

EXHIBIT A

VIEW STUDY FOR HILLSIDE DEVELOPMENT PROJECT NO. 25-000703 LOCATED AT 1727 RUDELL ROAD

Purpose:

Per Burbank Municipal Code (BMC) Section 10-1-607(D)(3)(e), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. A project is considered to have a view impact if it unnecessarily or unreasonably encroaches upon the scenic views from the neighboring properties. A complete or nearly complete obstruction of a primary or secondary view is regarded as a significant view impact. In addition, pursuant to Section 10-1-607(D)(3)(f), these view impacts must be considered as a basis for making a decision. The view impacts of the proposed project must be considered by the Director, or Planning Commission if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required findings.

Intent:

To determine the primary and secondary view of a subject property, staff first identifies the front and rear yard setback lines. According to BMC Section 10-1-606(E)(1), when the primary view is from the front yard, rear yard, or both, a setback line is established in the yard(s) with the primary view. This line is drawn from the nearest front or rear corner of existing homes on adjacent lots, as illustrated in Diagram 10-1-606(E) below.

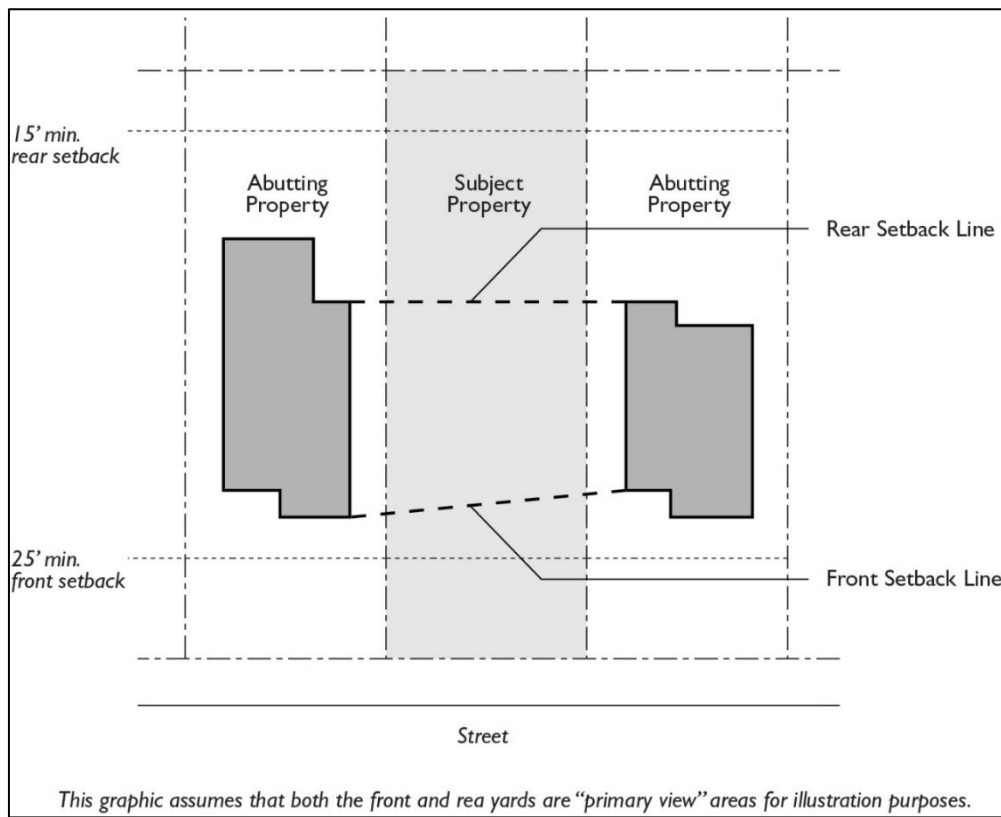


Figure 1: Front and Rear Setbacks for View Determination in the Hillside Area

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Once staff establishes the setback lines and identifies the primary view, the project is evaluated to ensure it does not unnecessarily or unreasonably encroach upon scenic views from neighboring properties.

