

- (1) A new 20' – 6" long, 4' high retaining wall above existing retaining wall at the southeast side property.
- (2) Demolish existing pool, excavation and construction of new expanded pool and spa adjacent to existing raised rear deck.
- (3) New 42' – 8" long and 13' – 0" deep raised rear deck adjacent and attached to existing rear deck.
- (4) Improvements to the existing rear deck (unspecified, includes at minimum alteration of existing openings, excavation around supports, replacement or alteration of decking joists).
- (5) Remove stairs to existing southeast side 2nd story balcony and expand balcony area.
- (6) Remove portion of west corner of front retaining wall that was constructed over property lines, highlighted on the site plan below.
- (7) Remove portion of southwest corner of rear deck that was constructed over property lines, highlighted on the site plan below.

PROPERTY ADDRESS	1719 RUDELL RD, BURBANK
ONE	BUR1*
OCCUPANCY GROUP	R-3
PN	5608-027-019
PARCEL AREA	21,538 (sq ft)
BUILDING AREA	4,081 SQ FT
TYPE OF CONSTRUCTION	V-B
NUMBER OF STORIES	2
BUILDING HEIGHT	25'-8"
NUMBER OF DWELLING UNITS	1
EXISTING NUMBER OF BEDROOMS AND BATHROOMS	4 BEDROOM & 4 BATHROOMS
PROPOSED NUMBER OF BEDROOMS AND BATHROOMS	4 BEDROOM & 3 BATHROOMS
FIRE SPRINKLERS	YES
NUMBER OF PARKING SPACES	2
FIRE ZONE	YES
LEGAL DESCRIPTION	TR-40026 FOR LEGAL DESC SEE DOC 0397322, 870318 POR OF LOTS 4 AND 5

GRADING ENGINEER: HAYK MARTIROSIAN /TECHNA LAND CO. INC.
1545 N. VERDUGO RD. SUITE #2 GLENDALE, CA 91208

CHRIS KISTORIAN
1719 RUDELL RD BURBANK 91501

	THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:
GENERAL NOTES & NOTE BLOCKS	
<input checked="" type="checkbox"/>	<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. All construction shall comply with the 2022 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments. 2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition 3. All property lines, easements, and existing buildings have been indicated on this site plan. 4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3302.4) 5. Water shall be provided on the site and used to control dust. 6. Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1) 7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4, CRC R401.3) 8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)
<input checked="" type="checkbox"/>	<p>Provide on the cover of the plans a note identifying which building code is being used for this project, either:</p> <ul style="list-style-type: none"> • The 2022 California Residential Code (CRC) OR • The 2022 California Building Code (CBC) <p><i>Section 1.1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, but not both, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.</i></p>
<input type="checkbox"/>	<p>On the COVER SHEET list only, the specific applicable codes used for this project.</p> <ul style="list-style-type: none"> • 2022 California Building Code (CBC) • 2022 California Residential Code (CRC) • 2022 California Mechanical Code (CMC) • 2022 California Electrical Code (CEC) • 2022 California Plumbing Code (CPC) • 2022 California Green Building Code (CALGreen) • 2022 California Energy Code
<input checked="" type="checkbox"/>	<p>SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-107).</p>

2022 California Residential Code (CRC)
2022 California Electrical Code (CEC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Green Building Standards Code (CALGreen)
2022 California Energy Code

Sheet Index	
Sheet Name	Sheet Number
COVER SHEET	A-0
NOTES	A-0.0
PROPOSED SITE PLAN	A-0.1
EXISTING SITE PLAN	A-0.2
BUILDING FLOOR PLAN	A-0.6
BUILDING BOTTOM FLOOR PLAN	A-0.7
ELEVATIONS	A-0.8
ROOF PLAN	A-0.9
SECTION	A-0.10
SECTION	A-0.11
SECTION	A-0.12
PICTURES	A-0.13
SURVAY	A-2
CAL GREEN MANDATORY MEASURES	A-3
CAL GREEN MANDATORY MEASURES	A-4
CAL GREEN MANDATORY MEASURES	A-5

Plan approval is conditional that a separate Main Electrical Service Panel relocation/upgrade permit is obtained and completed by the applicant prior to the issuance of a building permit final.

Exit Alarms:
Install exit alarms on all doors of the private single-family residence that provide direct access to the swimming pool or spa. These alarms must either emit an audible alert or provide a verbal warning, such as a repeated message stating, "The door to the pool is open."

Self-Closing, Self-Latching Devices:
Equip all doors providing direct access to the swimming pool or spa with a self-closing, self-latching device. The release mechanism must be installed at least 54 inches above the floor.

Pool Entry Alarm:
Install a pool or spa alarm that activates upon detecting accidental or unauthorized entry into the water. The alarm must comply with and be independently certified to ASTM Standard F2208, "Standard Safety Specification for Residential Pool Alarms." This includes alarms that use surface motion, pressure, sonar, laser, or infrared detection. Personal immersion alarms worn by individuals (e.g., child-worn devices that sound when submerged or moved beyond a set distance) do not meet this requirement.

[illegible]

&	AND	FLOOR	FLORESCENT	QT	QUARRY TILE
&	ANGLE	AT	FOS	R	RISER
&	AT	FACE OF FIN	FOS	R	RADIUS
&	CENTERLINE	FACE OF STUBS	FOS	REIN	REINFORCED
&	CL	FFRF	FFRF	REQ	REQUIRED
&	POUND OR NO.	FTG	FOOTING	RESIL	RESILIENT
ACOUS	ACOUSTICAL	FURR	FURRING	RO	ROUGH OPENING
ADJ	ADJUSTABLE	G	GAUGE	RWD	RAWDONE
AP	AIR CONDITIONING	GALV	GALVANIZED	S	SOUTH
APX	APPROXIMATE	GB	GRAB BAR	SC	SOLID CORE
BD	BOARD	GL	GLASS	SCD	SEAT COVER DISPENSER
BK	BACK	GR	GRADE (GROUND)	SD	SOAP DISPENSER
BLK	BLACK	GYP	GYPSUM	SH	SHEET
BTM	BOTTOM	HC	HOLLOW CORE	SN	SIMILAR
CB	CABINET	INDPC	HANDICAPPED	SNDR	SANITARY NAPKIN
CBT	CARPET	HD	HARDBOARD		DISPENSER RECEPTACLE
CEM	CEMENT	HWD	HARDWOOD	SPEC	SPECIFICATION
CEM	CERAMIC	HDW	HARDWARE	(S)SL	(STAINLESS) STEEL
CI	CAST IRON	HOR	HORIZONTAL	SSK	SERVICE SINK
CLG	CEILING	HOR	HORIZONTAL METAL	STD	STANDARD
CLK	CLARKING	HGT	HEIGHT	SUSP	SUSPENDED
CLR	CLEAR	ID	INSIDE DIA	SYM	SYMMETRICAL
CON	CONCRETE	INSUL	INSULATION	T	TREAD
CONSTR	CONSTRUCTION	INT	INTERIOR	TB	TOWEL BAR
CON	CONTOUR	JT	JOINT	TEL	TELEPHONE
CTR	CENTER	LAM	LAMINATED	T&G	TOUNGE & GROOVE
CTD	CONTINUOUS	LAV	LAVATORY	THK	THICK
DF	DRINKING FOUNTAIN	L	LIGHT	TPO	TPOLE PAPER DISPENSER
DA	DIAMETER	MC	MEDICINE CAB	TYP	TYPICAL
DM	DIMENSION	MECH	MECHANICAL	UNF	UNFINISHED
DN	DOWN	MEMB	MEMBRANE	UN	UNLESS OTHERWISE
DOOR	DOOR	MTL	METAL	NOTED	
DWG	DRAWING	MNT	MOUNTED	UR	URNAL
E	EAST	N	NORTH	VERT	VERTICAL
EA	EACH	N	NOT IN CONTRACT	W	WEST
E	ELEVATION	NOM	NOMINAL	WID	WIDTH
ELEC	ELECTRICAL	NTS	NOT TO SCALE	WC	WATER CLOSET
EMER	EMERGENCY	OSB	OBSCURE	WO	WOOD
ENCL	ENCLOSURE	OC	ON CENTER	WO	WITHOUT
EQ	EQUAL	OD	OUTSIDE DIA	WP	WATERPROOF
EQT	EQUIPMENT	OPNG	OPENING	WR	WATER RESISTANT
EX	EXISTING	OPP	OPPOSITE	WGT	WEIGHT
EPO	EXPOSED	PRECAST			
EXP	EXPANSION	P	PLATE		
EXT	EXT	P	PLASTIC		
FA	FIRE ALARM	PLAS	PLAS		
FD	FIRE FOUNDATION	PLYWD	PLYWOOD		
(FC)	FIRE EXTINGUISHER CABINET	PLT	PLASTER		
FIN	FIRE HOSE CAB	PNT	PART		
FL	FINISH	PNTD	PAINTED		
FLC	FIRE LINE (FL) FLASH FLASHING	PTDR	PAPER TOWEL DISPENSER RECEPTACLE		
		PTN	PASTITION		

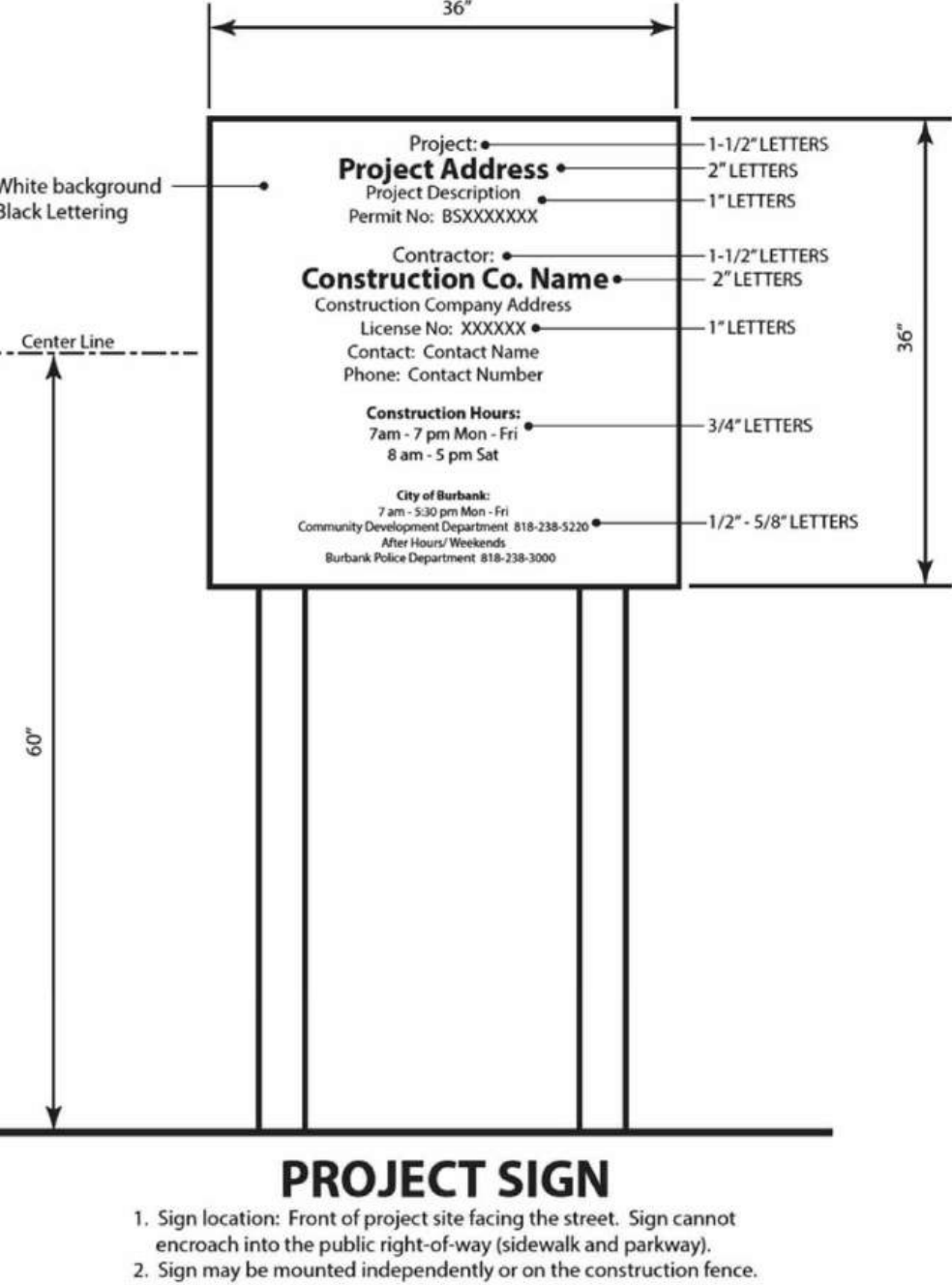
<small>THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:</small> <div style="display: inline-block; vertical-align: middle; text-align: center;"> BUILDING DIVISION Community Development Department City of Burbank </div>	
WATER-CONSERVING PLUMBING FIXTURES CERTIFICATE OF COMPLIANCE (For buildings built on or before Jan. 1, 1994)	
Project Address: _____ Permit No.: _____	
I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.	
Owner's Name: _____ Date: _____ Owner's Signature: _____	
SINGLE-FAMILY RESIDENTIAL	
Fixture	CAJ Green/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet	1.2 gals/min
Kitchen Faucet	1.8 gals/min
MULTI-FAMILY RESIDENTIAL	
Fixture	CAJ Green/ CPC
Water Closet	1.28 gals/flush
Urinal	0.5 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet (within units)	1.2 gals/min
Lavatory Faucet (common areas)	0.5 gals/min
Kitchen Faucet	1.8 gals/min
SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-109.3.1.1)	

Plan approval is conditional that a separate relocation/upgrade permit is obtained and co-issuance of a building permit final.

NOTES:

SCAQMD Rule 1403 requires the contractor to obtain a Demolition Permit.

M. FIRE HAZARD SEVERITY ZONE REQUIREMENTS (BMC 9-1-2-701A.1.1):	
SHOW ON PLANS	
<input checked="" type="checkbox"/>	ROOFS: Roof coverings on buildings or structures shall be a Class A roof covering or a Class A roof assembly. (BMC 9-1-1-109.3.1.1) Wood shake or shingle roofing is not permitted in the Fire Hazard Severity Zone (BMC 9-1-1-109.3.1.1).
<input checked="" type="checkbox"/>	GUTTERS AND DOWNSPOUTS: Noncombustible gutters and downspouts.
<input checked="" type="checkbox"/>	EAVES: Eaves and soffits shall be protected on the exposed underside as required for exterior one-hour-rated fire-resistive construction, 2-inch nominal dimension lumber, or 1-inch fire-retardant-treated lumber, or 3/4-inch nominal fire-retardant-treated plywood. Fascia's are required shall be of 2-inch nominal dimension lumber minimum or protected on the backside by materials approved for a minimum of 1-hour fire-resistance-rated construction. Provide assembly detail.
<input checked="" type="checkbox"/>	EXTERIOR WALLS: Constructed of one-hour-rated fire-resistive construction on the exterior side or constructed with approved noncombustible materials. Such material shall extend from the top of the foundation to the underside of the roof sheathing. Provide assembly detail.
EXCEPTION: Vinyl over 1/2" Type "X" Gypsum Board, or Aluminum over 1/2" type "X" Gyp. Bd. Wood Siding, hardboard siding or plywood siding are not permitted in the Fire Hazard Severity Zone.	
<input type="checkbox"/>	SHAKE AND SHINGLE SIDING: No wood shake or shingle siding is permitted in the Fire Hazard Severity Zone (BMC 9-1-1-109.3.1.1).
<input type="checkbox"/>	UNENCLOSED UNDERFLOOR AREAS: Buildings or structures shall have all under floor areas enclosed to the ground, with exterior walls.
EXCEPTION: Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour-rated fire-resistive construction or heavy timber construction.	
<input checked="" type="checkbox"/>	PROJECTION FROM BUILDINGS: Architectural projections shall be protected on exposed surfaces as required for one-hour fire-resistive construction.
<input checked="" type="checkbox"/>	BALCONIES, DECKS, PORCHES AND PATIOS: Unenclosed accessory structures attached to building with habitable spaces shall be a minimum one-hour fire-resistive construction, heavy timber construction, approved non-combustible materials, or fire-retardant-treated wood. Provide assembly detail. Unenclosed balconies, decks, porches may be constructed of: 1. Columns: 6 x 6 inches minimum. 2. Beams and Girders: 6 x 6 inches minimum. 3. Joists: 4 x 6 inches minimum. 4. Roof and Floor Decking: 2-inch tongue and groove planks or 1-1/8-inch tongue and groove plywood minimum.
<input checked="" type="checkbox"/>	GLAZING: Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multi-layered glass panels, glass block, or have a fire-protection rating of not less than 20 minutes.
EXCEPTION: Stained-glass panels may be installed provided a back panel of tempered glass is installed behind the stained-glass panel.	
<input checked="" type="checkbox"/>	DOORS: Noncombustible exterior doors, solid core wood complying with R337.8.3, or have a fire-protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with CRC R337.8.2.1.
EXCEPTION: Garage doors and vehicle access doors.	



SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-109.3.1.1).

Plan approval is conditional that a separate Main Electrical Service Panel relocation/upgrade permit is obtained and completed by the applicant prior to the issuance of a building permit final.

SCAQMD Rule 1403 requires the contractor to notify the SCAQMD 10 days prior to issuance of a Demolition Permit.

