



**COMMUNITY
DEVELOPMENT**

04/08/2026

JOHN CAMBIANICA, CBA PARTNERSHIP ARCHITECTS
99 SOUTH RAYMOND AVE, SUITE 104
PASADENA, CA 91105

Via email: john@CBAPartnership.com

RE: Notice of Decision – Approved with Conditions
PROJECT NO. 25-0005325 – Administrative Use Permit Application
Located at 2019 West Magnolia Boulevard, Burbank, CA 91506
Date Application Deemed Complete: 11/20/2025

Dear Mr. Cambianica,

This letter is to notify you that the Community Development Director has approved your application for **Administrative Use Permit** to operate a coffee shop (i.e. fast-service restaurant) use of 1,565 square-feet in gross floor area in an existing structure (Attachment A and E), previously occupied by a retail tenant without having to provide additional parking, pursuant to § 10-1-1408(2)(h)(fn 2) of the Burbank Municipal Code. The site currently does not provide any parking and is located at 2019 West Magnolia Boulevard on a C-3 zoned, residentially adjacent parcel. Staff determined the project satisfies the requisites for approval (Attachment B and C) upon implementation of the attached Conditions of Approval (Attachment E).

Please be advised that the decision of the Community Development Director will become final fifteen (15) days from the date of this letter unless the decision is appealed to the Planning Commission. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing fee prior to the expiration of the fifteen (15) day appeal period, or **by 5:00 p.m. on April 23, 2026**. If no appeal is filed, then you may submit to the Building & Safety Division for Building Plan Check review the first business day following the conclusion of the 15-day appeal period. If appealed, this decision will be set aside, and the Planning Commission will conduct a De Novo review of the application and make a decision. The Planning Commission decision is final and cannot be appealed. If you have any questions concerning this letter, please contact me by phone at (818) 238-5250 or by email at ssulis@burbankca.gov.

Sincerely,

Silvia Sulis
Planning Technician
Community Development Department

Patrick Prescott,
Community Development Director

Enc:

- Attachment A Project Summary and Background Information
- Attachment B Burbank Municipal Code Title 10 Compliance Table
- Attachment C Requirements for Granting an Administrative Use Permit

Project No. 25-0005325
2019 W Magnolia, Burbank CA 91506
Page 2

Attachment D Conditions of Approval
Attachment E Approved Plans

Cc: Bryan Sim, Sim's Capital LLC – Property Owner
bsim89@yahoo.com
PO Box 11177, Burbank CA 91510

ATTACHMENT B

Compliance with Burbank Municipal Code Title 10 (C-3)

(Title 10, Ch. 1)

Article 7. Commercial Uses and Standards, Division 1 to 4: C-1 Commercial Zone, C-2 Commercial Zone, C-3 Commercial Zone, C-4 Commercial Zone

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Incompliant</u>	<u>Not Applicable</u>	
GENERAL PLAN CONSISTENCY (10-1-701.5; 10-1-708.5; 10-1-714.5; 10-1-720.5)				
FLOOR AREA RATIO (NON-RESIDENTIAL).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
FAR (RESIDENTIAL).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
USES (10-1-702; 10-1-709; 10-1-715; 10-1-721)				
PERMITTED USES.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
PROPERTY DEVELOPMENT STANDARDS (10-1-705; 10-1-712; 10-1-718; 10-1-724)				
A. STRUCTURE HEIGHT.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
B. OPEN SPACE.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C. YARDS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D. ADDITIONAL STANDARDS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See additional tables below
E. MIXED-USE AND MULTIFAMILY RESIDENTIAL-ONLY DEVELOPMENT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
DEVELOPMENT REVIEW (10-1-706; 10-1-713; 10-1-719; 10-1-725)				
REQUIREMENT FOR A DEVELOPMENT REVIEW.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C-1 ONLY -- DESIGN CRITERIA FOR IMPROVEMENTS IN C-1 ZONE (10-1-707)				
CONSISTENCY WITH DESIGN CRITERIA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Article 11. General Property Development Regulations

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Compliant</u>	<u>Not Applicable</u>	
ARTICLE 11: GENERAL PROPERTY DEVELOPMENT STANDARDS				
10-1-1101: COMPLIANCE.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1102: ERECTION OF MORE THAN ONE STRUCTURE ON A RESIDENTIAL LOT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1103: LOT TO HAVE FRONTAGE.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Code Section	Compliance Analysis			Comments
	<i>Compliant</i>	<i>Compliant</i>	<i>Not Applicable</i>	
10-1-1104: FRONTAGE ON ALLEYS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1105: HAZARDOUS AREAS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1106: USES IN COMPLETELY ENCLOSED BUILDINGS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1108: OPEN STORAGE AREAS MUST BE ENCLOSED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1109: JUNK YARDS MUST BE FENCED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1110: ACCESSORY BUILDINGS CONVERTED TO LIVING QUARTERS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1112: ROOF AND SHADE STRUCTURES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1113.1: COMMERCIAL AND INDUSTRIAL DESIGN STANDARDS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See table below
10-1-1114: ART IN PUBLIC PLACES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1115: ARCADE DEVELOPMENT REGULATIONS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1116: ALCOHOLIC BEVERAGES - ON-PREMISES AND OFF-PREMISES; CONDITIONAL USE PERMIT REQUIRED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1117: BILLIARD PARLOR DEVELOPMENT STANDARDS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1118: WIRELESS TELECOMMUNICATIONS FACILITIES. REGULATIONS AND DEVELOPMENT STANDARDS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1119: FIREARM AND AMMUNITION RETAIL USE REGULATIONS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1120: ADULT BUSINESSES: REGULATIONS AND DEVELOPMENT STANDARDS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1121: SHOPPING CART CONTAINMENT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Compliant</u>	<u>Not Applicable</u>	
10-1-1122: EMERGENCY SHELTER DEVELOPMENT STANDARDS.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1123: TEMPORARY AID CENTER DEVELOPMENT STANDARDS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Section 10-1-1113.1 Commercial and Industrial Design Standards

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Incompliant</u>	<u>Not Applicable</u>	
A. ROOF DESIGN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
B. WINDOW TREATMENT	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C. BUILDING MATERIALS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D. VARIATION ON PLANE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E. ENTRIES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F. APPENDAGES, AWNINGS AND MARQUEES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
G. EXTERIOR STAIRS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
H. LOCATION AND SCREENING OF TRASH BINS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Conditions of Approval
I. DELETED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
J. FENCES AND WALLS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Article 11.5. Residentially Adjacent Uses

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Incompliant</u>	<u>Not Applicable</u>	
ARTICLE 11.5: RESIDENTIALLY ADJACENT USES				
10-1-1150: RESIDENTIALLY ADJACENT PROPERTY AND USES: PURPOSE AND APPLICABILITY.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Conditions of Approval
10-1-1151: RESIDENTIALLY ADJACENT USES - CONDITIONAL USE PERMIT REQUIRED FOR	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Conditions of Approval

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Incompliant</u>	<u>Not Applicable</u>	
NEW LATE NIGHT BUSINESS AND NEW OUTDOOR SPEAKERS.				
10-1-1152: RESIDENTIALLY ADJACENT USES - ADMINISTRATIVE USE PERMIT REQUIRED FOR NEW LATE NIGHT OPERATIONS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1153: RESIDENTIALLY ADJACENT USES - DEVELOPMENT STANDARDS FOR NEW CONSTRUCTION.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1154: RESIDENTIALLY ADJACENT USES - OPERATIONAL REQUIREMENTS FOR ALL BUSINESSES.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>See Conditions of Approval</i>

Article 12. General Yard and Space Standards

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Compliant</u>	<u>Not Applicable</u>	
ARTICLE 12: GENERAL YARD AND SPACE STANDARDS				
10-1-1201: YARDS OPEN AND UNOBSTRUCTED.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1203: YARDS CANNOT SERVE OTHER BUILDINGS OR LOTS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1204: REQUIREMENTS ON THROUGH LOTS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1205: UNDEDICATED STREETS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1206: ACCESS TO UTILITY POLES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1211: MISCELLANEOUS ENCROACHMENTS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1212: AUTHORITY OF BUILDING DIRECTOR TO GRANT EXCEPTIONS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Article 13. General Height Standards

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Inconsistent</u>	<u>Not Applicable</u>	
Division 1: Heights for Building, Walls and Fences				
10-1-1301: EXCEPTIONS TO BUILDING HEIGHT LIMITS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>See Conditions of Approval</i>
10-1-1303: CORNER CUTOFF.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1304.5: NOTICE OF BUILDING HEIGHT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Division 2. Heights Surrounding Bob Hope Airport				
10-1-1305: FEDERAL AVIATION ADMINISTRATION FILING REQUIREMENT MAP.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1306: UNCERTAINTY OF BOUNDARIES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1307: AIRPORT AREAS AND HEIGHT LIMITS ESTABLISHED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1308: PROOF OF FAA NOTIFICATION OF INTENT TO CONSTRUCT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1309: INITIATION OF AMENDMENT TO FAA FILING REQUIREMENTS MAP.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Article 14. General Off-Street Parking Standards

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Inconsistent</u>	<u>Not Applicable</u>	
Division 1. General Provisions				
10-1-1401: PARKING SPACE DIMENSIONS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1402: COMPUTATION OF REQUIRED PARKING.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>No parking provided: AUP Requested pursuant to BMC 10-1-1408(2)(h)(fn 2)</i>
10-1-1403: INGRESS AND EGRESS; BACKING INTO HIGHWAY.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Code Section	Compliance Analysis			Comments
	<i>Compliant</i>	<i>Inconsistent</i>	<i>Not Applicable</i>	
10-1-1404: TANDEM PARKING.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1405: PARKING OR STORING AIRPLANES, BOATS, VEHICLES, ETC. WITHIN CERTAIN YARDS IN RESIDENTIAL ZONES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1405.5: BICYCLE PARKING SPACES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1406: SITE PLAN.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1407: USE OF VACANT LOTS IN RESIDENTIAL AND COMMERCIAL ZONES FOR PARKING VEHICLES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1407.01: USE OF PARKING AREAS FOR STORAGE.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1407.1: CENTRAL BUSINESS DISTRICT DOWNTOWN PARKING AREA.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Division 2. Parking Requirements				
10-1-1408: SPACES REQUIRED.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>No parking provided: AUP Requested pursuant to BMC 10-1-1408(2)(h)(fn 2)</i>
10-1-1409: WAIVER WITHIN A PARKING DISTRICT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1410: WAIVER AS TO EXISTING USES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1411: MUST SERVE ONE USE; EXCEPTIONS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Division 3. Location of Parking Areas				
10-1-1412: LOCATION OF PARKING AREAS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1413: MEASUREMENT OF DISTANCES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1414: OFF-SITE PARKING AGREEMENT FOR NON-SHARED AND EXCLUSIVE PARKING.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Inconsistent</u>	<u>Not Applicable</u>	
10-1-1415: SHARED PARKING AGREEMENT - ON OR OFF-SITE.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1416: APPLICABILITY OF PARKING AREA REQUIREMENTS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Division 4. Improvement of Parking Areas				
10-1-1417: PARKING LOT DESIGN STANDARDS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1417.1: SETBACKS AND WALLS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1417.2: PARKING LOTS ABUTTING AND ADJACENT TO RESIDENTIAL ZONES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1418: LANDSCAPING.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1419: PARKING STRUCTURES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1420: LIGHTING.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1421: MAINTENANCE.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1422: PREREQUISITES TO IMPROVEMENT AND USE.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Article 15. General Off-Street Loading Standards

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Incompliant</u>	<u>Not Applicable</u>	
ARTICLE 15: GENERAL OFF-STREET LOADING STANDARDS				
10-1-1501: LOADING SPACES REQUIRED.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1502: LOADING SPACE DIMENSIONS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1503: LOCATION OF AND ACCESS TO LOADING SPACES.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Article 16. General Vehicular Access Standards

Code Section	Compliance Analysis			Comments
	<u>Compliant</u>	<u>Incompliant</u>	<u>Not Applicable</u>	
ARTICLE 16: GENERAL VEHICULAR ACCESS STANDARDS				
10-1-1601: ACCESS TO STREET.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1602: CURB CUTS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1603: DRIVEWAY WIDTH.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1604: DRIVEWAY SLOPES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1605: PROTECTIVE BARRIER IN NONRESIDENTIAL ZONES.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1606: TURN AROUND AREAS.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
10-1-1607: APPROVAL BY PUBLIC WORKS DIRECTOR.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>See Conditions of Approval</i>
10-1-1608: DRIVE-THROUGH ESTABLISHMENTS.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10-1-1609: RESERVED FOR FUTURE USE.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ATTACHMENT C

Requirements for Granting an Administrative Use Permit - Findings

The Community Development Director finds the proposed Project satisfies the requisite findings contained in Burbank Municipal Code (BMC) Section 10-1-1956 necessary for approval of the Administrative Use Permit (AUP), subject to the Conditions of Approval in Attachment E.

10-1-1956(1) The use applied for at the location set forth in the application is properly one for which an administrative use permit is authorized by Title 10 of the Burbank Municipal Code.

This finding can be made. The proposed business is located in a C-3 zone, where a fast-service restaurant is permitted by right, however the business does not currently provide any off-site parking. The number of spaces required for a 1,565 square foot restaurant is 11. The Burbank Municipal Code § 10-1-1408(2)(h)(fn 2) allows restaurant uses up to 2,000 square feet in gross floor area to locate in a space previously occupied by a retail or office tenant without having to provide additional parking with approval of an Administrative use Permit (AUP). The proposed coffee shop use occupies a 1,565 square-foot existing structure previously occupied by a retail tenant, and therefore meets the requirement of BMC 10-1-1408(2)(h)(fn 2).

10-1-1956(2) The use is not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed use is to be located.

This finding can be made. The proposed coffee shop is located on a parcel zoned C-3 Commercial General Business Zone, which is intended for “general business establishments and other commercial uses which are related directly to the highway for patronage” (BMC 10-1-714). This zoning designation extends to the properties along West Magnolia Boulevard, and allows a variety of commercial uses, including restaurant, retail, office, and other professional services. Existing uses in the proximity of the subject property include full-service restaurants, beauty salons, medical offices, banks, retail, and other coffee shops. The site is also adjacent to residential parcels, as it is located within 15 ft of a R-1 property. The proposed use will not generate traffic, noise, waste, or other adverse impacts that will significantly affect the existing uses in the area.

Since the proposed business will not provide any off-site parking, impacts on street parking have been evaluated and staff concluded that operating this business will not generate detrimental impact on the parking supply in the area. Availability of parking was observed during two site visits conducted during early morning hours, when the coffee shop is anticipated to be the busiest. Parking was observed on both sides of W Magnolia Boulevard, between N Parish Pl and N Myers St, and along N Lamer St and N Keystone St in proximity to the intersections with W Magnolia Blvd. Overall, street parking was ample, with just a few cars parked along Magnolia and N Keystone St. The availability of on-street parking was slightly more limited on N Lamer St, but a few available spots were observed. (Exhibit 1, to Attachment C)

Given the ample availability of parking, especially along West Magnolia Boulevard, it is staff assessment that the operation of the proposed business will not cause detrimental impacts on the operations of the surrounding business and residential uses.

10-1-1956(3) The use will be compatible with other uses on the same lot, and in the general area in which the use is proposed to be located.

This finding can be made. The proposed business is a coffee shop (i.e. fast service restaurant) which is a use that is permitted in the C-3 Commercial General Business Zone and compatible with other existing businesses in the general area. Uses along West Magnolia Boulevard, along the C-3 corridor, include full-service restaurants, beauty salons, medical offices, banks, general retail, and other coffee shops. The subject property is also located near R-1 Single-family Residential parcels. Despite being adjacent to a residential area, the proposed business is accessed by the public through the entrance on West Magnolia Boulevard, limiting customers interactions and traffic to the commercial corridor.

10-1-1956(4) The site for the proposed use is adequate in size and shape to accommodate the use and all of the yards, setbacks, walls, fences, landscaping, and other features required to adjust the use to the existing or future use is permitted in the neighborhood.

This finding can be made. The proposed business will occupy an existing 1,565 SF structure previously occupied by a retail business. Improvements to the property will include interior renovations as well as yard improvements. These improvements are aimed at elevating the safety and aesthetic quality of the building and ensure that the property adequately accommodates the demand and requirements of a coffee shop. All improvements will meet all the requirements of the BMC 10-1-714 to 719; and other applicable local, state, and federal regulations.

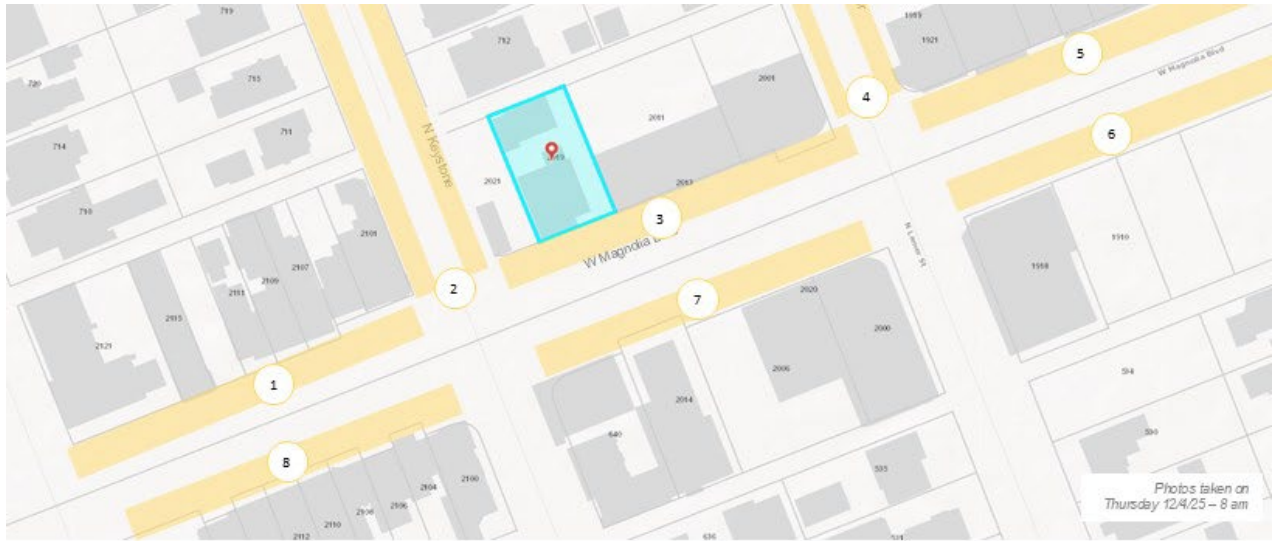
10-1-1956(5) The site for the proposed use relates to streets and highways properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed use.

This finding can be made. The proposed business can be accessed through several means of transport and is located in an area properly designed and improved to carry generated by the proposed use. The main entrance of the proposed business is located along West Magnolia Boulevard, which is classified as a Secondary Arterial road in the Burbank2035 General Plan. These roads serve local cross-town traffic and some regional traffic, provide access to local transit, and are designed to encourage pedestrian connections through multi-purpose trips. Another point of access is also located at the rear of the property on an alley. The addition of the proposed business is not expected to generate traffic patterns and volumes that are significantly different from those generated by other existing surrounding business or atypical for a C-3 commercial corridor along a secondary arterial road. Additionally, the coffee shop can be easily accessed with mass transit or by bike, as it is located in very close proximity to Metro bus stops (route 94 inbound and outbound) on Magnolia and Keystone, and a Class III bike route and Bicycle Boulevard on N Keystone Street.

10-1-1956(6) The conditions imposed are necessary to protect the public health, convenience, safety, and welfare.