Background/Project Context:

The subject property is located within the R-1, Single-Family Residential Zone. Additionally, the property is located within the City's protected Hillside area. The 17,152-square-foot property is currently improved with a single-family residence, outdoor patio cover, spa, and deck.

The project proposes construction of a new, outdoor kitchen area located along the property's northern property line (see **Figure 2** below). An encroachment into the required front yard setback area for the outdoor kitchen was permitted by Variance No. 1375, approved in 1983 (Attachment 1). The project also proposes a new pool, spa, and other backyard improvements along the southern slope and western edge of the property. As part of the construction, the project proposes several new retaining walls and support columns to support the placement of the proposed pool, spa, and deck (See **Figures 3a and 3b** below). The project does not include a proposal to modify the existing single-family residence.

Pursuant to Burbank Municipal Code Section 10-1-606(E)(2), a property's primary view is determined by the presence of either an upslope or downslope view. When a property has a downslope view, that view is determined to be the primary view. The project proposes construction within the primary view of the property, necessitating a Hillside Development Permit and View Study/ View Impact Analysis. Images of the downslope view are shown from different angles in **Figures 4a and 4b** below.

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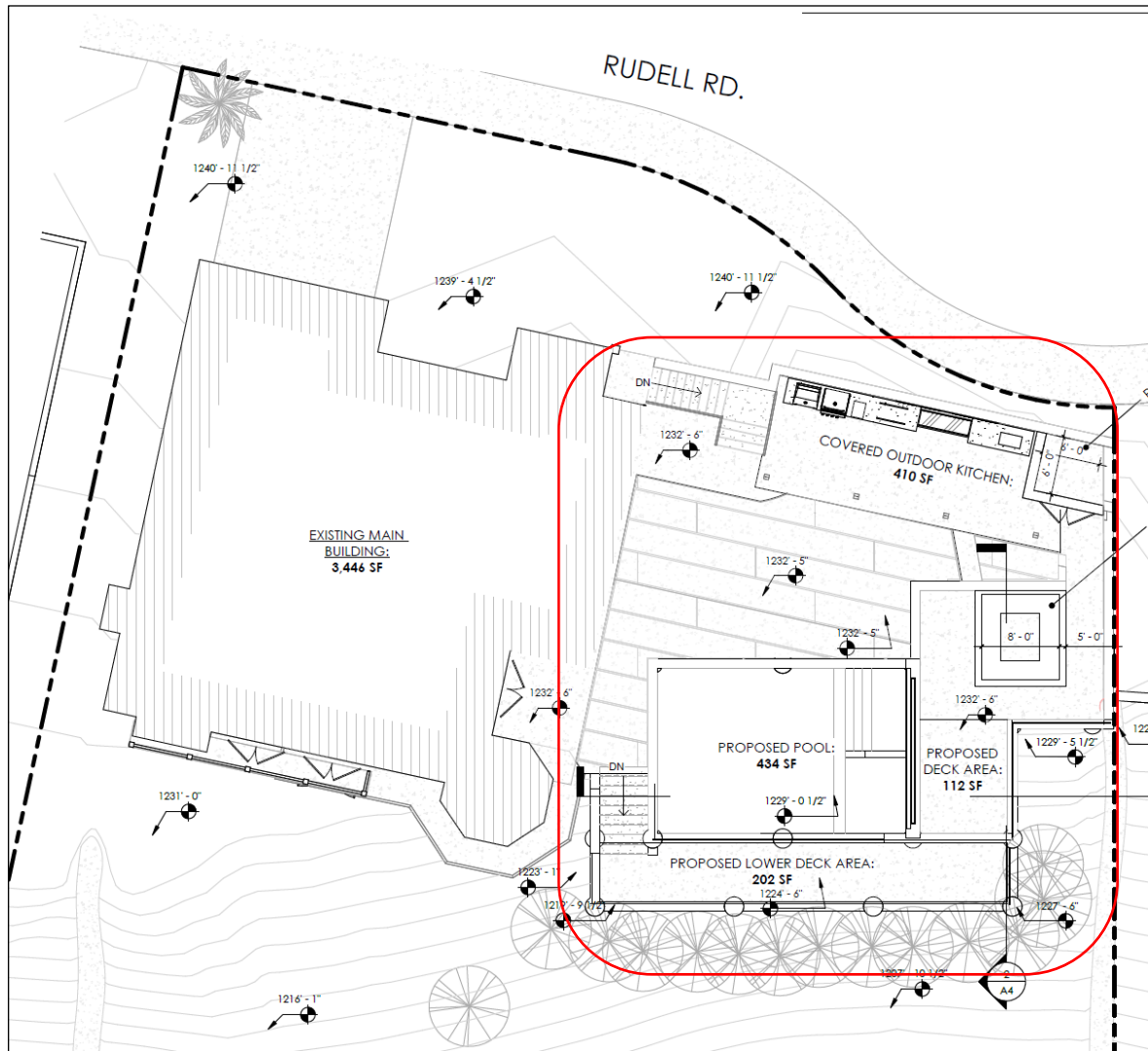


