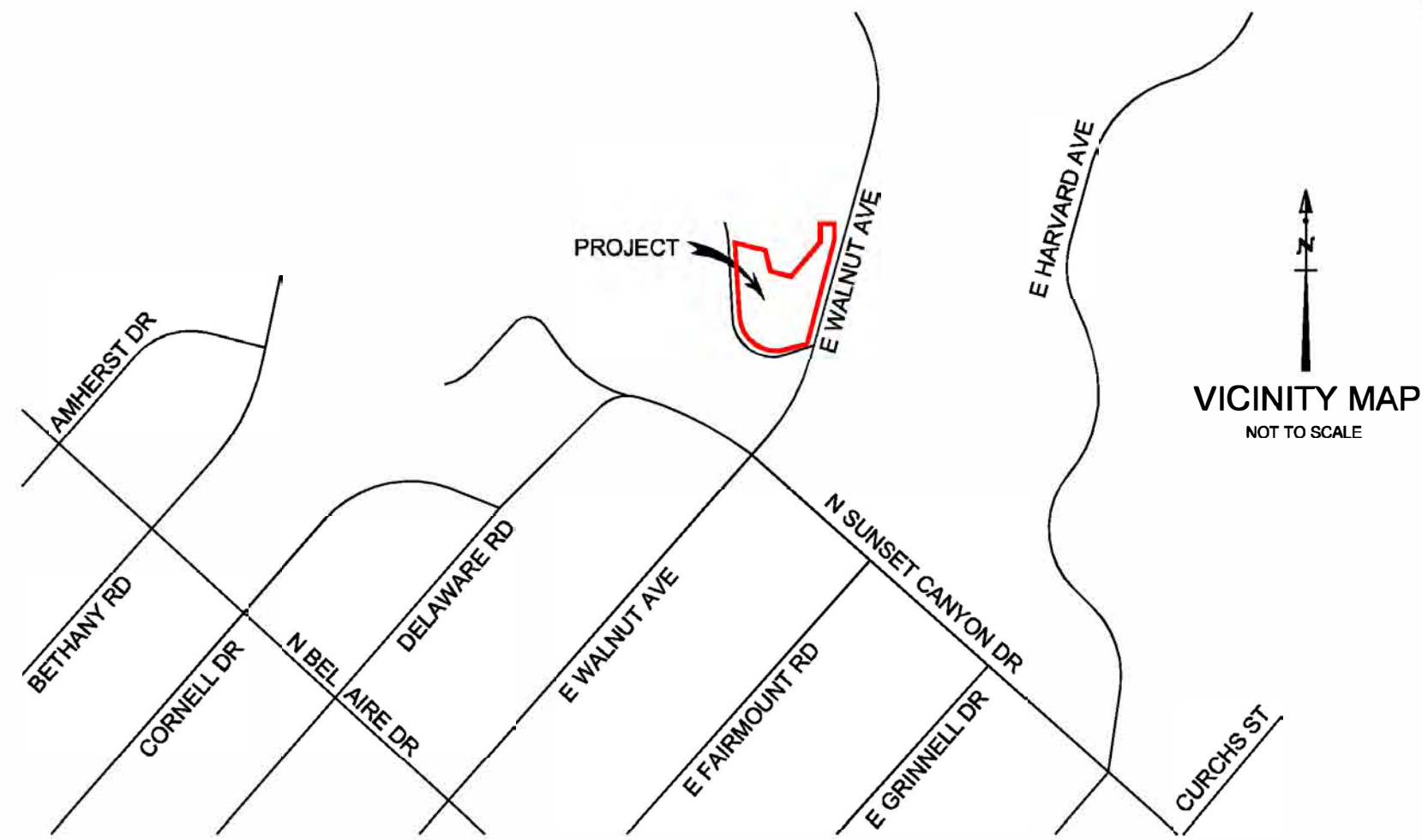
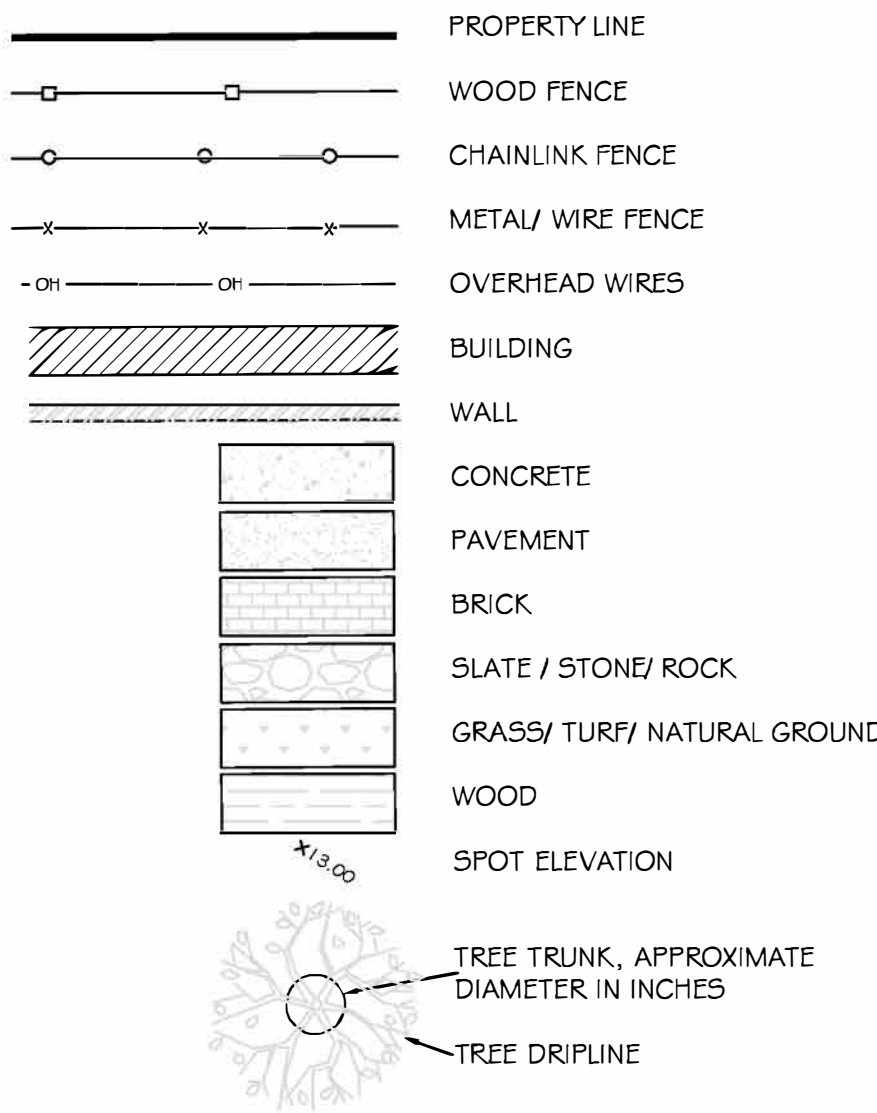