This finding can be made. Staff's analysis did not find that the project would result in impacts to the public health, convenience, safety, and welfare. Nevertheless, conditions of approval have been imposed on the project and are attached to this decision letter (Attachment D) that will ensure that the project complies with all applicable City regulations.

Exhibit 1, to Attachment C: Parking Availability Survey



ATTACHMENT E

Conditions of Approval

Planning Division

1. Project No. 25-0005325 approves an Administrative Use Permit to operate a coffee shop (i.e. fast-service restaurant) in a 1,565 square-foot structure previously used for retail without having to provide additional parking. The site currently does not provide any parking. Unless otherwise approved by the Community Development Director or his/her designee, the Site Plan, Floor Plan, and operational plan shall be substantial conformance with the conceptual plans approved on April 8, 2026 (Attachment E). The Community Development Director or their designee may determine what minor modifications to the approved plans may be considered to be in substantial conformance.
2. Unless otherwise modified by this entitlement or preempted by state or federal law, the Project shall comply with C-3 Zone property development and design standards. Compliance with these standards will be verified at the time of building permit submittal.
3. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (expires on April 8, 2027), or the final decision following an appeal, unless the Property Owner or Permittee has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. Any period of time during which the project is subject to a legal challenge shall not count towards the expiration date. Prior to the noted expiration date, the Property Owner or Permittee can request the Community Development Director's approval of a one-time extension of the permit for a period not to exceed one-year from the date of expiration.
4. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Permittee, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside, void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the Permittee fails or refuses to enter into the indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.
5. This permit or approval may be modified or revoked by the City should it be determined that the proposed use as permitted by this approval or conditions under which they were permitted are detrimental to the public health, welfare, or materially injurious to property

or improvements in the vicinity or if the use is maintained so as to constitute a public nuisance.

6. The Permittee shall comply with all federal, state, and local laws. Violations or convictions of any of those laws in connection with the use will be cause for revocation of this permit.
7. The Permittee and Developer shall incorporate a copy of these Conditions of Approval in all construction plans submitted to the Building and Safety Division for a building permit. The Permittee shall also provide a separate written document outlining how, or where, each of the Conditions have been addressed in the building permit plan set for all City Division/Department Conditions enclosed.
8. The plans submitted for building plan check shall clearly call out all exterior building materials and colors on the elevations, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with smooth finish, plaster with smooth finish) to be used in construction.
9. Permittee shall provide a photometric plan during plan check showing compliance with the following requirements: Lighting shall be provided in all common areas including but not limited to parking garages, outdoor parking areas, common open space areas, pedestrian paths, stairways, and hallways, and shall be identified on the site plan and elevations submitted with the building permit application. The product specifications for all lighting fixtures shall be included in the plans submitted for building plan check. Outdoor lighting fixtures must be positioned and directed so as not to shine or cause glare onto adjacent properties of public rights-of-way, and a note shall be included on the plan set confirming such.
10. All required fees shall be paid as required by the Burbank Municipal Code prior to the issuance of any building permits for the project.
11. If applicable, the Developer shall obtain approval from the U.S. Postal Service local growth coordinator to ensure that the plans properly locate the mailboxes. Contact Cristina.L.Belendez@USPS.gov to obtain approval. Prior to issuance of a building permit, documentation regarding approval shall be provided to the Planning Division.
12. The Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Street & Solid Waste Division (Public Works Department), or Developer shall arrange for self-hauling to an authorized facility.
13. The Permittee shall comply with all Department/Division comments and Code requirements and shall be verified by the responsible Department and/or the Building Official or their designee, prior to the issuance of any Certificate of Occupancy.
14. The Developer shall list these conditions of approval in all construction plans submitted to the Building Division for a building permit. The Developer shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the building permit plan set for all City Division/Department conditions enclosed and provide the same number of copies as building plan sets submitted for Building Plan Check.

15. The Permittee shall keep a copy of the Conditions onsite at all times available for public review. In addition, the Permittee shall display the current phone and email contact information of the Planning Division and Code Enforcement on a laminated weather-proof (or similar) sign, in a location of the Project Site that is clearly visible from the public right-of-way. The sign shall also state that the Conditions of Approval may be obtained from the City of Burbank Planning Division. The sign shall be installed prior to the issuance of a Certificate of Occupancy and remain in good repair for the life of the Project.
16. The hours of operations of the business are limited to 6 AM to midnight. Any operations outside of these hours would be considered a Late Night Business and would require a Conditional Use Permit. Additionally, use of the outside seating area at the rear of the property, if implemented, is limited to the hours of 8 AM to 9 PM.
17. The restaurant operator shall monitor the loading area, trash collection areas, and sidewalks in front of the business to ensure that they are kept clean and free of litter on a daily basis. All litter or other debris shall be regularly picked up and any spills or liquids shall be washed or cleaned as appropriate.
18. Loitering shall be prohibited near the entrances and around the building. Person in charge of the restaurant shall notify the Police Department in the event that individuals are observed loitering in the area and refuse to disperse. This includes customers and employees congregating at the rear of the property in the alley.
19. Any on-site landscaping shall be permanently maintained with healthy planting material, and whenever necessary shall be replanted with suitable vegetation. Any landscaping in the corner cutoff areas shall be limited to a maximum height of three (3) feet.
20. The outdoor seating areas shall constitute no greater than 25 percent of the total restaurant adjusted gross floor area.
21. A physical barrier between the loading area and the outdoor seating area in the rear yard shall be provided, even if the loading area will be used only outside of business hours.
22. The restaurant may play recorded ambient music within the restaurant space. Interior speakers shall be designed, located, and directed so as to minimize noise impacts on adjacent uses to the satisfaction of the Community Development Department. Exterior speakers are not allowed unless a Conditional Use Permit for such exterior speakers has been granted. Any exterior speakers shall be designed, located, and directed so as to minimize noise impacts on adjacent residential property. The applicant must submit an acoustical study, prepared by a licensed acoustical consultant, with the Conditional Use Permit application.
23. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Sign locations and illumination are subject to review and approval by the Planning Division under separate sign permit.
24. The trash enclosure areas shall be recessed or within the structure, or enclosed by a six (6) foot high masonry wall on three (3) sides and have a solid permanent metal gate(s).

25. All commercial and industrial refuse bins shall be equipped with nonmetallic lids, which shall remain closed at all times except when refuse is being deposited or emptied.
26. Organic materials shall not be deposited into a refuse bin located outside of an enclosed structure on private property or on a public right-of-way that separates a commercial or industrial property or use from adjacent residentially zoned property unless such refuse is sealed in bags.
27. Refuse bins shall not be moved in a public right-of-way that separates the commercial or industrial property or use from adjacent residentially zoned property during Late Night Hours.
28. All restaurants that are within 150 feet of a residential zone shall maintain their refuse bins so as to prevent the creation of objectionable odors.
29. No mechanical venting shall face a residential zone, unless such mechanical venting is more than 300 feet from the nearest residentially zoned property. Further, no mechanical venting shall be located anywhere on the building within 50 feet from the nearest residentially zoned property.
30. The name and telephone number of a person who will be available during the operational hours of the business to address any problems with the subject establishment shall be posted in a conspicuous place on the exterior of the building housing the establishment. The contact person shall be the business owner, business manager, or other similar person who has sufficient authority over the business 24 hours a day to address problems that may disturb neighbors. The phone number of the City's Community Assistance Coordinator shall also be posted in a conspicuous place on the exterior of the building housing the establishment to provide notice to persons who wish to register complaints with the City regarding violations of this Code.
31. Fire and parapet walls, chimneys, ventilating fans, antennas (except personal wireless telecommunication facilities), tanks, flagpoles, air conditioning or similar equipment, and other appurtenances usually required to be placed above a building to operate and maintain it may be erected up to 15 feet above the height limits prescribed in articles 7 and 13 of the Burbank Municipal Code. A Conditional Use Permit is required if the appurtenance exceeds the height limit by more than 15 feet. Rooftop mechanical equipment shall be screened so as to minimize pedestrian level view from public streets or from any neighboring residential uses. A Conditional Use Permit is required if the appurtenance is more than one-third (1/3) of the area of the roof.
32. The Administrative Use Permit is subject to all comments/conditions from the following City Departments/Divisions (conditions attached) and incorporated herein by reference:

Building Division
Public Works Department
Burbank Water and Power

Building and Safety Division

33. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the 2025 edition of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.

34. Plans and reports submitted for Plan Check Review are to be submitted electronically. For more information about the online submittal process, please contact the Building Division at 818-238-5220 or via email at eplancheck@burbankca.gov.

35. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.

36. All Departments that have provide Conditions of Approval are to review drawings and provide final approval via online electronic review, prior to issuance of Building Permit.

37. Business Tax should be updated to reflect change in business type.

38. Separate Permits will be required for the following: (BMC 9-1-1-105)

- Demolition
- Grading & Shoring
- Architectural & Structural
- Mechanical
- Plumbing
- Electrical
- Signage

39. The property shall comply with accessibility requirements for the various occupancies as stated in California Building Code Chapter 11. Accessibility regulations apply to all common areas.

40. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit.

41. The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 65% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work. (BMC 9-1-11-1012).

42. Approved hours of construction are: (BMC 9-1-1-105.10)

Monday – Friday	7:00 am to 7:00 pm
Saturday	8:00 am to 5:00 pm

No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.

Public Works Land Development and Permits Division

43. Applicant shall protect in place all survey monuments (City, County, State, Federal, and private). Pursuant to California Business and Professions Code Section 8771, when monuments exist that may be affected by the work, the monuments shall be located and referenced by or under the direction of a licensed land surveyor or licensed civil engineer legally authorized to practice land surveying, prior to construction, and a corner record or record of survey of the references shall be filed with the county surveyor. A permanent monument shall be reset, or a witness monument or monuments set to perpetuate the location if any monument that could be affected, and a corner record or record of survey shall be filed with the county surveyor prior to the recording of a certificate of completion for the project.

44. No building appurtenances for utility or fire service connections shall encroach or project into public right-of-way (i.e., streets and alleys). Locations of these appurtenances shall be shown on the building site plan and the off-site improvement plans (BMC 7-3-701.1).

45. No structure is permitted in any public street or alley or within any public utility, storm drain, or sewer easement located within the property (BMC 7-104, BMC 26-701) .1].

46. Any work within the public right-of-way must be permitted and approved by the Public Works Department before construction can commence. All construction work in the public right-of-way must comply with the Burbank Standard Plans and must be constructed to the satisfaction of the City Engineer. A Public Works EXCAVATION PERMIT is required. The excavation permit requires a deposit acceptable to the Public Works Director to guarantee timely construction of all offsite improvements. Burbank Standard Plans can be accessed at: <http://file.burbankca.gov/publicworks/OnlineCounter/main/index.htm>

47. Building access doors, loading docks doors, and access gates shall not swing open to the public right-of-way.

48. If any utility cuts or construction related impacts are made on West Magnolia Boulevard adjacent to the property, the applicant shall be responsible for restoring the street fronting the property per City of Burbank paving requirements.

49. Any portion of public curb or gutter that is broken, uneven or uplifted at the end of the project shall be reconstructed to the satisfaction of the City Engineer. That reconstruction will be required whether the damage is pre-existing or is a result of the project.

Public Works Water Reclamation and Sewer

50. Plans submitted for plan check shall include the location, depth, and dimensions of all sanitary sewer lines and easements.

Public Works Wastewater Requirements

51. Applicant shall obtain an Industrial Waste Discharge Permit.
52. Every building or structure in which plumbing fixtures are installed which conveys sewage must be connected to the municipal wastewater system.
53. No person shall connect to or tap an existing public sewer without obtaining a permit.
54. Pollutants, including construction debris, soil, and other discharges, are prohibited from entering the City's sewer collection system (BMC 8-1-501.1). Discharges that exceed the local limits per BMC 8-1-501.4 are prohibited. In addition, the applicant shall not obstruct or damage any part of the City sewer system, and shall reimburse the City for sanitary sewer overflows and the reasonable costs of necessary maintenance and/or repair of the sewer system (BMC 8-1-311). As such, it is required that all existing private sewer laterals are capped prior to any demolition activities.
55. Food Service Establishments are required to install, operate, and maintain an approved type and adequately sized, remotely located and readily accessible grease interceptor, unless a conditional waiver is granted by the Director (BMC 8-1-502.2.E). This project, due to the inclusion of a restaurant, will require a grease interceptor to trap, separate and hold grease from waste water and prevent it from being discharged into the public sewer per the requirements above.
56. A backwater valve is required on every private sewer lateral(s) connected to a private building(s), unless it can be shown that all fixtures contained therein have flood level rim elevations above the elevation of the next upstream maintenance hole cover of the public sewer serving the property, or a conditional waiver is granted by the Director [BMC 8-1-313]. Please note that Public Works' Wastewater Division will not sign off on the Certificate of Occupancy until the owner/developer provides proof that the backwater valve(s) has been installed.

Public Works Stormwater Requirements

57. Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy (BMC 9-3-407).

Public Works Traffic Engineering

58. No visual obstructions shall be erected or maintained in the 5' by 5' visibility cut-off above 3' high or below 10' high at the intersection of the street/alley and the driveway. Such requirement applies to all driveways [BMC 10-1-1303 (C)].

Burbank Water and Power Water Division

59. Plan check submittals shall include: calculations of the total domestic potable water demand of the proposed development; a utility plan that includes the location of existing water 5/8" meter x 3/4" service line and 1" water service connections, and the size, location, and type, of proposed water services; landscape and irrigation plans including total water demand; plumbing plans indicating the size of the building supply line.

60. Existing 5/8" meter shall be upgraded depending on fixture counts. Additional fire service connection may be needed.
61. The parcel shall require its own domestic, irrigation and fire water service connections, accessible to BWP's public water main. No service connections shall be allowed to supply water to any parcel of land other than for which the service connections are assigned.
62. A new fire service line is required and shall connect from 12" main West Magnolia Boulevard at a static pressure of approximately 140-160 psi. Size shall be determined based on the requirements of the Fire Department.
63. A double check detector assembly (DCDA) shall be installed by the Applicant on private property, not more than 10 feet from the public right-of-way or BWP Water easement. Size shall be determined based on the requirements of the Fire Department. The applicant shall be responsible to pay all applicable fees prior to installation.
64. A reduced pressure principle assembly (RPZ) shall be installed above ground by the Applicant on private property, not more than 10 feet from the public right-of-way or BWP Water easement.
65. Sizing of the domestic water meter shall be adequate to provide the required flow, as determined by a licensed plumber, architect or engineer, calculated from the number of fixture units for the proposed development, pursuant to Title 24, Part 5 of the California Plumbing Code (CPC), California Code of Regulations (CCR).
66. The static pressure at the site exceeds 80 pounds per square inch (psi). A pressure regulator should be installed as required by the Building Division, and in accordance with the California Plumbing Code (CPC).
67. New fire water service shall connect from a 12" main located in West Magnolia Boulevard at a static pressure of approximately 140-160 psi.
68. The Customer shall be responsible for connecting the water service at the property line, or where BWP's meter outlet begins. The cost of installation shall be the Customer's responsibility.
69. The customer shall be responsible for the cost to upgrade the existing 5/8" service.
70. The water service(s) for this project must be provided with protective devices that prevent objectionable substances from being introduced into the public water supply system, per Title 17 of the California Administrative Code. Both domestic and fire services will require installation of backflow prevention devices. Backflow devices must be installed on the Applicant's property and as close as possible to the property line (Standard Drawing No. BWP-615).
71. A reduce pressure principle (RP) device shall be required for the existing 1" service and a double check detector assembly (DCDA), if Fire Department requires a separate fire line.

Burbank Water and Power Electric Division

72. The gate on the fence around the main electrical service panel shall be hinged and swing outward to provide adequate 3' working space in front of the main electric panels.

73. If the deck height reduces the centerline of the electrical meters below 48", a meter cabinet enclosure must be installed per BWP drawing S-831A, and the centerline of the electrical meters shall not be lower than 36".