Figure 2: Site plan of the proposed backyard improvements.

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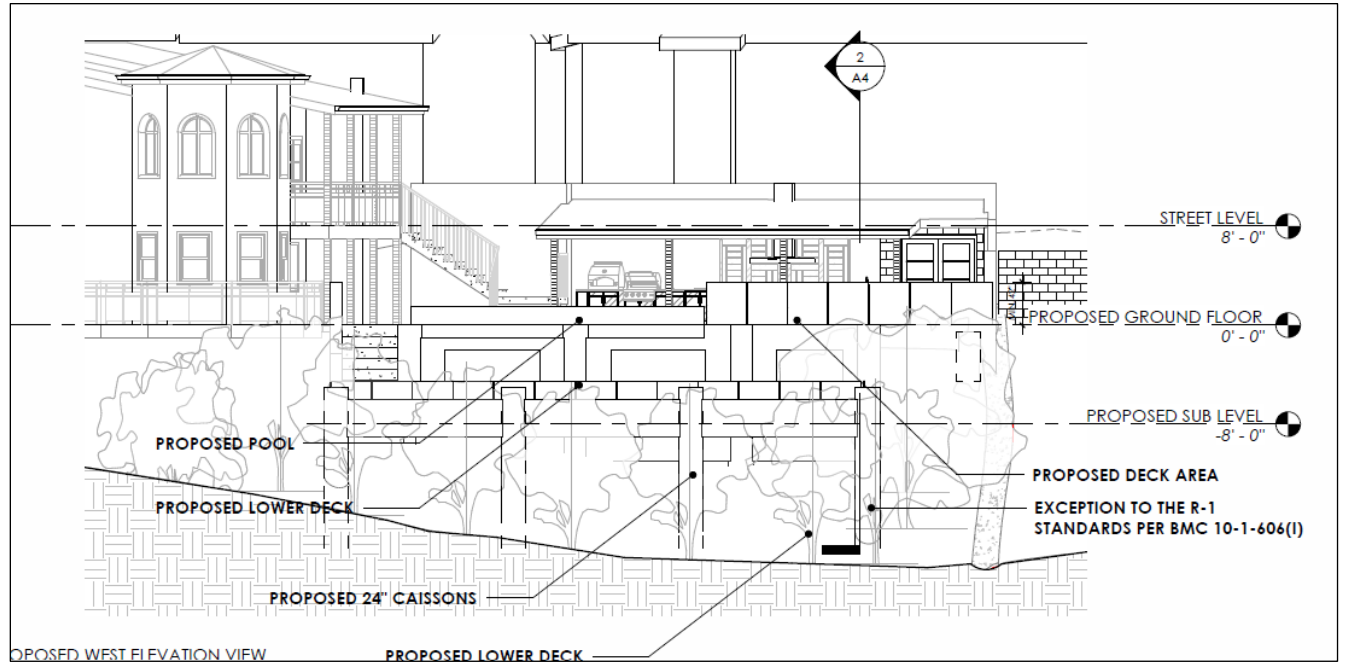