VISTA GRANDE STREET

EAST WALNUT AVENUE



LEGEND:



ABBREVIATIONS

A/C	AIR CONDITIONING
C/L	CENTERLINE
E	EAST
EL	ELEVATION
IF	IRON FENCE
NELY	NORTHEASTERLY
NWLY	NORTHWESTERLY
PL	PROPERTY LINE
SELY	SOUTHEASTERLY
SWLY	SOUTHWESTERLY
T.E.	THRESHOLD ELEVATION

LEGAL DESCRIPTION

PART OF LOT 131 OF SUBDIVISION OF RANCHO PROVIDENCIA AND SCOTT TRACT RECORDED IN BOOK 43 PAGES 47 THROUGH 59 OF LOS ANGELES COUNTY RECORDS

SURVEYOR'S NOTES

- PROJECT BENCHMARK: CITY OF BURBANK BM #2008-1.
- 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 2008-1, 921 SUNSET CANYON DRIVE, AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF SUNSET CANYON DRIVE AND WALNUT AVENUE, ABOUT 22 FEET SOUTH OF THE CENTERLINE OF SUNSET CANYON DRIVE AND ABOUT 48 FEET EAST OF THE CENTERLINE OF WALNUT AVENUE, SET IN THE TOP SOUTHEAST CORNER OF A 7X3.5 FOOT CATCH BASIN ON THE SOUTH SIDE OF SUNSET CANYON DRIVE, 9 FEET EAST OF F.H. #673.

ELEVATION: 959.628 FT.

2. ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.

3. DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

AVERAGE SLOPE & FAR CALCULATIONS

AVERAGE SLOPE:  
 $S = (1 \times L \times 100) / A$  WHERE:  
S = AVERAGE SLOPE IN PERCENT  
L = CONTOUR IN FEET  
A = COMBINED LENGTH IN FEET OF ALL CONTOUR LINES  
A = GROSS AREA OF LOT IN SQUARE FEET  
 $S = (2 \times 10331.14 \times 100) / 42823.80$   
 $S = 48.25\%$

FAR CALCULATION:  
FOR LOTS WITH PERCENT SLOPE OVER 30 % FAR IS 0.30 OF LOT  
FAR =  $42823.80 \times 0.30$   
FAR = 12847.14 SF

SURVEYOR'S CERTIFICATE

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013). I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PLS 9013

CHRISTENSEN & PLOUFF  
LAND SURVEYING  
25501 W. CANYON ROAD, SUITE A  
VALENCIA, CA 91385  
661-645-8800  
www.cplandsurveying.com

DATE: 02/23  
DRAWING SCALE: 1"=16'  
PREPARED BY: KACIE PLOUFF  
APPROVED BY: KACIE PLOUFF  
FILE NAME: SCA-23-184-1141 E WALNUT AVE BURBANK TOPO

1141 E WALNUT AVENUE, BURBANK  
COUNTY OF LOS ANGELES  
STATE OF CALIFORNIA  
APN: 2470-031-002

PROJECT:  
PROJECT NO.  
SCA-23-184  
SHEET NO.  
S0.00

TOPOGRAPHIC SURVEY

CUT-FILL ESTIMATE

4/29/2025

Description	Area s.f.	Average Depth ft.	Cut c.y.	Fill c.y.
Rough grading	see rough grading calculations		575	467
Slab on grade	13,225	1	490	
Footing spoils	6,433	1	238	
R&R	13,225	2	980	980
10 percent contingency			80	

Total Fill	1,447
Total Cut	2,363
Total Export	916
Total Grading	3,809

THE CUT-FILL FIGURES ARE FOR ENGINEERING AND CODE PURPOSES ONLY. THE EARTHWORK QUANTITIES REPRESENT VOLUMES IN THE NATIVE OR COMPACTED SITE. EXCAVATION OF NATIVE SOILS MAY RESULT IN EXPANSION WHICH SHOULD BE TAKEN INTO ACCOUNT WHEN ESTIMATING TRUCKING QUANTITIES.

TOTAL EARTHWORKS

1-800-227-2600 UNDERGROUND SERVICE ALERT



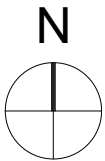
PLAY IT SAFE  
DIAL BEFORE  
YOU DIG!

AT LEAST TWO  
WORKING DAYS  
PRIOR TO EXCAVATING

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
rough grading	1	1	17332 Sq. Ft.	575 Cu. Yd.	467 Cu. Yd.	108 Cu. Yd.<Cut>
Totals			17332 Sq. Ft.	575 Cu. Yd.	467 Cu. Yd.	108 Cu. Yd.<Cut>

2 C-1.5 ROUGH GRADING EARTHWORKS



1 C-1.5 ROUGH GRADING PLAN  
1"=10'

LEGEND

AREA OF CUT	
AREA OF FILL	
NATURAL	
STREETS	
BUILDING PAD	

EARTHWORKS QUANTITY ESTIMATE DISCLAIMER

THE ABOVE LISTED QUANTITIES REFLECT ENGINEER'S ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE ESTIMATES ARE BASED UPON EARTHWORK CALCULATIONS UTILIZING AUTODESK CIVIL 3D DIGITAL TERRAIN MODELS ESTABLISHED BY EXISTING GROUND TOPOGRAPHY AND DESIGN INFORMATION AS INDICATED ON PLAN, AND SHALL BE USED FOR PLAN CHECK AND BOND ESTIMATE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COMPUTING HIS OWN QUANTITIES FOR CONTRACT PURPOSES. THE ESTIMATE DOES NOT INCLUDE THE REMOVAL OF SOILS WITH ORGANIC CONTENT, WHICH WILL BE DETERMINED ON-SITE BY THE SOILS ENGINEER. SHRINKAGE, SWELL, SUBSIDENCE, AND ANY REMOVAL SHOULD BE BASED ON DATA OBTAINED FROM THE SOILS REPORT. FIELD CONDITIONS DURING CONSTRUCTION MAY VARY, RESULTING IN ACTUAL EARTHWORK QUANTITIES DIFFERENT FROM THOSE ESTIMATES ABOVE.

