

EXHIBIT A

VIEW STUDY FOR HILLSIDE DEVELOPMENT PERMIT PROJECT NO. 25-0003603

Located at 1821 North Bel Aire Drive, Burbank CA 91504

Purpose:

Per Burbank Municipal Code Section 10-1-607(D)(3)(e), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. A project is considered to have a view impact if it unnecessarily or unreasonably encroaches upon the scenic views from the neighboring properties. A complete or nearly complete obstruction of a primary or secondary view is regarded as a significant view impact. In addition, pursuant to Section 10-1-607(D)(3)(f), these view impacts must be considered as a basis for making a decision. The view impacts of the proposed Project must be considered by the Director, or Planning Commission if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required findings.

Intent:

To determine the primary and secondary view of a subject property, staff first identified the front and rear yard setback lines. According to BMC Section 10-1-606(E)(1), when the primary view is from the front yard, rear yard, or both, a setback line is established in the yard(s) with the primary view. This line is drawn from the nearest front or rear corner of existing homes on adjacent lots, as illustrated in Diagram 10-1-606(E) below.

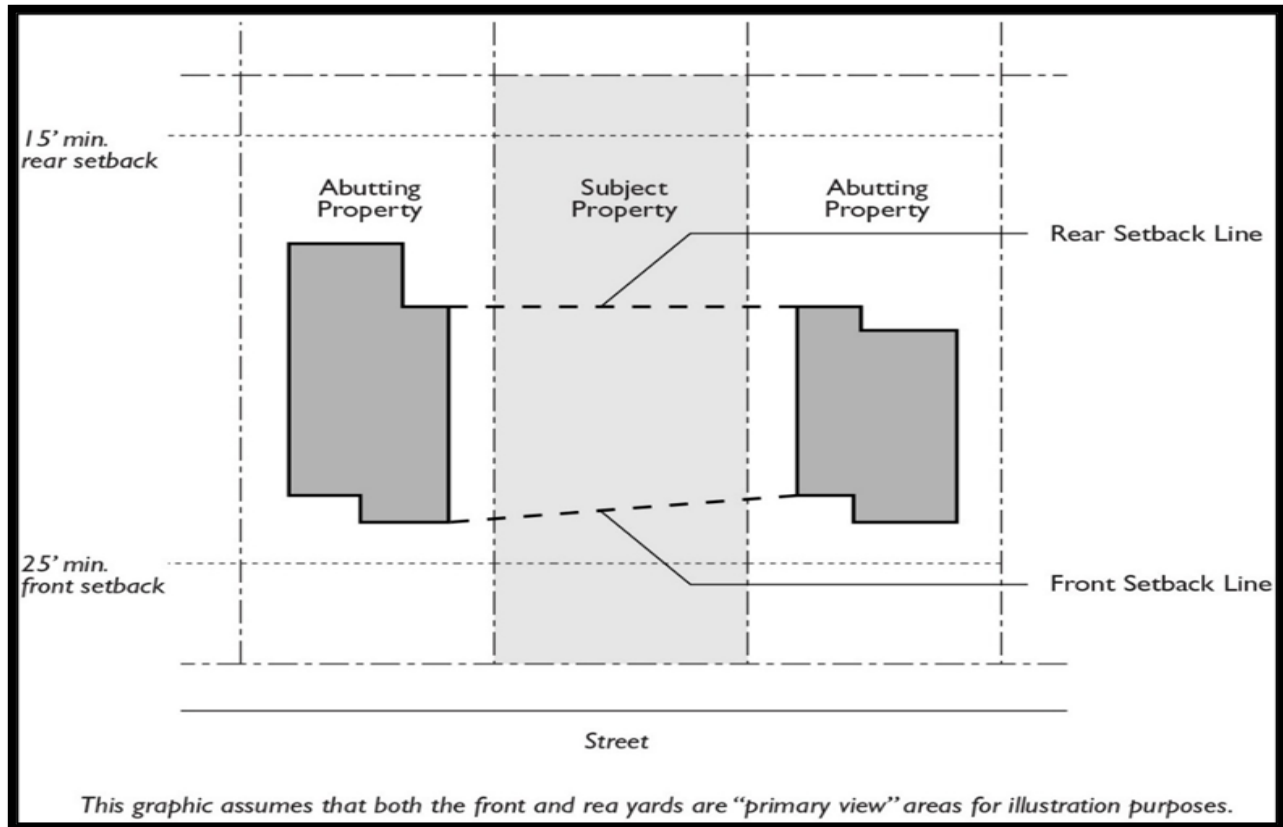


Figure 1: Front and Rear Setbacks for View Determination in the Hillside Area

Once staff establishes the setback lines and identifies the primary view, the project is evaluated to ensure it does not unnecessarily or unreasonably encroach upon scenic views from neighboring properties.