Figure 3a: West elevation drawing

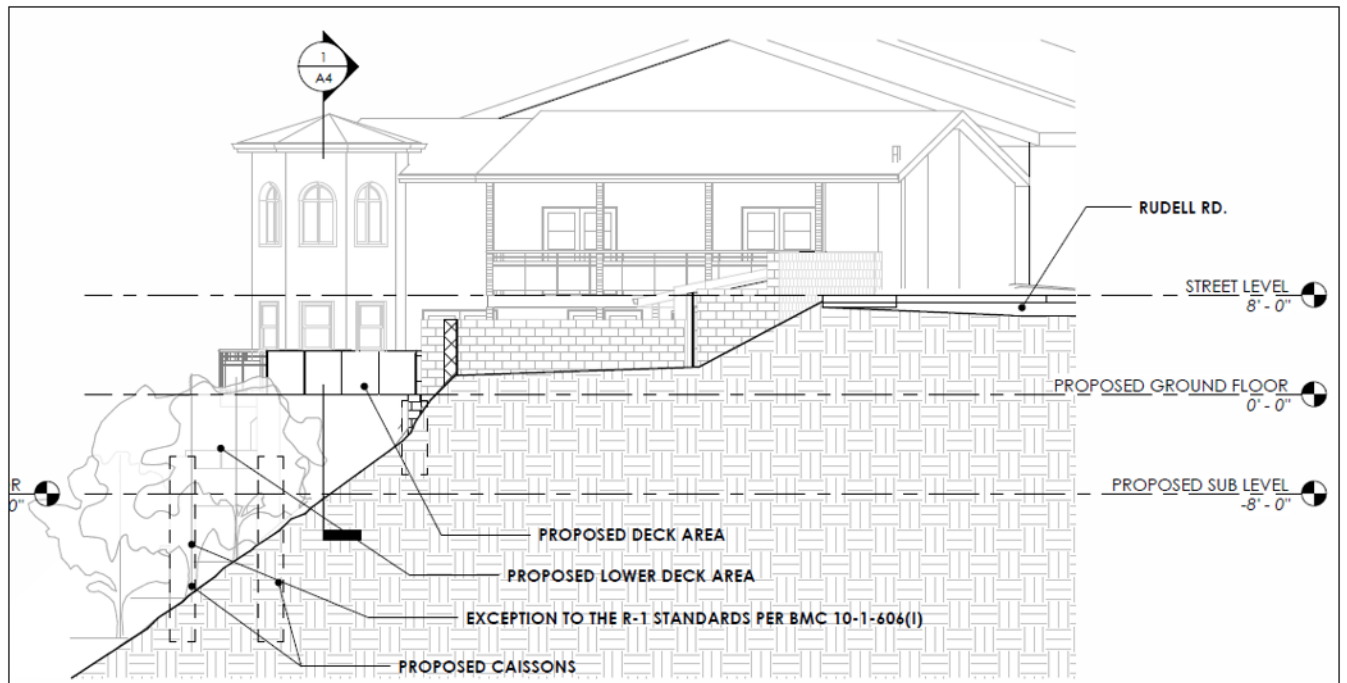


Figure 3b: South elevation drawing

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Figure 4a: Image of subject property looking southeast



Figure 4b: Image of the subject property looking southwest

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Methodology:

Prior to rendering a decision to approve or deny a project, Staff evaluates the view impacts to ensure the project does not unnecessarily impact the views from neighboring properties.