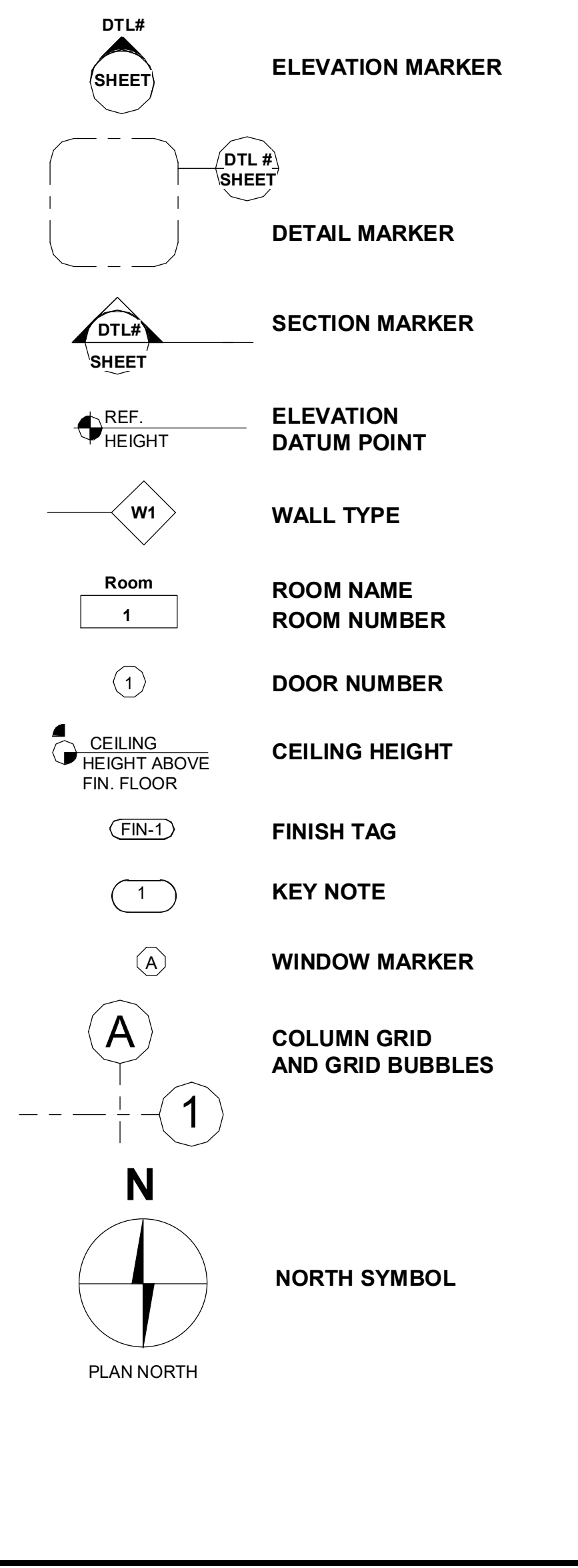
ATTACHMENT E

Approved Plans

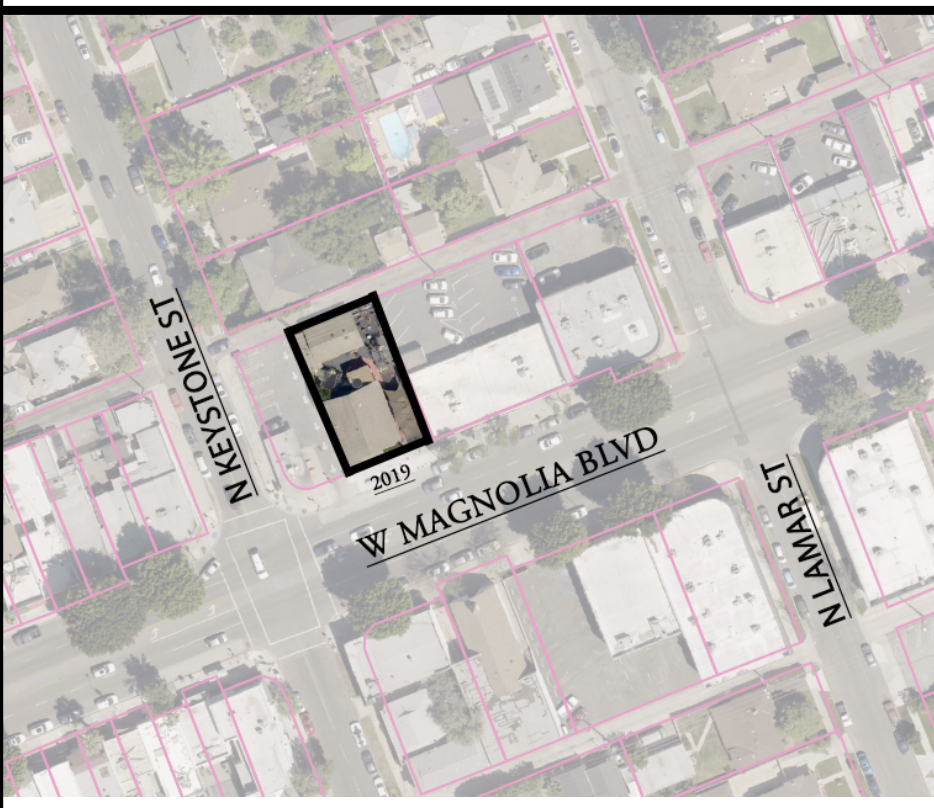
GENERAL NOTES

1. THE TERM "OWNER" OR TENANT SHALL REFER TO HIS/HER AGENTS OR REPRESENTATIVES. THE TERM "GENERAL CONTRACTOR" AND "G.C." SHALL REFER TO THE PERSON AND/OR PERSONS WHO HAVE CONTRACTED OR SUBCONTRACTED FOR THE WORK.
2. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL REVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS AND WRITTEN INSTRUCTIONS.
3. G.C SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES WITHIN THESE DRAWINGS AND/OR BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK. G.C. SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF THE CONTRACT DRAWINGS APPEAR TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. IN CASE OF DISCREPANCIES OR CONFLICTS NOTIFY ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
4. GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH THE OWNERS REQUIREMENTS PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS. ALL WORK SHALL BE PERFORMED AS TO COMPLY WITH ALL GOVERNING STATUTES, ORDINANCES, GOVERNMENTAL AND JURISDICTIONAL PERMITS AND APPROVALS AS OBTAINED. CONTRACTORS SHALL NOT SUBMIT A BID FOR THIS WORK UNLESS THEY ARE FULLY QUALIFIED AND LICENSED BY THE STATE IN WHICH THE WORK IS TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION THEREOF.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING BUILDING PERMIT APPROVED PLANS AS APPROVED FOR ALL PERMIT REVISIONS AND OTHER CHANGES. NO WORK SHALL BE BEGIN PRIOR TO RECEIPT OF BUILDING PERMIT AND REVIEW OF PERMIT PLANS BY G.C.
6. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF PERSONS, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATION REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS AND SHALL BE THE CONTRACTORS RESPONSIBILITY. INSURANCE, WORKMENS COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
7. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCTION OF A COMPLETE HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, ELECTRICAL, PLUMBING, HVAC AND SIGNAGE COORDINATION.
8. G.C SHALL COORDINATE ALL WORK TO BE PERFORMED. G.C IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER AND LANDLORD. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
9. THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE CONTRACTOR SHALL NOTIFY THE OWNER.
10. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
11. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTORS INSTALL OR PERMIT TO BE INSTALLED ANY MATERIALS CONTAINING ASBESTOS WITHIN THE BUILDING OR ON THE PREMISES.
12. G.C SHALL PROVIDE AND PAY FOR TRASH DUMPSTER SERVICE AND/OR REFUSE REMOVAL FOR ALL SUB-CONTRACTORS WHICH INCLUDE MILLWORK AND FOOD SERVICE. CONTACT TENANT COORDINATOR, LANDLORD OR MUNICIPALITY FOR COORDINATION OF APPROVED LOCATION(S) PER LOCAL REGULATIONS.
13. THE ABBREVIATION OF "NIC" INDICATES WORK AND OR MATERIALS THAT IS NOT IN THE CONTRACT OF THE G.C., HOWEVER THIS DOES NOT RELIEVE THE G.C OF THE RESPONSIBILITY OF COORDINATION.
14. ALL CONCEALED WOOD BLOCKING IN WALLS AND CEILING SHALL BE TREATED AND FLAME RETARDANT.
15. ALL WALL AND CEILING CONSTRUCTION SHALL BE SUPPORTED BY STRUCTURE AND NOT BY ROOF DECK IF APPLICABLE.
16. IN ADDITION TO THE GENERAL NOTES LISTED HEREIN, AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, SHALL APPLY.
17. PERMIT FEES SHALL BE SECURED BY OWNER. CONTRACTOR SHALL SECURE PERMITS AND FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO SUBCONTRACTOR PERMITS, WATER, ELECTRIC & TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY, SURVEYS AND INSPECTIONS.
18. PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND PROTECTING THEM FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE REPAIRS AT NO COST TO THE OWNER. THE G.C. IS RESPONSIBLE FOR COORDINATION WITH THE OWNER AND WITH THE SUB CONTRACTOR FOR MECHANICAL, PLUMBING AND ELECTRICAL TRADE. DRAWINGS WILL BE SUBMITTED FOR REVIEW AS NEEDED BY MUNICIPALITY. THE SUBCONTRACTOR WILL SUBMIT REQUIRED DRAWINGS FOR APPROVAL TO THE APPROPRIATE AGENCIES MEETING ALL CODES OF THE CITY AND STATE. REPRODUCIBLE APPROVED DRAWINGS MUST BE SENT TO THE OWNERS AND ARCHITECT.
19. ITEMS NOT INDICATED IN THESE CONSTRUCTION DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK AT HAND SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN.
20. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT OF RECORD AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE EXCEPT BY WRITTEN AGREEMENT.
21. THE CONTRACTOR WARRANTS TO THE OWNER AND BUILDING MANAGEMENT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFECTOR OR NON-CONFORMING WORK OF THE MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE OWNER, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND INSTALLATION OF MATERIALS.
22. THE WARRANTIES AND GUARANTEE PROVIDED INT HE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY AND GUARANTEE OR REMEDY REQUIRED BY LAW OR THE CONSTRUCTION DOCUMENTS.
23. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM/HER OR THEIR SUB CONTRACTORS FOR A PERIOD OF ONE(1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN(10) DAYS AFTER IT IS BROUGHT TO HIS/HER ATTENTION.
24. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER WORK AND THAT OF THEIR SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS/HER EMPLOYEES.
25. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH, IMPLEMENTS AND SURPLUS MATERIALS AND LEAVE THE BUILDING CLEAN, WITH PAINTED AND WOOD SURFACES CLEAN, ALL FLOORS WAXED AND/OR POLISHED AS SPECIFIED AND ALL GLASS AND MIRRORS CLEANED AND POLISHED.
26. PRIOR TO OPENING, G.C TO STEAMWASH /CLEAN SIDEWALK WITHIN 20'-0" OF BUILDING.
27. NO UNAUTHORIZED VISITS TO SITE, OCCUPIED OR UNOCCUPIED BY THE CONTRACTOR WILL BE PERMITTED PRIOR TO START OF WORK.
28. CONTRACTOR IS TO PROVIDE A LIST OF ALL SUBCONTRACTORS USED TO THE OWNER, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
29. OWNER SHALL HAVE ACCESS TO PROJECT FOR COMPLETION OF WORK BY OWNER.
30. ALL FLOOR SLAB CUTTING, TRENCHING AND REMOVAL SHALL BE REPLACED WITH THE SAME MATERIAL IN THE SAME THICKNESS OF THE ADJACENT FLOOR MATERIAL. ADDITIONAL CONCRETE PATCHING SHALL BE DOWELED INTO THE ADJACENT CONCRETE SLAB TO MINIMIZE DIFFERENTIAL SETTLEMENT OF THE FLOOR SYSTEM.
31. ALL ROOF PENETRATIONS ARE TO BE PERFORMED BY LICENSED ROOFING CONTRACTOR. CONTACT BUILDING OWNER TO COORDINATE.
32. IT SHALL BE SOLELY THE SIGN VENDORS RESPONSIBILITY TO DESIGN, FABRICATE AND INSTALL THE SIGN UNDER SEPARATE PERMIT. ANY AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGN VENDOR, THE G.C., THE BUILDING OWNER AND HIS DESIGN PROFESSIONALS. GENERAL CONTRACTOR SHALL COORDINATE WITH SIGNAGE VENDOR AND CONTACT LANDLORD OR MUNICIPALITY FOR FINAL APPROVED LOCATION(S) PER THE TENANT SIGNAGE PROCEDURES AND/OR MUNICIPALITY REGULATIONS. SUBMIT PROPOSED DRAWINGS TO LANDLORD OR MUNICIPALITY AS REQUIRED FOR APPROVAL(S)
33. ALL BIDDING INSTRUCTIONS PROVIDED BY OWNER DURING BIDDING PROCESS SHALL BE APPLICABLE TO THE FINAL CONTRACT AGREEMENT.
34. PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT, OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3

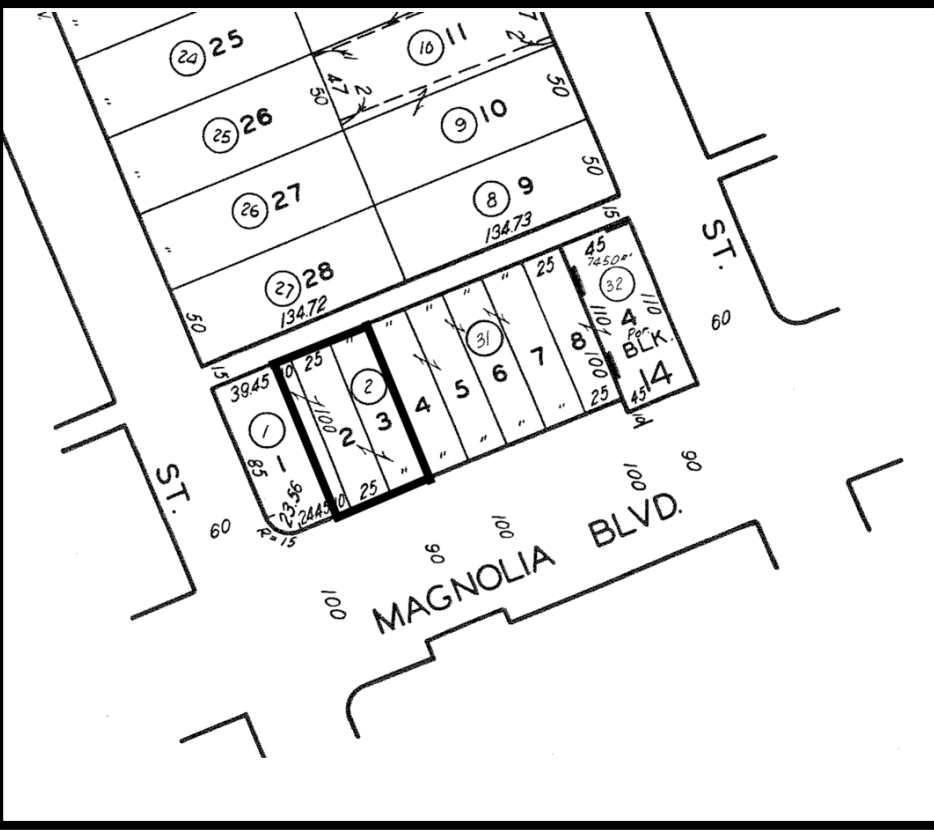
SYMBOLS



VICINITY MAP



PARCEL MAP

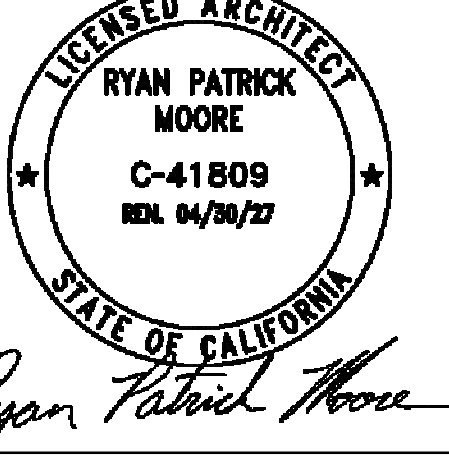


FOUNDERS

2019 W MAGNOLIA BLVD.
 BURBANK, CA 91506-1729
 PARCEL 2448-024-002



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK, CA 91506-1729
 PARCEL 2448-024-002

ISSUE DATE:

- ISSUED FOR PERMIT 02/03/25
- REV 1 ISSUE FOR PERMIT 05/02/25
- REV 2 CITY COMMENTS 01/07/2026

COVER SHEET

G1.0

PROJECT CONTACTS

OWNER REPRESENTATIVE	
RSI GROUP 3199 AIRPORT LOOP DRIVE, SUITE D COSTA MESA, CA 92626 PH: 714.966.9400 CONTACT: MONI DOSANJH EMAIL: moni@rsi-group.com	
ENGINEER OF RECORD	
WRIGHT ENGINEERS 2 VENTURE SUITE 200 IRVINE, CA 92618 PH: 949.477.4001 CONTACT: DOUG THOMPSON EMAIL: dthompson@wrightengineers.com	
ENGINEER OF RECORD	
CRO ENGINEERING 18652 FLORIDA STREET, SUITE 100 HUNTINGTON BEACH, CA 92648 PH: 714-847-7100 CONTACT: CONRAD ORR EMAIL: conrad@croeg.com	
CITY CONTACTS	
BUILDING INSPECTION PH: 818-238-5220 perm1.burbankca.gov	OWNER INFO CCC COPUSHIANS, LLC 2019 W. MAGNOLIA BLVD BURBANK, CA 91506

DEFERRED SUBMITTALS

- THE FOLLOWING SUBMITTAL SHALL BE DEFERRED
1. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT. SHOWN HERE FOR REFERENCE ONLY.
 2. FIRE ALARM SYSTEM

SITE INFORMATION

PARCEL: 2448-024-002
 LEGAL DESCRIPTION: TRACT #9294 NE 10 FT OF LOT 1 AND ALL OF LOTS 2 AND LOT 3

PROJECT SCOPE

PROJECT WILL BE A TENANT FINISHOUT OF AN EXISTING COMMERCIAL TYPE VB BUILDING FOR A COFFEE/RETAIL SHOP.

INTERIOR REMOVAL SCOPE TO INCLUDE REMOVAL OF TWO INTERIOR NON-STRUCTURAL PARTITIONS AND CEILINGS; RELOCATION OF SEVERAL OUTLETS AND SWITCHES; RELOCATION OF SEVERAL PLUMBING SUPPLY AND WASTE LINES; AND REMOVAL OF EXTERIOR WINDOW AND WALL BELOW TO REPLACE WITH EXTERIOR DOOR.

EXTERIOR REMOVAL SCOPE TO INCLUDE REMOVAL AND REPLACEMENT OF EXISTING RAMP; REPLACEMENT OF EXISTING EXTERIOR LIGHTING; AND REPLACEMENT OF EXTERIOR DOORS

NEW INTERIOR FINISHOUT SCOPE TO INCLUDE NEW LIGHTING; NEW PAINT AND FURNISHINGS; RELOCATION OF SEVERAL OUTLETS AND SWITCHES; RELOCATION OF PLUMBING SUPPLY AND WASTE LINES; REUSE OF EXISTING MECHANICAL SYSTEMS; NEW EQUIPMENT, POWER, AND PLUMBING AT KITCHEN; NEW INTERIOR DOOR; NEW PONY WALL, CASEWORK, AND COUNTERTOP.

NEW EXTERIOR FINISHOUT SCOPE TO INCLUDE NEW LIGHTING; NEW PAINT AND FURNISHINGS; NEW EXTERIOR DOOR AT NEW PATIO AND NEW EXTERIOR RAMP / HANDRAILS.

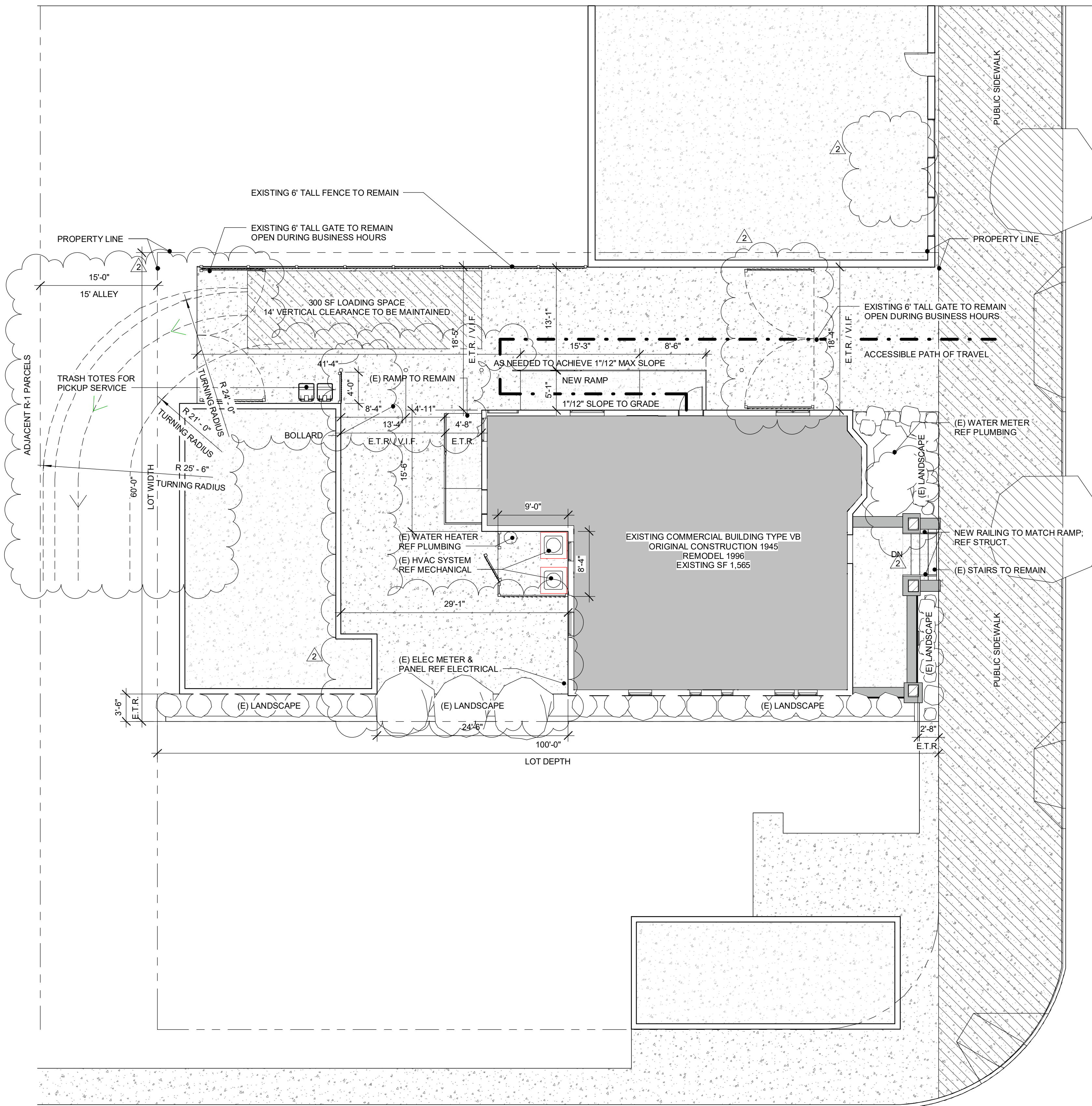
PROJECT DATA

GOVERNING CODES	
BUILDING CODE:	2022 CALIFORNIA BUILDING CODE (CBC)
RESIDENTIAL CODE:	2022 CALIFORNIA RESIDENTIAL CODE (CRC)
ELECTRICAL CODE:	2022 CALIFORNIA ELECTRICAL CODE (CEC)
MECHANICAL CODE:	2022 CALIFORNIA MECHANICAL CODE (CMC)
PLUMBING CODE:	2022 CALIFORNIA PLUMBING CODE (CPC)
FIRE CODE:	2022 CALIFORNIA FIRE CODE (CFC)
ACCESSIBILITY CODE:	CA TITLE 24 DISABLED ACCESS
ENERGY CODE:	2022 CALIFORNIA ENERGY CODE / TITLE 24 2022 CALGREEN
EXISTING CONST. TYPE	PROPOSED CONST. TYPE
V-B	V-B
EXISTING OCCUPANCY	PROPOSED OCCUPANCY
A2	A2
EXISTING FIRE SPRINKLER	PROPOSED FIRE SPRINKLER
NO	NO
EXISTING ZONING	PROPOSED ZONING
BUC3YY	BUC3YY
EXISTING USE	PROPOSED USE
1100 - COMMERCIAL	1100 - COMMERCIAL
EXISTING BUILDING S.F.	PROPOSED BUILDING S.F.
1,565 SF	1,565 SF