Methodology:

As a part of the view study, a site visit was conducted on the property on January 8, 2026, to analyze the view impact of the proposed 584-square-foot rear patio cover addition to the existing single-family residence; grading activity that includes 53 cubic yards of new fill area to expand the existing rear yard; and a new retaining wall, ranging in height of 5'-0" to 8'-0", to support the rear yard expansion. In addition, the Project includes the demolition of an existing rear deck located at 1821 North Bel Aire Drive.

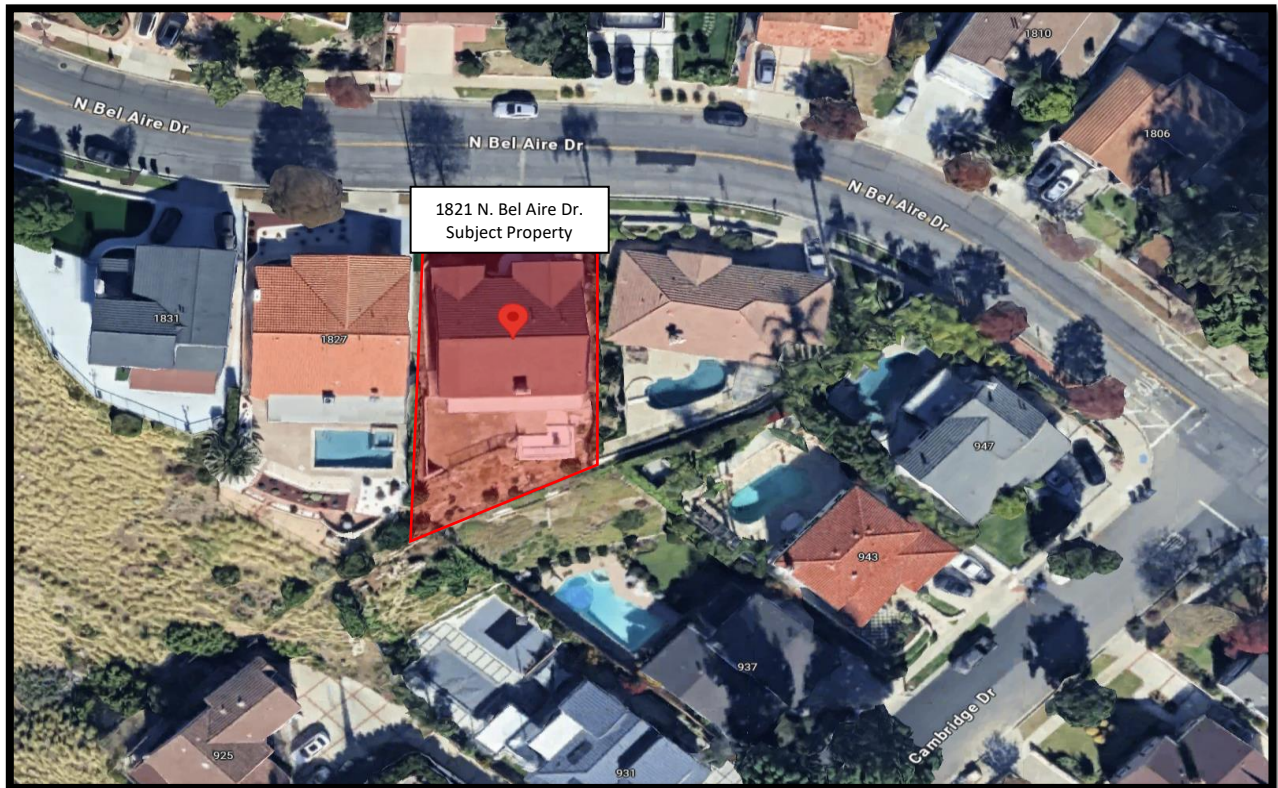


Figure 2: Location of the proposed project with respect to the neighboring properties. Identified in red is the subject property.