To evaluate view impacts, staff used several methods and types of analysis:

- A site visit was conducted on the property on June 17, 2025, to analyze the view impact of the proposed outdoor kitchen area, pool, spa, and deck located at 1727 Rudell Road.
- Photos of the property were captured from various angles (see photo key on **Figure 5**) to assess the potential impact of the development on the views of the neighboring properties.
- Staff analyzed the topographic map (**Figure 6**) and photos taken from various angles to assess any potential view impacts. The exhibits used in the study can be found below:
- In addition, the applicant prepared model renderings to demonstrate the shape of the proposed development and potential view impacts (**Figures 7a – 7d**).
- On June 2, 2026, staff also sent letters to the immediate neighbors on adjoining and adjacent properties to request feedback regarding any potential view concerns and received no comments or objections to the project.

Analysis:

An analysis of the project site plan (**Figure 2**) and the topographic map in **Figure 6** below indicates that the design of the backyard improvement area appropriately follows the natural contours of the lot, which reduces potential visual impacts.

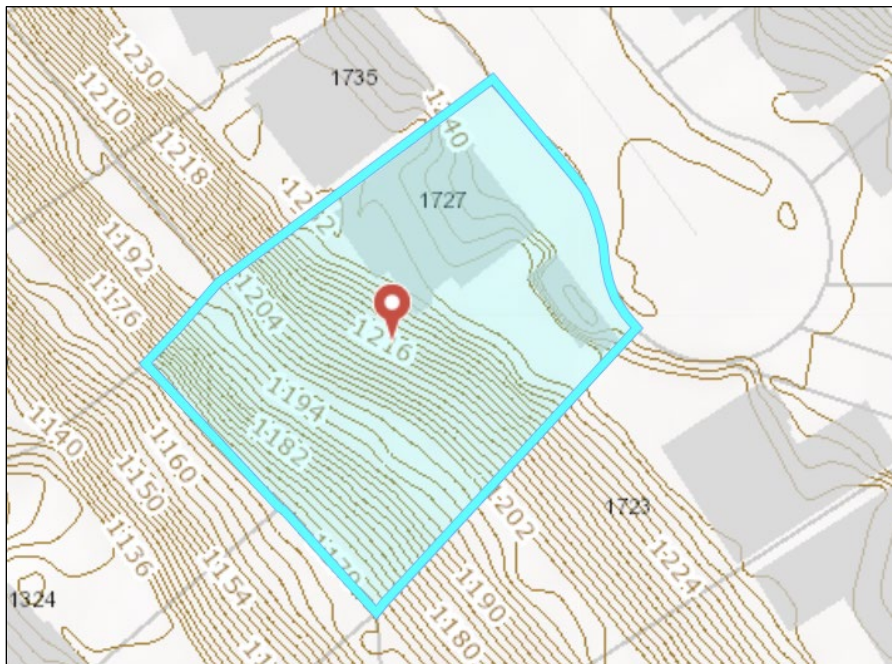


Figure 6: Topographic map of the subject property and vicinity

Furthermore, an analysis of the provided model renderings on **Figures 7a through 7d** and photograph on **Figure 7e** below indicate that the bulk and mass of the proposed structures will be

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approximately the same as the existing structures on the property, and will not significantly alter the existing primary views of the surrounding properties. Additionally, the applicant will install landscape screening along the southwestern slope, which will further mitigate any view-related concerns and soften the visual impact of the development when observed from adjacent properties downslope. To ensure sufficient mitigation, a condition will be placed on the project requiring the applicant to provide landscape screening to the satisfaction of the Community Development Director.

Staff has not received any comments or objections from adjacent property owners to date, indicating a lack of neighborhood concerns associated with the project's massing, placement, or overall design.

The applicant is requesting an exception to the R-1 (Single-Family Residential) Development Standards in BMC Section 10-1-603 to exceed the maximum permissible retaining wall height from 4 to approximately 7 feet. Approval of this exception would allow full utilization of the rear yard area and is consistent with other retaining walls of comparable height within the neighborhood. Given the sloped nature of the site and the presence of similarly scaled improvements in the vicinity, the requested exception is considered reasonable and compatible with the established character of the neighborhood. Moreover, the retaining wall and supporting columns will be screened by the proposed landscaping. The ongoing maintenance of this landscaping will be required in the project Conditions of Approval. The inclusion of landscape screening will not create a new view impact on neighboring properties.

