permit and associated reports shall be maintained in the possession of a responsible person and available at the site at all times. 12. The standard retaining wall details shown on the grading plans are for reference only. Standard retaining walls are not checked, permitted, or inspected per the Grading Permit. A separate retaining wall permit is required for all standard retaining walls. Note: This note only applies to standard retaining walls. Geogrid fabric and segmental retaining walls do not require a separate retaining
- wall permit. Details and construction notes for all Geogrid walls must be on the grading plan. 13. A preventive program to protect the slopes from potential damage from burrowing rodents is required per Section J101.8 of the County of Los Angeles Building Code. Owner is to inspect slopes periodically for evidence of burrowing rodents and a first evidence of
- their existence shall employ an exterminator for their removal. 14. Where a grading permit is issued and the Building Official determines that the grading will not be completed prior to November 1, the owner of the site on which the grading is being performed shall, on or before October 1, file or cause to be filed with the Building
- Official an ESCP per Section J110.8.3 of the County of Los Angeles Building Code. 15. Transfer of Responsibility: If the Field Engineer, the Soils Engineer, or the Engineering Geologist of record is changed during grading, the work shall be stopped until the replacement has agreed in writing to accept their responsibility within the area of technical

competence for approval upon completion of the work. It shall be the duty of the permittee to notify the Building Official in writing of

such change prior to the recommencement of such grading. **INSPECTION NOTES**

- 16. The permittee or his agent shall notify the Building Official at least one working day in advance of required inspections at following stages of the work. (Section J105.7 of the Building Code.)
- (a) Pre-grade Before the start of any earth disturbing activity or construction.
- (b) Initial When the site has been cleared of vegetation and unapproved fill has been scarified, benched or otherwise prepared for fill. Fill shall not be placed prior to this inspection. Note: Prior to any construction activities, including grading, all storm water pollution prevention measures including erosion control devices which contain sediments must be installed. (c) Rough - When approximate final elevations have been established; drainage terraces, swales and berms installed at the top of
- the slope; and the statements required in this Section have been received. (d) Final - When grading has been completed: all drainage devices installed: slope planting established, irrigation systems
- installed and the As-Built plans, required statements, and reports have been submitted and approved. 17. In addition to the inspection required by the Building Official for grading, reports and statements shall be submitted to the
- Building Official in accordance with Section J105 of the County of Los Angeles Building Code and City of Burbank.
- 18. Unless otherwise directed by the Building Official, the Field Engineer for all engineered grading projects shall prepare routine inspection reports as required under Section J105.11 of the County of Los Angeles Building Code. These reports, known
- as "Report of Grading Activities", shall be submitted to the Building Official as follows: Bi-weekly during all times when grading of 400 cubic yards or more per week is occurring on the site;
- Monthly, at all other times; and . at any time when requested in writing by the Building Official.
- 19. All graded sites must have drainage swales, berms, and other drainage devices installed prior to rough grading approval per Section J105.7
- of the County of Angeles Building Code. 20. The grading contractor shall submit the statement to the grading inspector as required by Section J105.12
- of The County of Los Angeles Building code at completion of rough grading.
- 21. Final grading must be approved before occupancy of buildings will be allowed per Section J105 of the County of Los Angeles Building Code 22. A property line survey, prepared by a CA licensed land surveyor or a civil engineer with a license number below C33966, may be required by The Building Official based upon site conditions in accordance with LACBC Section 108.1.

DRAINAGE NOTES

- 27. An encroachment permit from (County of Los Angeles Department of Public Works) (CALTRANS) (City of ___BURBANK_) is required for all work within or affecting road right of way. All work within Road right of way shall conform to (County of Los Angeles
- Department of Public Works)(CALTRANS) (City of <u>BURBANK</u>) encroachment permit. 28. An encroachment permit /connection permit is required from the County of Los Angeles Flood Control District for all work within
- the County of Los Angeles Flood Control District Right of Way. All work shall conform to conditions set by the Permit. 29. Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the Fire Prevention Bureau or the local Fire
- Station prior to commencing work. 30. All work within the streambed and areas outlined on grading plans shall conform to: Army Corp 404 Permit Number: N/A
- California Fish & Wildlife Permit No.: _____N/A___ 31. All construction/demolition, grading, and storage of bulk materials must comply with the local
- AQMD rule 403 for Fugitive Dust. Information on rule 403 is available at AQMD's website http://www.avaqmd.com.