M.	FIRE HAZARD SEVERITY ZONE REQUIREMENTS (BMC 9-1-2-701A.1.1.)
	<p>SHOW ON PLANS</p> <p><input checked="" type="checkbox"/> ROOFS:</p> <p>Roof coverings on buildings or structures shall be a Class A roof covering or a Class A roof assembly. (BMC 9-1-1-705A.2.1) Wood shingle or shingle roofing is not permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1601.1.1).</p> <p><input checked="" type="checkbox"/> GUTTERS AND DOWNSPOUTS:</p> <p>Noncombustible gutters and downspouts.</p>
	<p><input checked="" type="checkbox"/> EAVES:</p> <p>Eaves and soffits shall be protected on the exposed underside as required for exterior one-hour rated fire resistive construction, 2-inch nominal dimension lumber, or 1-inch fire-retardant-treated lumber, or 3/4-inch nominal fire-retardant-treated plywood. Fascia's are required shall be of 2-inch nominal dimension lumber minimum or protected on the backside by materials approved for a minimum of 1-hour fire-resistance-rated construction. Provide assembly detail.</p> <p><input checked="" type="checkbox"/> EXTERIOR WALLS:</p> <p>Constructed of one-hour rated fire-resistive construction on the exterior side or constructed with approved noncombustible materials. Such material shall extend from the top of the foundation to the underside of the roof sheathing. Provide assembly detail.</p> <p>EXCEPTION:</p> <p>Vinyl over 1/2" Type "X" Gypsum Board, or Aluminum over 1/2" type "X" Gyp. Bd. Wood Siding, hardboard and shingle siding are not permitted in the Fire Hazard Severity Zone.</p> <p><input type="checkbox"/> SHAKE AND SHINGLE SLIDING:</p> <p>No wood shake or shingle sliding is permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1404.3.3.1).</p> <p><input type="checkbox"/> UNENCLOSED UNDERFLOOR AREAS:</p> <p>Buildings or structures shall have all under floor areas enclosed to the ground, with exterior walls.</p> <p>EXCEPTION:</p> <p>Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour rated fire-resistive construction or heavy timber construction.</p> <p><input checked="" type="checkbox"/> PROJECTION FROM BUILDINGS:</p> <p>Architectural projections shall be protected on exposed surfaces as required for one-hour fire-resistive construction.</p> <p><input checked="" type="checkbox"/> BALCONIES, DECKS, PORCHES AND PATIOS:</p> <p>Unenclosed accessory structures attached to building with habitable spaces shall be a minimum one-hour fire-resistive construction, heavy timber construction, approved non-combustible materials, or fire-retardant-treated wood. Provide assembly detail.</p> <p>Unenclosed balconies, decks, porches may be constructed of:</p> <ol style="list-style-type: none"> 1. Columns: 6 x 6 inches minimum. 2. Beams and Girders: 6 x 6 inches minimum. 3. Joists: 4 x 6 inches minimum. 4. Roof and Floor Decking: 2-inch tongue and groove planks or 1-1/8-inch tongue and groove plywood minimum. <p><input checked="" type="checkbox"/> GLAZING:</p> <p>Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multi-layered glass panels, glass block, or have a fire-protection rating of not less than 20 minutes.</p> <p>EXCEPTION:</p> <p>Stained-glass panels may be installed provided a back panel of tempered glass is installed behind the stained-glass panel.</p> <p><input checked="" type="checkbox"/> DOORS:</p> <p>Noncombustible exterior doors, solid core wood complying with R337.8.3, or have a fire-protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with CRC R337.8.2.1.</p> <p>EXCEPTION:</p> <p>Garage doors and vehicle access doors.</p>

UPDevelopments

Design
Permitting
Consulting

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

[illegible]

--	--

<h1 style="margin: 0;">COVER SHEET</h1>	
Project number	
Date	MARCH 2024
Drawn by	GEVIK G.
Checked by	Checker
<h2 style="margin: 0;">A-0</h2>	
Scale	1/4" = 1'-0"


<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:</p>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>GENERAL NOTES & NOTE BLOCKS</p>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p><u>GENERAL NOTES:</u></p> <ol style="list-style-type: none"> 1. All construction shall comply with the 2022 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments. 2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition 3. All property lines, easements, and existing buildings have been indicated on this site plan. 4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3302.4) 5. Water shall be provided on the site and used to control dust. 6. Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1) 7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4, CRC R401.3) 8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>Provide on the cover of the plans a note identifying which building code is being used for this project, either:</p> <ul style="list-style-type: none"> • The 2022 California Residential Code (CRC) OR • The 2022 California Building Code (CBC) <p><i>Section 1.1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, but not both, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.</i></p>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>On the COVER SHEET list only, the specific applicable codes used for this project.</p> <ul style="list-style-type: none"> • 2022 California Building Code (CBC) • 2022 California Residential Code (CRC) • 2022 California Mechanical Code (CMC) • 2022 California Electrical Code (CEC) • 2022 California Plumbing Code (CPC) • 2022 California Green Building Code (CALGreen) • 2022 California Energy Code
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>SETBACK CERTIFICATION REQUIREMENT: A 2022 California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-107).</p>

THE FOLLOWING NOTICES SHALL BE REPRODUCED ON THE EXISTING FLOOR PLAN OR DEMOLITION PLAN OF THE SUBMITTED DRAWINGS:	
DEMOLITION NOTES & NOTE BLOCKS	
Residential	
<input checked="" type="checkbox"/>	DIVERSION OF C&D DEBRIS: A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. An administrative and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012).
<input type="checkbox"/>	DEMOLITION NOTE: All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site. If a Single-Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure. This may also be required for a flat lot as determined by the Building Official. Documents indicating rodent and insect abatement has been performed must be presented to the building inspector prior to start of demolition.
<input checked="" type="checkbox"/>	RESIDENTIAL DEMOLITION NOTE: Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.
Residential and Commercial Demolition	
<input type="checkbox"/>	Per BMC 9-1-11-1012 the following information is required: The completed WMP must be signed by the Applicant and shall indicate all of the following: <ol style="list-style-type: none"> 1. The site address; 2. The names, addresses, and phone numbers of the property owner and the general contractor; 3. The existing area footprints, the proposed square footages, the percentage of increase in project size, or the square footage of the structure to be demolished; 4. The estimated volume or weight of construction and demolition debris, by material type, to be generated on the project site; 5. The estimated volume or weight of construction and demolition debris, by material type, to be diverted to recycling, reuse or salvage; 6. The vendor or facility that the applicant proposes to use to collect or receive that material; 7. The estimated volume or weight of the construction and demolition materials that will be landfilled; 8. Certification that the minimum Diversion Requirement will be met; 9. Such other data and information as may be required by the Building Official; 10. Other information Applicant believes is relevant to determining its efforts to comply with this Division.

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE STRUCTURAL PLAN SHEET OF THE SUBMITTED DRAWINGS:				
STRUCTURAL NOTES & NOTE BLOCKS				
<input checked="" type="checkbox"/>	FOUNDATION NOTES: <ol style="list-style-type: none"> 1. Concrete strength for foundations shall be 2,500 psi min. 2. Minimum footing reinforcement shall be two #4 bar top and bottom. 3. Minimum anchor bolt size and spacing shall be 5/8" dia. AB @ 72" oc., with 7" embedment, and 3" x 3" x 1/2" plate washers. Anchor bolts shall be located a maximum of 12" and 4 1/2" minimum from the end of the plate 			
<input type="checkbox"/>	STRUCTURAL OBSERVATION Firm or individual responsible for the structural observation: Name: _____ Calif. Reg. # _____			
	FOUNDATION	WALLS & WALL FRAMING	OTHER STRUCTURAL MEMBERS	ROOF AND FLOOR DIAPHRAGM
	Footings, Stem Walls, Piers	Concrete Wall	Steel Moment Frame	Concrete
	Pad Footings	Masonry Wall	Steel Braced Frame	Steel Deck
	Slab	Wood Wall & Shear Wall	Concrete Moment Frame	Wood
	Caisson, Piles, Grade Beams	Wood Structural Beams & Members	Masonry Wall Frame	Other
	Stepped Footing, Hillside	Other	Other	Other
<input type="checkbox"/>	SPECIAL INSPECTION			
	ITEMS			
	Concrete over 2,500 psi			
	Bolts installed in Concrete			
	Special Moment -Resisting Concrete Frame			
	Reinforcing Steel and Steel Tendons			
	Structural Welding			
	High-strength Bolting			
	Structural Masonry			
	Reinforced Gypsum Concrete			
	Insulating Concrete Fill			
	Spray-Applied Fire Resistive Materials			
	Piling, Piers, and Caissons			
	Sholorrete			
	Special Grading, Excavation, and Fill			
	Structural Wood			
	Smoke-Control System			
	Other			

NOTE ON PLAN:	
A. Luminare Efficacy: All installed luminaires must meet the requirements in Table 150.0-A.	
Table 150.0-A Classification of High Luminous Efficacy Light Sources	
Automatically considered high luminous efficacy (does NOT require JA8 certification)	Must be JA8 certified/marked
1. LED light sources installed outdoors	7. All light sources installed in ceiling recessed downlight luminaires: Note that ceiling-recessed downlight luminaires must not have screw base sockets regardless of lamp type, as specified in §150.0(k)1C.
2. Inseparable solid state lighting (SSL) luminaires containing colored light sources that are installed to provide decorative lighting	8. Anything not listed in this table
3. Pin-based linear fluorescent or compact fluorescents with electronic ballasts	
4. High-intensity discharge (HID) light sources including pulse start metal halide and high-pressure sodium light sources	
5. Luminaires with a hardwired, high-frequency generator and induction lamp	
6. Ceiling fan lights kits subject to federal appliance regulations	
EXCEPTIONS:	
1. Integrated Device Lighting: Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers 2. Navigation Lighting: Lighting such as night lights, step lights and path lights less than 5 watts 3. Cabinet Lighting: Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater	
B. Screw-based Luminaires: Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8	
C. Recessed Downlight Luminaires in Ceilings: There is a new exception to the airtight labeling and installation requirements for recessed luminaires that are either marked for use in fire-rated installations or are installed in non-insulated ceilings.	
D. Light Sources in Enclosed or Recessed Luminaires: No change, although this section has been reorganized.	
E. Blank Electrical Boxes: Language is added about how the blank electrical boxes must be served for dimmer, vacancy sensor control, low voltage wiring or fan speed control.	
<input checked="" type="checkbox"/>	INDOOR LIGHTING CONTROLS
E. Automatic-off Controls: Walk-in closets have been added in addition to bathrooms, garages, laundry room and bedrooms. The new language requires an occupancy/vacancy sensor with automatic-off functionality. It was clarified that lighting in opaque-fronted drawers and cabinetry must be controlled with automatic-off when a drawer or door is closed.	
F. Dimming Controls: Dimmers that are required for lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens and bedrooms) must have readily accessible dimming controls. Forward phase-cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.	
EXCEPTIONS:	
1. Ceiling fans with integrated lighting may use remote control. 2. Luminaires connected to a circuit in which the controlled lighting power is <20 watts OR controlled by an occupancy/vacancy sensor providing automatic-off functionality. 3. Lighting is under <5 watts for navigation (e.g., night lights, step lights and path lights), or lighting is internal to opaque-fronted drawers and cabinetry (which may alternatively use automatic-off controls).	
G. Independent Controls: The following must be controlled independently:	
<ul style="list-style-type: none"> • Integrated lighting of exhaust fans from the fan function • Undercabinet lighting • Undershelf lighting • Interior lighting of display cabinets • Switch outlets 	

ELECTRICAL NOTES per 2022 California Electrical Code	
A. PANEL LOCATIONS	<p>Panel shall not be located in the vicinity of easily ignitable material, such as gas, oil, kerosene, [CEC 240.24(D)], or in bathrooms [CEC 240.24(E)].</p>
	<p>B. NON-METALLIC SHEATHED CABLE [CEC 335]</p> <p>Non-metallic sheathed cable shall be:</p> <ol style="list-style-type: none"> Protected by rigid metal conduit, intermediate metal conduit, electrical metallic tubing, schedule 80 PVC conduit, type RCM marked with the suffix -W, or other means, when cable is exposed or subject to physical damage. [CEC 334.15(B)] Protected by a 1/16-inch steel plate or sleeve or be not less than 1/4 inch from the nearest edge of the framing member, when installed through framing members. Steel plates or sleeves are required on all double shear walls when cable is routed either through or parallel to framing members. [CEC 334.17, 300.4] Protected by guard strips within 6 ft of an attic access when no permanent stairs or ladders are provided [CEC 334.23, 320.23] Protected by guard strips in the entire attic when permanent stairs or ladders are provided. Access panels or doors from the second floor into the attic are considered permanent access and guard strips are required in the entire attic [CEC 300.4]
C. CIRCUIT AND RECEPTACLES	<ol style="list-style-type: none"> Have a bending radius not less than 5 times the diameter of the cable [CEC 334.24] Supported at intervals not exceeding 4 1/2 feet and within 12" of every outlet box, junction box, cabinet, or fitting [CEC 300.34] <p>D. TAMPER-RESISTANT RECEPTACLES shall be installed as specified in dwelling units in all areas specified in 210.52 and 550.13.</p> <p>Receptacles shall be installed so that no point along the floor line in any wall space is more than 8 ft. from an outlet, including any wall space in a room that is not a habitable room. A sliding panel of a sliding glass door is considered wall space. [CEC 210.52(A)]</p> <p>In kitchens, breakfast rooms, pantries and dining rooms a minimum of 20-20A circuits shall be provided [CEC 210.11(C)].</p> <p>(1) Counter space receptacles shall be GFCI [CEC 210.8(A)] and installed:</p> <ul style="list-style-type: none"> At each wall counter space that is 12 in. or greater [CEC 210.52(C)]. Maximum 24 in. from the end of the counter [CEC 210.52 (C)(1)]. Below countertop or works surface (one receptacle min.) not more than 12 in. below counter surface [CEC 210.52 (C)(3)].
	<p>Bathrooms shall have a separate 20A circuit [CEC 210.11(C)] with at least one GFCI wall receptacle within 36 in. of each basin [CEC 210.8(A)(1); IEC 210.52(D)].</p> <p>Each bedroom shall have a 20A branch circuit with at least one receptacle shall be provided [CEC 210.11(C)(2)]. All receptacles within 6 ft. of the sink shall be GFCI [CEC 210.8(A)(7)].</p> <p>In garages, at least one GFCI receptacle shall be provided [CEC 210.52(G)]. All other garage receptacles except those that are not subject to an appliance that is not readily accessible shall be GFCI. [CEC 210.8(A)(2)].</p> <p>In hallways of 10 ft. or more in length, at least one receptacle shall be provided [CEC 210.52(v)].</p>
E. FANS	<p>Outdoor outlets shall be GFCI [CEC 210.8(A)(3)]. One outlet shall be installed at the front of the dwelling and one at the rear of the dwelling. Balconies, decks, and porches that are attached to the dwelling unit and are accessible from inside the dwelling unit shall have at least one outlet. Receptacles shall be accessible at grade or no more than 6 ft. above grade or walking surface [CEC 210.52(E)].</p> <p>All crawl space receptacles shall be GFCI [CEC 210.8(A)(4)].</p> <p>All prohibited unvented room heaters shall be GFCI unless they are not readily accessible or are service a dedicated appliance [CEC 210.8(A)(5)].</p> <p>All receptacles within 6 ft. of a wet bar shall be GFCI [CEC 210.8(A)(7)].</p> <p>All receptacles on 15A, 20A branch circuits that supply kitchen, family room, dining rooms, living rooms, porches, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways laundry areas or similar rooms or areas shall be protected by combination residual current circuit interrupters (AFCI), including switched outlets [CEC 210.12(A)].</p> <p>All receptacles serving appliances or motors with a rating of 1/4 hp or more shall be AFCI [CEC 210.12(B)].</p> <p>For HVAC equipment, a separate 15A or 20A circuit with an accessible receptacle at the equipment shall be provided [CEC 410.16].</p> <p>For equipment rated 1/4 hp or less, if the equipment is on an under-floor area, the receptacle shall be GFCI [CEC 210.8(A)(4)].</p>
	<p>BASEMENTS, GARAGES AND ACCESSORY BUILDINGS. For a one-family dwelling, at least one receptacle outlet shall be installed in the areas specified in 210.52(G)(1) through (3). These receptacles shall be in addition to receptacles required for specific equipment [CEC 210.52(G)].</p> <ol style="list-style-type: none"> Garages. In each attached garage and in each detached garage with electrical power. The branch circuit supplying the receptacles shall be protected by AFCI of the garage. At least one receptacle outlet shall be installed for each car space. Accessory Buildings. In each accessory building with electric power. Basement. In each separate unfinished portion of a basement.
F. LIGHTING [CEC 210.70]	<p>Switched lighting shall be installed in:</p> <ul style="list-style-type: none"> Every habitable room. Kitchen, and bathroom hallways, and stairways at each level. Garages. All at outdoor entrances and exits. Attics, under floor areas, utility rooms and basements used for storage Near HVAC equipment in attic, under floor areas, rooms or basements, with a standard access point. <p>2. Lighting installed in a closet shall be a surface mounted or recessed fluorescent fixture or a surface mounted fluorescent fixture with a permanently installed ballasts or recessed incandescent fixture with completely enclosed lenses.</p> <p>Surface incandescent lighting shall be installed a minimum of 4 ft. from the nearest point of a storage space.</p> <p>Fluorescent lighting and recessed lighting shall be installed a minimum of 6 in. from the nearest point of a storage space. [CEC 210.416(C)]</p>
F. FANS	<p>Each bathroom containing a bathtub, shower, or bathtub/shower shall be protected by a GFCI [CEC 210.8(A)(7)].</p> <p>Humidity control in accordance with the California Mechanical Code and the California Green Building Standards Code.</p>
	<p>SMOKE ALARMS</p> <p>In new construction, smoke alarms shall receive their primary power from the building wiring. The wiring shall be a permanent and installed without a disconnecting switch other than those required for overcurrent protection [CEC R313.4, IBC 907.2.10.5].</p>