Project Description:

The Project includes the following proposed scope of work: (1) proposed 584-square-foot rear patio cover addition to the existing single-family residence; (2) grading activity that includes 53 cubic yards of new fill area to expand the existing rear yard; and (3) new retaining wall, ranging in height of 5'-0" to 8'-0", to support the rear yard expansion. In addition, the Project includes the demolition of an existing rear deck. Figures 3 to 5, below, provide the proposed improvements to the Project.

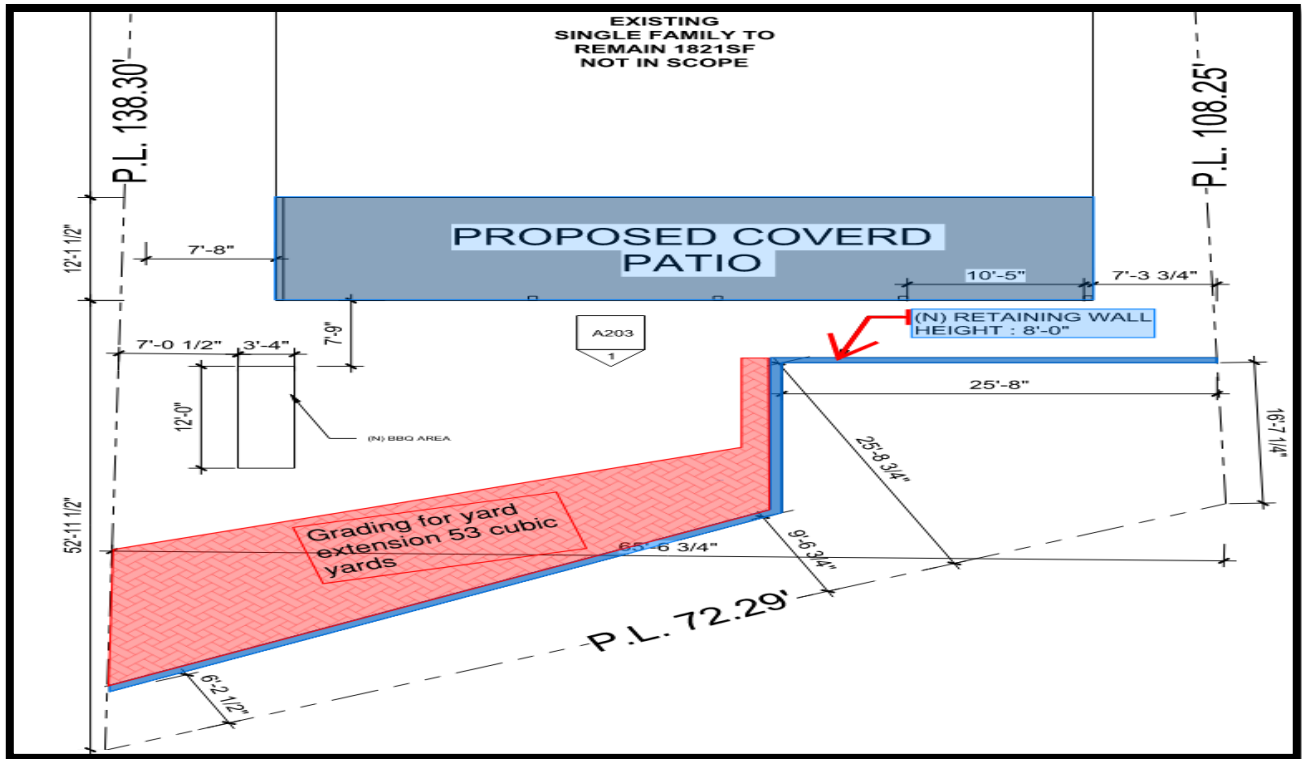


Figure 3: Site plan of the proposed Project, which includes the new patio cover shown in blue, grading activity for the rear yard area expansion, and new rear retaining wall ranging in height of 5'-0" to 8'-0".