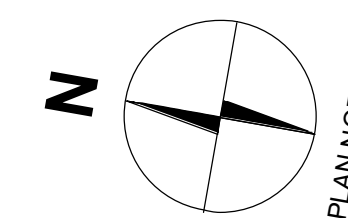
SHEET INDEX

SHEET	SHEET TITLE	REVISION	REVISION DATE
GENERAL			
G1.0	COVER SHEET	2	02/10/26
G2.0	ACCESSIBILITY DETAILS		
ARCHITECTURE			
A0.1	SITE PLAN	2	02/10/26
A0.1	DEMO PLANS		
A1.0	LIFE SAFETY PLAN & CODE COMPLIANCE	2	02/10/26
A1.1	FLOOR PLAN & ENLARGED RESTROOM PLAN	2	02/10/26
A1.2	EQUIPMENT PLAN, SCHEDULE AND ELEVATIONS	2	02/10/26
A1.3	REFLECTED CEILING PLAN	2	02/10/26
A2.0	EXTERIOR ELEVATIONS	2	02/10/26
STRUCTURAL			
S0.1	GENERAL STRUCTURAL NOTES		
S0.2	GENERAL STRUCTURAL NOTES (CONT'D.)		
S0.3	TYPICAL DETAILS		
S1.1	FOUNDATION PLAN		
S2.1	FRAMING PLAN		
S3.1	FOUNDATION AND FRAMING DETAILS		
PLUMBING			
P1.0	PLUMBING SCHEDULES, NOTES AND SPECIFICATIONS		
P1.1	PLUMBING DETAILS AND KITCHEN EQUIPMENT SCHEDULES		
P1.2	PLUMBING GENERAL NOTES		
P2.0	WASTE AND VENT PIPING PLAN		
P3.0	WATER PIPING PLAN		
P4.0	WASTE AND VENT AND WATER PIPING ISOMETRIC		
MECHANICAL			
M1.0	MECHANICAL NOTES, LEGEND & SHEET INDEX		
M1.1	MECHANICAL SCHEDULES		
M2.0	MECHANICAL FLOOR PLAN		
M3.0	MECHANICAL ROOF PLAN		
M4.0	MECHANICAL SPECIFICATIONS		
ELECTRICAL			
E1.0	ELECTRICAL LEGEND & SYMBOLS LIST		
E1.1	ELECTRICAL LEGEND & SYMBOLS LIST		
E1.2	ELECTRICAL DETAIL		
E1.3	ELECTRICAL SCHEDULES		
E1.4	KITCHEN EQUIPMENT SCHEDULES		
E1.5	ELECTRICAL SITE PLAN		
E2.0	ELECTRICAL LIGHTING PLAN		
E3.0	ELECTRICAL POWER PLAN		
E3.1	ELECTRICAL HVAC FLOOR PLAN		
E4.0	ELECTRICAL ROOF PLAN		
E5.0	ELECTRICAL SINGLE LINE DIAGRAM		
E6.0A	ELECTRICAL INTERIOR TITLE 24 CALCULATIONS		
E6.0B	ELECTRICAL INTERIOR TITLE 24 CALCULATIONS		
E6.1A	ELECTRICAL INTERIOR TITLE 24 CALCULATIONS		
E6.1B	ELECTRICAL EXTERIOR TITLE 24 CALCULATIONS		
E7.0	ELECTRICAL SPECIFICATIONS		

SPACE FOR DELTA APPENDIX



① Site
 1/8" = 1'-0"



SITE GENERAL NOTES

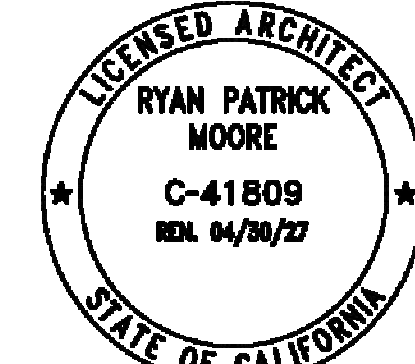
- A. SITE IS EXISTING TO REMAIN.
- B. LOT DIMENSION LINES ARE DRAWN BASED ON GRID B SHEET 74 AND PLACED BASED ON RELATIONSHIPS TO STREET CURBS. ANY SITE WORK SHALL HAVE A SURVEY PERFORMED TO VERIFY EXACT LOT LINE DIMENSIONS.
- C. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED 1:10, PER SECTION 11B-406.2.2
- D. PROPERTY LINES ARE DRAWN AS INDICATED ON BURBANK GIS PARCEL MAPS AND SHOULD BE FIELD VERIFIED BY G.C. PRIOR TO STARTING ANY NEW SITE WORK.

PROPERTY USE

1. THE PROJECT IS AN APPROXIMATELY 1,565 GROSS SQUARE FOOT INTERIOR TENANT IMPROVEMENT WHICH DOES NOT PROPOSE DEMOLITION OR ALTERATIONS TO THE EXTERIOR OF THE EXISTING BUILDING THAT WAS CONSTRUCTED IN 1945. THE PROPOSED CAFE IS CONSISTENT WITH BURBANK'S RESTAURANT/CAFE ORDINANCE FOR RESTAURANTS/CAFES OF NOT MORE THAN 2,000 SF.
2. THE SITE IS LOCATED WITHIN THE C-3 COMMERCIAL GENERAL BUSINESS ZONE. THE +/- 1,565 SF INTERIOR IMPROVEMENT IS PRIMARILY CAFE SPACE AND INCLUDES A +/- 150 SF 'MERCHANDISE' SPACE. SITE IMPROVEMENTS INCLUDE A 300 SF LOADING SPACE THAT IS ACCESSED FROM THE ALLEY TO THE NORTH. THE CAFE ANTICIPATES 3-4 EMPLOYEES OPERATING HOURS ARE CURRENTLY PLANNED FOR 6AM-6PM.
3. NO ALCOHOL WILL BE SOLD ON PREMISES.



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



Ryan Patrick Moore

ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK CA 91506-1729
 PARCEL 2448-024-002

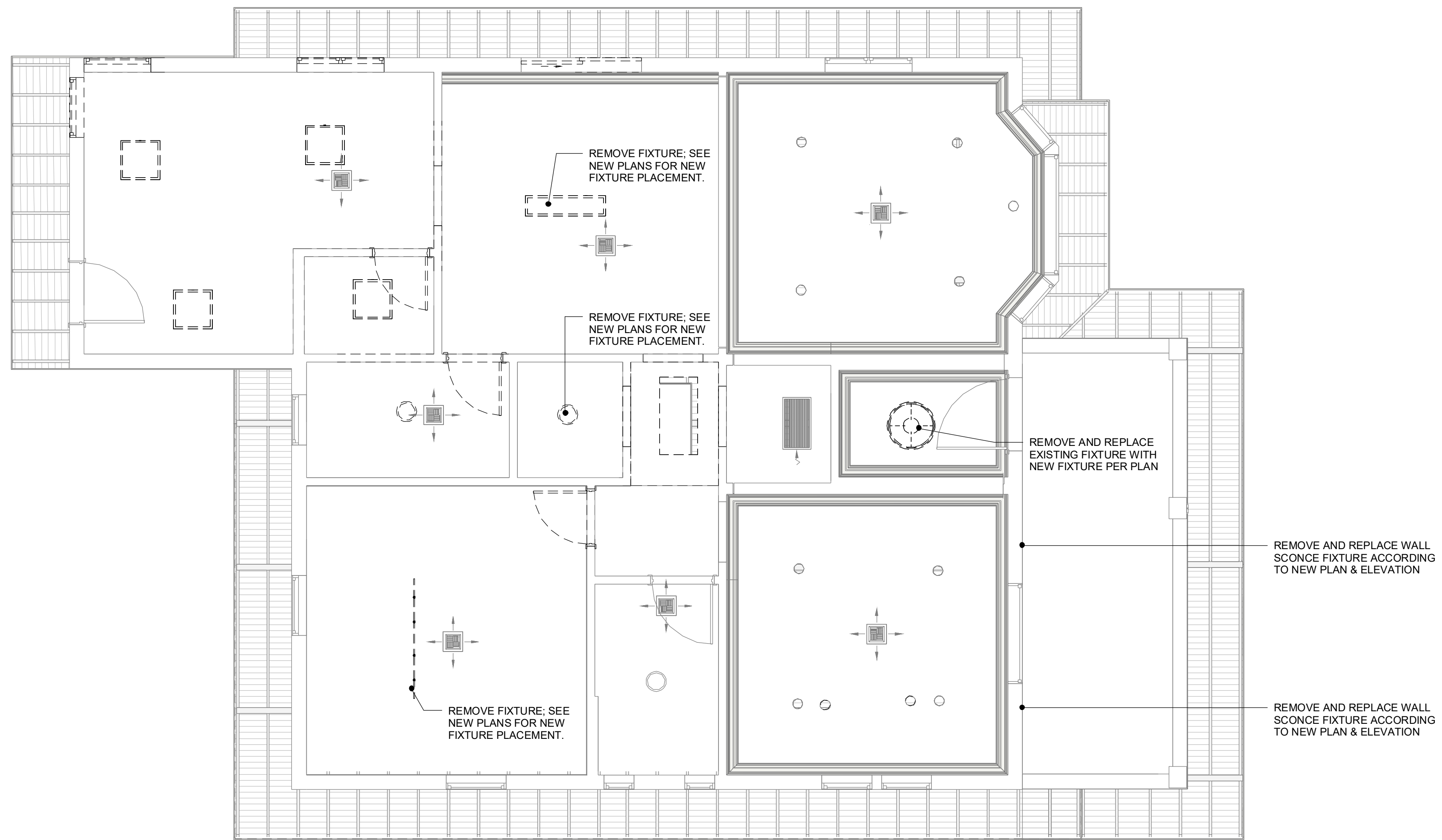
ISSUE DATE:

ISSUED FOR PERMIT 02/03/25
 REV 1 ISSUE FOR PERMIT 05/02/25
 REV 2 CITY COMMENTS 01/07/2026

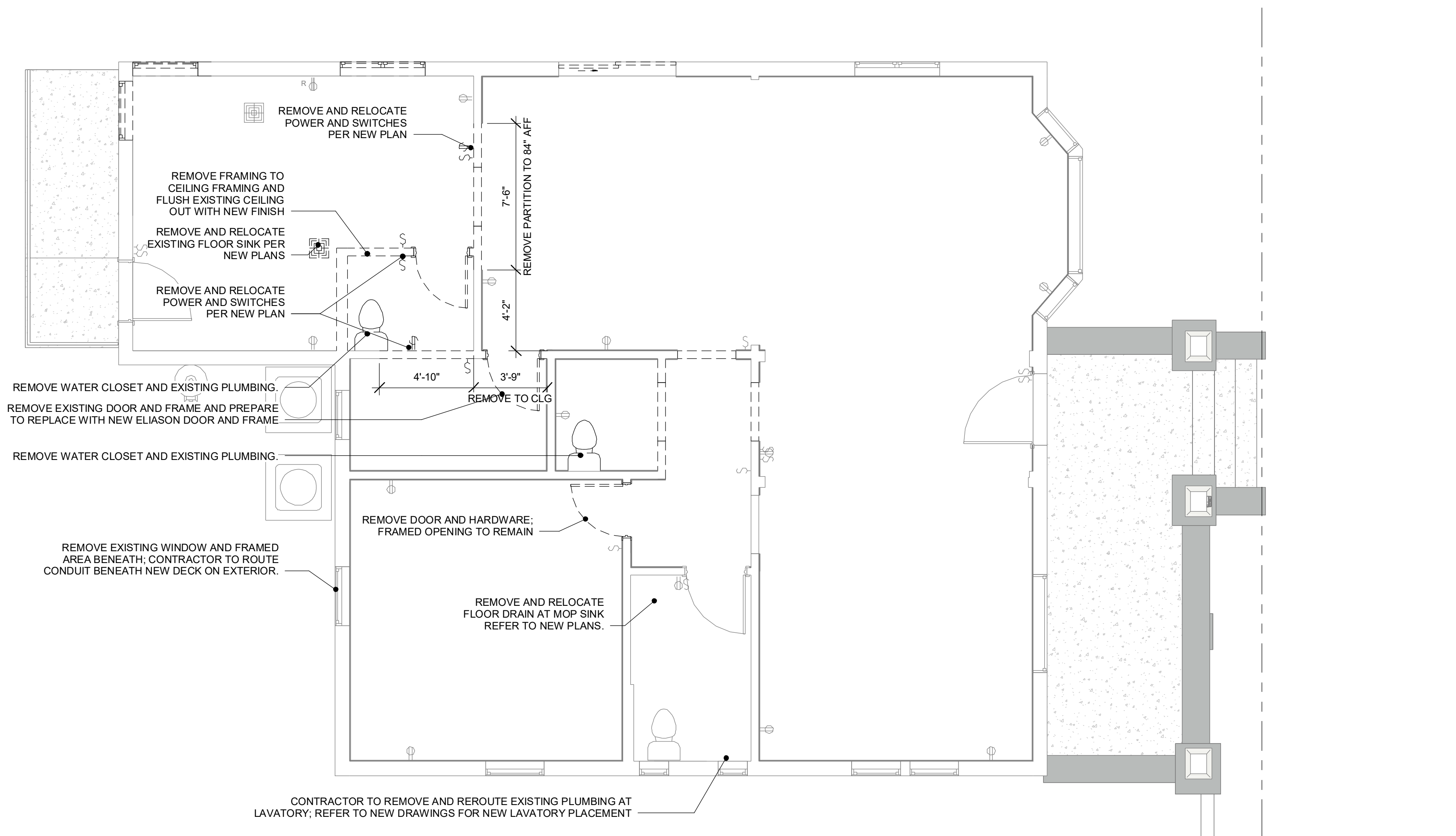
SITE PLAN

A0.1

SPACE FOR DELTA / ADDENDUM



② DEMO RCP
 1/4" = 1'-0"



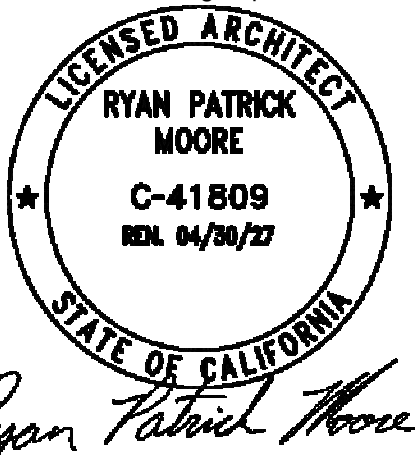
① DEMO FLOOR PLAN
 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- A. ALL MEANS AND METHODS REQUIRED FOR DEMOLITION ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- B. EXAMINATION OF PREMISES, THE CONTRACTOR, BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, SHALL EXAMINE THE PREMISES AND ALL CONDITIONS THEREON AND/OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGMENT BY HIM/HER THAT ALL SUCH CONDITIONS ARE FULLY KNOWN TO HIM/HER. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH THE PROJECT MANAGER.
- C. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- D. THE ARCHITECTURAL DRAWINGS SHOW THE PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THE CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED AND DO THAT WORK INCLUDING ENGINEERING IF REQUIRED IN ACCORD WITH THE CONTRACT REQUIREMENTS.
- E. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- F. GENERAL CONTRACTOR IS TO PATCH AND REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES. ALL EXISTING DRYWALL OR PLASTER THAT IS TO REMAIN AND RECEIVE A NEW SCHEDULED PAINT OR WALL COVERING SHALL HAVE ALL DEFECTS, (CRACKS, PAINT CHIPPING, HOLES, ETC.) FILLED, PLASTERED OR SPACKLED, SANDED SMOOTH AND CLEANED TO MATCH EXISTING WHEREVER A WALL OR FIXTURE HAS BEEN REMOVED OR ANY DAMAGE HAS OCCURRED AS A RESULT OF DEMOLITION OR CONSTRUCTION.
- G. GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES AND VERIFY IF PROPOSED DESIGN CONFLICTS WITH ANY EXISTING CONDITIONS. ANY POSSIBLE CONFLICTS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO SUBMITTAL OF BIDS.
- H. ASBESTOS AND HAZARDOUS WASTE EXCLUSION. THE ARCHITECT HEREBY STATES, AND THE OWNER ACKNOWLEDGES, THAT THE ARCHITECT HAS NO PROFESSIONAL LIABILITY OR OTHER INSURANCE (AND IS UNABLE TO REASONABLY OBTAIN SUCH INSURANCE) FOR CLAIMS ARISING OUT OF THE PERFORMANCE OF OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO THE PREPARATION OF REPORTS, DESIGN DRAWINGS AND SPECIFICATIONS AS RELATED TO ASBESTOS AND HAZARDOUS MATERIALS INVESTIGATION DETECTION AND REMOVAL. IF GC OR HIS SUBCONTRACTORS ENCOUNTERS OR SUSPECTS HAZARDOUS MATERIALS ARE PRESENT, WORK SHALL BE CEASED IMMEDIATELY AND THE OWNER SHALL BE NOTIFIED.
- I. WORK SHOWN HEREIN IS NOT INTENDED TO BE STRUCTURAL IN NATURE. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY ENGINEERING ASSOCIATED WITH STRUCTURAL MODIFICATIONS, WHETHER TEMPORARY OR PERMANENT ASSOCIATED WITH THE WORK. EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE.
- J.



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK CA 91506-1729
 PARCEL 2448-024-002

ISSUE DATE:

ISSUED FOR PERMIT 02/03/25
 REV 1 ISSUE FOR PERMIT 05/02/25
 REV 2 CITY COMMENTS 01/07/2026

DEMO PLANS

AD.1

SPACE FOR DELTA / ADDENDUM

PLUMBING FIXTURE REQUIREMENTS

OCCUPANT LOAD FOR PLUMBING FIXTURES (CPC 422):
 PER TABLE 422.1, TABLE A

ASSEMBLY W/ FIXED SEATS USED 50% OF THE FIXED SEAT VALUE
 FIXED SEAT VALUE = 23 = 12 OCC
 BUSINESS @ 150SF / OCC = 1 OCC
 KITCHEN @ 50SF / OCC = 5 OCC
 MERCANTILE @ 100SF / OCC = 3 OCC

TOTAL OCCUPANT LOAD FOR PLUMBING FIXTURES = 21

OCCUPANCY	WATER CLOSETS	LAVATORIES
21 OCCUPANTS		
FIXTURES REQUIRED	1*	1*
FIXTURES PROVIDED	2	2

*PLUMBING OCCUPANCY COUNT BASED ON:

2022 CPC 422.2 (3) : IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANCY LOAD OF 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

2022 CBC 303.1.1: SMALL BUILDINGS AND TENANT SPACES. A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY.

EXIT REQUIREMENTS

REQUIRED EGRESS WIDTH (SECTION 1008):
 31 Occupants x 0.2" = 6.2"
 MIN. = 32" (total)

EGRESS WIDTH PROVIDED:
 EXIT EGRESS 1: 32 IN

TOTAL PROVIDED: 32 INCHES

MINIMUM OF TWO EXITS -32" CLEAR REQUIRED FOR EGRESS FOR A2 OCCUPANT LOAD LESS THAN 50 IN A TYPE B OCCUPANCY.