PREPARED UNDER THE DIRECTION OF

SIGNATURE AND DATE

Alex Zlotnik



PRELIMINARY  
NOT FOR CONSTRUCTION

AZ  
CE  
AZ CIVIL ENGINEERING  
18521 MAYALL ST., # 11, NORTHridge, CA 91324  
(818) 687-4917  
EMAIL: AZCE@LIVE.COM

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING / GEOTECHNICAL REPORTS DATED

SIGNATURE AND DATE

NO.	DATE	REVISIONS DESCRIPTION
1	09/09/24	CONCEPT
2	12/30/24	RW HEIGHTS REDUCED TO 4'
3	2/07/25	MADE RW HEIGHT 8', MOVED BUILDING

SHEET TITLE  
ROUGH GRADING PLAN  
1141 E WALNUT AVE  
BURBANK, CA 91501

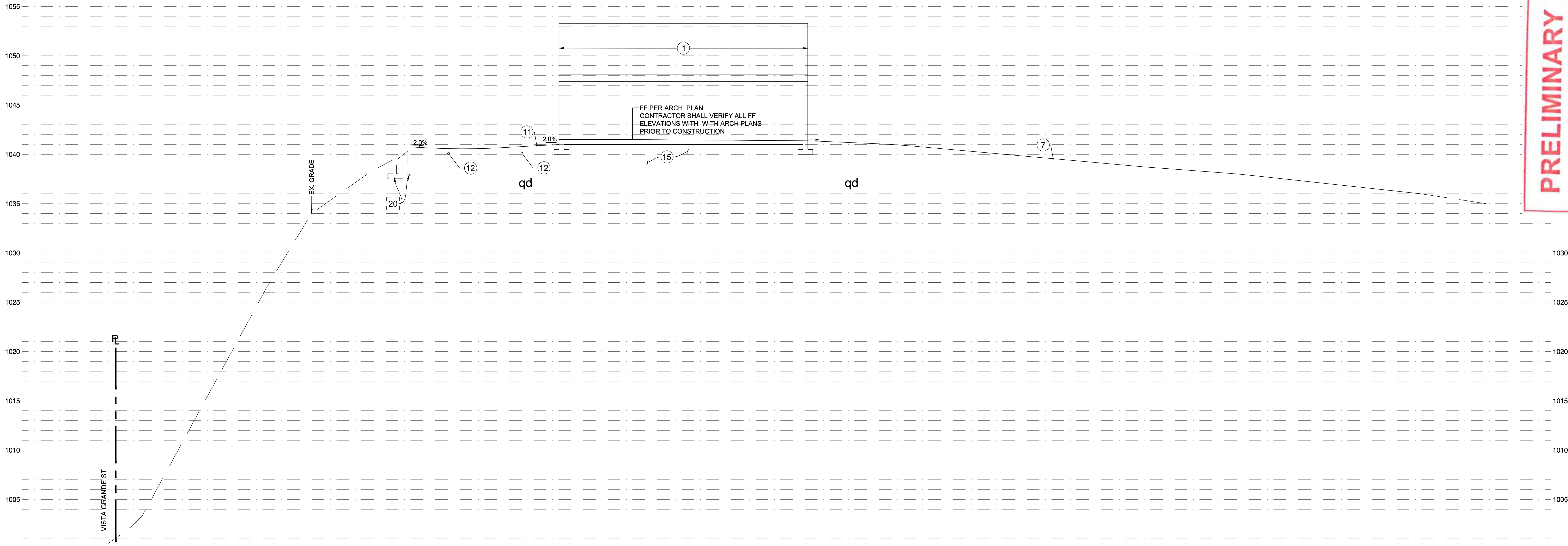
SHEET No.