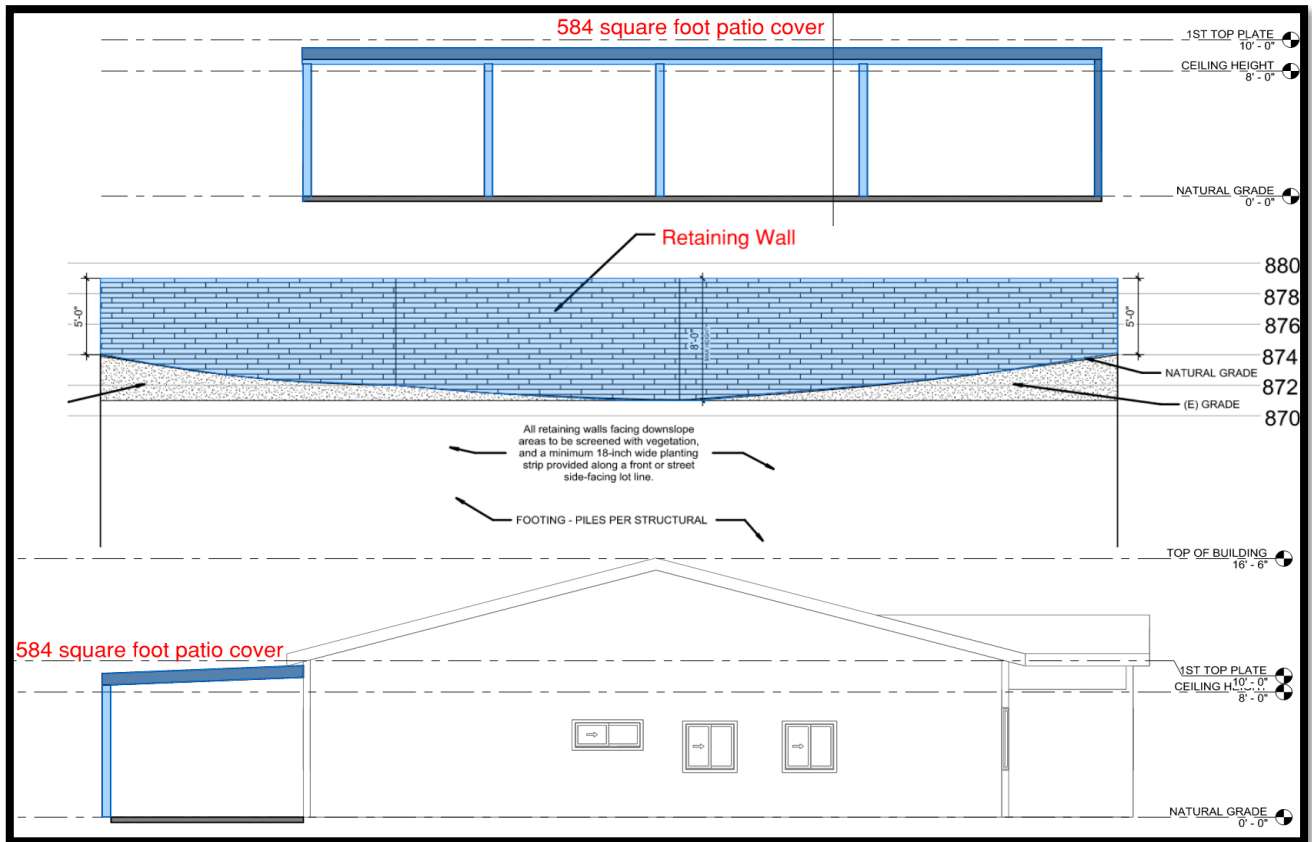


Figure 4: Section plans of the proposed Project.