Beyond the aforementioned request for exception to the R-1 standard for retaining wall height, the project complies with all required side and rear yard setbacks. The proposed kitchen area encroaches into the required front yard setback; however, this encroachment remains permissible pursuant to Variance No. 1375, approved in 1983 and does not increase the nonconformity.

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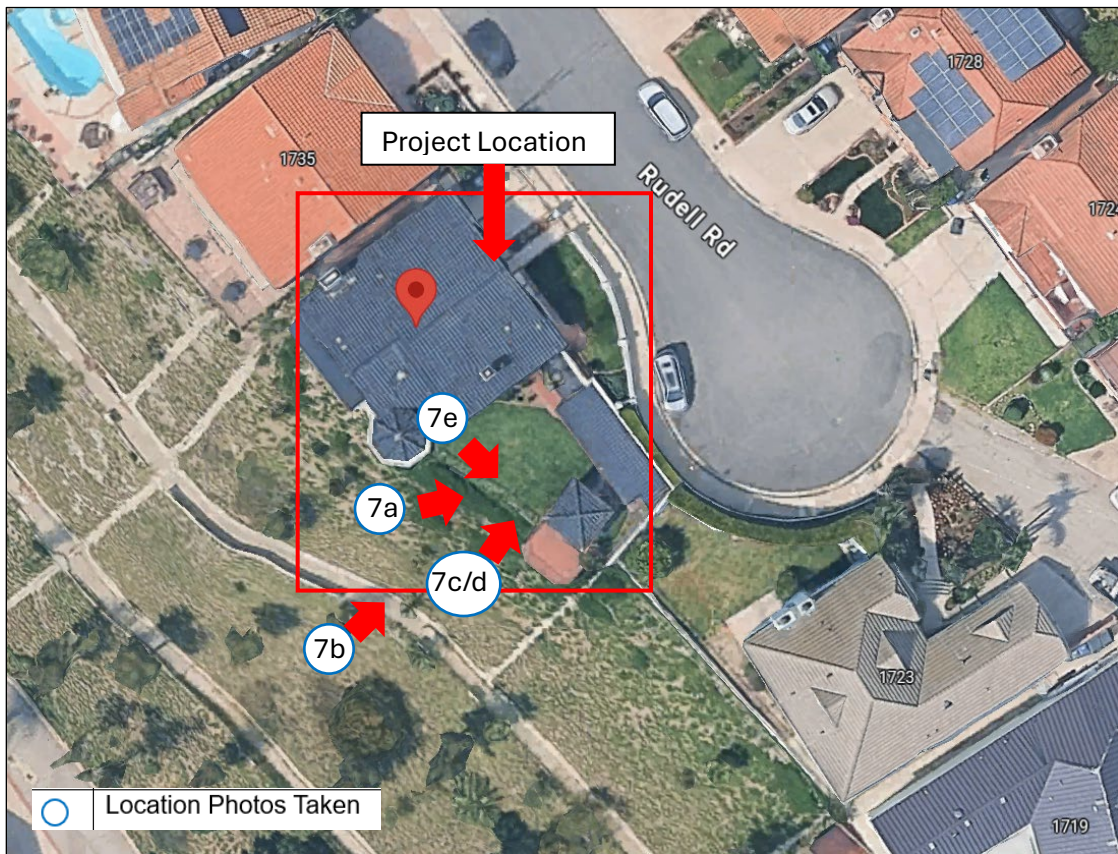


Figure 5: Location of the proposed project with photo/rendering key

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Figure 7a: West elevation photo rendering



Figure 7b: West elevation photo rendering

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Figure 7c: Aerial view photo rendering



Figure 7d: Top-down photo rendering

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Figure 7e: Photo of existing backyard improvements

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Conclusion:

Based on staff's review of the submitted site plan, architectural drawings, topographic information, site photographs, and the site visit, staff concludes that the proposed project will not result in any unreasonable obstruction of primary or secondary views for surrounding properties.