C 1.5

23-04-25

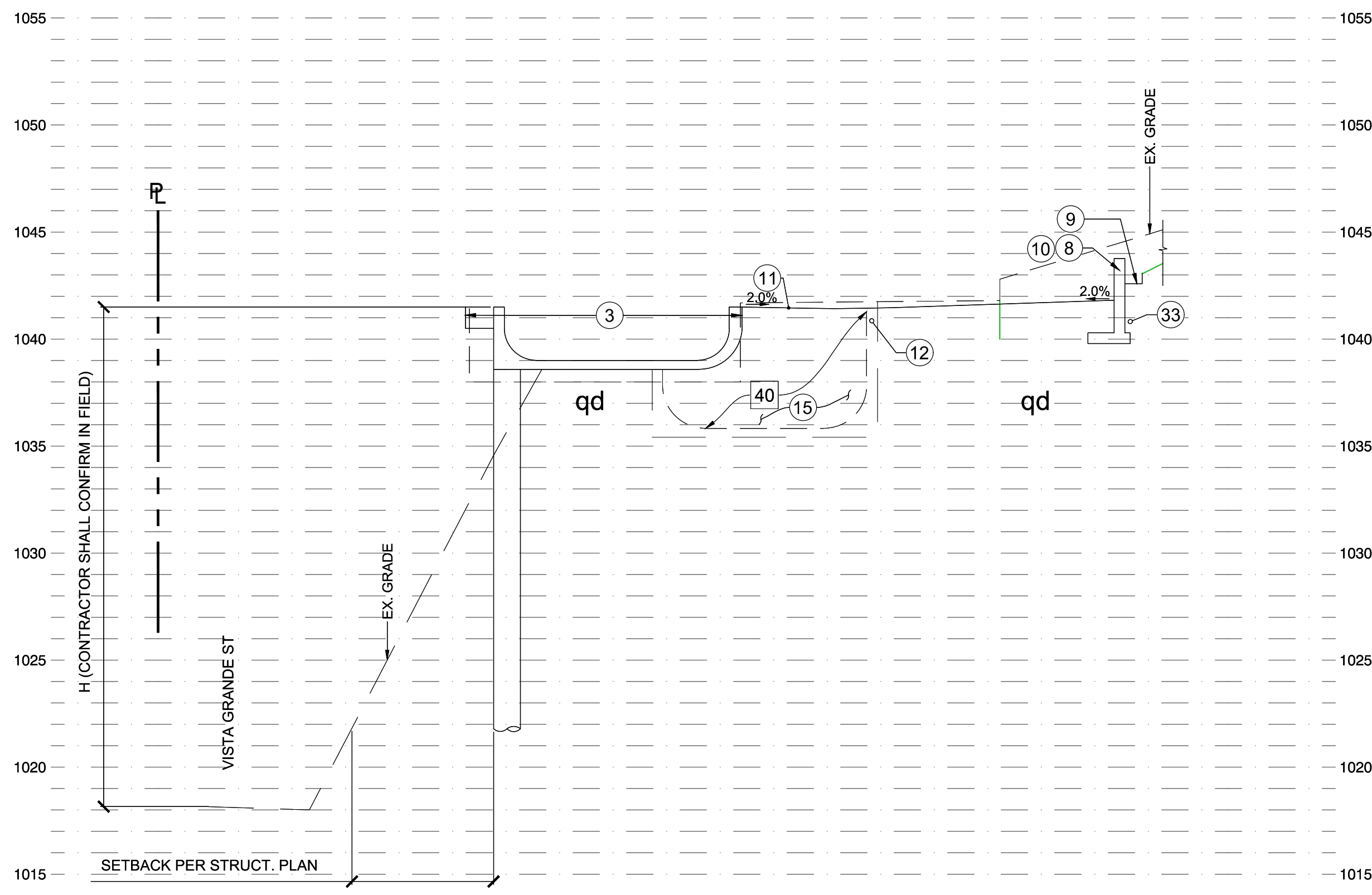
azce prj # 24-020



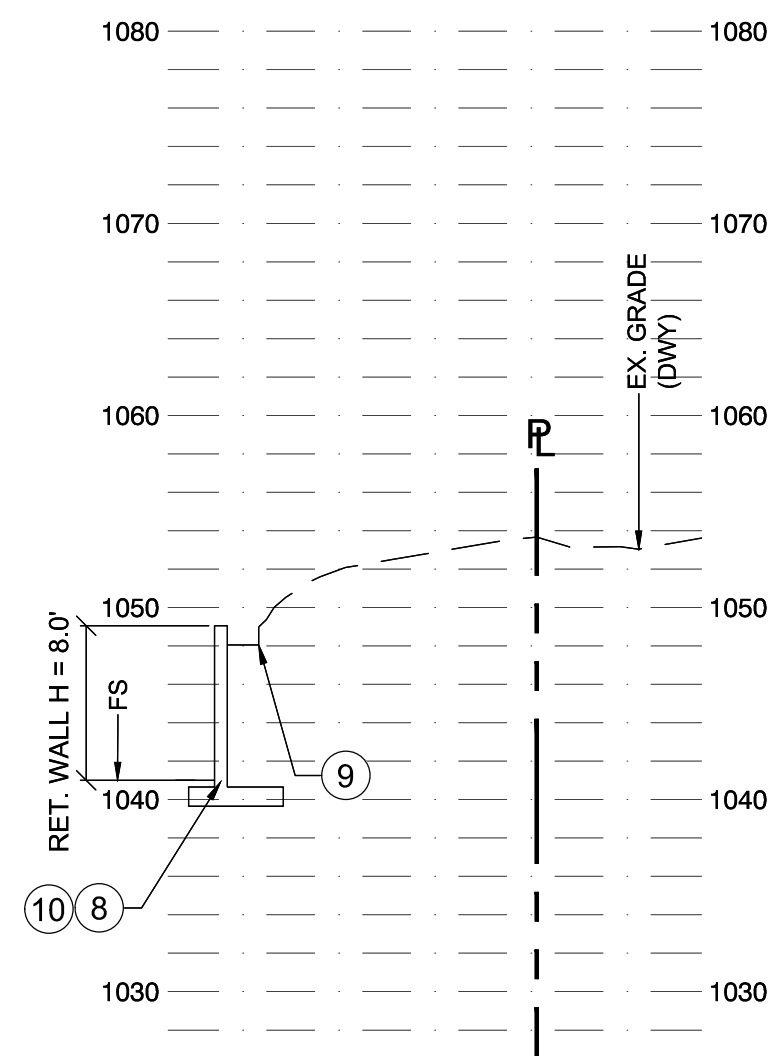


### CONSTRUCTION NOTES

- BUILDING PER ARCHITECTURAL AND STRUCTURAL PLANS
- LANDSCAPE PER ARCH. PLAN
- POOL AND SPA PER STRUCTURAL PLAN
- WATER FEATURE PER STRUCTURAL PLAN
- POOL BATH PER STRUCT. PLAN
- POOL EQUIPMENT PER MEP
- DWY PAVEMENT PER DETAIL 2 ON SHEET C-4.0
- RETAINING WALL PER STRUCTURAL PLAN. FREEBOARD PER SOILS ENGINEER (12'-HIGH MIN)
- 12'-WIDE CONC. SWALE @ 1% MIN PER SPPWC STD 617-3
- WATERPROOFING PER ARCH. PLAN
- HARDSCAPE, BASE PREPARATION PER SOILS REPORT. FINISH PER ARCH. PLAN
- DRAINAGE SYSTEM PER SHEET C-2.5
- FENCE PER ARCH. PLAN. PROVIDE OPEN BOTTOM.
- STRUCT. DECK PER STRUCT. PLAN
- REMOVE AND RECOMPACT BASED ON SOILS ENGINEER'S SITE INSPECTIONS
- PROTECT IN PLACE EX. RET. WALL
- BACKFILL EX. POOL AND SPA PER SOILS REPORT
- EXISTING CURB DRAIN. CONTRACTOR SHALL PERFORM CCTV INSPECTION TO VERIFY THE PIPE'S CONDITION PRIOR TO CONSTRUCTION. POTHOLE TO IDENTIFY THE POINT OF CONNECTION. ENSURE ADEQUATE PIPE CONDITION PRIOR TO PROCEEDING.
- JOIN EXISTING CURB DRAIN
- CURB DRAIN PER SPPWC STD 150-3
- SUBDRAIN PER STRUCT. PLAN AND SOILS REPORT
- DISCHARGE SUBDRAIN TO SLOPE
- WALL DRAIN WITH PIPE DOME PER SPPWC STD 617-3
- CONNECT ROOF DRAINS TO SITE DRAINAGE SYSTEM
- WFF100 RAINWATER PRE-TREATMENT SYSTEM PER DETAIL ON SHEET C-4.0 OR APPROVED EQUAL. PROVIDE 6" TO 4" PIPE REDUCER AND EXTENSION TUBE AS REQ'D. COORDINATE INVERT ELEVATIONS WITH MANUFACTURER'S PRIOR TO CONSTRUCTION.
- RAINWATER HARVESTING CISTERN PER DETAIL ON SHEET C-4.0
- CONNECT TO IRRIGATION SYSTEM. FOR CONTINUATION SEE LANDSCAPE IRRIGATION PLAN.
- GRAVITY OVERFLOW TO STREET



1  
C-2.1 SECTION A  
hor: 1" = 10', ver 1" = 5'



3  
C-2.1 SECTION C  
1" = 10'

2  
C-2.1 SECTION B  
hor: 1" = 10', ver 1" = 5'

PREPARED UNDER THE DIRECTION OF

SIGNATURE AND DATE

Alex Zlotnik



SHEET TITLE

SECTIONS  
1141 E WALNUT AVE  
BURBANK, CA 91501

SHEET No.