<p>THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:</p>	
	<p>BUILDING DIVISION Community Development Department City of Burbank</p>
<p>WATER-CONSERVING PLUMBING FIXTURES CERTIFICATE OF COMPLIANCE (For buildings built on or before Jan. 1, 1994)</p>	
Project Address: _____	Permit No.: _____
<p>I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.</p>	
<p>Owner's Name: _____ Date: _____</p> <p>Owner's Signature: _____</p>	
SINGLE-FAMILY RESIDENTIAL	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet	1.2 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60 psi
MULTI-FAMILY RESIDENTIAL	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet (within units)	1.2 gals/min at 60 psi
Lavatory Faucet (common areas)	0.5 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60 psi



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

[illegible]

NOTES

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker
A-0.0	
Scale	

Slope Calculation Formula:

S = (L × I × 100) / A, where:

S = Average ground slope (%) over the area where the proposed pool will be located

I = Contour interval (feet), must be 5 feet or less

L = Total length (feet) of all contour lines within the area of the proposed pool

A = Total area (square feet) of the lot section that would contain the proposed pool

DECK

(I): 5'-0"

(L): 1'-0"

(A): 556 sq ft

Slope (S): (1 × 5 × 100) / 556 = 0.9%

POOL

(I): 1'-0"

(L): 26'-0"

(A): 800 sq ft

Slope (S): (1 × 26 × 100) / 800 = 3.25%

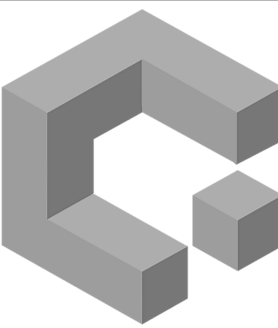
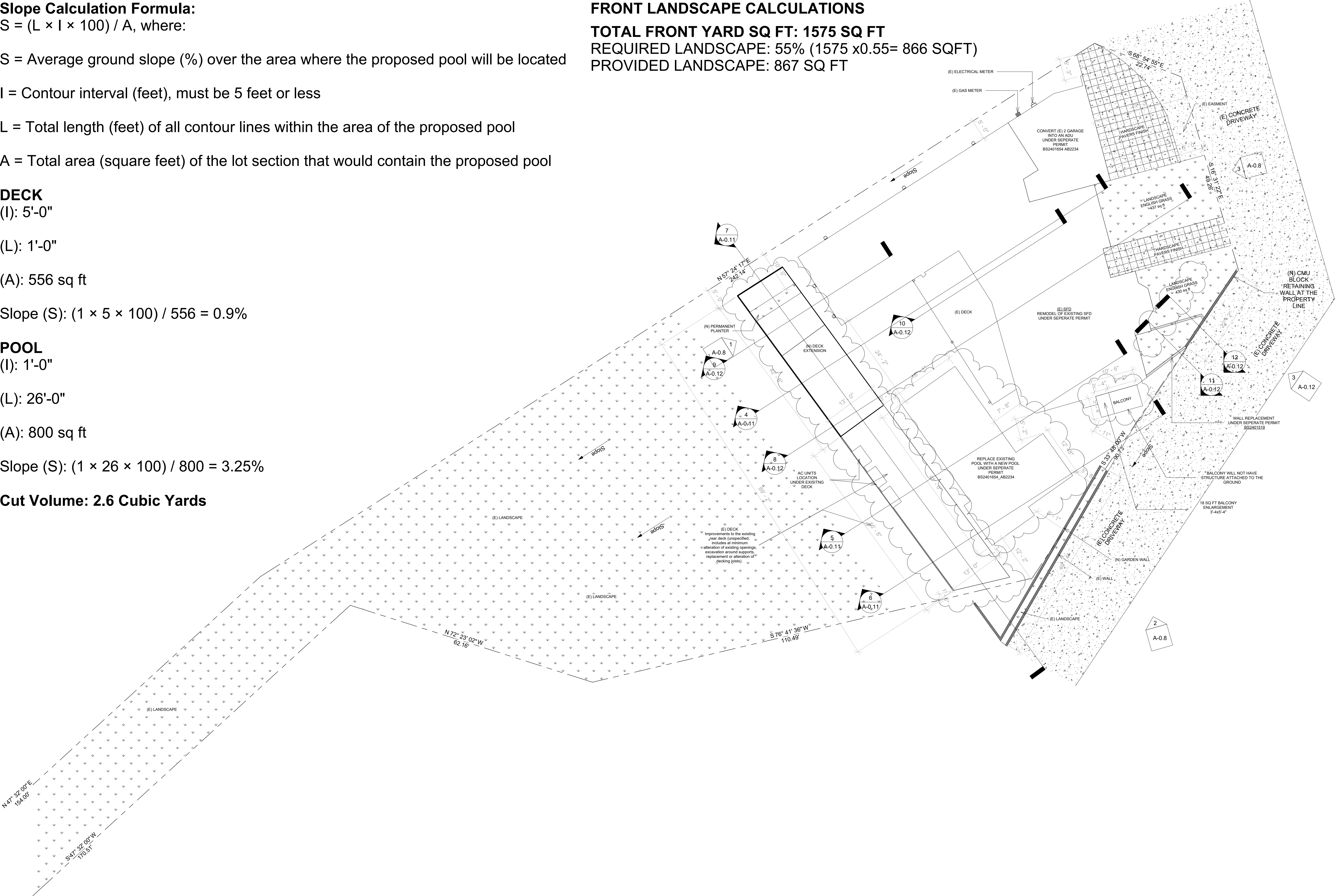
Cut Volume: 2.6 Cubic Yards

FRONT LANDSCAPE CALCULATIONS

TOTAL FRONT YARD SQ FT: 1575 SQ FT

REQUIRED LANDSCAPE: 55% (1575 x0.55= 866 SQFT)

PROVIDED LANDSCAPE: 867 SQ FT



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

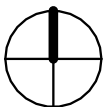
No.	Description	Date
1	Revision 1	Date 1

PROPOSED SITE
PLAN

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.1

Scale 3/32" = 1'-0"



1 SITE PLAN
3/32" = 1'-0"



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

EXISTING SITE PLAN

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.2

Scale 1/16" = 1'-0"



(E) Rear deck

Demolish existing pool,
excavation and
construction of new
expanded pool and spa
adjacent to existing raised
rear deck

(E) Garden wall

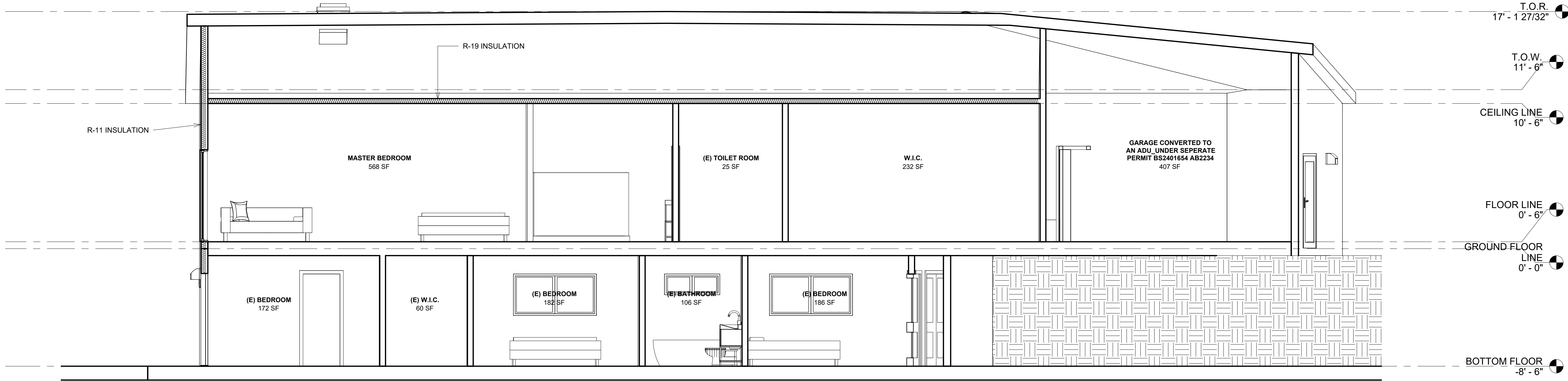
(E) Balcony to be enlarged

(E) Stairs to be demolished

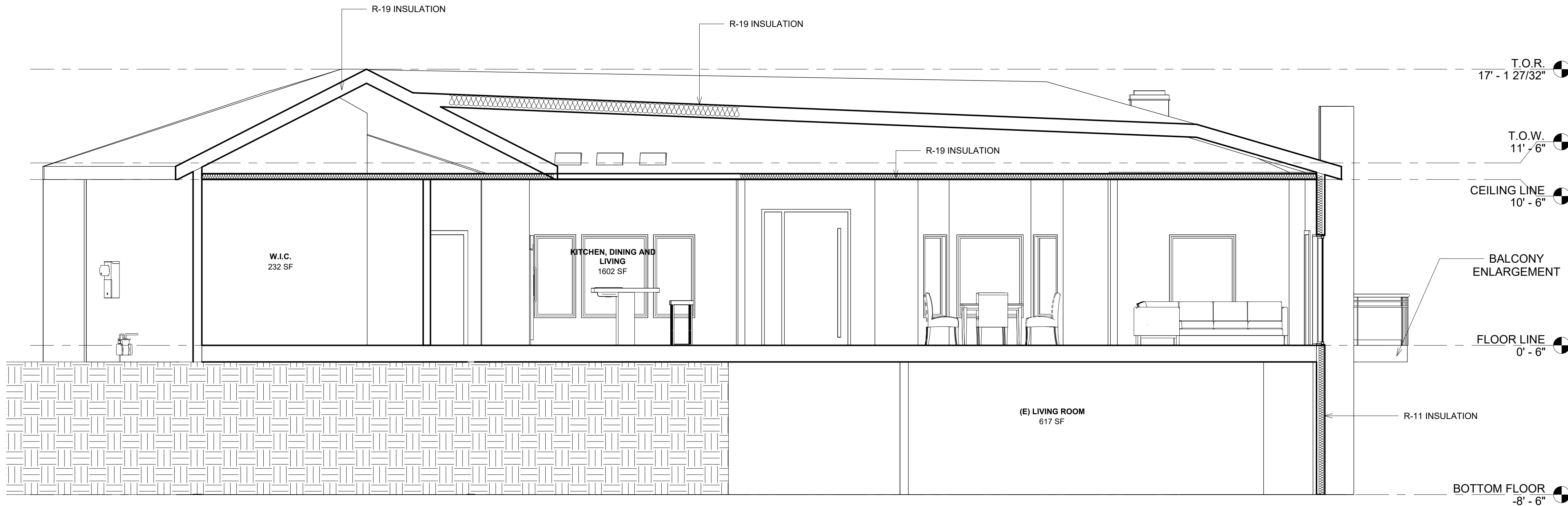
Remove portion of existing west corner of front retaining wall

(E) Walls to remain

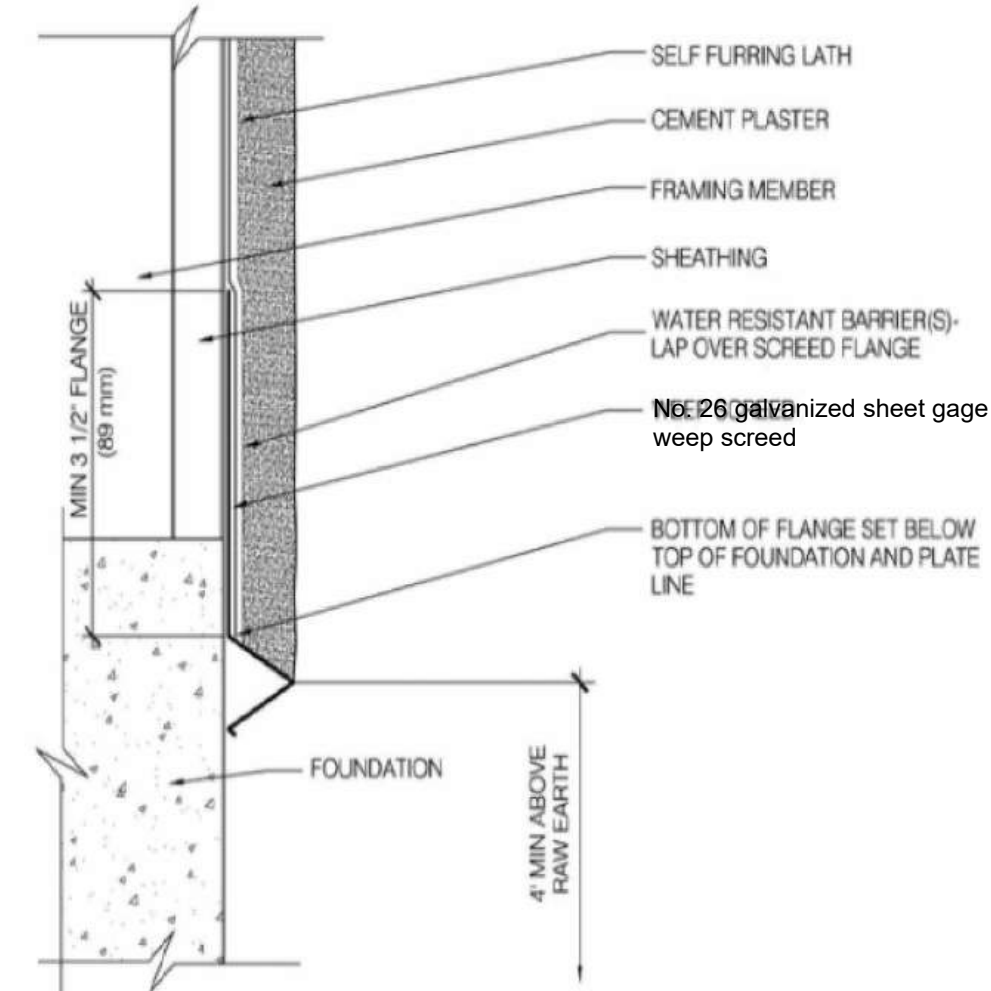
① (E) SITE PLAN
1/16" = 1'-0"



② Section 2
1/4" = 1'-0"



③ Section 3
1/4" = 1'-0"



WEEP SCREED DETAIL



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

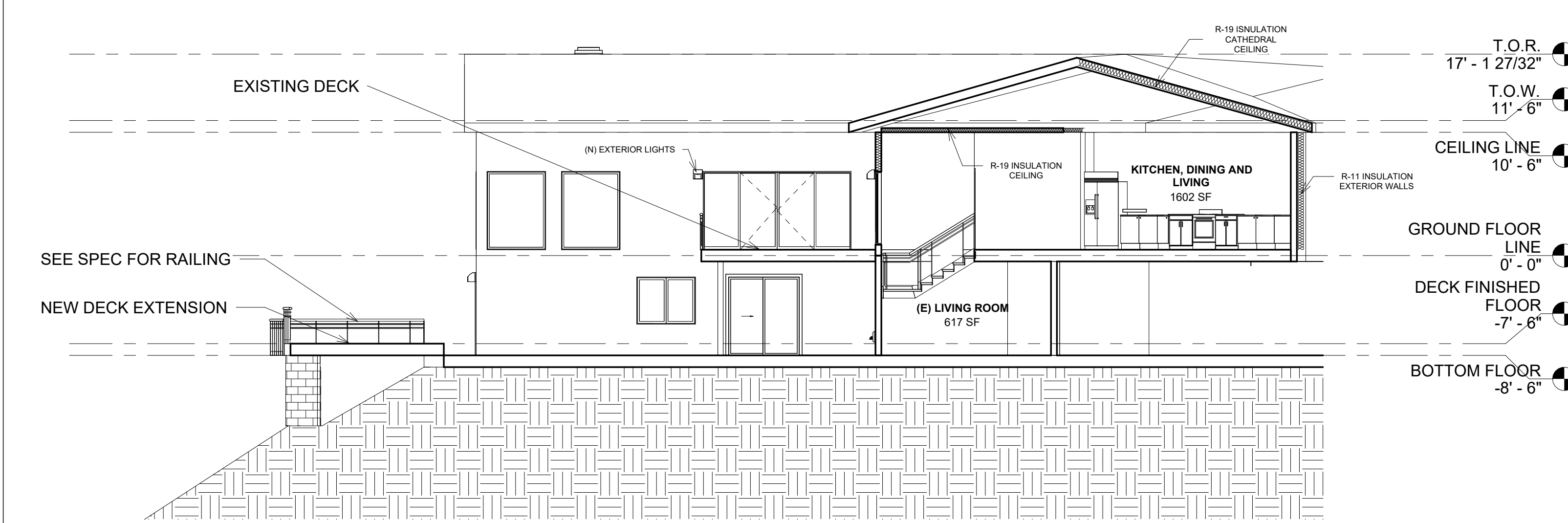
No.	Description	Date

SECTION

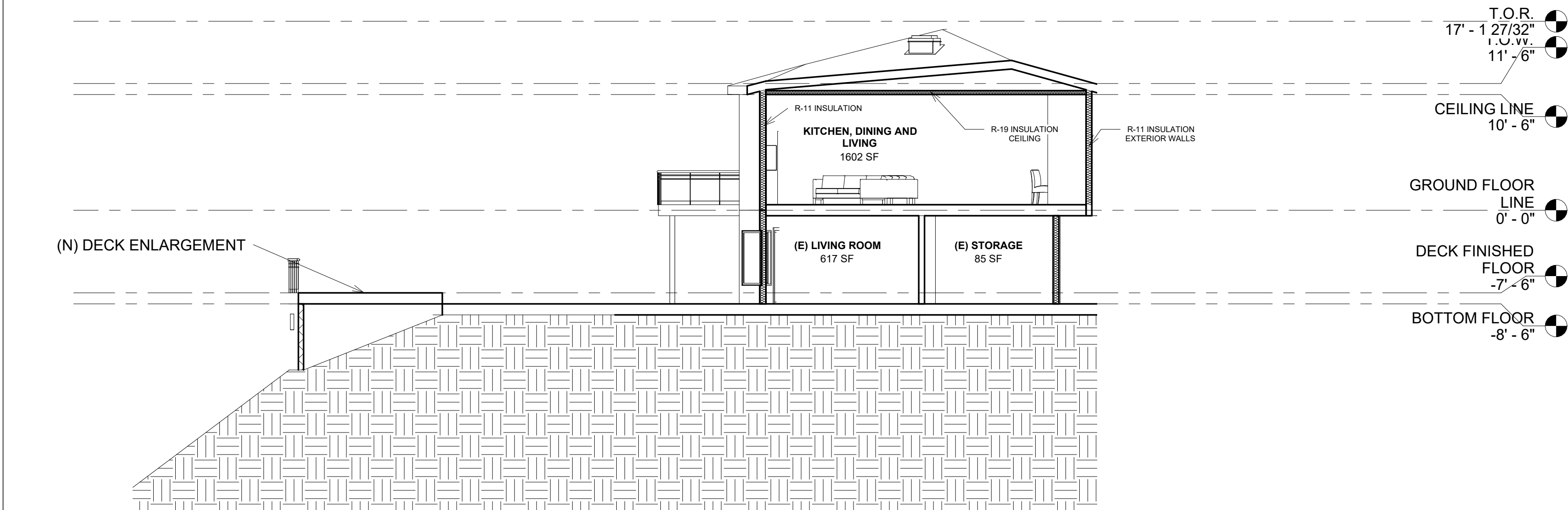
Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.10