GENERAL GEOTECHNICAL NOTES

- 32. All work must be in compliance with the recommendations included in the geotechnical consultant's report(s) and the approved
- grading plans and specifications. 33. Grading operations must be conducted under periodic inspections by the geotechnical consultants with monthly inspection
- reports to be submitted to the Geology and Soils Section. 34. The Soil Engineer shall provide sufficient inspections during the preparation of the natural ground and the placement and
- compaction of the fill to be satisfied that the work is being performed in accordance with the plan and applicable Code requirements. 35. Rough grading must be approved by a final engineering geology and soils engineering report. An As-Built Geologic Map must
- be included in the final geology report. Provide a final report statement that verifies work was done in accordance with report
- recommendations and code provisions (Section J105.12 of the County of Los Angeles Building Code). 36. Foundation, wall and pool excavations must be inspected and approved by the consulting geologist and soil engineer, prior to
- 37. Building pads located in cut/fill transition areas shall be over-excavated a minimum of three (3) feet below the proposed bottom of footing.

ENGINEER'S/SURVEYOR'S STATEMENT REGARDING THE PRESENCE OF MONUMENTS WITHIN PROJECT LIMITS

I HEREBY ATTEST THAT I HAVE LOCATED AND REFERENCED ON THESE PLANS THE MONUMENTS EXISTING PRIOR TO CONSTRUCTION TO ENSURE PERPETUATION OF THEIR LOCATION IN ACCORDANCE WITH SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE. I FURTHER ATTEST THAT I HAVE PERFORMED A RECORD SEARCH AND FIELD INSPECTION TO IDENTIFY EXISTING MONUMENTS; SHALL SET SUFFICIENT CONTROLLING, WITNESS, AND PERMENANT MONUMENTS; AND SHALL FILE THE REQUISITE CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES WITH THE COUNTY SURVEYOR.

DATE

- 38. All fill shall be compacted to the following minimum relative compaction criteria:
- a. 90 percent of maximum dry density within 40 feet below finish grade. b. 93 percent of maximum dry density deeper than 40 feet below finish grade, unless a lower relative compaction not less than 90 percent of maximum dry density) is justified by the geotechnical engineer. The relative compaction shall be determined by A.S.T.M. soil compaction test D1557-91 where applicable: Where not applicable, a test acceptable to the Building Official shall be used. (Section J107.5 of the County of Los Angeles Building Code.)
- c. 95 percent of maximum dry density is required for all Fire lanes unless otherwise approved by the Fire Department. 39. Field density shall be determined by a method acceptable to the Building Official. (Section J107.5 of the County of Los Angeles Building Code.) However, not less than 10% of the required density test, uniformly distributed, and shall be obtained by the Sand Cone Method.
- 40. Sufficient tests of the fill soils shall be made to determine the relative compaction of the fill in accordance with the following minimum guidelines
- a. One test for each two-foot vertical lift.

FILL NOTES

- b. One test for each 1,000 cubic yards of material placed. c. One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof. d. One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.
- 41. Sufficient tests of fill soils shall be made to verify that the soil properties comply with the design requirements, as determined by the Soil Engineer including soil types, shear strengths parameters and corresponding unit weights in accordance with the followinh guidelines:
- a. Prior and subsequent to placement of the fill, shear tests shall be taken on each type of soil or soil mixture to be used for all fill slopes steeper than three (3) horizontal to one vertical.
- b. Shear test results for the proposed fill material must meet or exceed the design values used in the geotechnical report to determine slope stability requirements. Otherwise, the slope must be reevaluated using the actual shear test value of the fill material that is in place. c. Fill soils shall be free of deleterious materials.
- 42. Fill shall not be placed until stripping of vegetation, removal of unsuitable soils, and installation of subdrain (if any) have been inspected and approved by the Soil Engineer. The Building Official may require a "Standard Test Method for moisture, ash, organic matter, peat or other organic soils" ASTM D-2974-87 on any suspect material. Detrimental amounts of organic material shall not be permitted in fills. Soil containing small amounts of roots may be allowed provided that the roots are in a quantity and disturbed in a manner that will not be detrimental to the future use of the site and the soils engineer
- approves the use of such material. 43. Rock or similar material greater than 12 inches in diameter shall not be placed in the fill unless recommendations for such placement have been submitted by the Soil Engineer and approved in advance by the Building Official. Location, extent, and
- and elevation of rock disposal areas must be shown on an "As Built" grading plan. 44. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all fill placement and compaction operations where fills have a depth greater than 30 feet or slope surface steeper than 2:1. (Section J107.8 of the County of Los Angeles Building Code)
- 45. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all subdrain installation. (Section J107.2 of the County of Los Angeles Building Code) 46. All subdrain outlets are to be surveyed for line and elevation. Subdrain information must be shown on an "As Built" grading plan. 47. Fill slopes in excess of 2:1 steepness ratio are to be constructed by the placement of soil at sufficient distance beyond the
- proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. Other construction procedures may be used when it is demonstrated to the satisfaction of the Building Official that the angle of slope, construction method and other factors will will have equivalant effect Section J107.5 of the County of Los Angeles Building Code.)