C 2.1

23-04-25

azce prj # 24-020

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING / GEOLOGIC REPORTS DATED

NO.	DATE	REVISIONS DESCRIPTION
1	09/09/24	CONCEPT
2	12/30/24	RW HEIGHTS REDUCED TO 4'
3	2/07/25	MADE RW HEIGHT 8'. MOVED BUILDING

SIGNATURE AND DATE

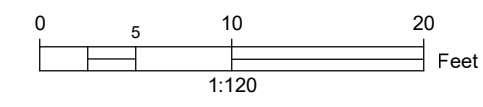
AZ CIVIL ENGINEERING  
18521 MAYALL ST., # 101, NORTHridge, CA 91324  
(818) 687-4917  
EMAIL: AZCE@LIVE.COM



PRELIMINARY  
NOT FOR CONSTRUCTION



- CONSTRUCTION SYMBOLS**
- CONSTRUCT
  - ◻ EXISTING
  - ◻ REMOVE
  - ◻ REMODEL EXIST.
  - ◻ REMOVE & CONST.
  - ◻ WORK BY OTHERS
- CONSTRUCTION NOTES**
- BUILDING PER ARCHITECTURAL AND STRUCTURAL PLANS
  - LANDSCAPE PER ARCH. PLAN
  - POOL AND SPA PER STRUCTURAL PLAN
  - WATER FEATURE PER STRUCTURAL PLAN
  - POOL BATH PER STRUCT. PLAN
  - POOL EQUIPMENT PER MEP
  - DWY PAVEMENT PER DETAIL 2 ON SHEET C-4.0
  - RETAINING WALL PER STRUCTURAL PLAN. FREEBOARD PER SOILS ENGINEER (12" HIGH MIN)
  - 12" WIDE CONC. SWALE @ 1% MIN PER SPPWC STD 617-3
  - WATERPROOFING PER ARCH. PLAN
  - HARDSCAPE, BASE PREPARATION PER SOILS REPORT. FINISH PER ARCH. PLAN
  - DRAINAGE SYSTEM PER SHEET C-2.5
  - FENCE PER ARCH. PLAN. PROVIDE OPEN BOTTOM.
  - STRUCT. DECK PER STRUCT. PLAN
  - REMOVE AND RECOMPACT BASED ON SOILS ENGINEER'S SITE INSPECTIONS
  - PROTECT IN PLACE EX. RET. WALL
  - BACKFILL EX. POOL AND SPA PER SOILS REPORT
  - EXISTING CURB DRAIN. CONTRACTOR SHALL PERFORM CCTV INSPECTION TO VERIFY THE PIPE'S CONDITION PRIOR TO CONSTRUCTION. POT HOLE TO IDENTIFY THE POINT OF CONNECTION. ENSURE ADEQUATE PIPE CONDITION PRIOR TO PROCEEDING.
  - JOIN EXISTING CURB DRAIN
  - CURB DRAIN PER SPPWC STD 150-3
  - SUBDRAIN PER STRUCT. PLAN AND SOILS REPORT
  - DISCHARGE SUBDRAIN TO SLOPE
  - WALL DRAIN WITH PIPE DOME PER SPPWC STD 617-3
  - CONNECT ROOF DRAINS TO SITE DRAINAGE SYSTEM
  - WFF100 RAINWATER PRE-TREATMENT SYSTEM PER DETAIL ON SHEET C-4.0 OR APPROVED EQUAL. PROVIDE 6" TO 4" PIPE REDUCER AND EXTENSION TUBE AS REQ'D. COORDINATE INVERT ELEVATIONS WITH MANUFACTURER'S PRIOR TO CONSTRUCTION.
  - RAINWATER HARVESTING CISTERN PER DETAIL ON SHEET C-4.0
  - CONNECT TO IRRIGATION SYSTEM. FOR CONTINUATION SEE LANDSCAPE IRRIGATION PLAN.
  - GRAVITY OVERFLOW TO STREET



2  
C-2.5  
DRAINAGE PLAN  
1" = 10'

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**AZ CIVIL ENGINEERING**  
18521 MAYALL ST., # 10, NORTHridge, CA 91324  
PHONE: (818) 687-4917  
EMAIL: AZCE@LIVE.COM

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING / GEOTECHNICAL REPORT DATED: \_\_\_\_\_  
SIGNATURE AND DATE: \_\_\_\_\_