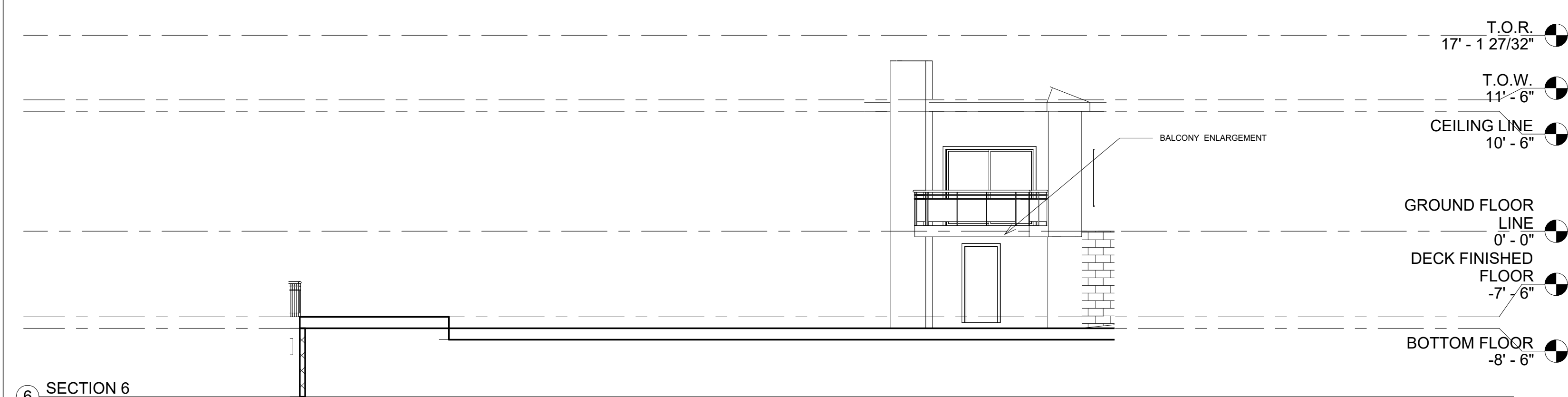
Scale 1/4" = 1'-0"



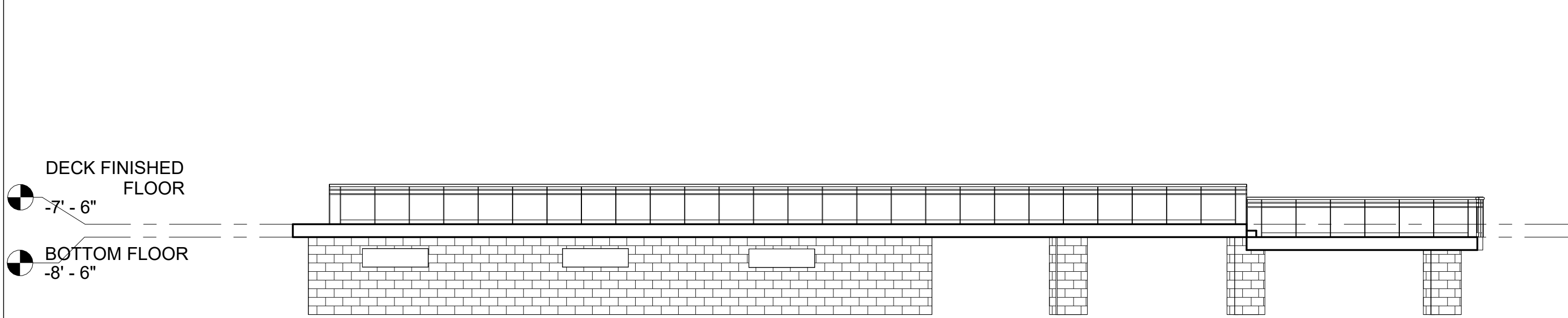
SECTION 4
1/8" = 1'-0"



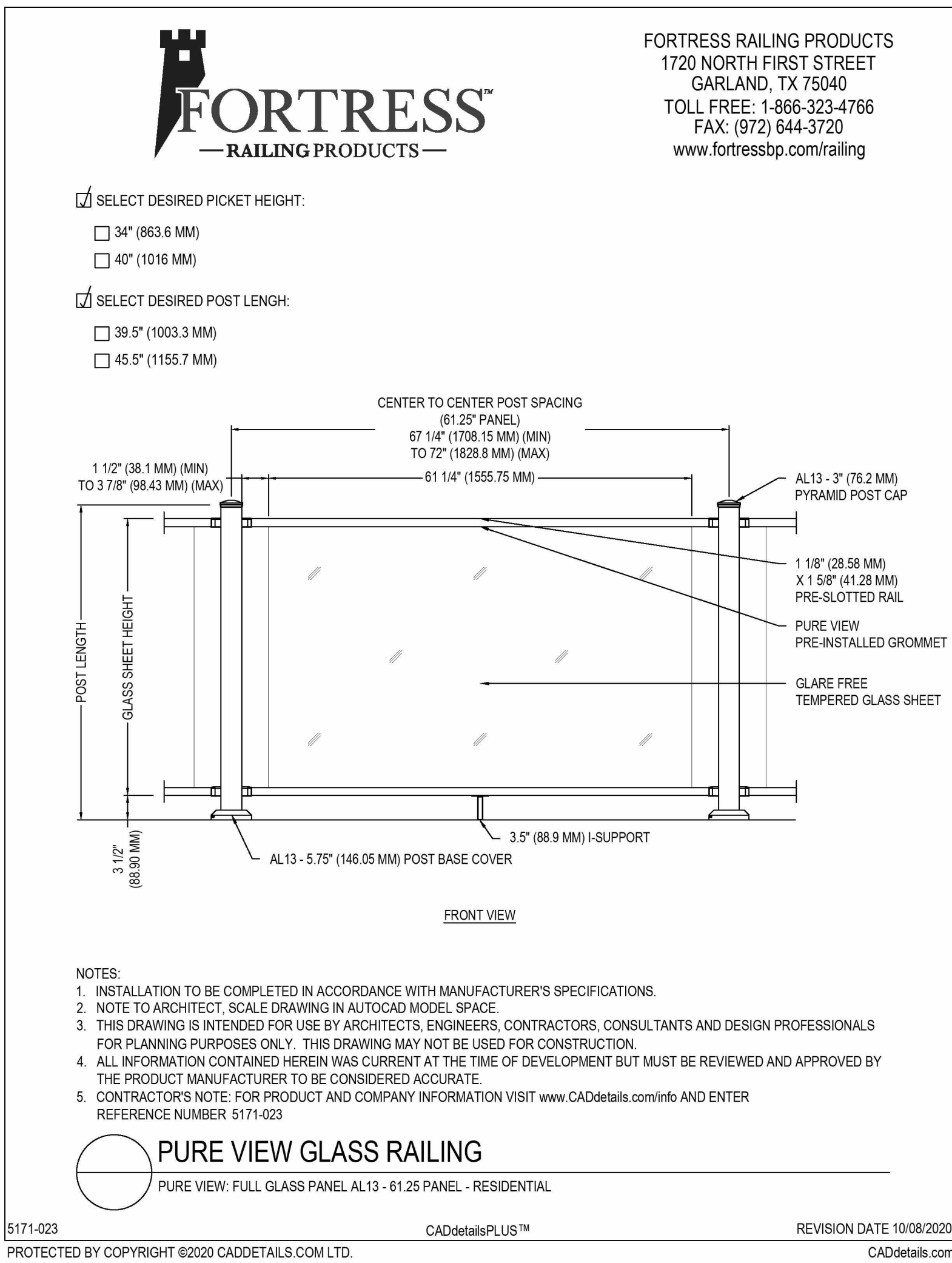
SECTION 5
1/8" = 1'-0"



SECTION 6
1/8" = 1'-0"



SECTION 7
1/8" = 1'-0"




UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

**1719 RUDELL RD.
BURBANK CA**

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

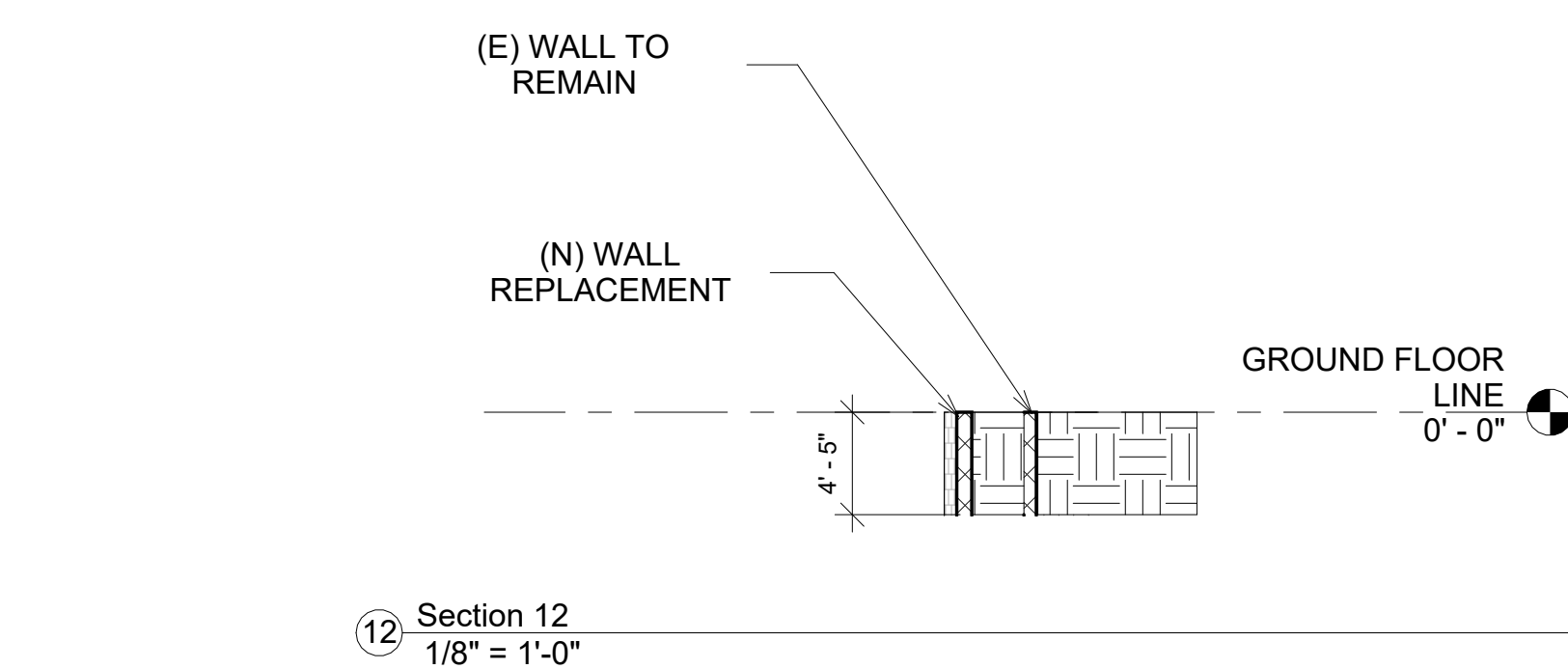
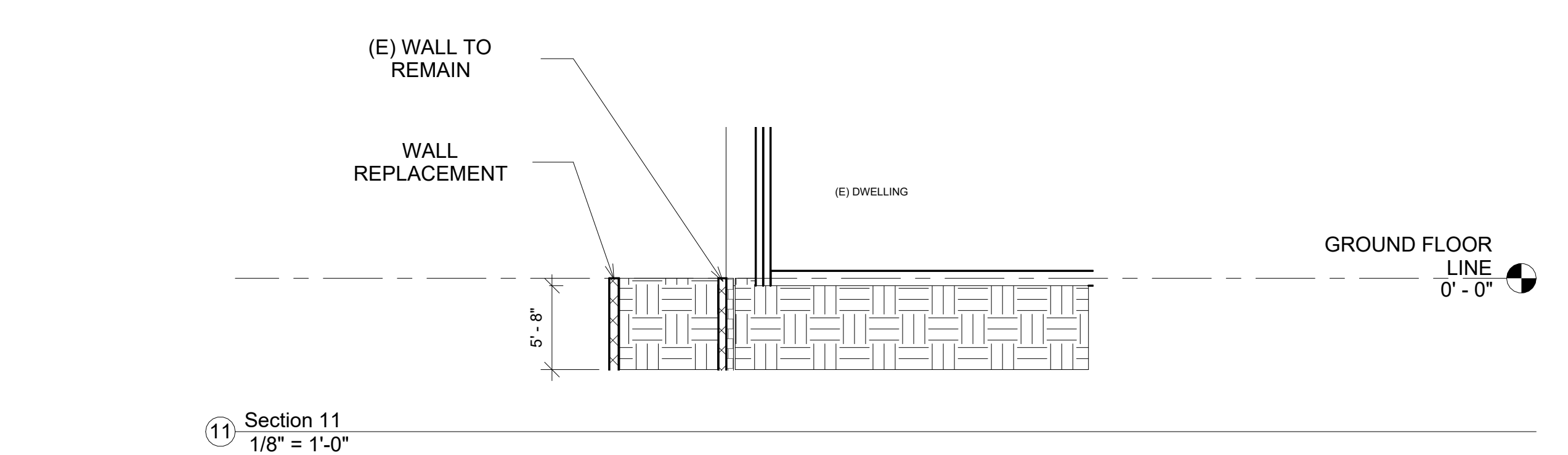
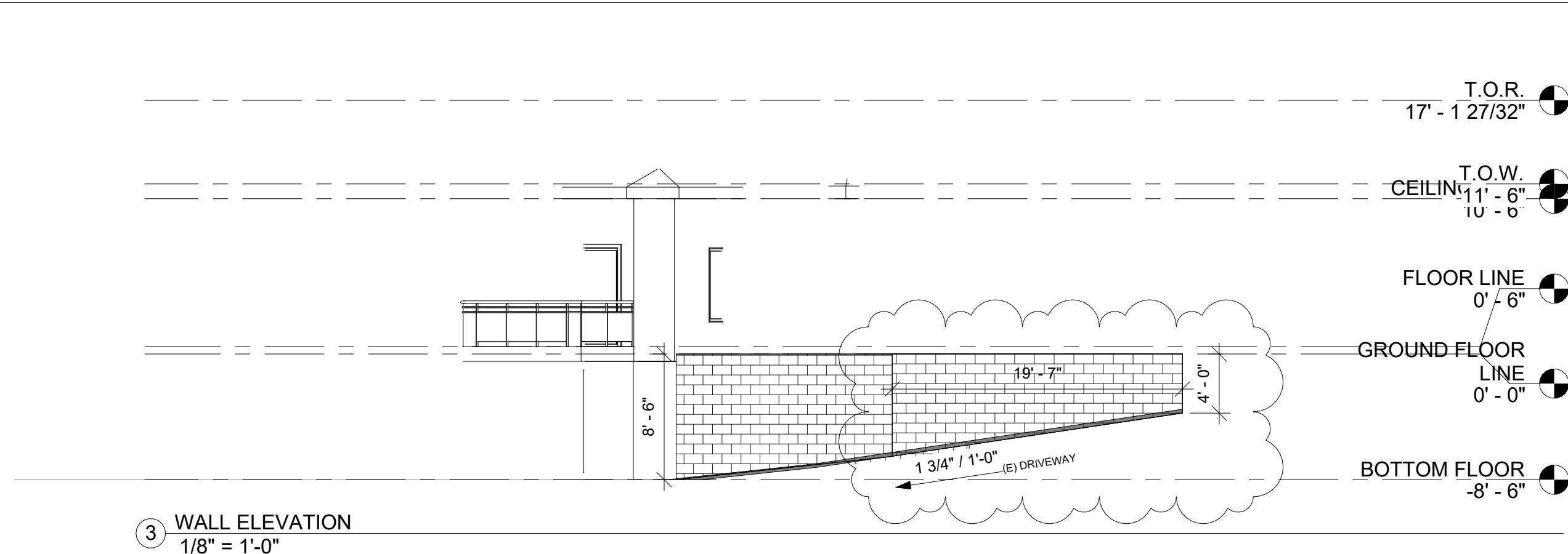
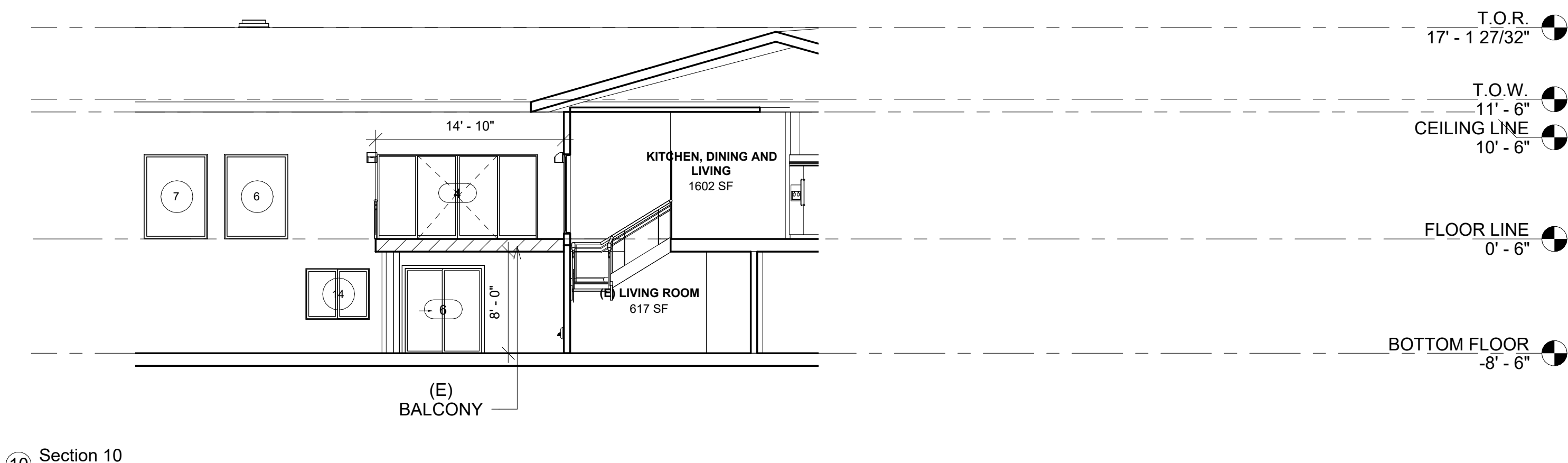
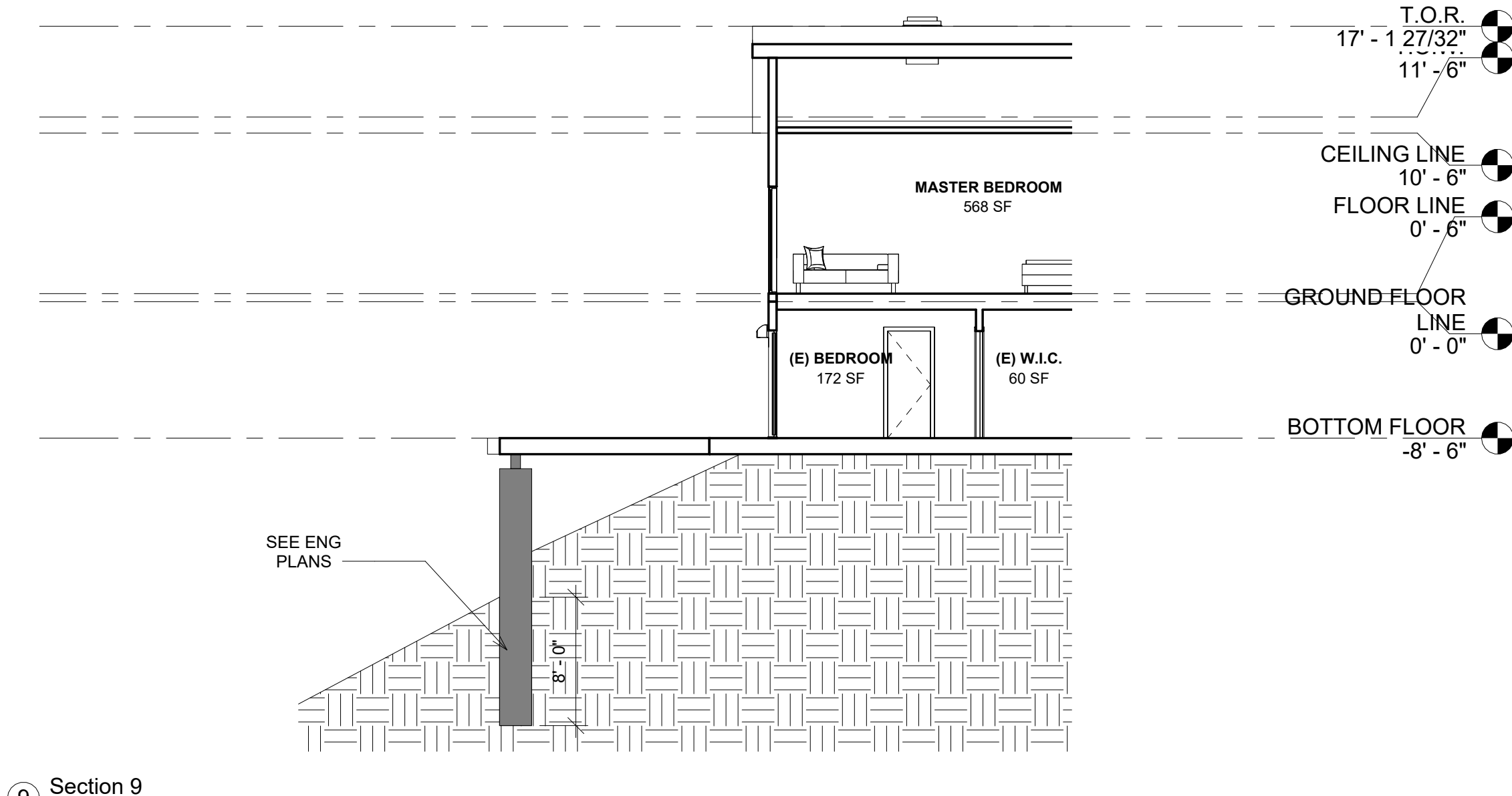
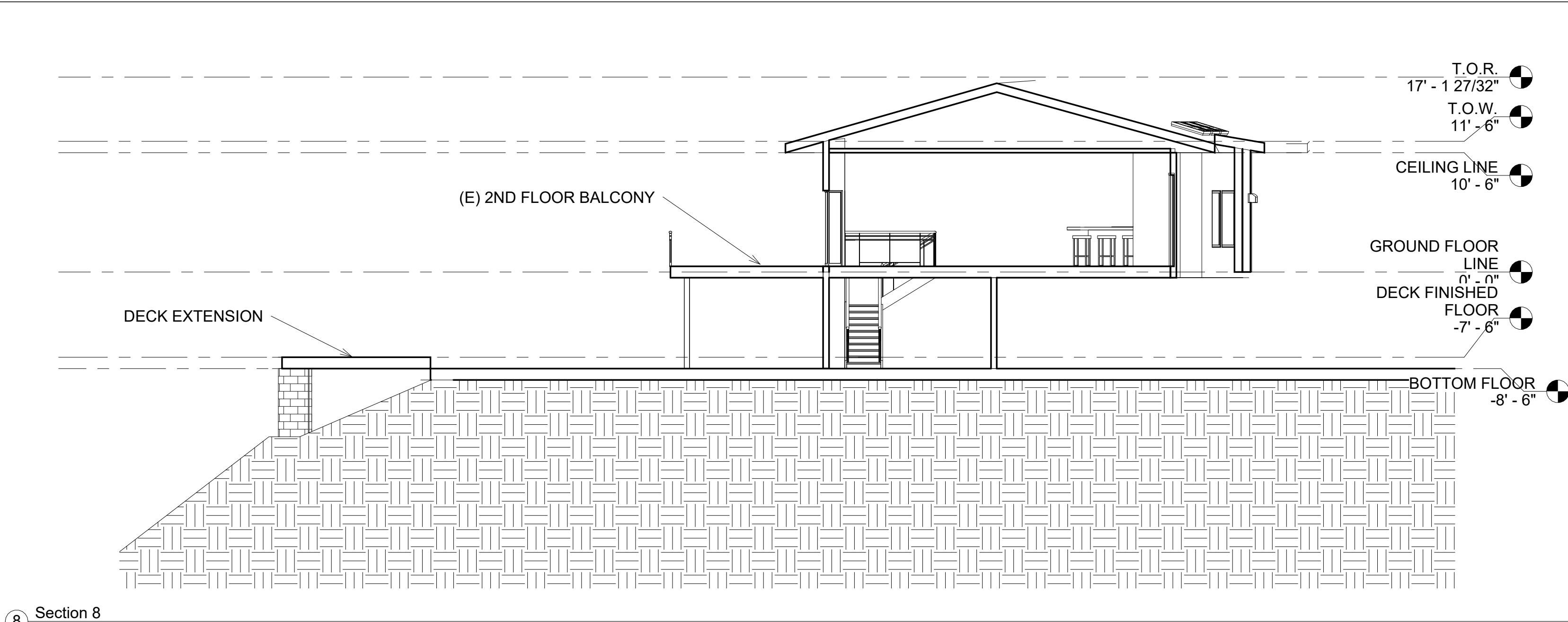
No.	Description	Date

SECTION

Project number _____
Date **MARCH 2024**
Drawn by **Author**
Checked by **Checker**

A-0.11

Scale **1/8" = 1'-0"**





UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date
1	Revision 1	Date 1

SECTION

Project number

Date

Drawn by

Checked by

MARCH 2024

Author

Checker

A-0.12

Scale 1/8" = 1'-0"

WINDOW SCHEDULE									
Mark	Count	Type	Sill Height	Height	Width	Solar Heat Gain Coefficient		Operation	U-Value glass
1	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	0.19	FIX	0.48
2	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	0.24	SLIDING	0.33
3	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	0.19	FIX	0.48
4	1	10'5"X6'8"	0' - 0"	6' - 8"	10' - 5"	0.78	0.25	FIX	0.31
5	1	9'3"X6'7"	0' - 5"	6' - 3"	9' - 3"	0.78	0.24	FIX	0.34
6	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	0.24	FIX	0.34
7	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	0.24	FIX	0.34
9	1	6X6'8"	0' - 0"	6' - 8"	6' - 0"	0.78	0.24	FIX	0.34
10	1	4'X6'8"	0' - 0"	6' - 8"	4' - 0"	0.78	0.24	FIX	0.34
11	1	3'6"x5'	1' - 8"	5' - 0"	3' - 6"	0.78	0.24	FIX	0.34
12	1	4X5	1' - 8"	5' - 0"	4' - 0"		0.24	FIX	0.34
13	1	4X5	1' - 8"	5' - 0"	4' - 0"	0.19		SLIDING	0.48
14	1	5x4	2' - 8"	4' - 0"	5' - 0"	0.19		SLIDING	0.48
15	1	4x1	5' - 8"	1' - 0"	4' - 0"	0.24		SLIDING	0.34
16	1	24" x 36"	3' - 8"	3' - 0"	2' - 0"	0.11		SLIDING	0.65
17	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.24		CASEMENT	0.34
18	1	48X18	5' - 2"	1' - 6"	4' - 0"	0.21		SLIDING	0.41
19	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.19		SLIDING	0.48
20	1	24" x36"		3' - 0"	2' - 0"	0.19		SLIDING	0.48
21	1	24" x36"		3' - 0"	2' - 0"	0.24		FIX SKYLIGHT	0.52
22	1	24" x36"		3' - 0"	2' - 0"	0.24		FIX SKYLIGHT	0.52
23	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78		FIX SKYLIGHT	0.52
24	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	0.24	FIX	0.48
25	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	0.24	FIX	0.48
26	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	0.24	FIX	0.48
27	1	4x4	2' - 8"	4' - 0"	4' - 0"		0.24	FIX	0.48
28	1	4x4	2' - 8"	4' - 0"	4' - 0"	0.23		SLIDING (ADU)	0.30
						0.23		SLIDING (ADU)	0.30

New installation of gas water heater shall have all the following as per 2022 California Energy Code 150.0(n):

1. A 120V electrical receptacle is within 3 feet from the water heater and accessible with no obstructions.
2. A Category III or IV vent, or a Type B vent with straight pipe between outside termination and the water heater.
3. A condensate drain no more than 2 inches higher than the base on water heater for natural draining.
4. 4) A gas supply line with capacity of at least 200,000 Btu/hr.
5. Unified tanks shall have a minimum R-12 insulation.
6. R-7.7 insulation shall be installed on the first 5 feet of hot and cold-water pipes.
7. water piping ¾" or larger, from the water heater to the kitchen fixtures, shall have R-4 insulation

NOTE:

Exterior lighting shall not cause glare or spillover onto adjoining properties or the public right-of-way

Shower floors and walls above bathtubs with installed shower head shall be finished with a nonabsorbent surface to a height not less than 6 ft. above the floor. (CRC R307.2, CBC 1210.2.3)

Smoke alarm requirements:

1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
4. Smoke detectors shall be "hard wired" and shall be equipped with battery backup.

Carbon monoxide alarm requirements:

1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling.
2. CO alarms shall be "hard wired" and shall be equipped with battery backup.
3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 720.
4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes.

Exterior lighting shall not cause glare or spillover onto adjoining property or the public right-a-way

Glass railing will have Anti-Reflective (AR) Coating.

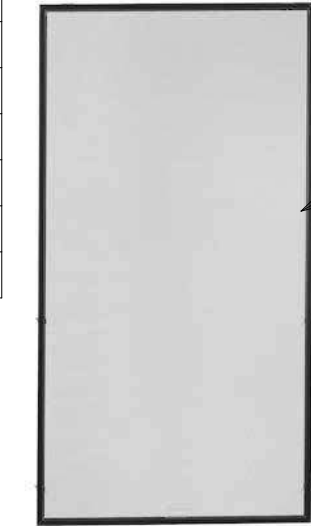
LEGEND

- NEW WALL
- NEW 1-HR FIRE RATED WALL
- WALL TO BE REMOVED
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVE
- EXISTING WALL
- EXHAUST FAN 50 CFM MINIMUM
- CARBON ALARM
- SMOKE DETECTOR
- FLOOR LINE
1/4" = 1'-0"

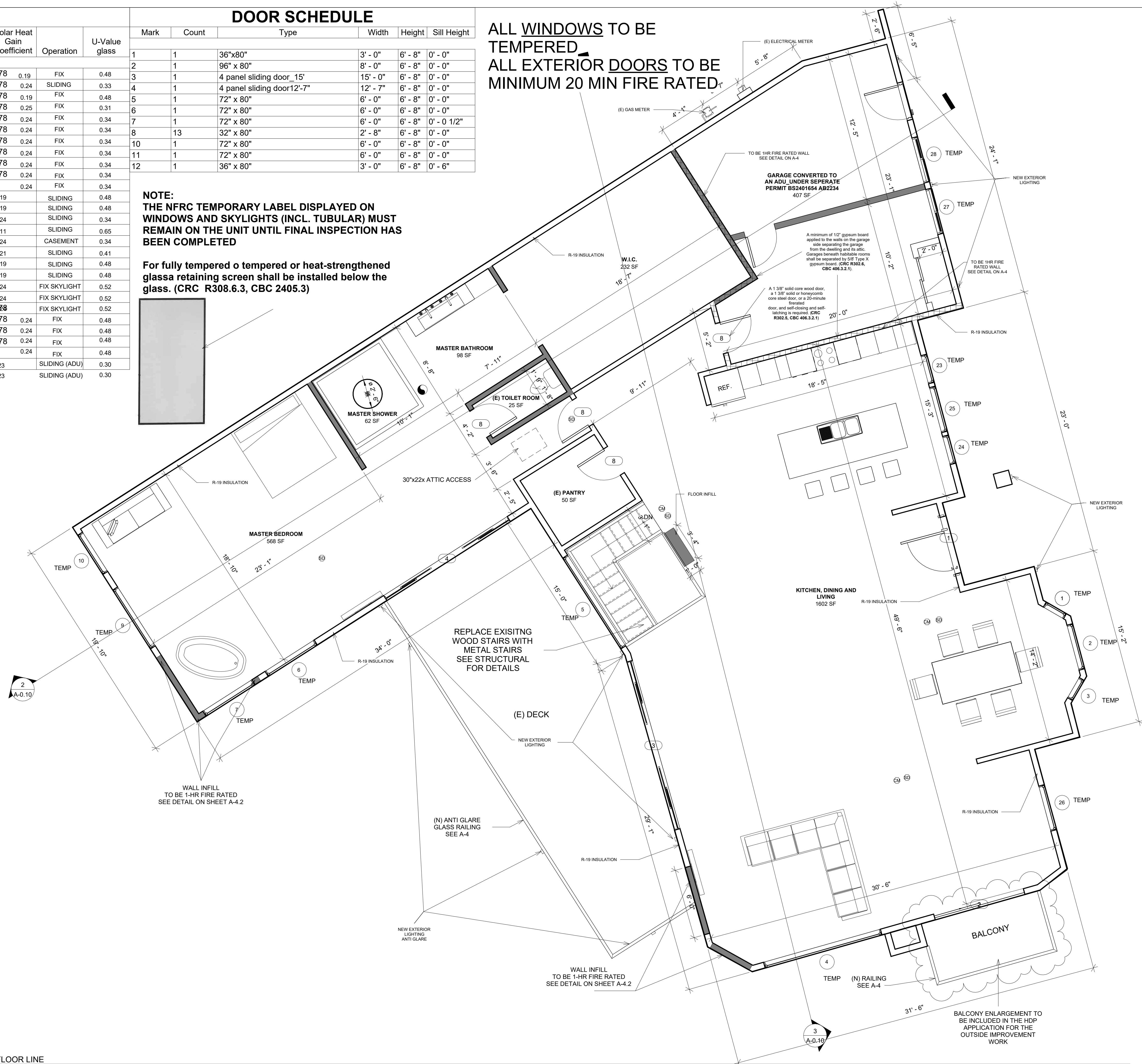
DOOR SCHEDULE						
Mark	Count	Type	Width	Height	Sill Height	
1	1	36"x80"	3' - 0"	6' - 8"	0' - 0"	
2	1	96" x 80"	8' - 0"	6' - 8"	0' - 0"	
3	1	4 panel sliding door_15'	15' - 0"	6' - 8"	0' - 0"	
4	1	4 panel sliding door12'-7"	12' - 7"	6' - 8"	0' - 0"	
5	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
6	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
7	1	72" x 80"	6' - 0"	6' - 8"	0' - 0 1/2"	
8	13	32" x 80"	2' - 8"	6' - 8"	0' - 0"	
10	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
11	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
12	1	36" x 80"	3' - 0"	6' - 8"	0' - 6"	

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

For fully tempered o tempered or heat-strengthened glassa retaining screen shall be installed below the glass. (CRC R308.6.3, CBC 2405.3)



ALL WINDOWS TO BE TEMPERED
ALL EXTERIOR DOORS TO BE MINIMUM 20 MIN FIRE RATED.