EXIT REQUIREMENTS				
NUMBER AND ARRANGEMENT OF EXITS				
FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS (TABLE 1006.3.4)		TRAVEL DISTANCE TABLE 1017.2	
	MAX OCC LOAD PER STORY	MAX EXIT TRAVEL DISTANCE	ALLOWABLE TRAVEL DISTANCE	DEAD END LIMIT 1020.4
OCCUPIED SPACE	49	75'	200'	20'
PROPOSED	31	72'-4"	ACTUAL TRAVEL DISTANCE	ACTUAL DEAD END DISTANCE
			72'-4" MAX.	N/A

MAX. OCCUPANCY IDENTIFICATION

G.C. TO PROVIDE VISIBLE SIGN STATING THE FOLLOWING:
 SIGN TO BE A MINIMUM SIZE OF 8 1/2" x 11"

MAXIMUM OCCUPANTS

31

2019 W. MAGNOLIA BLVD BURBANK CA 91506

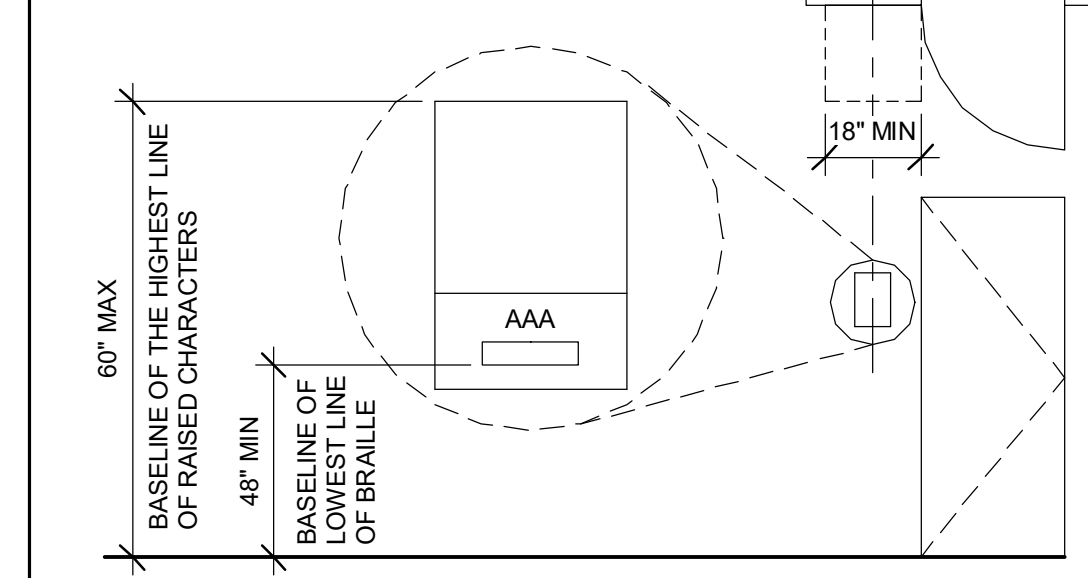
TEXT HEIGHT 3/8"

TEXT HEIGHT 2"

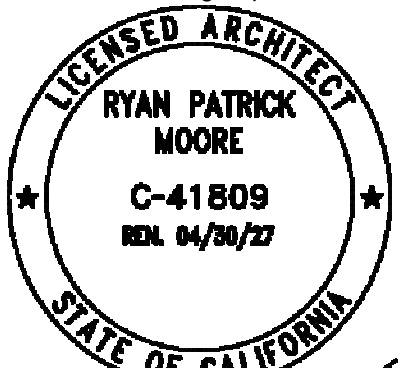
TEXT HEIGHT 3/8"

TACTILE EXIT SIGNAGE

- MOUNT SIGN SO THAT THE BASELINE OF THE LOWEST TACTILE CHARACTERS ARE LOCATED 48" MIN A.F.F. AND THE BASELINE OF THE HIGHEST TACTILE CHARACTERS ARE LOCATED 60" MAX A.F.F.
- SIGN SHALL MEET ALL REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE.
- CHARACTER SHALL BE SELECTED FROM POINTS WHERE THE WIDTH OF THE UPPER CASE LETTER "O" IS 60% MINIMUM AND 10% MAXIMUM OF THE HEIGHT OF THE UPPER CASE LETTER "T".
- CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8" MINIMUM AND 2" MAXIMUM BASED ON THE HEIGHT OF THE UPPER CASE LETTER "T".
- STROKE THICKNESS OF THE UPPER CASE LETTER "T" SHALL BE 15% OF THE MAXIMUM HEIGHT OF THE CHARACTER.
- CHARACTERS AND THEIR BACKGROUNDS SHALL HAVE A NON-GLARE FINISH CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD, WITH EITHER LIGHT PICTOGRAM ON A DARK FIELD OR DARK PICTOGRAM ON A LIGHT FIELD.
- SYMBOLS OF ACCESSIBILITY AND THEIR BACKGROUNDS SHALL HAVE A NON-GLARE FINISH. SYMBOLS OF ACCESSIBILITY SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- RAISED CHARACTERS SHALL COMPLY WITH THE FOLLOWING:
 - RAISED CHARACTERS SHALL BE 1/32" MINIMUM ABOVE THEIR BACKGROUND AND SHALL BE SANS-SERIF UPPER CASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE. CHARACTERS SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS.
 - CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8" MINIMUM AND 2" MAXIMUM BASED ON THE HEIGHT OF AN UPPER CASE "T".
- PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6" MINIMUM CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD.
- PICTOGRAMS SHALL HAVE TEXT DESCRIPTORS LOCATED BELOW THE PICTOGRAM FIELD. BRAILLE SHALL BE CONTRACTED (GRADE 2). BRAILLE DOTS SHALL BE CIRCULAR OR ROUNDED SHAPE AND COMPLY WITH THE FOLLOWING:
 - DOT BASE DIAMETER SHALL BE 0.059" TO 0.063"
 - DISTANCE BETWEEN TWO DOTS IN THE SAME CELL SHALL BE 0.100"
 - DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS SHALL BE 0.300"
 - DOT HEIGHT SHALL BE 0.025" TO 0.037"
 - DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW SHALL BE 0.395" TO 0.400"



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD,
 BURBANK, CA 91506-1729
 PARCEL 2448-024-002

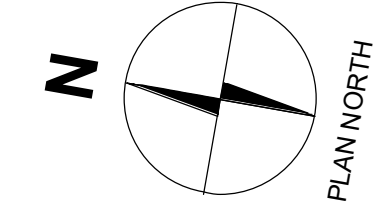
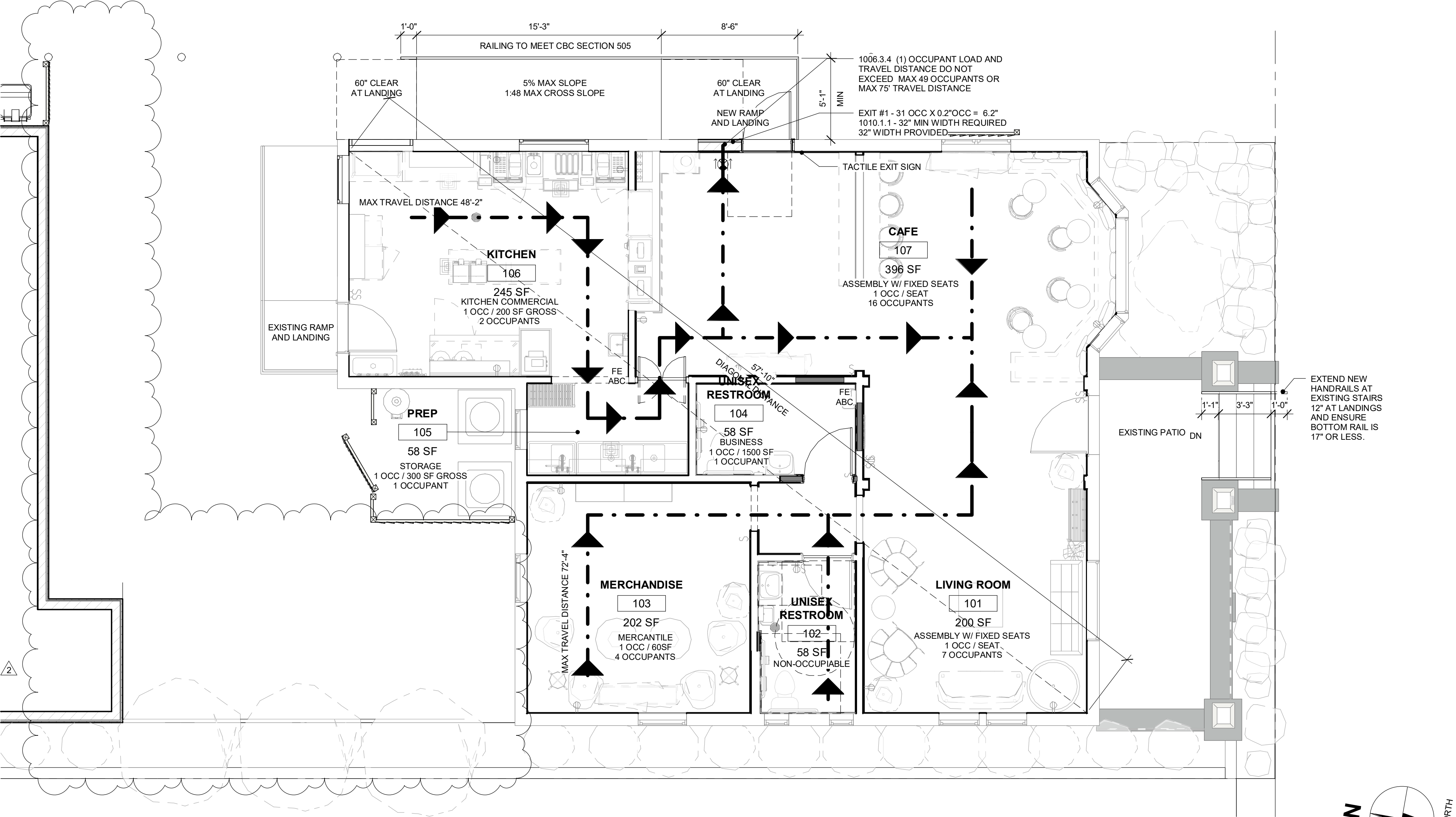
ISSUE DATE:

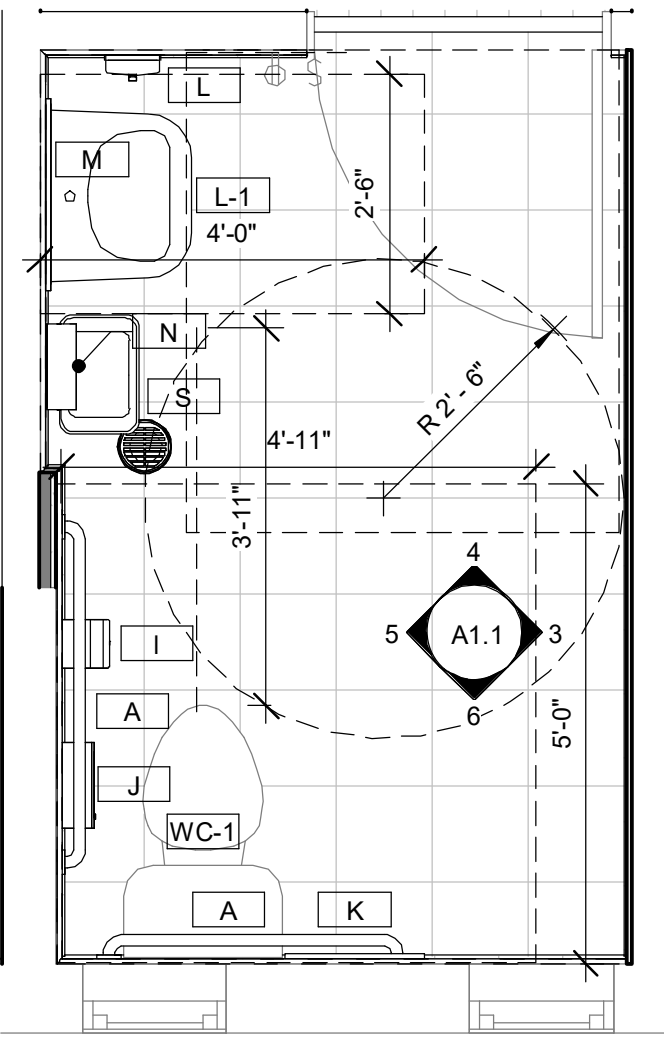
SPACE FOR DELTA / ADDENDUM

ISSUED FOR PERMIT 02/03/25
REV 1 ISSUE FOR PERMIT 05/02/25
REV 2 CITY COMMENTS 01/07/2026

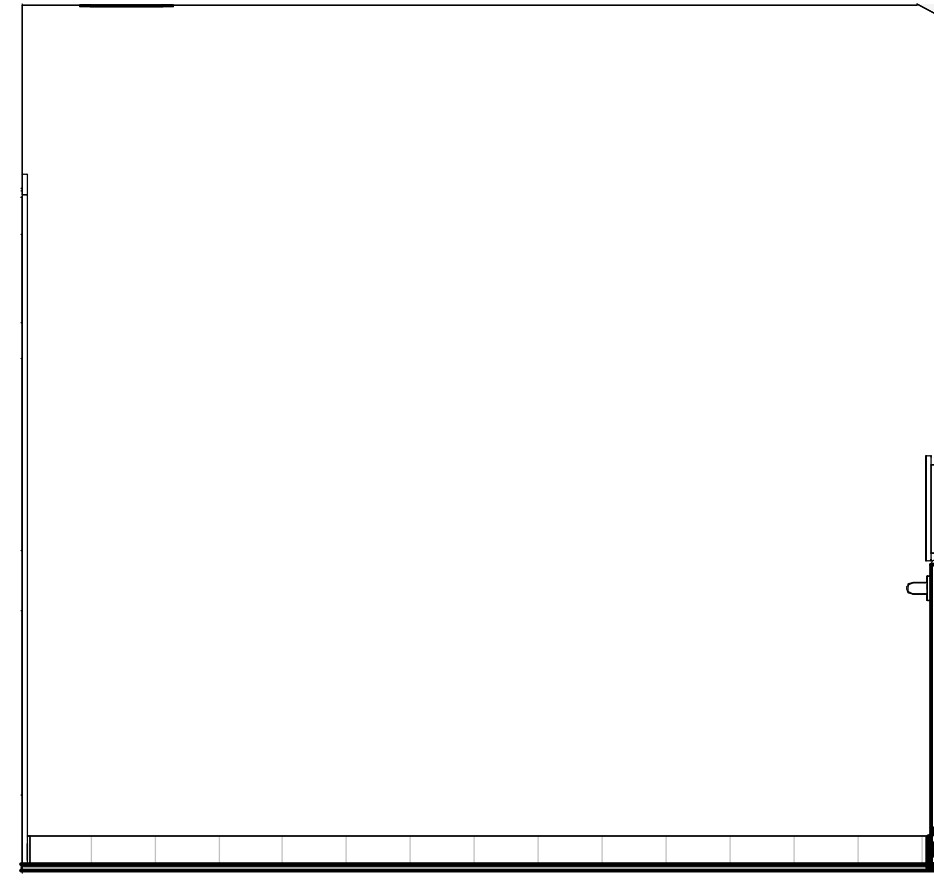
LIFE SAFETY PLAN & CODE COMPLIANCE

A1.0

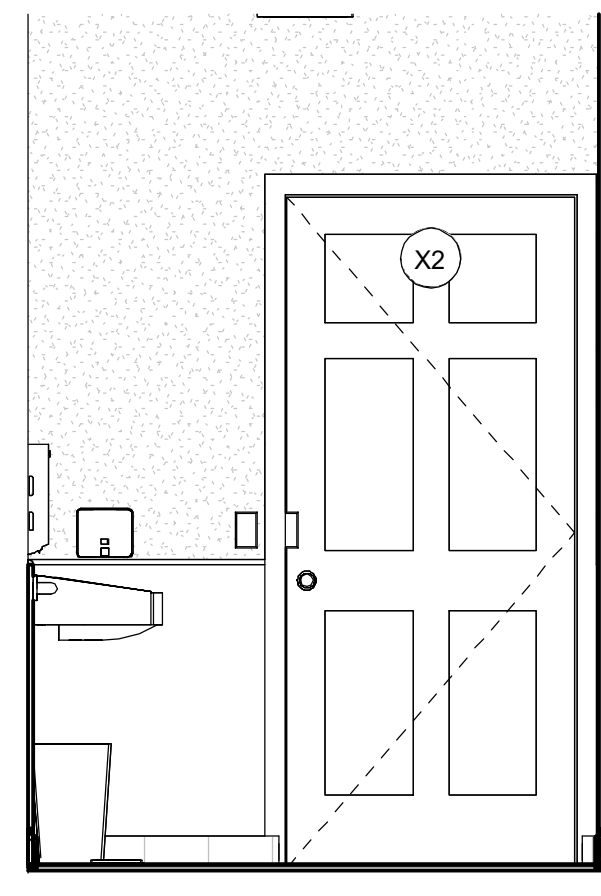




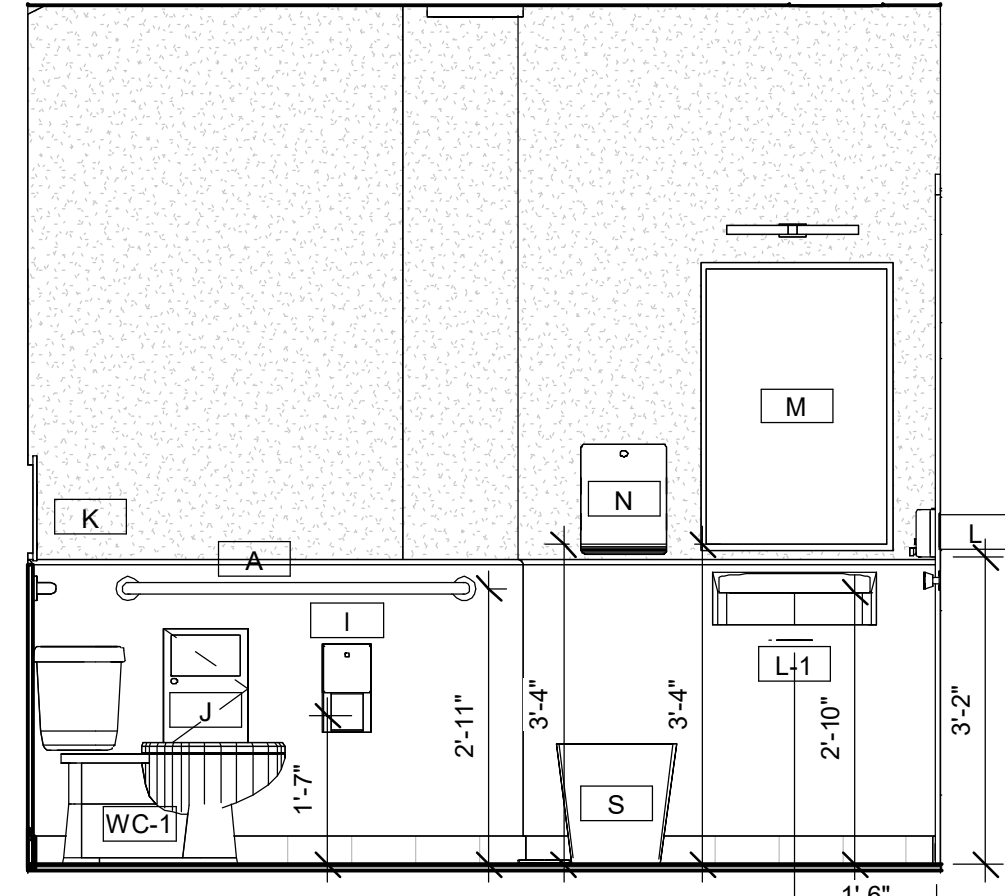
2 ENLARGED RESTROOM PLAN
 1/2" = 1'-0"