NO.	DATE	DESCRIPTION
1	09/09/24	CONCEPT
2	12/30/24	RW HEIGHTS REDUCED TO 4"
3	2/07/25	MADE RW HEIGHT 8" MOVED BUILDING

SHEET TITLE  
**DRAINAGE PLAN  
1141 E WALNUT AVE  
BURBANK, CA 91501**

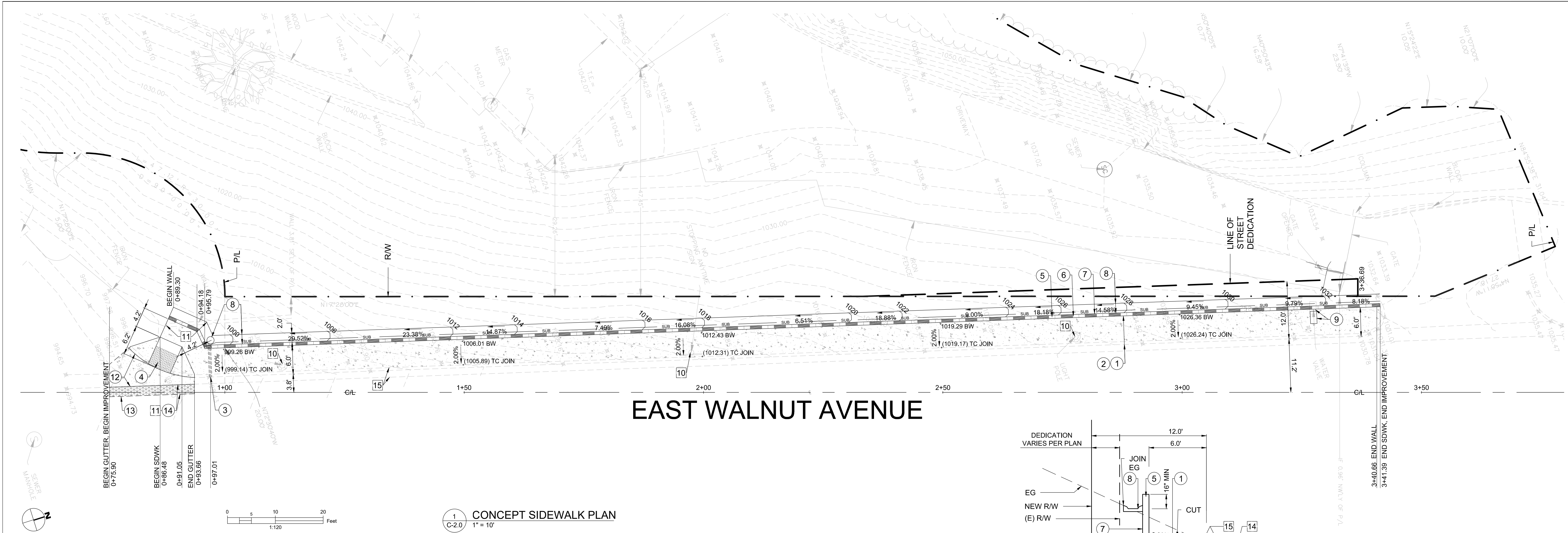
SHEET No.  
**C 2.5**

23-04-25  
azce prj # 24-020

PREPARED UNDER THE DIRECTION OF

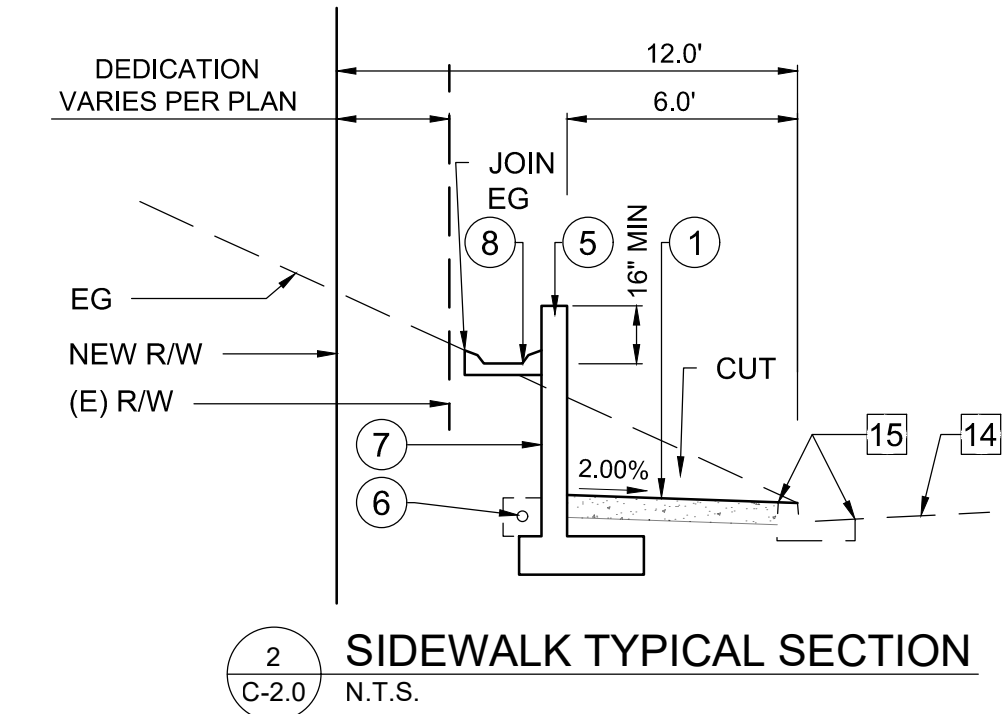
SIGNATURE AND DATE *Alex Zlotnik*





## EAST WALNUT AVENUE

1  
C-2.0  
CONCEPT SIDEWALK PLAN  
1" = 10'



### CONSTRUCTION SYMBOLS

- |   |           |   |                 |
|---|-----------|---|-----------------|
| ○ | CONSTRUCT | ○ | REMOVE EXIST.   |
| □ | EXISTING  | □ | REMOVE & CONST. |
| □ | REMOVE    | ○ | WORK BY OTHERS  |

### PW CONSTRUCTION NOTES

- 6'-WIDE SDWK PER CITY OF BURBANK STD BS-104-1
- JOINTS PER CITY OF BURBANK STD BS-105
- CURB DRAIN PER CITY OF BURBANK STD BS-107
- ACCESS RAMP PER STD RSP A88A DETAIL 'B'
- RETAINING WALL PER STRUCTURAL PLAN (7'-HIGH AND VARIES PER PLAN)
- RETAINING WALL SUBDRAIN PER STRUCTURAL PLAN
- RETAINING WALL WATERPROOFING BY OTHERS
- WALL GUTTER AND OUTLET TO CURB PER SPPWC STD 617-3
- RELOCATE WATER VALVE / METER PER SEPARATE PERMIT
- PROTECT IN PLACE
- DEMOLISH PORTION OF EX. WALL THAT INTERFERE W/ PROPOSED CONSTR
- CROSS GUTTER PER CITY OF BURBANK STD BS-106
- SAWCUT AND JOIN
- 4" ASPHALT CONCRETE PAVEMENT OVER 4" UNTREATED BASE MATERIAL
- PROTECT IN PLACE EXISTING CURB AND GUTTER

### LEGEND

- |  |                                                   |
|--|---------------------------------------------------|
|  | 4" ASPHALT CONCRETE PAVEMENT OVER 4" UNTREATED BA |
|  | CONSTRUCT PCC PAVEMENT                            |

- |  |                                            |
|--|--------------------------------------------|
|  | WOOD FENCE                                 |
|  | CHAINLINK FENCE                            |
|  | METAL WIRE FENCE                           |
|  | OVERHEAD WIRES                             |
|  | BUILDING                                   |
|  | WALL                                       |
|  | CONCRETE                                   |
|  | PAVEMENT                                   |
|  | BRICK                                      |
|  | SLATE / STONE/ ROCK                        |
|  | GRASS/ TURF/ NATURAL GROUND                |
|  | WOOD                                       |
|  | SPOT ELEVATION                             |
|  | TREE TRUNK, APPROXIMATE DIAMETER IN INCHES |
|  | TREE DRIPLINE                              |

### LEGAL DESCRIPTION

PART OF LOT 13.1 OF SUBDIVISION OF RANCHO PROVIDENCIA AND SCOTT TRACT RECORDED IN BOOK 43 PAGES 47 THROUGH 59 OF LOS ANGELES COUNTY RECORDS

### SURVEYOR'S NOTES

- PROJECT BENCHMARK: CITY OF BURBANK BM #2008-1.
- 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 2008-1, 921 SUNSET CANYON DRIVE, AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF SUNSET CANYON DRIVE AND WALNUT AVENUE, ABOUT 22 FEET SOUTH OF THE CENTERLINE OF SUNSET CANYON DRIVE AND ABOUT 46 FEET EAST OF THE CENTERLINE OF WALNUT AVENUE, SET IN THE TOP SOUTHEAST CORNER OF A 7X3.5 FOOT CATCH BASIN ON THE SOUTH SIDE OF SUNSET CANYON DRIVE, 9 FEET EAST OF F.H. #673.

ELEVATION: 959.628 FT.

- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.

- DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

### SURVEY ABBREVIATIONS

- |      |                     |
|------|---------------------|
| ELY  | EASTERLY            |
| EL   | ELEVATION           |
| IF   | IRON FENCE          |
| NELY | NORTHEASTERLY       |
| NWLY | NORTHWESTERLY       |
| P/L  | PROPERTY LINE       |
| SELY | SOUTHEASTERLY       |
| SWLY | SOUTHWESTERLY       |
| T.E. | THRESHOLD ELEVATION |

### ABBREVIATIONS

- |      |                    |
|------|--------------------|
| AC   | ASPHALT CONCRETE   |
| AVE  | AVENUE             |
| BW   | BACK OF WALK       |
| C/L  | CENTER LINE        |
| COL  | COLUMN             |
| DT   | DIRT               |
| E    | EXISTING           |
| EG   | EXISTING GRADE     |
| EL   | ELEVATION          |
| ELEC | ELECTRIC           |
| FF   | FINISHED FLOOR     |
| FG   | FINISHED GRADE     |
| FL   | FLOW LINE          |
| FS   | FINISHED SURFACE   |
| H    | HEIGHT             |
| MIN  | MINIMUM            |
| OH   | OVERHANG           |
| P/L  | PROPERTY LINE      |
| R    | RADIUS             |
| R/W  | RIGHT-OF-WAY       |
| STA  | STATION            |
| TC   | TOP OF CURB        |
| TR   | TRACT              |
| VAR  | VARIES             |
| WIF  | WROUGHT IRON FENCE |
| Ø    | DIAMETER           |

PREPARED UNDER THE DIRECTION OF

SIGNATURE AND DATE

Alex Zlotnik



SHEET TITLE

SIDEWALK PLAN  
1141 E WALNUT AVE  
BURBANK, CA 91501

SHEET NO.