UP DEVELOPMENTS INC

Design Permit Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

The dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date
1	Revision 1	Date 1

BUILDING FLOOR PLAN

Project number
Date
Drawn by
Checked by

MARCH 2024
Author
Checker

A-0.6

Scale
As indicated

WINDOW SCHEDULE								
Mark	Count	Type	Sill Height	Height	Width	Solar Heat Gain Coefficient	Operation	U-Value glass
1	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	FIX	0.48
2	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	SLIDING	0.33
3	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	FIX	0.48
4	1	10'5"x6'8"	0' - 0"	6' - 8"	10' - 5"	0.78	FIX	0.31
5	1	9'3"x6'7"	0' - 5"	6' - 3"	9' - 3"	0.78	FIX	0.34
6	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	FIX	0.34
7	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	FIX	0.34
9	1	6X6'8"	0' - 0"	6' - 8"	6' - 0"	0.78	FIX	0.34
10	1	4'X6'8"	0' - 0"	6' - 8"	4' - 0"	0.78	FIX	0.34
11	1	3'6"x5'	1' - 8"	5' - 0"	3' - 6"	0.78	FIX	0.34
12	1	4X5	1' - 8"	5' - 0"	4' - 0"	0.24	FIX	0.34
13	1	4X5	1' - 8"	5' - 0"	4' - 0"	0.19	SLIDING	0.48
14	1	5x4	2' - 8"	4' - 0"	5' - 0"	0.19	SLIDING	0.48
15	1	4x1	5' - 8"	1' - 0"	4' - 0"	0.24	SLIDING	0.34
16	1	24" x 36"	3' - 8"	3' - 0"	2' - 0"	0.11	SLIDING	0.65
17	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.24	CASEMENT	0.34
18	1	48X18	5' - 2"	1' - 6"	4' - 0"	0.21	SLIDING	0.41
19	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.19	SLIDING	0.48
20	1	24" x36"		3' - 0"	2' - 0"	0.19	SLIDING	0.48
21	1	24" x36"		3' - 0"	2' - 0"	0.24	FIX SKYLIGHT	0.52
22	1	24" x36"		3' - 0"	2' - 0"	0.24	FIX SKYLIGHT	0.52
23	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	FIX SKYLIGHT	0.52
24	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	FIX	0.48
25	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	FIX	0.48
26	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78		
27	1	4x4	2' - 8"	4' - 0"	4' - 0"			
28	1	4x4	2' - 8"	4' - 0"	4' - 0"			

DOOR SCHEDULE					
Mark	Count	Type	Width	Height	Sill Height
1	1	36"x80"	3' - 0"	6' - 8"	0' - 0"
2	1	96" x 80"	8' - 0"	6' - 8"	0' - 0"
3	1	4 panel sliding door_15'	15' - 0"	6' - 8"	0' - 0"
4	1	4 panel sliding door12'-7"	12' - 7"	6' - 8"	0' - 0"
5	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
6	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
7	1	72" x 80"	6' - 0"	6' - 8"	0' - 0 1/2"
8	13	32" x 80"	2' - 8"	6' - 8"	0' - 0"
10	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
11	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
12	1	36" x 80"	3' - 0"	6' - 8"	0' - 6"

ALL WINDOWS TO BE TEMPERED
ALL EXTERIOR DOORS TO BE MINIMUM 20 MIN FIRE RATED

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

For fully tempered o tempered or heat-strengthened glassa retaining screenshall be installed below the glass. (CRC R308.6.3, CBC 2405.3)

Water-Heating System requirements (2022 California Energy Code 150.0(n)):

Indicate space of at least 2.5 ft x 2.5 ft x 7 ft tall for future heat pump water heater.
. If HPWH space is within 3 ft provide a dedicated 125 volt, 20 amp electrical receptacle, a reserved single pole circuit breaker space labeled as "Future 240V Use", a condensate drain no more than 2 inches higher than the base
□ If HPWH is more than 3 ft provide a dedicated 240 volt branch circuit rated at 30 amps, dedicated cold water supply, hot water supply, and a condensate drain no more than 2 inches higher than the base.

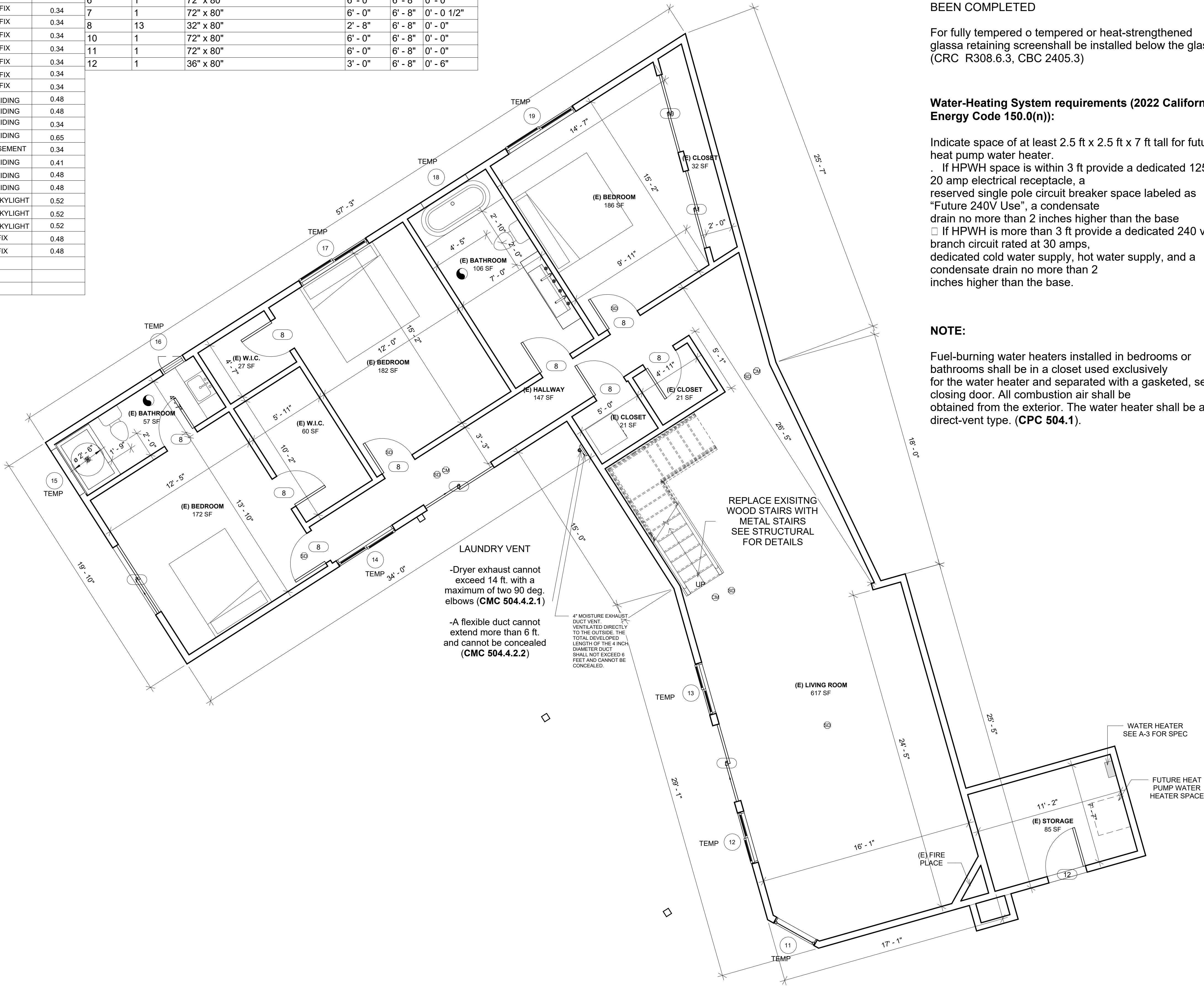
NOTE:
Fuel-burning water heaters installed in bedrooms or bathrooms shall be in a closet used exclusively for the water heater and separated with a gasketed, self-closing door. All combustion air shall be obtained from the exterior. The water heater shall be a direct-vent type. **(CPC 504.1).**

Vents and Foundation Openings Requirements (BMC 9-1-2-701A.1.1):

- All vents must be designed to resist the intrusion of embers and flames.
- Acceptable vent coverings include non-combustible, corrosion-resistant metal mesh with a maximum 1/8-inch opening.
- Foundation and attic vents should be located and designed to minimize direct exposure to wind-driven embers.
- Alternative ember- and flame-resistant venting systems approved by the California State Fire Marshal (CSFM) may also be used.

LEGEND

- NEW WALL
- NEW 1-HR FIRE RATED WALL
- WALL TO BE REMOVED
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVE
- EXISTING WALL
- EXHAUST FAN 50 CFM MINIMUM
- CARBON ALARM
- SMOKE DETECTOR



1 BOTTOM FLOOR
1/4" = 1'-0"



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

BUILDING BOTTOM FLOOR PLAN

Project number _____

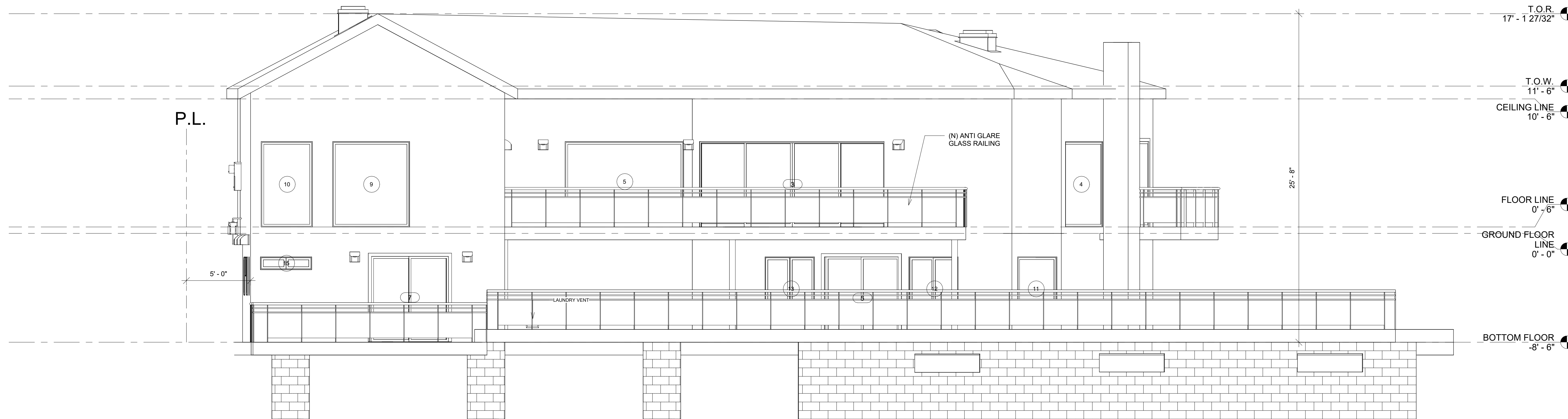
Date _____ MARCH 2024

Drawn by _____ Author

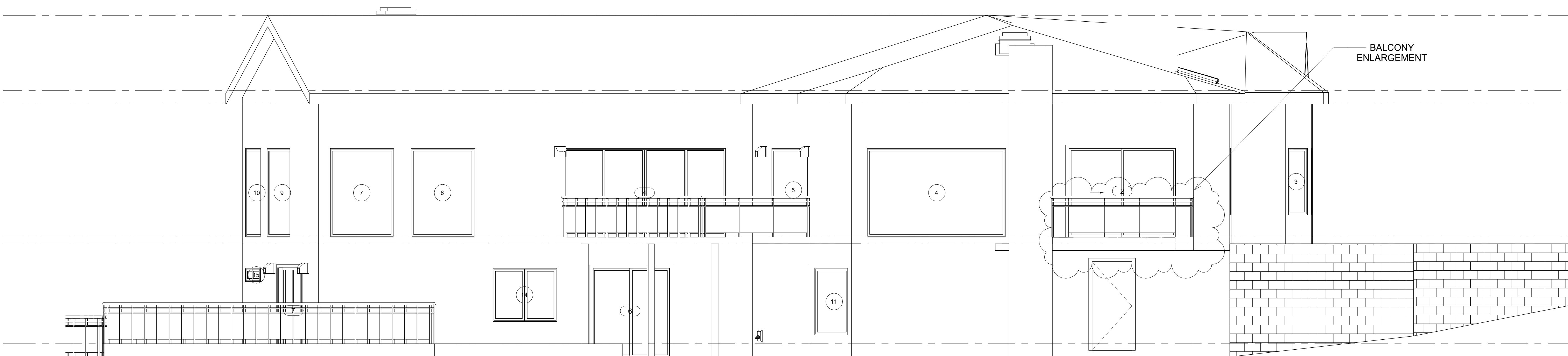
Checked by _____ Checker

A-0.7

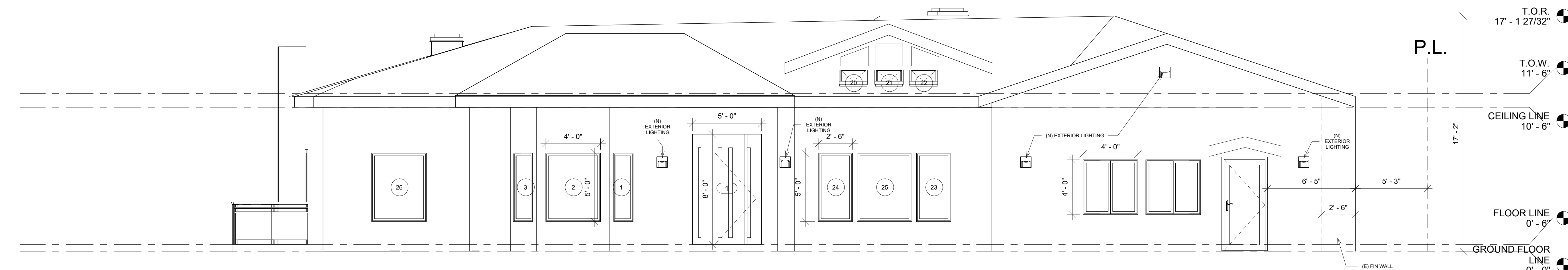
Scale _____ As indicated



① WEST ELEVATION1
1/4" = 1'-0"



② SOUTH ELEVATION1
1/4" = 1'-0"

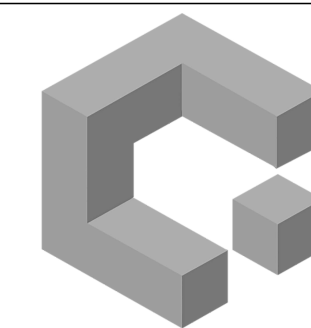


③ EAST ELEVATION
1/4" = 1'-0"

NOTE:
Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.