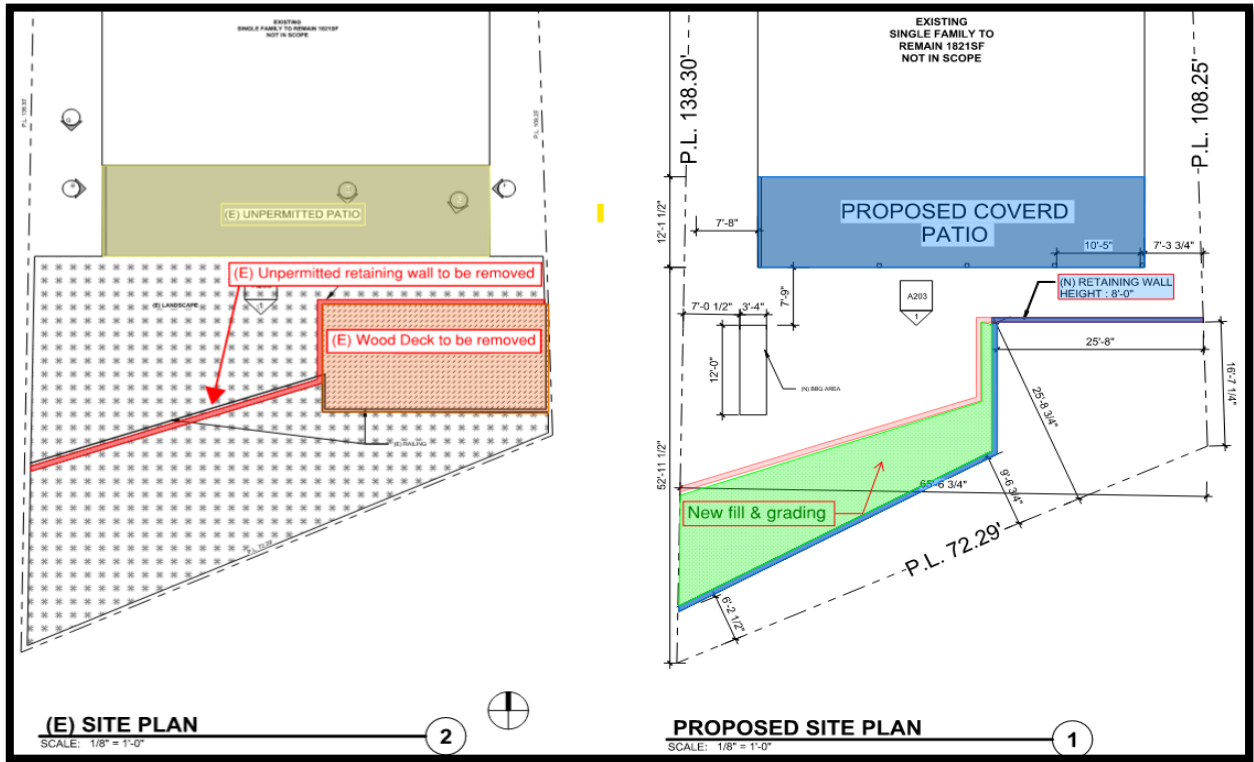


Figure 5: Site plans of the existing conditions and of the proposed improvements.



Figure 8: View of abutting neighbor property 1831 N Bel Aire Drive from the rear yard of the Project Site looking west.

Neighboring property, 1831 N. Bel Aire Drive, located west of the Project property, will have minimal view impacts associated from the proposed additions of the project property because it is at a higher grade level and the proposed addition (Patio Cover) to the Project property will not go beyond the main dwelling's existing height of 16'-6". The proposed patio cover height will be constructed at approximately 10 feet and will not exceed the height of the neighboring shrubs located on the property line between the subject property and 1831 N. Bel Aire Drive, as shown in Figure 8.



Figure 9: View looking south towards property 937 Cambridge Drive from the rear yard of the Project site property.