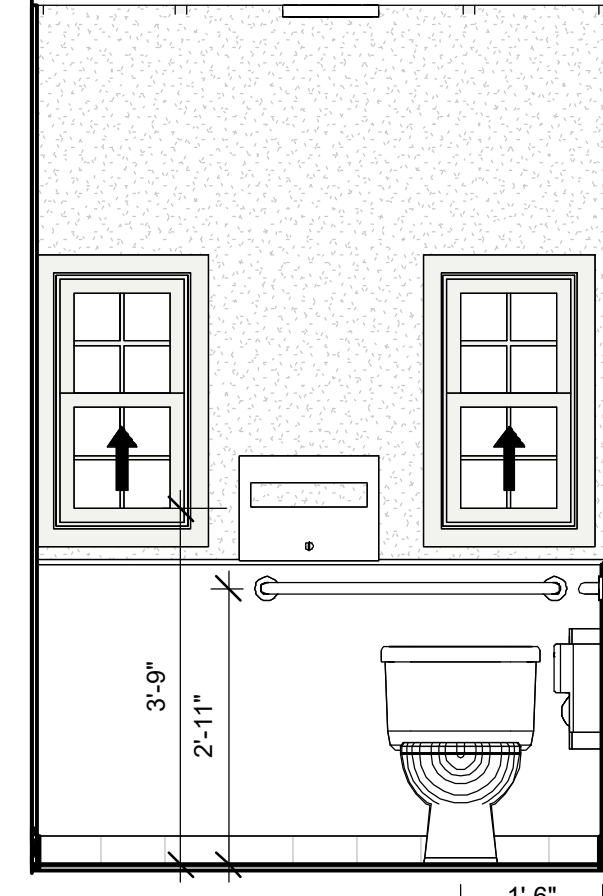
3 RESTROOM
 1/2" = 1'-0"



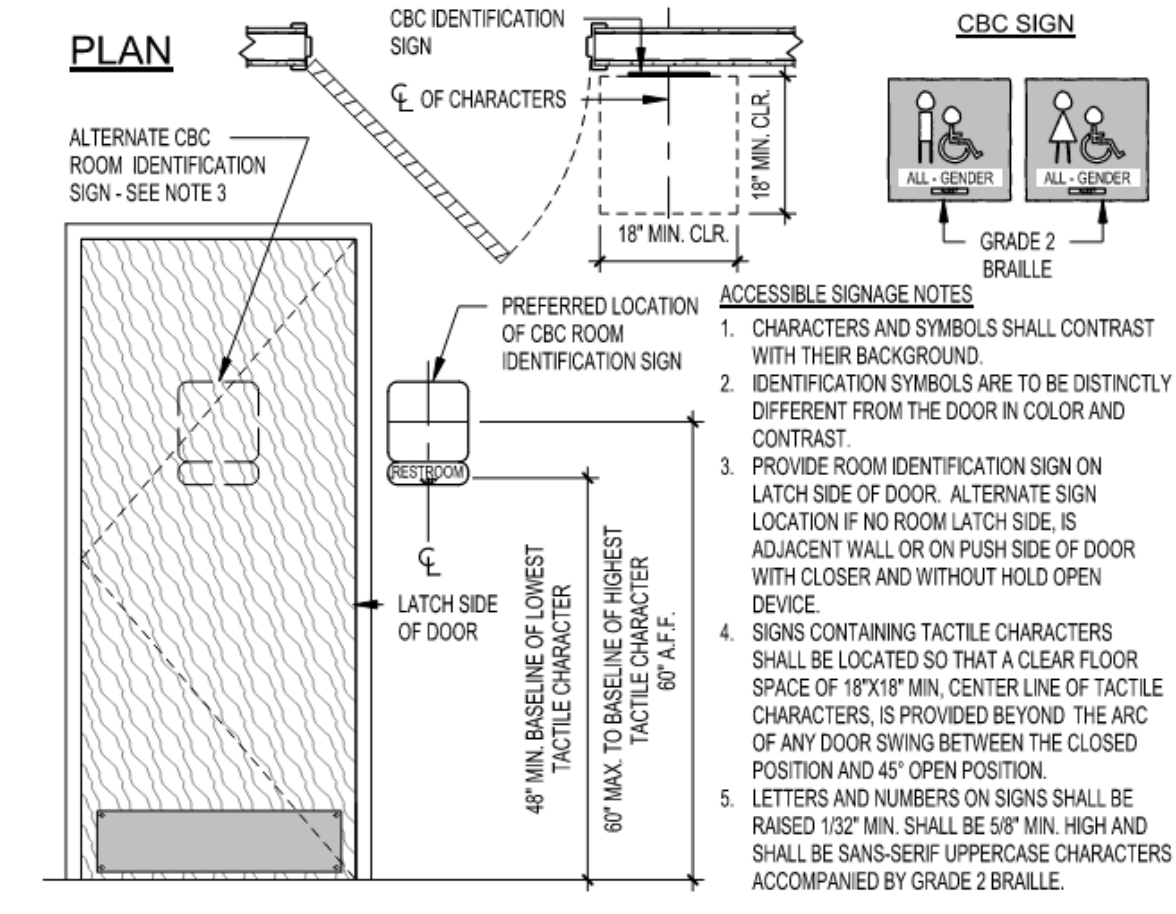
4 RESTROOM
 1/2" = 1'-0"



5 RESTROOM
 1/2" = 1'-0"



6 RESTROOM
 1/2" = 1'-0"



RESTROOM SIGNAGE

GENERAL NOTES

- USE MOISTURE RESISTANT GYP. BRD. AT WALL BEHIND PLUMBING FIXTURES. PROVIDE ACOUST. BATT. INSUL. IN WALLS WHERE SCHEDULED ON SHT. A1.10.
- ALL ACCESSORIES SHALL BE INSTALLED AT 40" MAX. TO THE CENTERLINE OF THE OPERATING PART FROM FINISHED FLOOR SURFACE.
- TOILET PARTITIONS FOR THE ACCESSIBLE TOILET SHALL TO BE PROVIDED WITH A LATCH THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQD. TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS. MAX.; ALSO PROVIDE A U-SHAPE OR LOOP HANDLE HDWR MNTD. BETWEEN 34" A.F.F. MIN. - 44" A.F.F. MAX. ADJACENT ABOVE OR BELOW THE LATCH ON THE INSIDE & OUTSIDE OF THE PARTITION DOOR - REFER TO CBC SECTIONS 11B-404.2.7 & 11B-604.8.1.2.
- FIXTURES ARE DIMENSIONED FROM CENTER OF FIXTURE TO FACE OF TILE.

PLUMBING NOTES

- BACKWATER VALVE TO BE INSTALLED ON PRIVATE BUILDING SEWER PER BMC 8-1-313 AND REQUIREMENTS OF THE CITY AS CDD-BUILDING DEPARTMENT. IT IS NOTED AND ACKNOWLEDGED THAT CITY STAFF WILL NOT SIGN OFF ON THE FINAL BUILDING PERMIT APPROVAL AND/OR CERTIFICATE OF OCCUPANCY UNTIL THE OWNER/DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAVE BEEN INSTALLED. PER BMC 9-3-407, BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING, DEMOLITION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY. ANY EXISTING FIXTURE OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE BUILDING DEMOLITION ACTIVITIES OCCUR.

RESTROOM ACCESSORY NOTES

- ALL FIXTURES & ACCESSORIES MUST MEET ALL STATE, LOCAL CODES & ASSEMBLY REQUIREMENTS PER IBC 11B. PROVIDE SOLID FIRE TREATED BLOCKING AT ALL WALL MOUNTED FIXTURES FOR SECURE ANCHORING. VERIFY LOCATION WITH MANUFACTURERS SPECIFICATIONS. CLEAR SILICONE CAULK ALL FIXTURES TO PARTITION.
- WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE OPERABLE WITH ONE HAND. SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING CONTROLS, SHALL BE NO GREATER THAN 5 LBF.
- PROVIDE DOOR HANDLES ON EA. SIDE OF THE TLT. PARTITION DOORS - TO BE COMPLIANT W/ IBC 11B-604.8.2.2 & 11B-404.2.7
- TLT. PARTITIONS TO BE PROVIDED WITH MIN. 9" TOE CLEARANCE A.F.F. PER IBC 11B-604.8.1.4

RESTROOM ACCESSORY SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL #	PROVIDED BY	INSTALLED BY	REMARKS
A	GRAB BARS	BOBRICK	B-8806			
I	TOILET TISSUE DISPENSOR	BOBRICK	B-2888			
J	NAPKIN DISPOSAL	BOBRICK	B-254			
K	TOILET SEAT COVER	BOBRICK	B-3013			
L	SOAP DISPENSER	BOBRICK	BOBRICK 8-40			
M	MIRROR	TBD	TBD			
N	PAPER TOWEL DISPENSER	BOBRICK	B-262			
S	TRASH BIN	TBD	TBD			

Room Finish Schedule

Number	Name	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH
101	LIVING ROOM	LVT	4" WOOD W/ 3/8" COVE BASE PAINTED SEMIGLOSS	PAINTED GYP	PAINTED GYP
102	UNISEX RESTROOM	TILE	TILE	WASHABLE PAINTED GYP	WASHABLE PAINTED GYP
103	MERCHANDISE	LVT	4" WOOD W/ 3/8" COVE BASE PAINTED SEMIGLOSS	PAINTED GYP	PAINTED GYP
104	UNISEX RESTROOM	LVT	4" WOOD W/ 3/8" COVE BASE PAINTED SEMIGLOSS	PAINTED GYP	PAINTED GYP
105	PREP	TILE	TILE	WASHABLE PAINTED GYP	WASHABLE PAINTED GYP
106	KITCHEN	TILE	TILE	WASHABLE PAINTED GYP	WASHABLE PAINTED GYP
107	CAFE	LVT	4" WOOD W/ 3/8" COVE BASE PAINTED SEMIGLOSS	PAINTED GYP	PAINTED GYP
108	PATIO SEATING				
109	PICNIC SEATING				

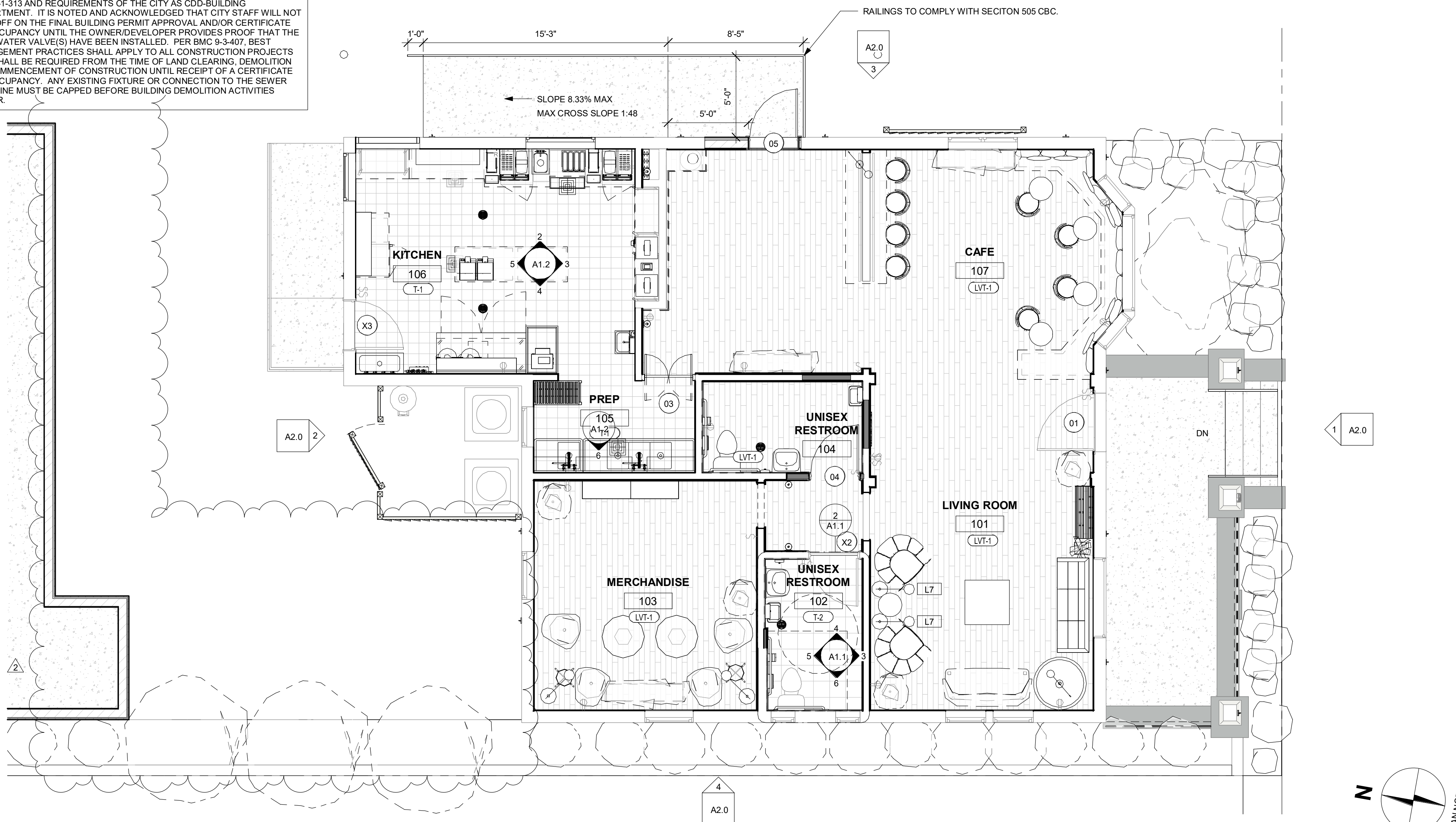
Door Schedule

Mark	Description
01	REPLACE EXISTING DOOR WITH SOLID CORE WOOD; NEW THRESHOLD & WEATHERSEAL; ENTRY LOCK & HARDWARE
03	SPC-4 ELIASON DUAL SWINGING DOOR
04	NEW HOLLOW CORE 6 PANEL WOOD INTERIOR DOOR WITH PRIVACY LOCK TO MATCH EXISTING RESTROOM DOOR - ADD OCCUPANCY INDICATOR DEADBOLT
05	NEW SOLID CORE DOOR WITH FULL LIGHT / ACCESSIBLE THRESHOLD / WEATHERSEAL / ACCESSIBLE ENTRY LOCK AND HARDWARE
X1	EXISTING SLIDING DOOR; HARDWARE AND THRESHOLD SHALL BE ADA COMPLIANT
X2	EXISTING HOLLOW CORE 6 PANEL WOOD INTERIOR DOOR WITH PRIVACY LOCK - ADD OCCUPANCY INDICATOR DEADBOLT
X3	EXISTING SOLID CORE WOOD EXTERIOR DOOR, REPLACE THRESHOLD / WEATHERSEAL / ENTRY LOCK AND HARDWARE

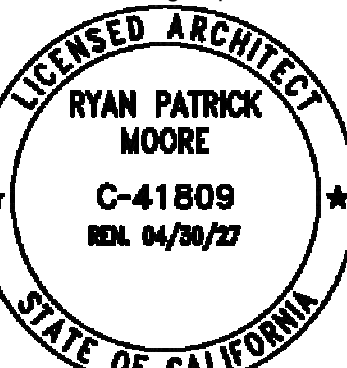
FLOOR PLAN GENERAL NOTES

- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS DO NOT SCALE
- ALL DIMENSIONS ARE FROM THE FACE OF STRUCTURE UNLESS NOTED OTHERWISE ON THE PLANS.
- UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, PERMITS, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE REQUIRED WORK.
- FOR ALL WOOD MEMBERS REQUIRED BY CODE TO BE FIRE RETARDANT TREATED, PROVIDE PRESSURE IMPREGNATION WITH FIRE RETARDANT CHEMICALS TO PROVIDE U.L. F.R.S. FIRE HAZARD CLASSIFICATION. ALL WOOD SHALL BE IDENTIFIED WITH A U.L. LABEL CERTIFYING THIS CLASSIFICATION
- APPROVED FIRE EXTINGUISHERS SHALL BE FURNISHED, LOCATED AND INSTALLED BY THE GENERAL CONTRACTOR AS REQUIRED BY THE GOVERNING AUTHORITY.
- G.C. TO VERIFY ALL DIMENSIONS WITHIN (1) WEEK OF START OF PROJECT AND/OR BEFORE ANY NEW DEMOLITION OR CONSTRUCTION BEGINS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROJECT MANAGER AND ARCHITECT PRIOR TO START OF DEMOLITION.
- LANDING NOT MORE THAN 1/2 INCH BELOW THE THRESHOLD IS REQUIRED ON EACH SIDE OF AN EGRESS DOOR.
- PROJECT WILL PROVIDE CONSTRUCTION WASTE MANAGEMENT PER 2022 CALGREEN SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING.
- COVE BASE SHALL BE INSTALLED IN A MANNER THAT IT MAKES A CONTINUOUS FLOW FROM WALL TO FLOOR.
- ALL WINDOWS ARE TO REMAIN FIXED AND NON-OPERABLE UNLESS NOTED OTHERWISE
- EXTERIOR AND RESTROOM DOORS ARE TO BE TIGHT FITTING AND SELF CLOSING
- ALL RAILINGS TO COMPLY WITH SECTION 505. 2 1/4" MAX CROSS SECTION AT 34"-38" ABOVE GRIPPING SURFACE WITH CANE RAIL DETECTION AT A MAX OF 17" AFF.