PLANTING AND IRRIGATION NOTES

- 48. Planting and irrigation on graded slopes must comply with the following minimum guidelines:
- a. The surface of all cut slopes more than 5 feet in height and fill slopes more than 3 feet in height shall be protected against damage by erosion by planting with grass or groundcover plants. Slopes exceeding 15 feet in vertical height shall shall also be planted with shrubs, spaced not to exceed 10 feet on centers; or trees, spaced at not to exceed 20 feet on centers, or a combination of shrubs and trees vat equivalant spacing in addition to the grass or groundcover plants. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site. Plant material shall be selected which will produce a coverage of permanent planting effectively controlling erosion. Consideration shall be given to deep-rooted planting material needing limited watering, maintenance, high root to shoot ratio, wind susceptibility and fire-retardant characteristics. All plant materials must be approved by the Building Official.
- (Section J110.3 of the County of Los Angeles Building Code) Note: Planting may be modified for the site if specific recommendations are provided by both the Soils Engineer and a Landscape Architect. Specific recommendations must consider soils and climatic conditions, irrigation requirements, planting methods, fire retardant characteristics, water efficiency, maintenance needs, and other regulatory requirements. Recommendations must include a finding that the alternative planting will provide a permanent and effective method of erosion control. Modifications to planting must be approved by the Building Official prior to installation
- b. Slopes required to be planted by Section J110.3 shall be provided with an approved system of irrigation that is designed to cover all portions of the slope. Irrigation system plans shall be submitted and approved prior to installation. A functional test of the system may be required. For slopes less than 20 feet in vertical height, hose bibs to permit hand watering will be acceptable if such hose bibs are installed at conveniently accessible locations where a hose no longer than 50 feet is necessary for irrigation. The requirements for permanent irrigation systems may be modified upon specific recommendation of a landscape architect or equivalent authority that, because of the type of plants selected, the planting methods used and the soil and climatic conditions at the site, irrigation will not be necessary for the maintenance of the slope planting. (Section J110.4 of the County of Los Angeles Building Code)
- c. Other governmental agencies may have additional requirements for landscaping and irrigation. It is the responsibility of the applicantto coordinate with other agencies to meet their requirements while maintaining compliance with the County of Los Angeles
- 49. The planting and irrigation systems shall be installed as soon as practical after rough grading. Prior to final grading approval all required slope planting must be well established. (Section J110.7 of the County of Los Angeles Building Code) Landscape irrigation system shall be designed and maintained to prevent spray on structures. (Title 31, Section 5.407.2.1)

approved plans and Water Purveyor acknowledgment form must be submitted to the local Building and Safety office.

51. -Prior to rough grade approval this project requires a landscape permit. Landscape plans in compliance with the "Model Water Efficient Landscape Ordinance" Title 23, Chapter 2.7 of California Code of Regulations (AB 1881) must be submitted to the Department of Public Works, Land Development Division. (900 S. Fremont Ave, Alhambra - 3RD Floor, CA 91803 (626) 458-4921). To obtain Landscape permit

BEST MANAGEMENT PRACTICE NOTES:

- Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times. Eroded sediments and other pollutants must be retained on-site and may not be transported from the
- site via sheet flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water. 4. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are
- not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system
- Excess or waste concrete may not be washed into the public way or any other drainage system.
- Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent
- contamination of rainwater and dispersal by wind. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water. I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those
- persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/ or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/ or adequately implement the ESCP may result in revocation of grading and/ or other permits or other sanctions provided by

(Owner or authorized agent of the owner)