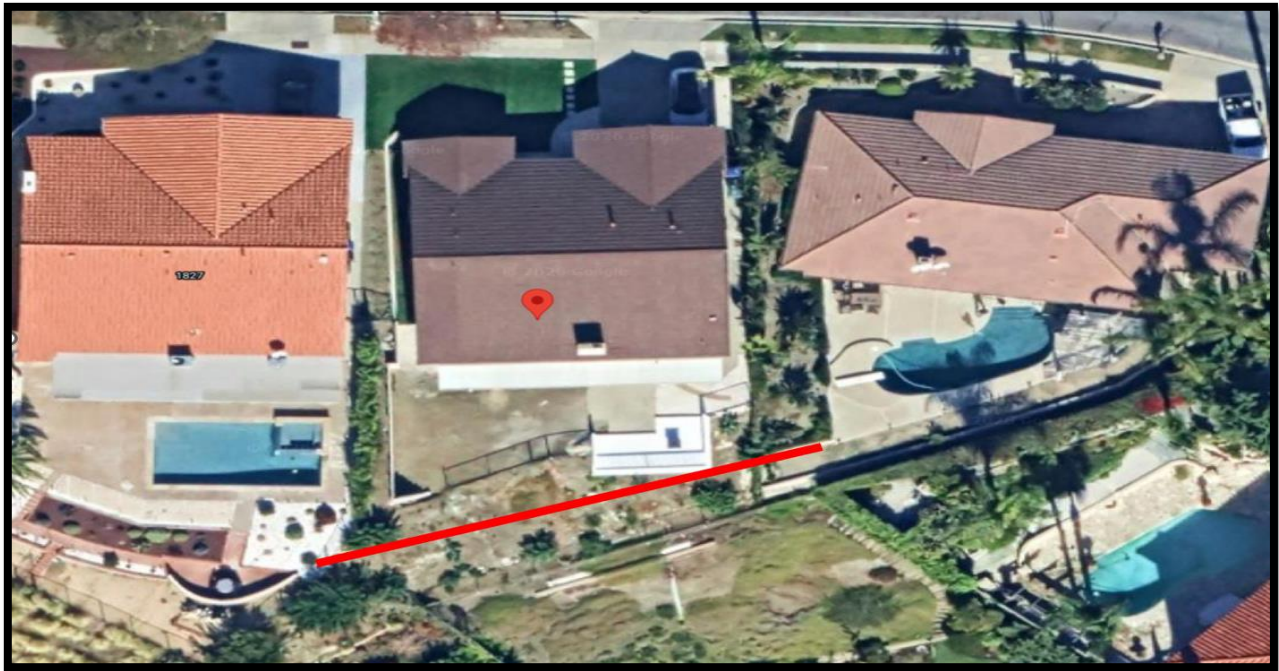


Figure 10: Aerial view of the subject property and the adjacent properties located at 1827 N. Bel Aire Drive to the west and 1815 N. Bel Aire Drive to the east. The red line in the image illustrates that the neighboring rear open patio areas extend farther than that of the subject property.

The proposed rear covered patio, rear yard extension, and retaining wall will have minimal impacts on surrounding neighbors. The proposed rear yard will extend out to where the existing rear yards of neighboring properties to the west and east of the subject property currently are improved. Due to the Project site's grade elevation difference, from west to east, during the site visit on January 8, 2026, staff determined that there would not be a view impact of the proposed rear covered patio on the currently existing downslope view of the abutting west and east properties. Furthermore, the proposed retaining wall, ranging from 5'-0" to 8'-0", is not anticipated to impact the downslope views of the adjacent west and east properties since the rear yard expansion would not go beyond further than the existing rear yard areas of these adjacent properties.



Figure 11: View looking southeast towards abutting property located at 1815 N. Bel Aire Drive.

Conclusion:

Based on staff's review and analysis of the submitted site plan, architectural drawings, topographic information, site photographs, and the site visit conducted on January 8, 2026, staff determined that the proposed Project will not result in any unreasonable obstruction of primary or secondary views for properties within the surrounding neighborhood.

The primary downslope view of the adjacent west and east properties abutting the Project property would not be impacted by the Project. The proposed rear covered patio would not obstruct the current downslope views of the adjacent properties. Furthermore, the proposed rear yard expansion and retaining wall would not extend beyond the abutting and existing rear yard open patio areas of the west and east neighboring properties of the Project property.

The proposed retaining wall requires a hillside development exception in accordance with Burbank Municipal Code Section 10-1-606(F)(7), because retaining walls in the rear yard can have a maximum height of 4'-0". The proposed height ranges from 5'-0" to 8'-0", which is needed to support the existing rear yard patio area expansion. In comparison to a permitted standalone wall in the rear yard, which can have a height up to 8'-0", the proposed retaining wall would not exceed the allowable height of 8'-0" for a standalone rear yard wall. The Project would also be conditioned to provide a decorative material for the retaining wall (such as slump stone, smooth stucco finish, etc.) and landscaping shrubs along the length of the retaining wall.

With these conditions of approval for the retaining wall and given the unique slope conditions of the Project property, staff have determined that proposed improvements to the existing rear yard area of the Project property can be supported without impacting neighboring properties views.