PW 1.0

14-07-25

azce prj # 24-020

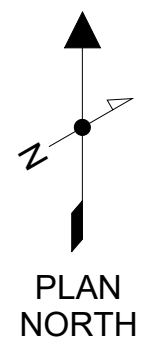
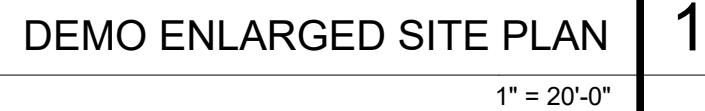
THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING / GEOTECHNICAL REPORTS DATED

- | NO. | DATE     | REVISIONS DESCRIPTION             |
|-----|----------|-----------------------------------|
| 1   | 09/09/24 | CONCEPT                           |
| 2   | 12/30/24 | REDUCED TO 4'                     |
| 3   | 2/07/25  | MADE RW HEIGHT 8', MOVED BUILDING |
| 4   | 7/14/25  | SDWK PLAN                         |


SIGNATURE AND DATE

AZ CIVIL ENGINEERING  
18521 MAYALL ST., # 1, NORTHridge, CA 91324  
(818) 687-4917  
EMAIL: AZCE@LIVE.COM





1. THE CONTRACTOR SHALL PROTECT EXISTING TO REMAIN, NEW WORK, AND ALL ADJACENT PROPERTY AND LANDSCAPE FROM LOSS OR DAMAGE RESULTING FROM OPERATIONS FOR THE DURATION OF THE PROJECT. IN THE EVENT OF SUCH LOSS OR DAMAGE BY THE CONTRACTOR OR HIS SUBCONTRACTORS, THE CONTRACTOR SHALL MAKE SUCH REPLACEMENTS OR REPAIRS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
2. REFER TO CIVIL DRAWINGS FOR ALL NOTES AND INFORMATION RELATED TO EXISTING AND PROPOSED UTILITIES INCLUDING LOCATION OF EXISTING UTILITIES PRIOR TO ANY SITE DEMOLITION OR CLEARING OR ASSOCIATED WITH ANY SITE GRADING OR TRENCHING OPERATIONS.
3. ALL EXISTING AND PROPOSED UTILITY STRUCTURES INCLUDING BUT NOT LIMITED TO VALVE BOXES, SEWER AND STORM STRUCTURES, ELECTRICAL, WATER, GAS AND TELEPHONE BOXES AND VAULTS OCCURRING IN THE LOCATION OF PROPOSED IMPROVEMENTS SHALL BE RESET TO THE PROPER GRADE BASED ON PROPOSED GRADES.
4. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS, REFER TO CIVIL DRAWINGS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN. THE EXACT LOCATION AND ELEVATION OF UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR.
5. CONTRACTOR TO RECYCLE, STRATEGIZE WASTE REDUCTION, & DIVERSIFY DEMOLISHED MATERIALS WHERE POSSIBLE.

	REVISIONS		
		TYPE	DATE

PROJECT  
**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90501

DATE 8/7/2025  
2:11:37 PM

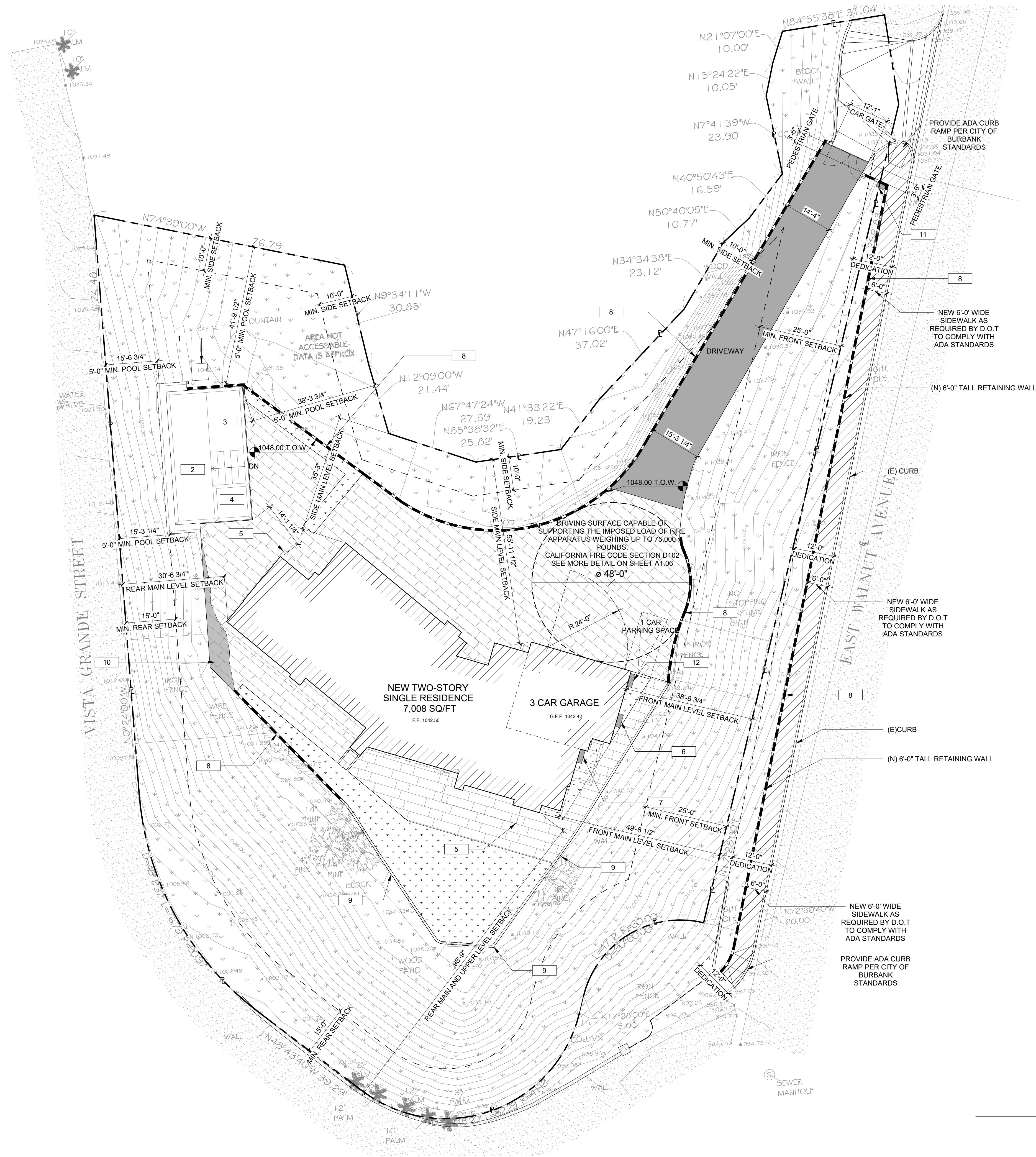
#

SITE DEMO

AD1.00

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

**(DRAWING SET NOTE)**



SITE PLAN NOTES

- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
- COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPEMENT OR WORK.
- "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- PLAN DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTER LINES OF COLUMNS AND STUDS IN PARTITION WALLS U.N.O.
- HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.