1 FLOOR PLAN
 1/4" = 1'-0"



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK CA 91506-1729
 PARCEL 2448-024-002

ISSUE DATE:

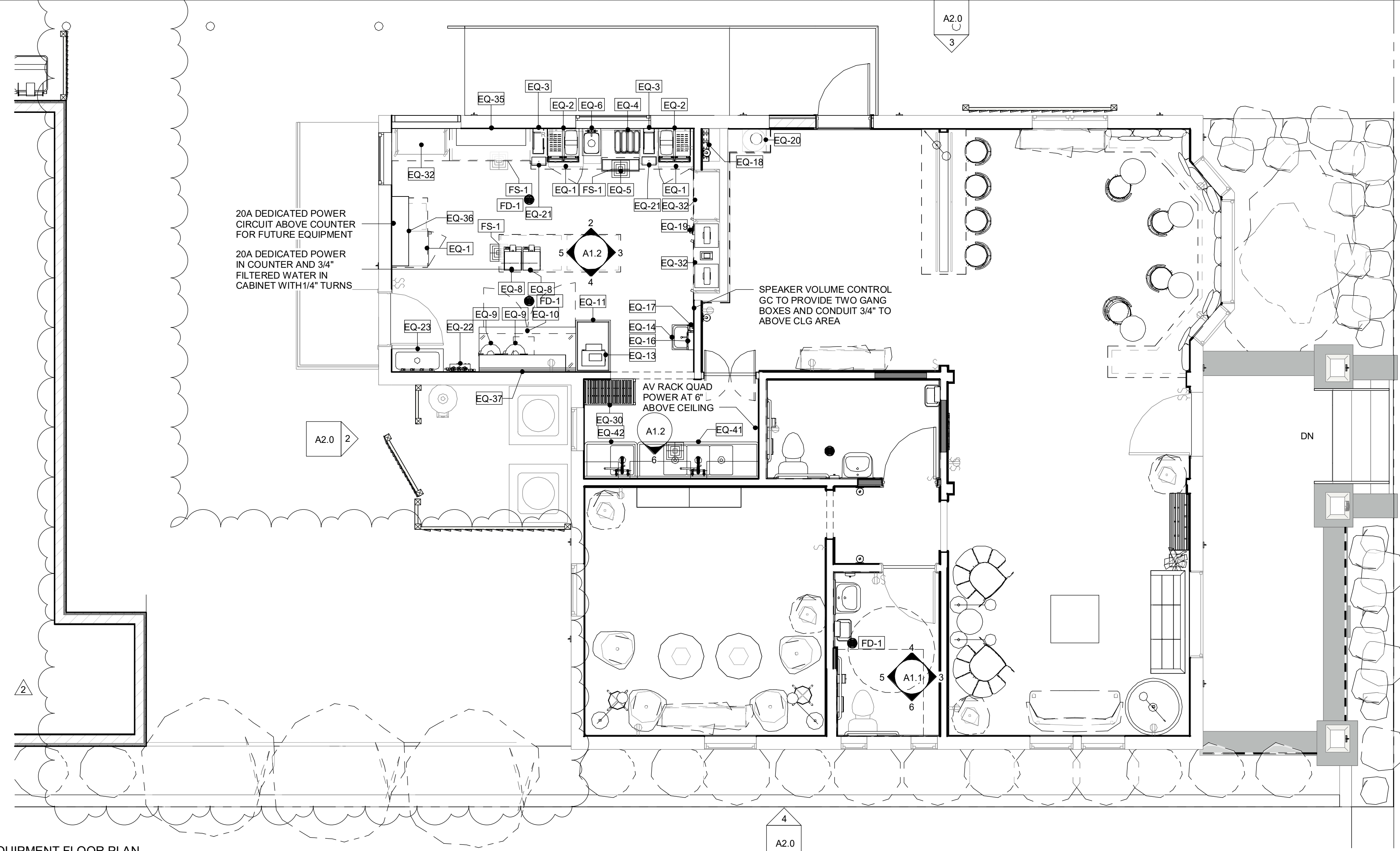
- ISSUED FOR PERMIT 02/03/25
- REV 1 ISSUE FOR PERMIT 05/02/25
- REV 2 CITY COMMENTS 01/07/2026

SPACE FOR DELTA / ADDENDUM

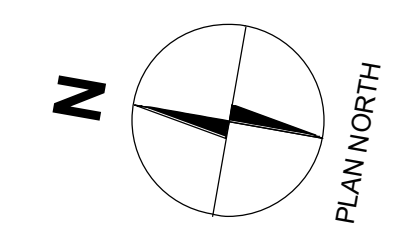
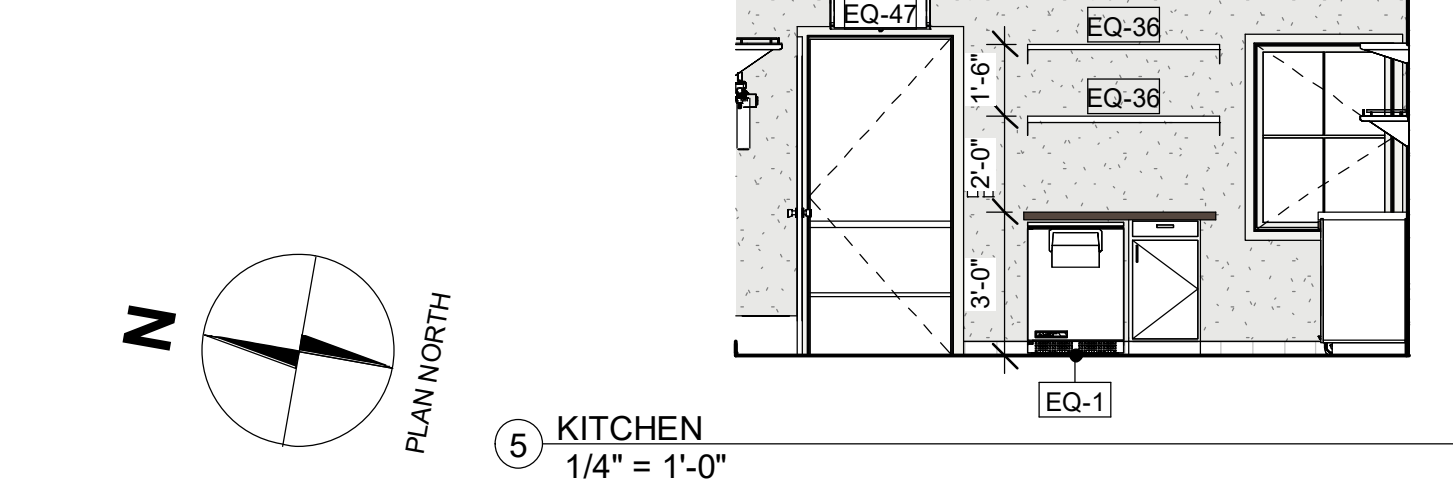
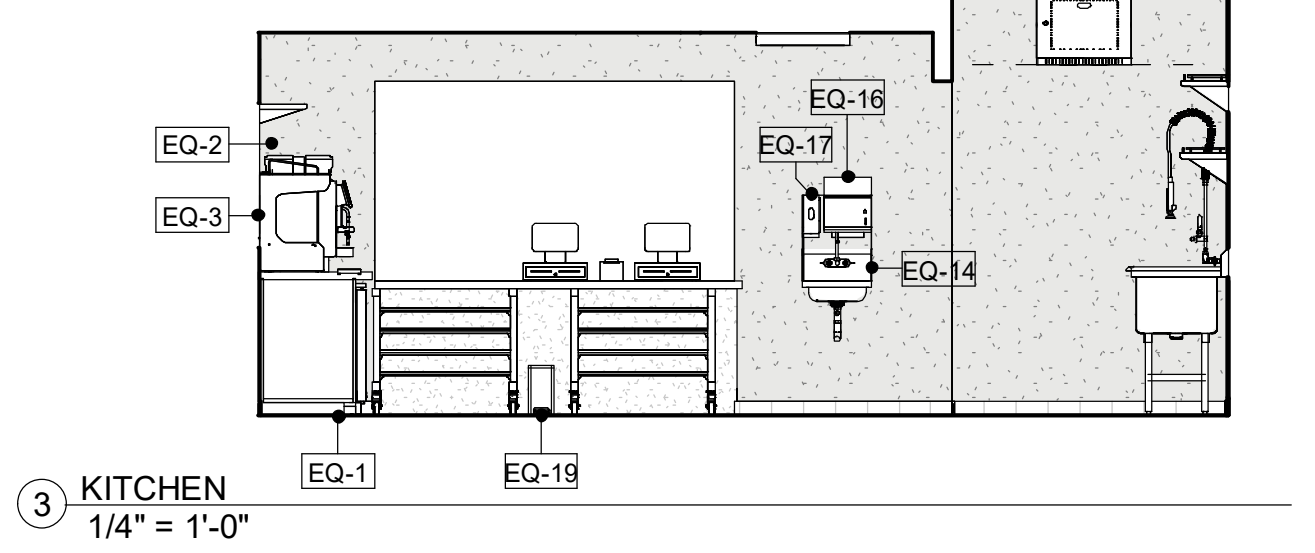
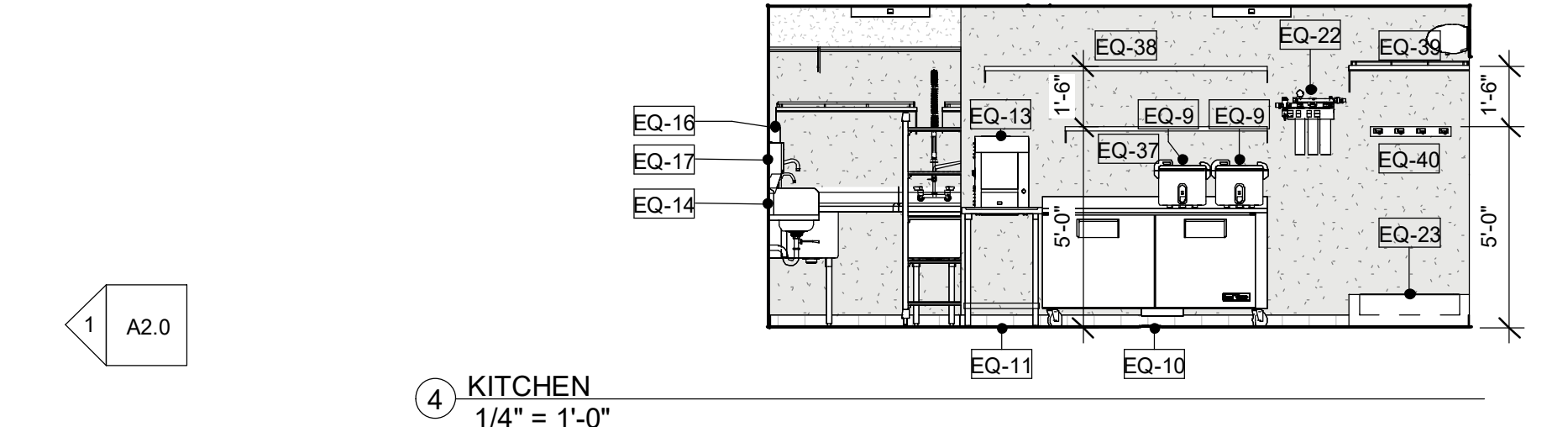
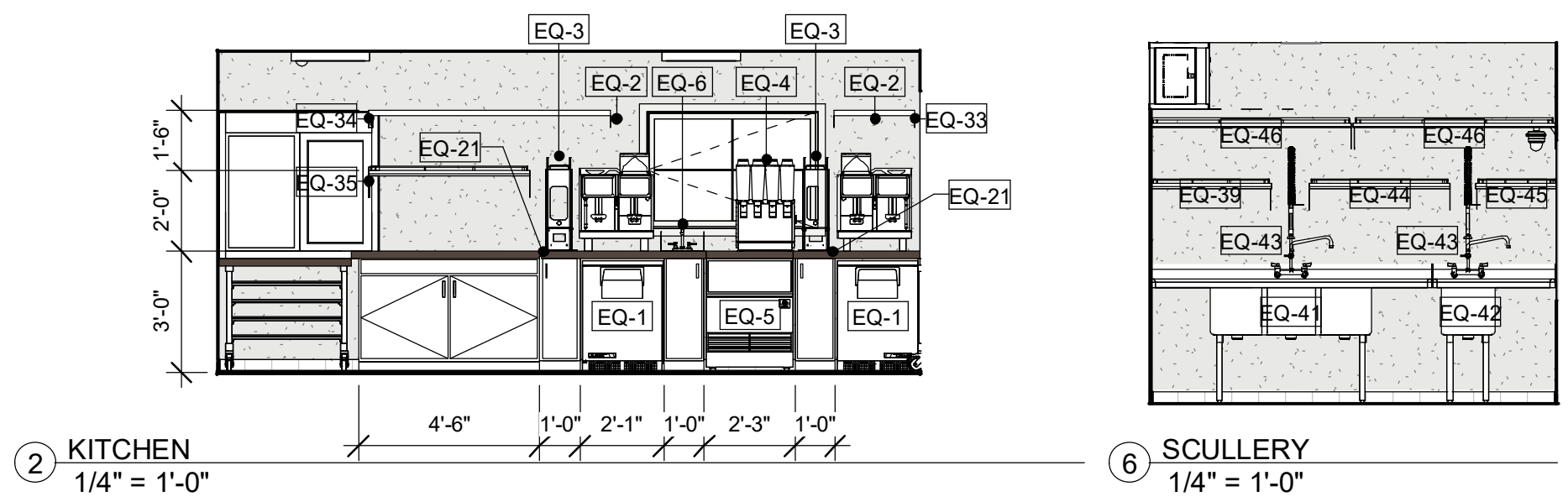
FLOOR PLAN & ENLARGED RESTROOM PLAN

A1.1

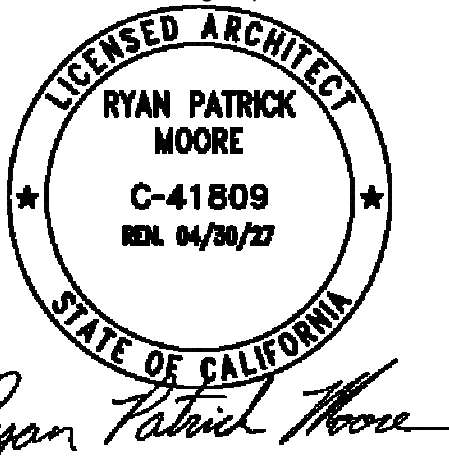
EQUIPMENT SCHEDULE														
TAG	QTY	DESCRIPTION	MFG	MODEL	AMPS	PLUG	RI HEIGHT	SUPPLY	RI SIZE	RI HEIGHT	DRAIN	DRAIN SIZE	DRAIN CONNECTION	COMMENTS
EQ-1	3	SOLID DOOR REFRIGERATOR	TRUE	TUC-24-HC	2.0A	NEMA 5-15P	18"							
EQ-2	2	ESPRESSO MACHINE	Eversys	E'4-M	30A	NEMA L60-30P	44"	CW	3/8"	40"	INDIRECT	1"		CONFIRM COLD WATER / DRAIN SIZING WITH PRODUCT REP; CONFIRM PLUG TYPE COMPATIBILITY WITH REP
EQ-3	2	SYRUP ORGANIZER	TBD											
EQ-4	1	CLASSIC BUBBLERS	CRATHCO	E49-4	6A	NEMA 5-15P								
EQ-5	1	ICE MAKER UNDERCOUNTER	Manitowoc	UDF0240A-161	7A	NEMA 5-15P	12"	CW	3/8"	18"	INDIRECT	1/2"	10" AFF	WATER SUPPLY 20-80 PSI
EQ-6	1	DROP-IN SINK	Advance Tabco	DI-1-10SP				HW/CW	1/2"		INDIRECT	1 1/2"	10" BELOW COUNTER	HOT WATER TEMPERATURE = 140
EQ-8	2	COFFEE BREWER	TBD											SEE PLAN NOTES FOR POWER AND WATER SUPPLY
EQ-9	2	RICE COOKER	TOWN FOOD SERVICE	56822	14.6A	NEMA 5-15P	44"							
EQ-10	1	WORKTOP REFRIGERATOR	True Manufacturing	TW T-67-HC	1.7A	NEMA 5-15P	18"							
EQ-11	1	STAINLESS STEEL WORK TABLE 24"X36"	TBD											
EQ-13	1	VERTICAL CONTACT TOASTER	ANTUNES	VCCT-2-9210907	15A	NEMA 5-15P	44"							
EQ-14	1	HAND SINK	Advance Tabco	7-PS-87				HW/CW	1/2"		DIRECT	1 1/2"	6" BELOW COUNTER	
EQ-15	2	POINT OF SALE	TBD											
EQ-16	1	PAPER TOWEL DISPENSER	TBD											
EQ-17	1	SOAP DISPENSER	TBD											
EQ-18	1	COFFEE ACCESSORY ORGANIZER	TBD											
EQ-19	1	TRASH CAN	TBD											
EQ-20	1	TRASH CAN	TBD											
EQ-21	2	DRIP PAN, TOP MOUNTED WITH GLASS RINSER	PERLICK	C18640A-GRC				CW	1/2"		INDIRECT	1/2"		GLASS RINSER REQUIRES IN-LINE WATER REGULATOR SET TO 15-20PSI
EQ-22	1	WATER FILTRATION SYSTEM	EVERPURE	QC71 TRIPLE 4FC				CW	3/4"					
EQ-23	1	MOP SINK	CUSTOM	CUSTOM										
EQ-30	1	CB STARTER 4VS 24X60X64	CAMBRO	CBU246064VS4580										VENTED FOR DISH OR SMALLWARES DRYING
EQ-32	3	FLAT SHELIVING 18X36X32	CAMBRO	TBD										
EQ-33	1	SHELIVING, WALL MOUNTED	TBD	12X24										
EQ-34	1	SHELIVING, WALL MOUNTED	TBD	12X72										
EQ-35	1	SHELIVING, WALL MOUNTED	TBD	12X48										ADD NO SLIP RAIL AND POT HANGING HOOKS
EQ-36	2	SHELIVING, WALL MOUNTED	TBD	12X48										
EQ-37	1	SHELIVING, WALL MOUNTED	TBD	12X60										
EQ-38	1	SHELIVING, WALL MOUNTED	TBD	12X84										
EQ-39	2	SHELIVING, WALL MOUNTED	TBD	12X36										<varies>
EQ-40	1	4 POLE MOP HOLDER	TBD											
EQ-41	1	3 COMP SINK	ADVANCE TABCO	FC-3-1620-18RL										
EQ-42	1	PREP SINK	ADVANCE TABCO	FC-1-1620-18R										
EQ-43	2	PRE-RINSE FAUCET	FISHER	34410										
EQ-44	1	SHELIVING, WALL MOUNTED	TBD	12X42										
EQ-45	1	SHELIVING, WALL MOUNTED	JOHN BOOS	GRWS24										
EQ-46	2	SHELIVING, WALL MOUNTED	TBD	12X60										
EQ-47	1	ELECTRIC QUIET AIR CURTAIN	MARS AIR, INC	QP8										



1 EQUIPMENT FLOOR PLAN
 1/4" = 1'-0"



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK, CA 91506-1729
 PARCEL 2448-024-002