The following BMPs as outlined in, but not limited to, the latest edition of the CASQA Construction BMP Online Handbook or Caltrans Stormwater Quality Handbooks (Construction Site BMP Manual), may apply during the construction of this project (additional measures may be required if deemed appropriate by the Project Engineer or the Building Official)

Date of maintenance agreement: Proposed Impervious Area: _ _ sq. ft. 0.75-inch 85th Percentile Design Storm: (check one) LID Solution: (check one) Infiltration Biofiltration

(Owner or authorized agent of the owner)

D. PRIVATE/UTILITY EASEMENT ANY PROPOSED WORK WITHIN A PRIVATE/UTILITY EASEMENT OR ACCESS EASEMENT REQUIRES PERMISSION LETTERS AND/OR COVENANTS FROM EASEMENT HOLDER. PERMISSION FROM THE EASEMENT HOLDER MAY NOT BE REQUIRED IF IT CAN BE SHOWN THE PROPOSED CONSTRUCTION WORK IS CONSISTENT AND IN CONFORMANCE WITH THE INTENDED EASEMENT USE. COPIES OF RECORDED EASEMENTS SHALL BE SUBMITTED FOR REVIEW. GRADING PLANS MUST SHOW ALL BEARINGS, DISTANCES, (LINEAR AND CURVE DATA) FOR THE ENTIRE EASEMENT(S.,

PROJECT INFORMATION

ASSESSORS ID NUMBER(S) APN: 5608-027-019

GRADING PEMIT APPLICATION NO. GR			N/A			
EARTHWORK VOLUMES	CUT	85	(CY.), FILL	0	(CY.)	
OVER EXCAVATION/ALLUVIAL REMOVAL & RECOMPACTION(CY.)						

PROPERTY INFORMATION

PROPERTY ADDRESS: __1719 RUDELL RD., BURBANK, CA 91501 TRACT / PARCEL MAP NO. 40026 LOT / PARCEL NO. Lots 4 and 5 PROPERTY OWNER CHRIS KISTORIAN

ZONING & REGIONAL PLANNING INFORMATION AND OTHER AGENCY INFORMATION

PROPERTY ZONING: R-3

INTENDED LAND USE: SINGLE FAMILY (For proposed graded areas - i.e. ... Single Family Residence)

CERTIFICATE OF COMPLIANCE: N/A

PLOT PLAN NUMBER: PP NO. N/A CONDITIONAL USE PERMIT: CUP NO. N/A EXPIRATION DATE:___ EXPIRATION DATE: OAK TREE PERMIT NUMBER: OTP NO._____N/A___

COMMUNITY STANDARDS DISTRICT: N/A CALIFORNIA COASTAL COMMISION AREA: N/A YES, NO APPROVED VOLUME:___

COASTAL DEVELOPMENT PERMIT CDP_____N/A_ EXPIRATION DATE: FISH & WILDLIFE, ARMY CORP OF ENGINEERS, REGIONAL WATER CONTROL BOARD, AQMD & OTHER AGENCY PERMITS SHOULD BE ADDED AS APPLICABLE. (PERMIT NO. N/A ,EXPIRATION DATE_

LID NOTES

- 1. Determine and provide the pre and post development pervious and impervious area created by the proposed development. 2. All structural BMPs shall be accessible for inspection and maintenance and shall bear a "No Dumping - Drains to Ocean" symbol in traffic rated
- paint per detail herein. Stencils are available at the local Building and Safety District office.
- 3. Prior to commencement of any work within the road right of way and/or connection to a County-maintained storm drain an encroachment permit from Construction Division is required. For more information call (626) 458-3129.
- 4. Prior to commencement of any work and/or discharge of drainage to a watercourse, a permit from both the California Department of Fish and Game and U.S. Army Crops of Engineers may be required.

STATEMENTS OF UNDERSTANDING

As the Architect/Engineer of the project, i have reviewed the Development Planning for storm Water Management-A manual for the Standard Urban Stormwater Mitigation Plan (LID), and have proposed the implementation of the permanent Best Management Practices (BMPs) applicable to effectively minimize the negative impacts of the project's stormwater runoff. The selected BMPs will be installed per the approved plans and as recommended by the product manufacturer as applicable.