FRONT FACADE WALL OPENING CALCULATION: 20% MINIMUM:

WALL AREA 1: 266 SQ FT x 20% = 53.2 SQ FT REQUIRED PROVIDED: 60.4 SQ FT
WALL AREA 2: 147 SQ FT x 20% = 24.0 SQ FT REQUIRED PROVIDED: 25.0 SQ FT
WALL AREA 3: 176 SQ FT x 20% = 35.2 SQ FT REQUIRED PROVIDED: 40.0 SQ FT



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

T.O.R.
17' - 1 27/32"

T.O.W.
11' - 6"

CEILING LINE
10' - 6"

FLOOR LINE
0' - 6"

GROUND FLOOR

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date
1	Revision 1	Date 1

ELEVATIONS

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

A-0.8

ATTIC VENT CALC

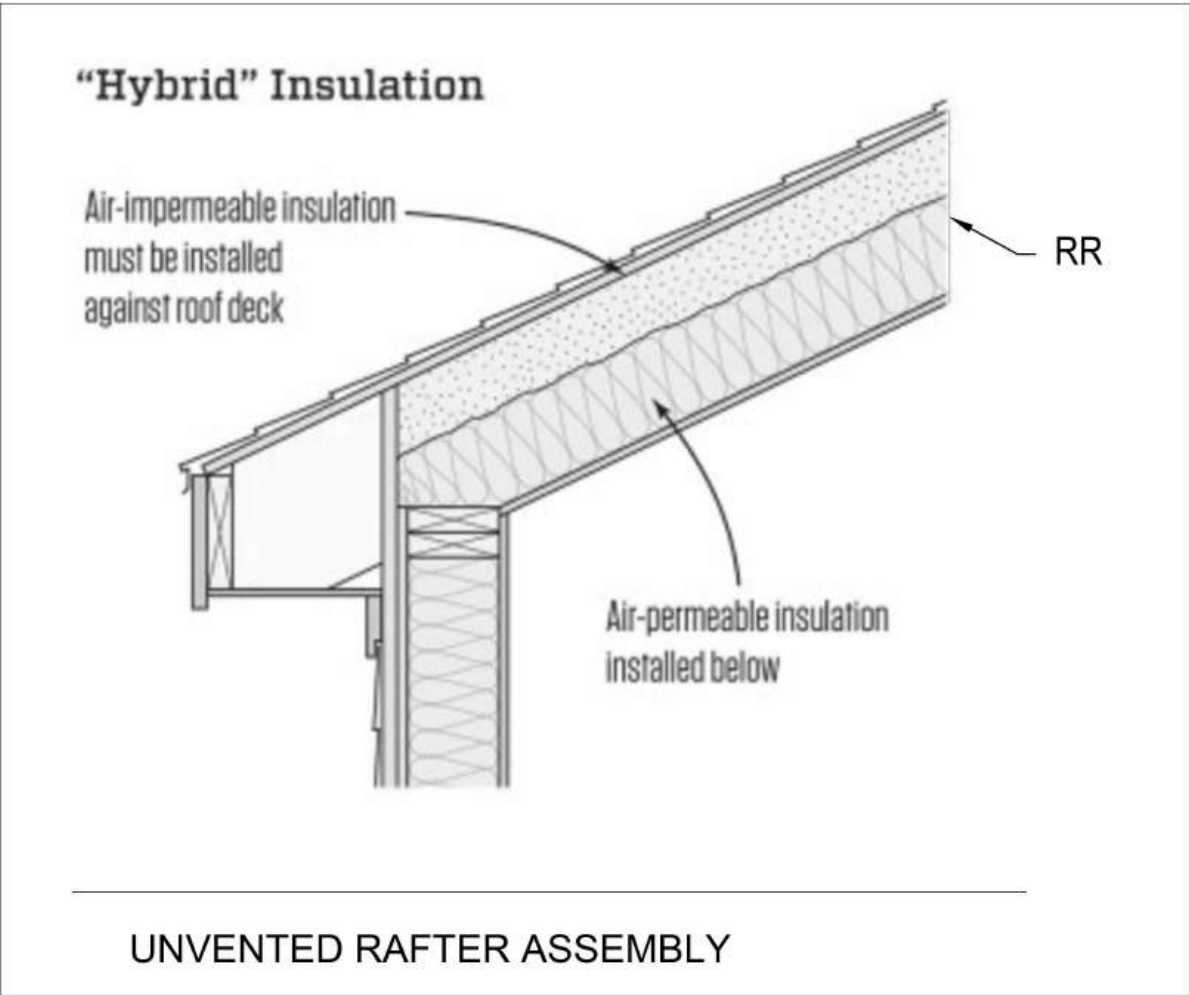
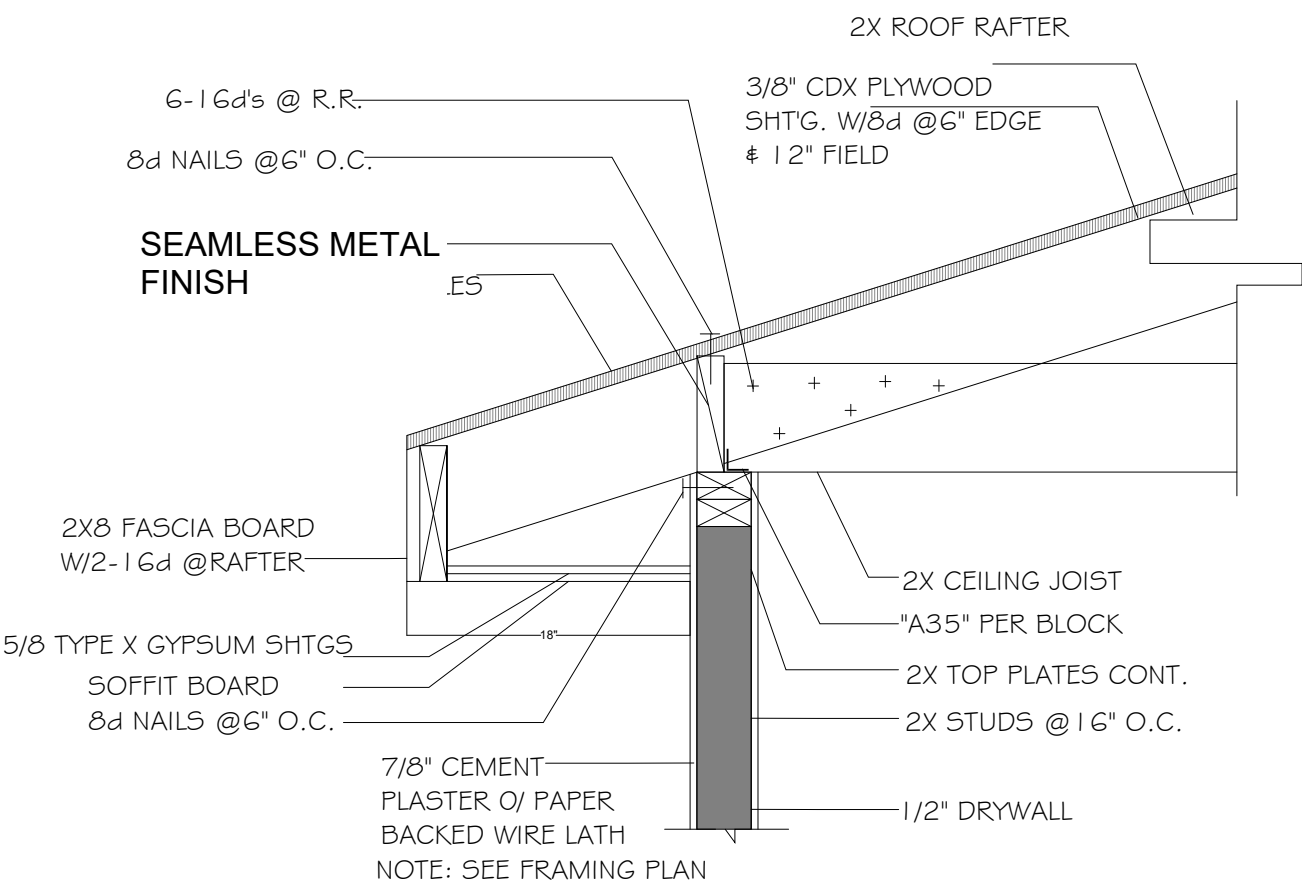
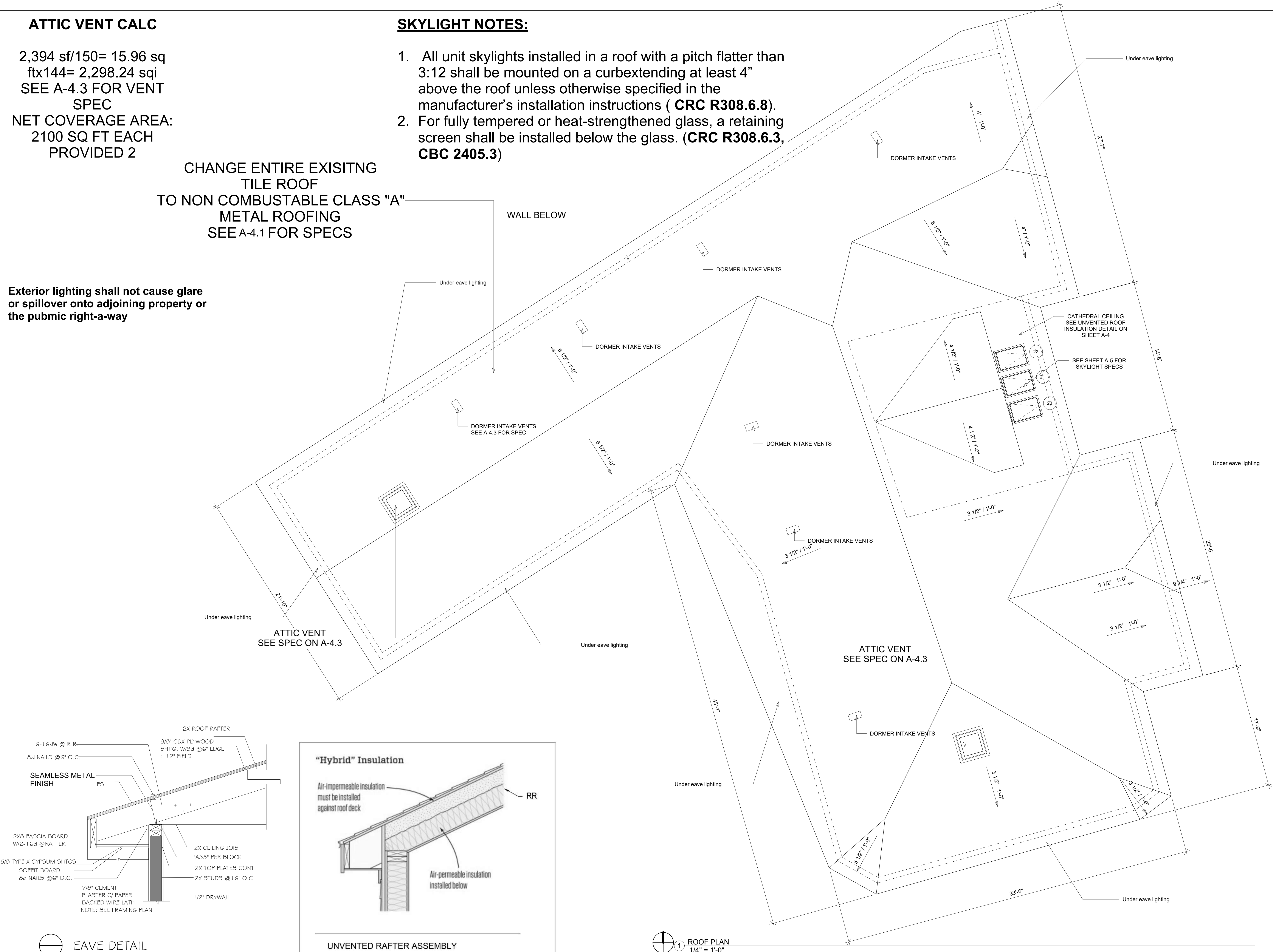
2,394 sf/150= 15.96 sq
ftx144= 2,298.24 sqi
SEE A-4.3 FOR VENT
SPEC
NET COVERAGE AREA:
2100 SQ FT EACH
PROVIDED 2

CHANGE ENTIRE EXISITNG
TILE ROOF
TO NON COMBUSTABLE CLASS "A"
METAL ROOFING
SEE A-4.1 FOR SPECS

SKYLIGHT NOTES:

- 1. All unit skylights installed in a roof with a pitch flatter than 3:12 shall be mounted on a curbextending at least 4” above the roof unless otherwise specified in the manufacturer’s installation instructions (**CRC R308.6.8**).
- 2. For fully tempered or heat-strengthened glass, a retaining screen shall be installed below the glass. (**CRC R308.6.3, CBC 2405.3**)

Exterior lighting shall not cause glare
or spillover onto adjoining property or
the pubmic right-a-way



1 ROOF PLAN
1/4" = 1'-0"



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work wand required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

ROOF PLAN

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.9

Scale 1/4" = 1'-0"



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

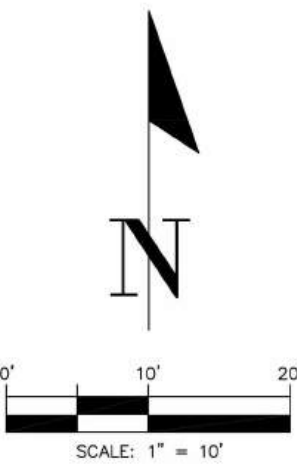
No.	Description	Date

PICTURES

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.13

Scale



TOPOGRAPHIC NOTES:

CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS $\pm 1/2$ OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THIS MAP WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS ± 0.10 FOOT.

INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES AND LIABILITY FOR INTERPOLATIONS ARE NOT ASSUMED BY CALIFORNIA ENGINEERING & SURVEYING, INC.

UNDERGROUND UTILITY NOTES:

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE, FEATURES, OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA. ACTUAL LOCATIONS SHOULD BE VERIFIED WITH APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENT PRIOR TO FINAL DESIGN AND/OR CONSTRUCTION.

SURVEY NOTES:

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC OR DRIVE) AS A COURTESY TO OUR CLIENT, THEN DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. CALIFORNIA ENGINEERING & SURVEYING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED, AND SEALED BY CALIFORNIA ENGINEERING & SURVEYING, INC.

ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

THE CLIENT DID NOT PROVIDE A TITLE REPORT.

REVIEW THE LATEST TITLE REPORT TO DETERMINE EASEMENT(S) THAT MAY EXIST OVER THIS PROPERTY.

TOPOGRAPHIC SURVEY

PORTION OF LOT 4 AND 5 OF TRACT NO. 40026, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 992, PAGES 74-76 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER. CONTAINING 22,968 S.F.

BASIS OF BEARINGS:

THE BEARING OF N37°12'10"W, SHOWN FOR THE CENTERLINE OF RUDELL ROAD ON TRACT NO. 40026, MAP BOOK 992, PAGE 74, WAS USED AS THE BASIS OF BEARINGS HEREON.

LEGAL DESCRIPTION:

PORTION OF LOT 4 AND 5 OF TRACT NO. 40026, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 992, PAGES 74-76 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER.

LAND AREA:

CONTAINING AN AREA OF 22,968 SQUARE FEET, MORE OR LESS

BENCHMARK:

BENCH MARK: 1909-1
DATUM: NAVD 1988
ELEVATION: 871.689 FEET
DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1909-1, 130 SUNSET CANYON DRIVE, AT THE NORTHWEST QUADRANT OF THE "T" INTERSECTION OF ANGELENO AVENUE AND SUNSET CANYON DRIVE

LOCAL BENCHMARK:

TOP OF SPIKE AND WASHER LS 4016 AT THE CENTER OF RUDELL ROAD CUL-DE-SAC AS SHOWN HEREON.

ELEVATION: 1239.00 FEET

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF ADRINEH EBRAHIMIAN IN MARCH OF 2024.

Larry G. Canterberry 3/1/24
LARRY G. CANTERBERRY, LS 8776 DATE



PREPARED BY:
CALIFORNIA ENGINEERING & SURVEYING INC
5210 MOLISE COURT, BAKERSFIELD, CA 93308
(661) 809-7372 glen@calengr.com

TOPOGRAPHIC SURVEY

1719 RUDELL ROAD, BURBANK, CA 91501
APN 5608-027-019 LOS ANGELES COUNTY

PROJ. MGR:	ADRIANEH EBRAHIMIAN	DRAWING DATE:	3/1/24
SURVEYOR:	LARRY CANTERBERRY		
DOCUMENT TYPE:	TOPO SURVEY		
		SHEET 1 OF 1	



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

SURVAY

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-2

Scale



2022 CALGREEN CODE

CHAPTER 1 – ADMINISTRATION	
SECTION	REQUIREMENTS
101.3.1	Scope
	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.

CHAPTER 3 – GREEN BUILDING

SECTION	REQUIREMENTS
301.1.1	Additions and alterations
	<ul style="list-style-type: none"> • Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. • Requirements only apply within the specific area of the addition or alteration. • Requirements for electric vehicle charging may apply to additions to or alterations of parking facilities for multifamily buildings
301.2	Low-rise and high-rise residential buildings
	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
302.1	Mixed occupancy buildings
	<p>Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> • Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable. • Live/work units complying with the California Building Code Section 508.5 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.