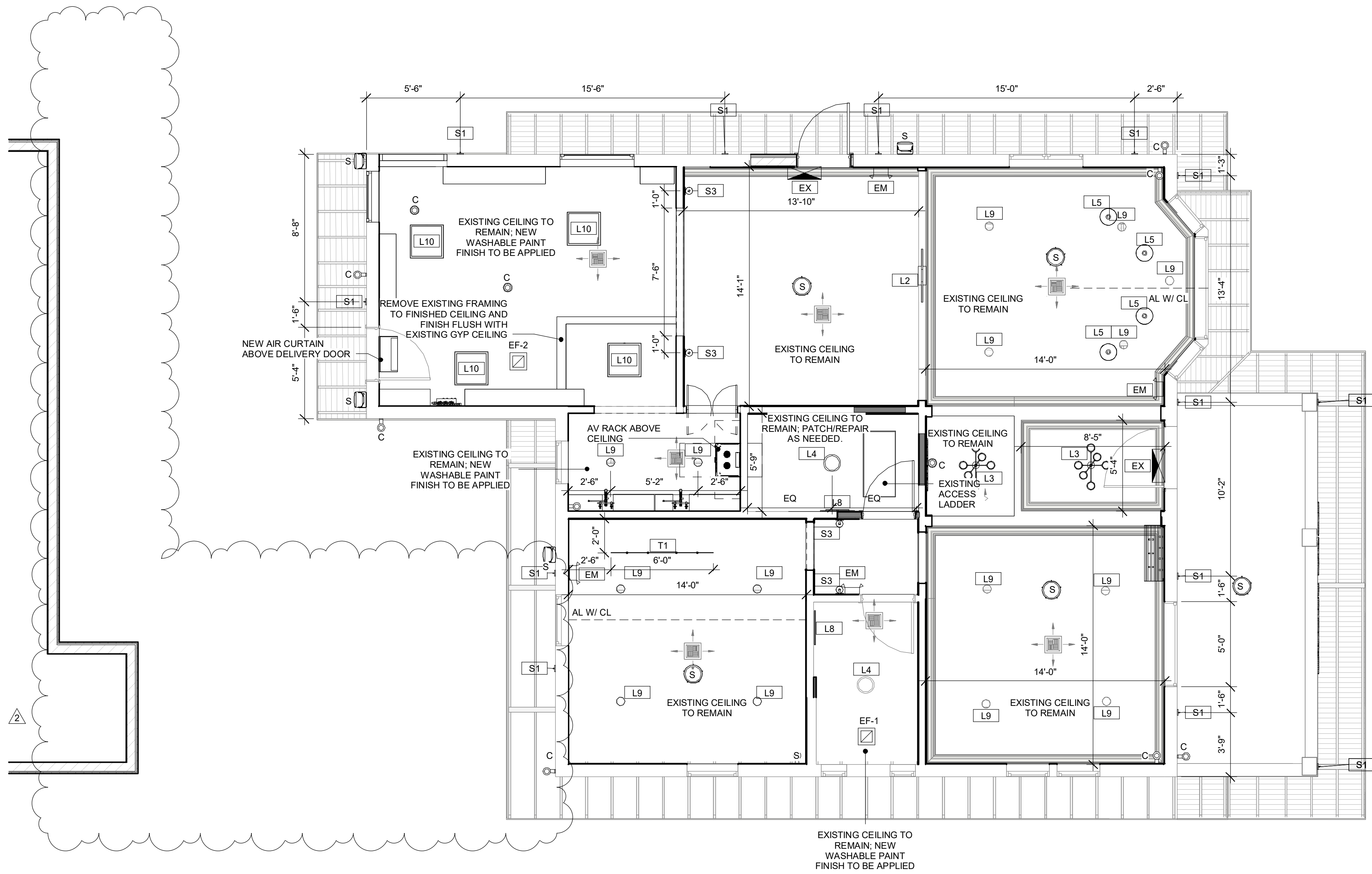
ISSUE DATE:

ISSUED FOR PERMIT 02/03/25
 REV 1 ISSUE FOR PERMIT 05/02/25
 REV 2 CITY COMMENTS 01/07/2026

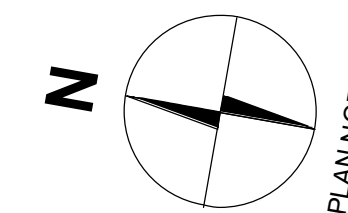
SPACE FOR DELTA / ADDENDUM

EQUIPMENT PLAN, SCHEDULE AND
 ELEVATIONS

A1.2



1 REFLECTED CEILING PLAN
 1/4" = 1'-0"



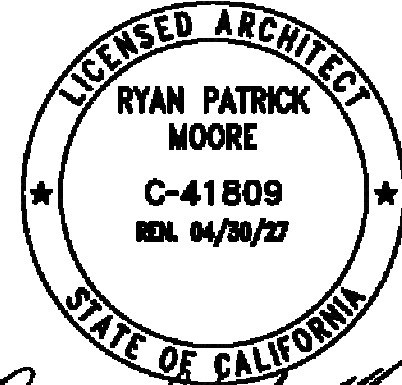
C = CAMERA
 S = SPEAKER

GENERAL NOTES

- A. VERIFY ALL PLACEMENT OF LIGHTS w/ OWNER PRIOR TO INSTALLATION & ROUGH-IN.
- B. SEE ELECTRICAL PLANS FOR ADDITIONAL LIGHTING INFORMATION.
- C. ALL CEILING MATERIAL SHALL NOT EXCEED FLAME CLASS II - FLAME SPREAD INDEX 25-75.
- D. GC SHALL BE RESPONSIBLE TO COORD. THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE THAT PROPER CLEARANCES FOR DUCTS, LIGHTS, PIPING, ETC. ARE MET AND THAT THE CEILING HEIGHTS NOTED ON THE DRAWING ARE MAINTAINED.
- E. GC TO VERIFY REQUIREMENTS & QUANTITIES OF FIRE PROTECTION DEVICES INCLUDING SMOKE DETECTORS, DUCT SMOKE DETECTORS, FIRE ALARMS, RELATED SPEAKERS, STROBES, ETC. LIFE SAFETY INSTALLATIONS TO MEET REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES. PER CODE REVIEW COMMENT, SPRINKLER HEADS & OTHER PENETRATIONS SHALL HAVE A 2-INCH OVERSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1-INCH IN ALL HORIZ. DIRECTIONS.
- F. GC TO CONFIRM LEADTIMES ON ACOUSTICAL CEILING TILES AND CEILING GRID PRIOR TO COMMENCING CONSTRUCTION FOR ON-TIME DELIVERY OF CLG. PRODUCTS.
- G. ELECTRICAL CONTRACTOR SHALL SUPPLY 10% ADDITIONAL SPARE, OF ALL LAMP TYPE, TO BE LEFT AT JOB SITE AT END OF JOB.
- H. GC TO SUPPLY (1) UNOPENED CASE OF EACH TYPE OF CEILING TILE USED.
- I. ALL LIGHTING SHALL BE 20 FC AT 30" AFF. LIGHTING ABOVE FOOD OR UTENSILS SHALL BE SHATTERPROOF.
- J. CAULK JOINTS BETWEEN CEILING GRID AND ADJACENT SURFACES.
- K. EXISTING CONDITIONS CEILING CONDITIONS WHICH CAUSE ATYPICAL CHANGES MUST BE VERIFIED WITH CLIENT, CORPORATION, AND LIGHTING VENDOR.
- L. ALL LIGHT FIXTURES SUSPENDED FROM THE ROOF STRUCTURE w/ UNISTRUT - DO NOT CONNECT JUNCTION BOXES DIRECTLY TO ROOF STRUCTURE. HOLD UNISTRUT CLOSE TO BOTTOM OF STRUCTURE U.N.O.
- M. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED WITH 5 FOOT CANDLES.



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



Ryan Patrick Moore

ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK CA 91506-1729
 PARCEL 2448-024-002

ISSUE DATE:

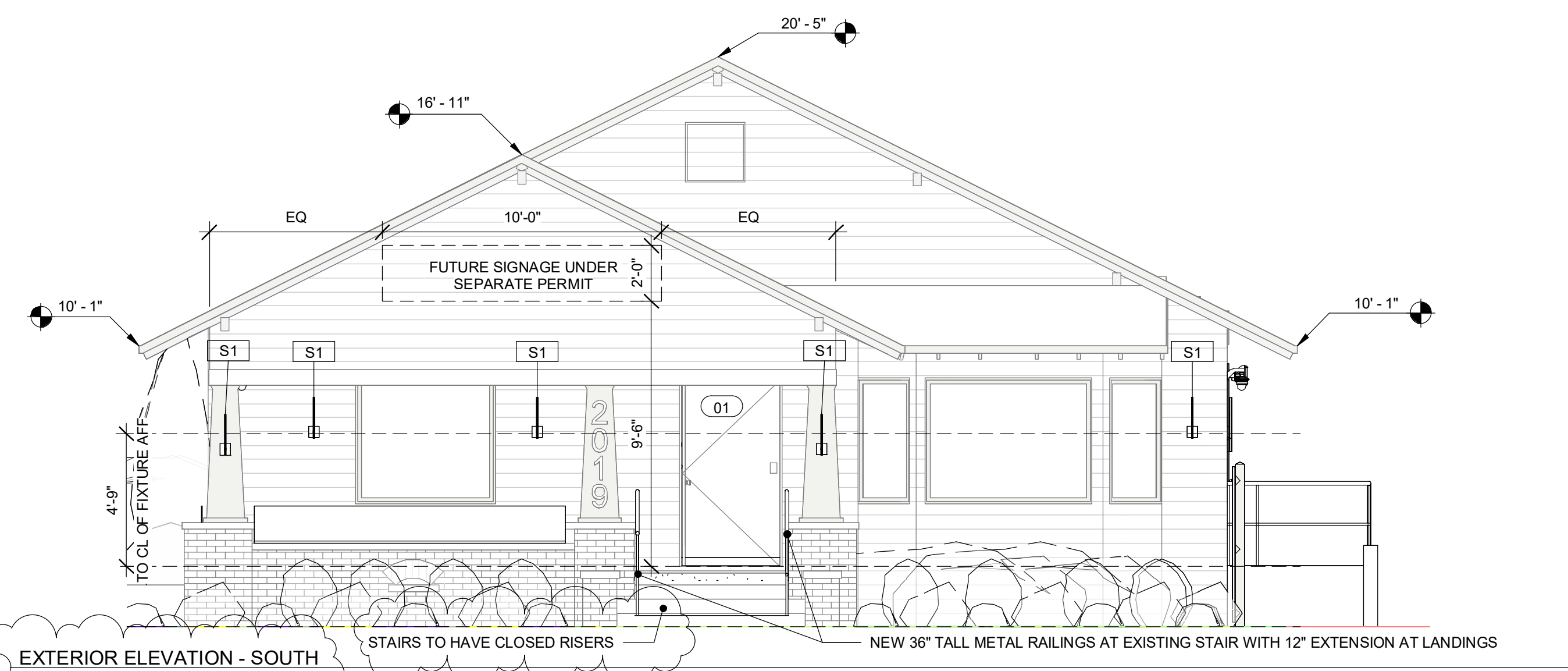
- ISSUED FOR PERMIT 02/03/25
- REV 1 ISSUE FOR PERMIT 05/02/25
- REV 2 CITY COMMENTS 01/07/2026

SPACE FOR DELTA / ADDENDUM

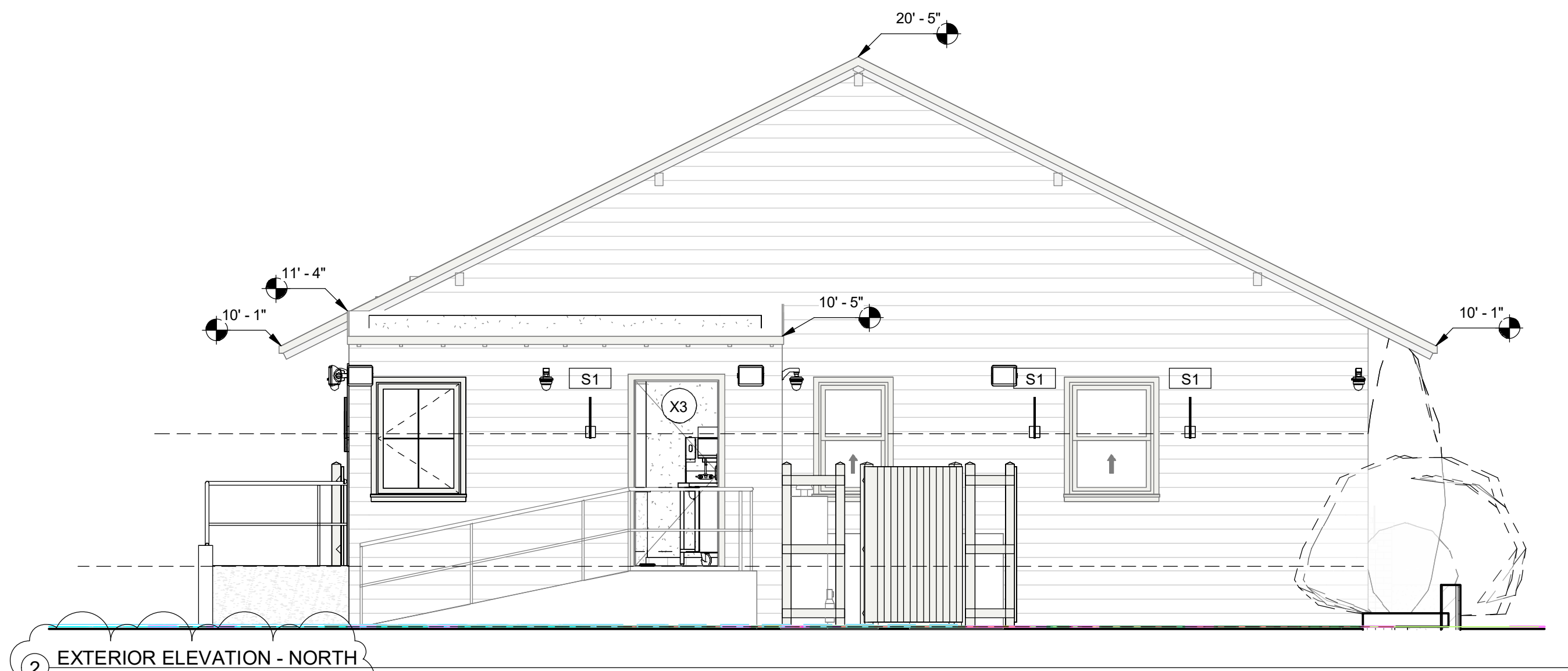
REFLECTED CEILING PLAN

A1.3

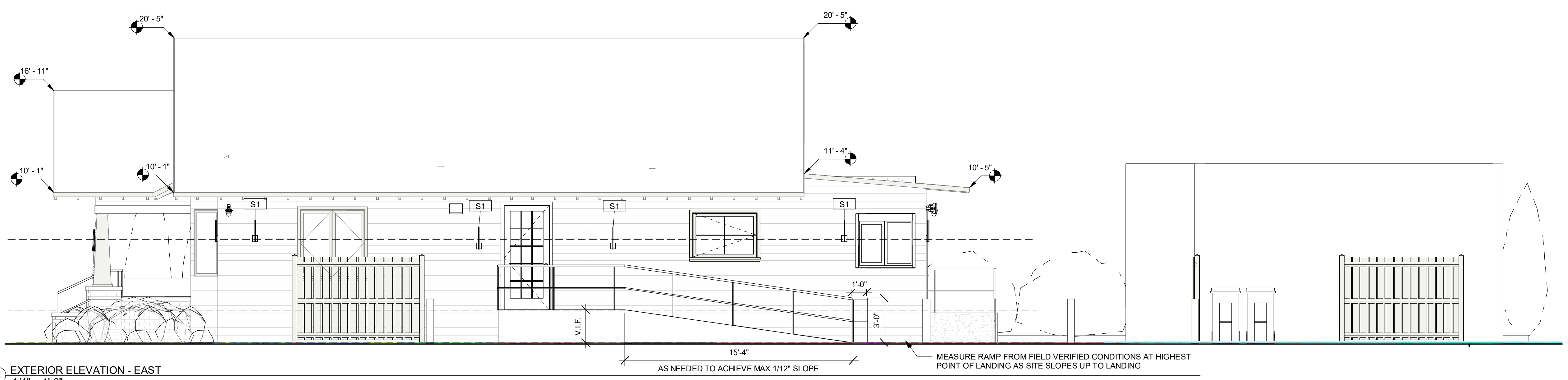
Lighting Fixture Schedule	
Type Mark	DESCRIPTION
EM	EMERGENCY LIGHT FIXTURE REFER TO ELECTRICAL FOR SPEC
EX	EMERGENCY EXIT FIXTURE REFER TO ELECTRICAL FOR SPEC
L2	CEILING MOUNTED PENDANT LIGHT AT BARTOP
L3	CEILING MOUNTED PENDANT LIGHT AT ENTRY
L4	CEILING MOUNTED PENDANT IN RESTROOM
L5	CEILING MOUNTED PENDANT LIGHT AT CAFE
L7	FLOOR LAMP AT LOUNGE
L8	VANITY LIGHT
L9	LED RETROFIT CAN LIGHT FIXTURE REFER TO ELECTRICAL FOR SPEC
L10	LED WASHABLE 2X2 SURFACE MOUNTED FIXTURE TO REPLACE EXISTING; REFER TO ELECTRICAL FOR SPEC
S1	WALL MOUNTED GENERAL LIGHTING SCONCE EXTERIOR
S3	WALL MOUNTED ACCENT LIGHTING SCONCE INTERIOR
T1	RELOCATE EXISTING TRACK LIGHT REPLACE HEADS W/ LED



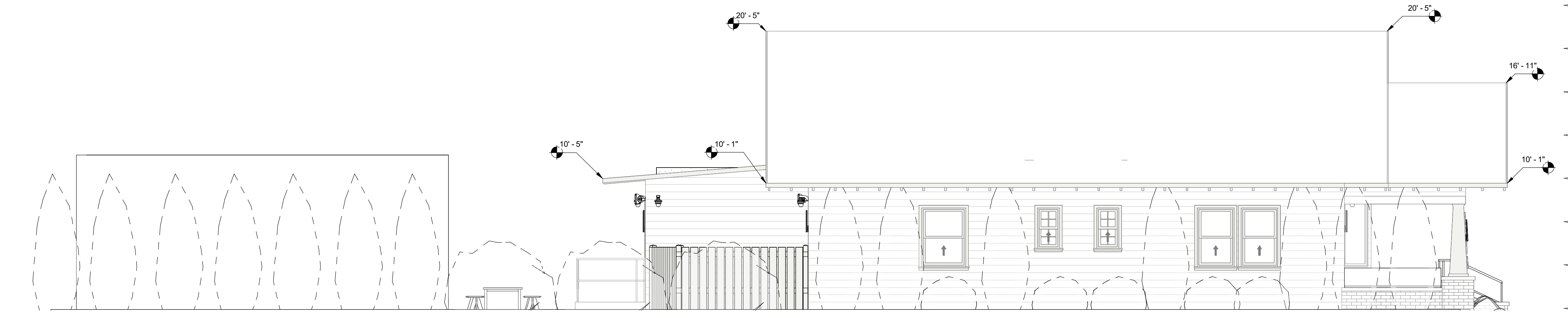
1 EXTERIOR ELEVATION - SOUTH
 1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
 1/4" = 1'-0"



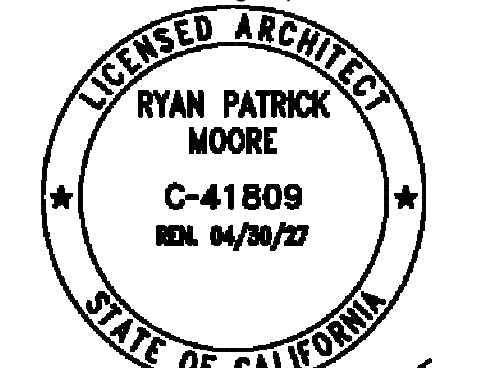
3 EXTERIOR ELEVATION - EAST
 1/4" = 1'-0"



4 EXTERIOR ELEVATION - WEST
 1/4" = 1'-0"



3199 AIRPORT LOOP DR.
 SUITE D
 COSTA MESA, CA 92626
 714.966.9400
 WWW.rsi-group.com



Ryan Patrick Moore
 ENGINEER OF RECORD:



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS -
 NOTIFY ARCHITECT OF ANY
 DISCREPANCIES PRIOR TO BEGINNING
 CONSTRUCTION

PROJECT NAME:

FOUNDERS
 2019 W MAGNOLIA BLVD.
 BURBANK CA 91506-1729
 PARCEL 2448-024-002

ISSUE DATE:

ISSUED FOR PERMIT 02/03/25
 REV 1 ISSUE FOR PERMIT 05/02/25
 REV 2 CITY COMMENTS 01/07/2026

SPACE FOR DELTA / ADDENDUM

EXTERIOR ELEVATIONS

A2.0