SIGNATURE-ARCHITECT/ENGINEER OF RECORD

CERTIFICATIONS AND PROOF OF ONGOING MAINTENANCE

Project Civil Engineer/Architect must complete the STATEMENTS OF UNDERSTANDINGS, see LID general note #5 which must be signed

Project Civil Engineer/Architect must submit the OPERATION AND MAINTENANCE GUIDELINES for review and approval prior to recordation. The operation and Maintenance Guidelines shall include the designated responsible party to manage the LID devices, employee's training program and duties, operating schedule, maintenance frequency, routine service schedule, specific maintenance activities, copies of resource agency permits, and any other necessary activities. At a minimum, maintenance shall require inspection and servicing of all LID devices on a annual basis.

Provide recorded and certified copies of the MAINTENANCE COVENANT FOR LID DEVICES and

OPERATION AND MAINTENANCE GUIDELINES to provide for ongoing operation and maintenance of LID devices. Refer to Appendix 4 for

SCOPE OF W

ADDITION OF REAR YARD DECK ATTACHED TO AN EXISTING DECK, INCREASING THE HEIGHT OF AN EXISTING RETAINING WALL ALONG THE SOUTHEAST SITE AND NEW WALL ALONG THE EAST SIDE.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR

PERFORMANCE OF WORK ON THIS PROJECT.

- 1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO MAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES. CONTRACTOR TO NOTE THAT EXCEPT LOCATION OF EXISTING FACILITIES MAY VARY, AND SHOULD BE VERIFIED AT TIME OF CONSTRUCTION. CONTRACTOR TO CALL UNDERGROUND SERVICE ALERT AT 1-800- 422-4133 AT LEAST 48 HOURS PRIOR TO EXCAVATION.
- STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY. 3. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE
- COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. 4. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO

5. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.

LEGEND

	PROPERTY LINE
	STREET,RW,DRIVEWAY CENTERLINE
	INTERIOR/EXTERIOR LOT BDRY.LINE
(100)	EXIST. GROUND CONTOUR
	PROP. FINISH SURFACE CONTOUR
	FLOWLINE
	TOP OF CUT/FILL, DAYLIGHT LINE
G.B	GRADE-BREAK LINE, ELEVATION
R R	RIDGE (HIGH-POINT,G.B.) LINE
	CONCRETE PAVING OR SLAB
	DIRT OR LANDSCAPING AREA
	CONCRETE BLOCK WALL/RET. WALL PER SEPARATE PERMIT
T.C	TOP OF CURB ELEVATION
——— F.S. ———	FINISH SURFACE A.C.
F.L	FLOWLINE ELEVATION
T.G	TOP OF GRATE ELEVATION
F.G	FINISH GRADE ELEVATION
B.W	BACK EDGE OF SIDEWALK ELEVATION
E.P	FINISH EDGE OF PAVING ELEVATION
E.G	EXIST. GROUND ELEVATION/STRUCTURE
T.F	TOP OF FOOTING ELEVATION
T.S	TOP OF SLAB ELEVATION
T.G	ON GROUND ELEVATION
F.F	FINISH FLOOR ELEVATION
INV	
	. 23

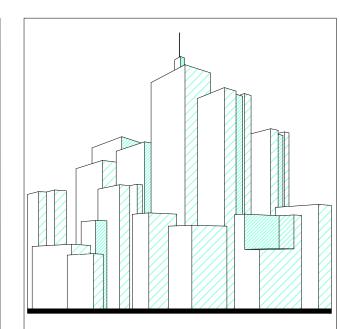
STRUCTURAL ENGINEER

ARDASHES KAZARIAN/ KAZARIANS ENGINEERING SERVICES. INC 1528 CANADA BLVD SUIT 206 GLENDALE CA.91208 (818)240-8763

VICINITY MAP

ARCHITECT

GEVIK GHAZARIAN/ UP DEVELOPMENTS INC. 225 E BROADWAY #100 GLENDALE CA.91205 (818) 660-6596



1545 N. VERDUGO RD. SUITE #2 GLENDALE, CA 91208



The designs shown and described herein including all technical drawings, graphics, and models thereof, are propriatary and cannot be copied, duplicated, or exploited, in whole or in part, without written permission of TECHNA LAND CO. INC. These are available for limited review and evaluation by clients consultants, conractors, government agencies, vendors and office prsonel only in accordance with

PROJECTNAME

PROJECT ADDRESS:

1719 RUDELL RD.,

BURBANK, CA 91501

GRADING/DRAINAGE GENERAL NOTES

1427-018-24 1"=10'

JUN. 20, 2025

Checked

Sheet 1 of 2