2022 CALGREEN CODE

Multifamily development projects, hotels, and motels with less than 20 units
<p>The number of dwelling units, sleeping units or guest rooms shall be based on all building on a project site.</p> <ol style="list-style-type: none"> 1. EV Capable. 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any on-site distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amps. The service panel/subpanel shall identify overcurrent protective device spaces reserved for future EV charging as "EV CAPABLE." <p>Exceptions:</p> <ol style="list-style-type: none"> 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. <ol style="list-style-type: none"> 2. EV Ready. 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. <p>Exception: Areas of parking facilities by parking lifts.</p>



2022 CALGREEN CODE

SECTION	REQUIREMENTS
4.106.2	Storm water drainage and retention during construction
	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
4.106.3	Grading and paving
	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception: Additions and alterations which do not alter the existing drainage path.
4.106.4	Electric vehicle (EV) charging for new construction and existing multifamily parking facilities
	<ul style="list-style-type: none"> Comply with Section 4.106.4.1 or 4.106.4.2 for installation and use of EV chargers and receptacles. Electric vehicle supply equipment (EVSE) shall comply with the <i>California Electrical Code</i>. <p>Exceptions:</p> <ol style="list-style-type: none"> On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following: <ol style="list-style-type: none"> Where there is no local utility power supply, or the local utility is unable to supply adequate power. Where local enforcing agency determines additional local utility infrastructure design requirements for implementation of Section 4.106.4, may adversely impact the construction cost of the project. Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities.



2022 CALGREEN CODE

	<p align="center">Multifamily development projects, hotels and motels with 20 or more units</p>
	<p>The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site.</p> <ol style="list-style-type: none"> <p>1. EV Capable. 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any on-site distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amperes. The service panel/subpanel shall identify future EV spaces as "EV CAPABLE."</p> <p>Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than 5% of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the 5% required.</p> <p>2. EV Ready. 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</p> <p>Exception: Areas of parking facilities served by parking lifts.</p> <p>3. EV Chargers. 5% of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.</p> <p>When low power Level 2 EV charging receptacles or EVSE are installed beyond the minimum required, automatic load management systems (ALMS) may be used to reduce electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EVCS.</p>



2022 CALGREEN CODE

4.106.4.1	<p align="center">EV charging: New 1- & 2-family dwellings/townhouses with attached private garages</p>
	<ul style="list-style-type: none"> • Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. • Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). • Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. • Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces. • Service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. <p>Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i>.</p>
4.106.4.1.1	<p align="center">Identification</p>
	<p>Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as “EV CAPABLE”. The raceway termination location shall be permanently and visibly marked as “EV CAPABLE.”</p>
4.106.4.2	<p align="center">EV charging for new multifamily dwellings, hotels and motels and new residential parking facilities</p>
	<ul style="list-style-type: none"> • Applies to all new multifamily dwelling units, hotels and motels and new residential parking facilities. • Shall meet the requirements of Sections 4.106.4.2.1 or 4.106.4.2.2. • Calculations for spaces shall be rounded up to the nearest whole number. • A parking space served by electric vehicle supply equipment (EVSE) or designed as a future EV charging space shall count as at least one standard parking space in order to comply with minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2.



2022 CALGREEN CODE

4.106.4.2.2.1	<p align="center">EV charging stations (EVCS)</p>
	<p>EVCS required by Section 4.106.4.2.2.1.2, Item 3 (1 in 25 EVCS with chargers) shall comply with Section 4.106.4.2.2.1.1.</p> <p>Exception: EVCS serving public accommodations, public housing motels and hotel shall not be required to comply with this section. See <i>California Building Code</i>, Chapter 11B, for applicable requirements.</p>
4.106.4.2.2.1.1	<p align="center">Location</p>
	<p>When EV chargers are installed, EVCS shall comply with at least one of the following options:</p> <ol style="list-style-type: none"> 1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the <i>California Building Code</i>, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route to the building, as defined in the <i>California Building Code</i>, Chapter 2.
	<p>Exception: EVCS designed and constructed in compliance with the <i>California Building Code</i>, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.</p>
4.106.4.2.2.1.2	<p align="center">EV charging stations (EVCS) dimensions</p>
	<p>EV charging spaces shall be designed to comply with the following:</p> <ul style="list-style-type: none"> • Minimum length of each EV space shall be 18 feet. • Minimum width of each EV space shall be 9 feet. • One in every 25 charging spaces, but not less than one, shall have an 8-foot minimum aisle. A 5-foot minimum aisle shall be permitted if the minimum width of the EV space is 12 feet. <ul style="list-style-type: none"> a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.



Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

[illegible]

CAL GREEN MANDATORY MEASURES

Project number

Date MARCH 2024

Drawn by _____ Author _____

Checked by _____ Checker _____

A-3

Scale



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.106.4.2.2.1.3	Accessible EV spaces
	In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the <i>California Building Code</i> , Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with <i>California Building Code</i> , Chapter 11A, Section 1109A.
4.106.4.2.3	EV space requirements
	<p>Single EV space required</p> <ul style="list-style-type: none">Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable.Service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit including an installed branch circuit overcurrent protective device; or spaces reserved to install a branch circuit overcurrent protective device. <p>Multiple EV spaces required</p> <ul style="list-style-type: none">Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations.Plan design shall be based upon a 40-ampere minimum branch circuit.Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction. <p>Exception (applies to both single and multiple EV spaces): A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the <i>California Electrical Code</i>.</p>

Page 7 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.106.4.2.4	Identification
	The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the <i>California Electrical Code</i> .
4.106.4.2.5	EV ready space signage
	EV ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement markings) or its successor.
4.106.4.3	EV charging for additions and alterations of parking facilities serving existing multifamily buildings
	When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, 10% of the total number of parking spaces added or altered shall be EV spaces capable of supporting future Level 2 EVSE.
DIVISION 4.2 – ENERGY EFFICIENCY	
SECTION	REQUIREMENTS
4.201.1 & 5.201.1	Scope
	<ul style="list-style-type: none">Energy efficiency requirements for low-rise residential (single-family) (Section 4.201.1); and high-rise residential (multifamily) and hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen.Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2022 <i>California Energy Code</i>.

Page 8 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

DIVISION 4.3 – WATER EFFICIENCY AND CONSERVATION	
SECTION	REQUIREMENTS
4.303.1	Water conserving plumbing fixtures and fittings
	<p>Plumbing fixtures and fittings shall comply with the following:</p> <ul style="list-style-type: none">4.303.1.1 – Water closets: ≤ 1.28 gal/flush.4.303.1.2 – Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush.4.303.1.3.1 – Single showerheads: ≤ 1.8 gpm @ 80 psi.4.303.1.3.2 – Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time.4.303.1.4.1 – Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi.4.303.1.4.2 – Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi.4.303.1.4.3 – Metering faucets: ≤ 0.2 gallons per cycle.4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.4.303.1.4.5 – Pre-rinse spray valves: comply with California Code of Regulations (CCR), Title 20, Appliance Efficiency Regulations, Sections 1605.1(h)(4) Table H-2, Section 1605.3(h)(4)(A), and Section 1607(d)(7). Shall be equipped with an integral automatic shutoff.
4.303.2	Submeters for multifamily buildings and dwelling units in mixed-use residential/commercial buildings
	Submeters shall be installed to measure water usage on individual dwelling units in accordance with the <i>California Plumbing Code</i> .
4.303.3	Standards for plumbing fixtures and fittings
	Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> and shall meet applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> .

Page 9 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.304.1	Outdoor potable water use in landscape areas
	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEL0), whichever is more stringent.
DIVISION 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY	
SECTION	REQUIREMENTS
4.406.1	Rodent proofing
	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.
4.408.1	Construction waste management
	<ul style="list-style-type: none">Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. <p>Provide documentation to the enforcing agency per Section 4.408.5.</p> <p>Exceptions:</p> <ol style="list-style-type: none">Excavated soil and land-clearing debris.Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
4.408.2	Construction waste management plan
	Submit a construction waste management plan that meets Items 1 through 5.

Page 10 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.408.3	Waste management company
	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.
4.408.4 & 4.408.4.1	Waste stream reduction alternative
	<ul style="list-style-type: none">Low-rise residential projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
4.410.1	Operation and maintenance manual
	At the time of final inspection, a manual, compact disc, web-based reference, or other media acceptable to the enforcing agency which covers 12 specific subject areas shall be placed in the building.
4.410.2	Recycling by occupants
	<p>Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage, and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.</p> <p>Exception: Rural jurisdictions that meet and apply for the exemption in <i>Public Resources Code</i> Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.</p>

Page 11 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

DIVISION 4.5 – ENVIRONMENTAL QUALITY	
SECTION	REQUIREMENTS
4.503.1	Fireplaces – General
	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.
4.504.1	Protection of mechanical equipment during construction
	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, Sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
4.504.2.1	Adhesives, sealants and caulks
	<p>Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</p> <ol style="list-style-type: none">Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2.Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of CCR, Title 17, commencing with Section 94507.

Page 12 of 17



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

CAL GREEN
MANDATORY
MEASURES

Project number	_____
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-4

Scale



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.504.2.2	Paints and coatings
	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.
4.504.2.3 & 4.504.2.4	Aerosol paints and coatings
	<ul style="list-style-type: none">Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.Documentation is required per Section 4.504.2.4.
4.504.3	Carpet systems
	Carpet installed in the building interior shall meet the testing and product requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
4.504.3.1	Carpet cushion
	Carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
4.504.3.2	Carpet adhesive
	Carpet adhesives shall meet the requirements of Table 4.504.1.

Page 13 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.507.2	Heating and air-conditioning system design
	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: <ol style="list-style-type: none">The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (<i>Residential Load Calculation</i>), ASHRAE handbooks or other equivalent design software or methods.Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (<i>Residential Duct Systems</i>), ASHRAE handbooks or other equivalent design software or methods.Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (<i>Residential Equipment Selection</i>) or other equivalent design software or methods. <p>Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.</p>

CHAPTER 7 – INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

SECTION	REQUIREMENTS
702.1	Installer training
	Heating, ventilation, and air conditioning (HVAC) system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: <ol style="list-style-type: none">State certified apprenticeship programs.Public utility training programs.Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.Programs sponsored by manufacturing organizations.Other programs acceptable to the enforcing agency.

Page 16 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.504.4	Resilient flooring systems
	Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
4.504.5 & 4.504.5.1	Composite wood products
	<ul style="list-style-type: none">Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (CCR, Title 17, Section 93120 et seq.) as shown in Table 4.504.5.Documentation is required per Section 4.504.5.1.Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).
4.505.2	Concrete slab foundations
	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the <i>California Building Code</i> , Chapter 19, or the <i>California Residential Code</i> , Chapter 5, respectively, shall also comply with this section.
4.505.2.1	Capillary break
	A capillary break shall be installed in compliance with at least one of the following: <ol style="list-style-type: none">A 4-inch thick base of ½ inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.Other equivalent methods approved by the enforcing agency.A slab design specified by a licensed design professional.

Page 14 of 17



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

4.505.3	Moisture content of building materials
	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: <ol style="list-style-type: none">Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8.Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.
4.506.1	Bathroom exhaust fans
	Each bathroom shall be mechanically ventilated and shall comply with the following: <ol style="list-style-type: none">Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.<ol style="list-style-type: none">Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%.A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. <p>Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Lighting integral to bathroom exhaust fans shall comply with <i>California Energy Code</i>.</p>

Page 15 of 17



UP DEVELOPMENTS INC

Design
Permit
Construct

(818) 588-0856
www.updevelopments.net

1719 RUDELL RD.
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

No.	Description	Date

CAL GREEN
MANDATORY
MEASURES

Project number _____
Date _____ MARCH 2024
Drawn by _____ Author
Checked by _____ Checker

A-5

Scale

C-1

- 1 INSTALL 3" PVC. PIPE OR/SEE ARCHT. PLANS FOR DETAIL & SPECS.
- 2 INSTALL 4" PVC. PIPE, SCHED40
- 3 INSTALL AREA DRAINS/ROOF DRAINS
- 4 EX. CONC. RET.WALL
- 5 INSTALL 4" DOWN SPOUTS
- 6 INSTALL 4" GUTTER
- 7 INSTALL 6" PVC. SCHD. 40
- 8 CONST. 3' HI. SPLASH WALL PER DET. HEREON



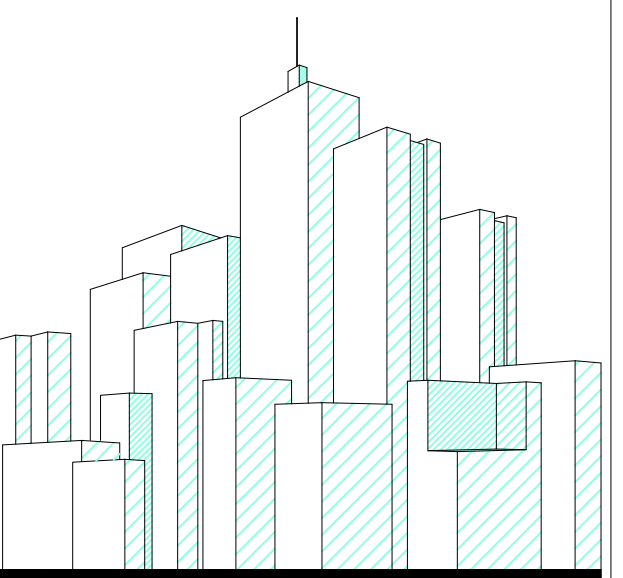
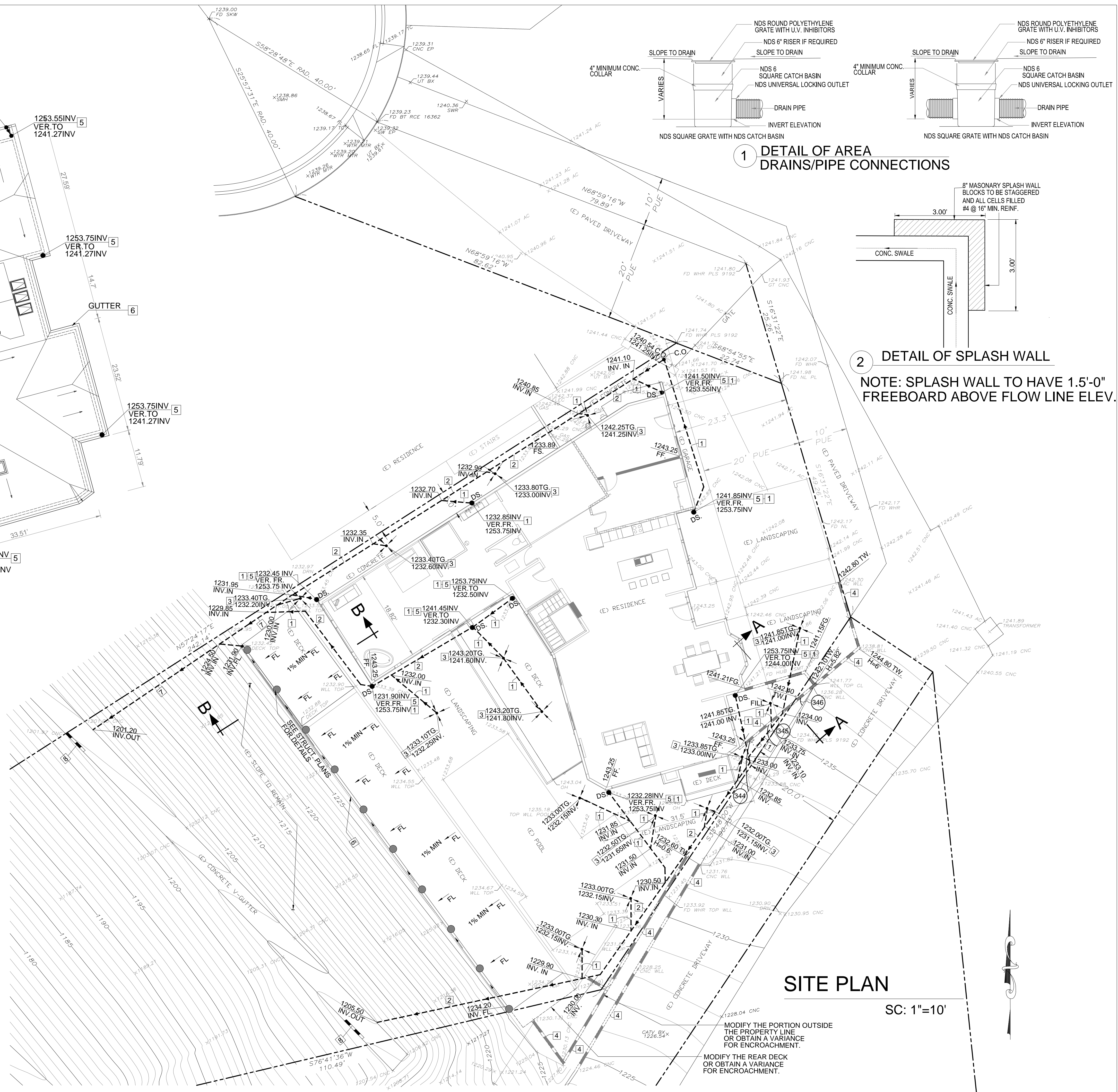
SC: $\frac{1}{10}'' = 1'-0''$



SC:1/10"=1'-0"



SC:1/10"=1'-0"



TLC TECHNICAL LAND CO., INC
1545 N. VERDUGO RD. SUITE #2
GLENDALE, CA 91208

[illegible]

Notice

The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated, or exploited, in whole or in part, without written permission of TECHNIA LAND CO. INC. These are available for limited review and evaluation by clients consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECTNAME:

PROJECT ADDRESS:
1719 RUDELL RD.,
BURBANK, CA 91501

Drawing Title

GRADING/DRAINAGE

Project No	1427-018-24	Seal	
Scale	1"=10'		
Date	JUN. 20, 2025		
Designed			
Drawn			
Checked	A.N.	Drawing No	C-2
Reviewed	H.M.		

C-2