The proposed improvements maintain a scale, height, and massing consistent with surrounding homes and continue the prevailing development character of the neighborhood. The project's adherence to topographic constraints, provision of landscape screening, compliance with applicable setback requirements, and absence of neighbor concerns collectively demonstrate that the proposed development will not result in adverse visual impacts to nearby properties.

Therefore, staff concludes that the project, including the requested exception for retaining wall height, is compatible with the surrounding neighborhood and will not create significant visual or view-related impacts.

Attachments:

Attachment 1 – Variance Number 1375

RESOLUTION NO. 1375

A RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BURBANK APPROVING A VARIANCE FOR MICHAEL FILIJAN FROM THE PROVISIONS OF OF SECTIONS 31-35(e)(1) AND 31-151(1) OF THE BURBANK MUNICIPAL CODE AUTHORIZING ENCROACHMENTS INTO THE FRONT YARD SETBACK AND A FIVE (5) FOOT HIGH GARDEN WALL ON LOT 2, TRACT NO. 40026 (M.B. 992-74-76), LOCATED AT 1727 RUDELL ROAD, BURBANK, CALIFORNIA, R-1 SINGLE FAMILY RESIDENTIAL ZONE.

WHEREAS, the Planning Board of the City of Burbank at its regular meeting of February 28, 1983 held a public hearing on the application of Michael Filijan for a variance from the provisions of Sections 31-35(e)(1) and 31-151(1) of the Burbank Municipal Code authorizing encroachments into the front yard setback and a five (5) foot high garden wall within the front yard setback on Lot 2, Tract No. 40026 (M.B. 992-74-76), located at 1727 Rudell Road, Burbank, California, R-1 Single Family Residential Zone; and

WHEREAS, said hearing was properly noticed in accordance with the provisions of Section 31-229 of the Burbank Municipal Code; and

WHEREAS, during the hearing the Planning Board considered the report and recommendations of the Community Development and Planning Director and the evidence presented at such hearing.

NOW, THEREFORE, the Planning Board of the City of Burbank hereby finds and resolves:

Section 1. The application of Michael Filijan for a variance, pursuant to the provisions of Section 31-229 of the Burbank Municipal Code, as described above, is hereby approved subject to the applicant complying with the provisions of the Burbank Municipal Code. In conditionally approving the application the Planning Board specifically finds:

1. The subject property is a hillside property with an average slope of 100 percent or 45 degrees. The condition of the property constitutes an exceptional condition that does not apply generally to other property of classes of use in the same vicinity and zone.
2. The variance is necessary for the preservation and enjoyment of reasonable outside activities and recreation typically enjoyed by owners and residents of hillside residential property in the vicinity of the subject property.

3. The granting of the variance will not be materially detrimental to the public welfare or injurious to property or improvements in the vicinity and zone in which the property is located.

4. The granting of the variance will not be contrary to the objectives of the Burbank Municipal Code.

Section 2. The Community Development and Planning Director shall mail a copy of this resolution to the applicant and report this decision and finding to the City Council at its next regular meeting in accordance with the provisions of Section 31-232 of the Burbank Municipal Code.

PASSED and ADOPTED this 14th day of March 1983.

CITY PLANNING BOARD

By Charles B. Lilly
Chairman

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BURBANK)

I, Donald L. Brummett, Secretary of the Planning Board, of the City of Burbank certify that this resolution was adopted by the City Planning Board at its regular meeting held on the 14th day of March, 1983, by the following vote:

AYES: DR. LILLY, M. KELSEY, G. RITCHIE, H. VINCENT, S. LANE

NOES: NONE

ABSENT: NONE

ABSTAINED: NONE

Donald L. Brummett
Donald L. Brummett, Secretary