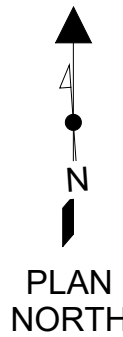
LEGEND

- PROPERTY LINES
- BUILDING SETBACK
- RETAINING WALL
- HARDSCAPE
- LANDSCAPE. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- DRIVEWAY
- SIDEWALK

KEYNOTES

- (N) POOL EQUIPEMENT
- (N) SWIMMING POOL (SEPARATE PERMIT)
- (N) BAJA
- (N) JACUZZI
- OUTLINE OF ROOF ABOVE
- (N) TANKLESS WATER HEATER
- (N) GAS METER LOCATION
- (N) RETAINING WALL, SEE CIVIL/STRUCTURAL DRAWINGS
- (E) BLOCK WALL TO REMAIN
- (N) STRUCTURAL SLAB, SEE STRUCTURAL DRAWINGS
- (N) WATER METER
- (N) ELECTRIC METER

PROPOSED SITE PLAN | 1  
1/16" = 1'-0"



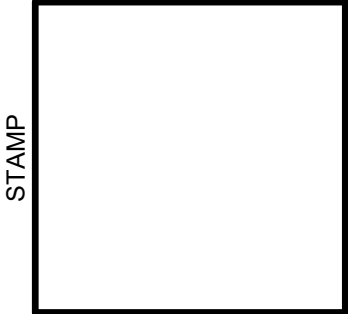
The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM  
©COPYRIGHT 2024

REVISIONS	
NO.	DATE

PROJECT  
WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

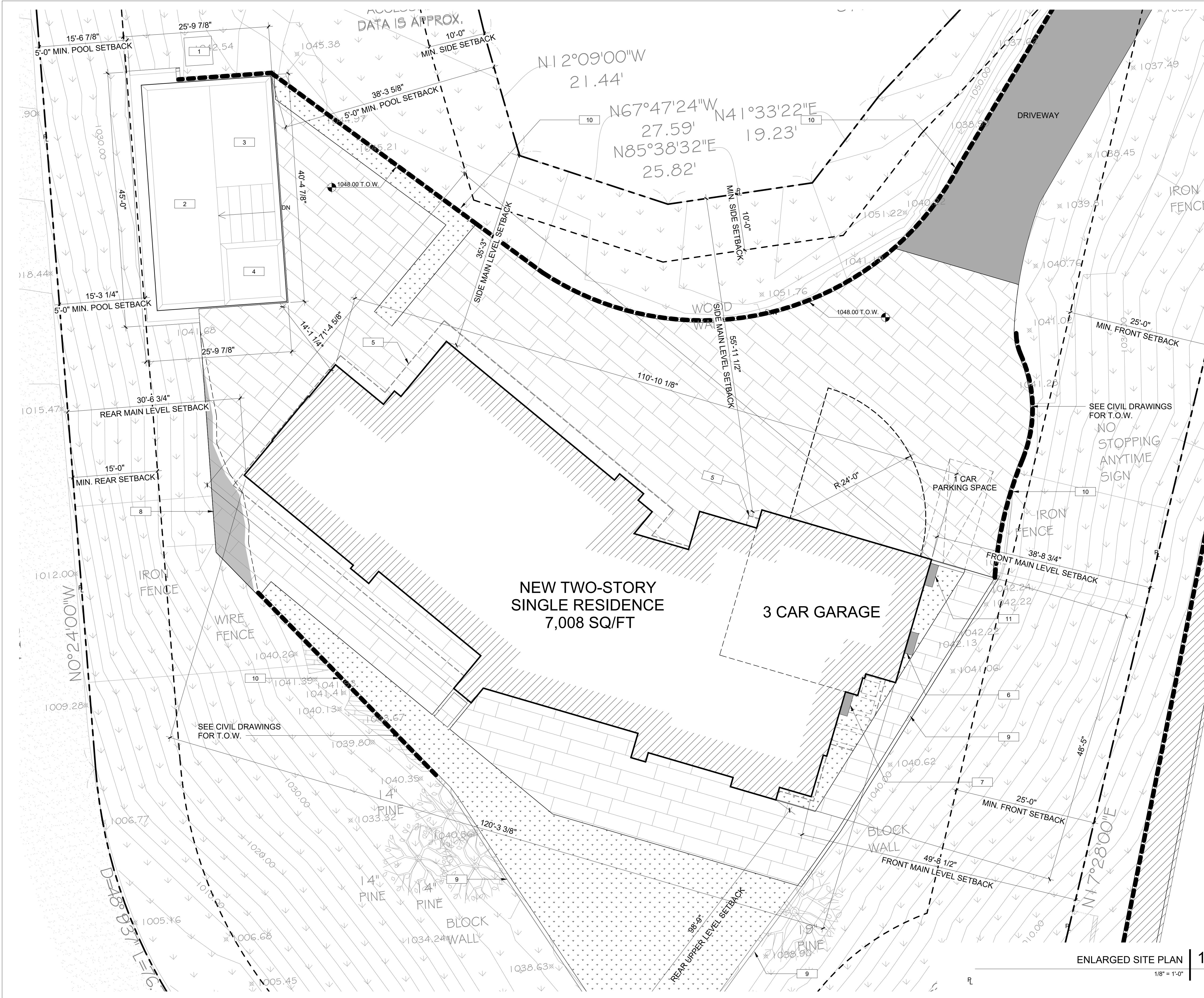


DATE  
8/7/2025  
2:52:12 PM

#

OVERALL  
SITE PLAN

SHEET NO.  
A1.00



# SITE PLAN NOTES

- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
- COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPEMENT OR WORK.
- "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- PLAN DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTER LINES OF COLUMNS AND STUDS IN PARTITION WALLS U.N.O.
- HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.

# LEGEND

- PROPERTY LINES
- BUILDING SETBACK
- RETAINING WALL
- HARDSCAPE
- LANDSCAPE. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- DRIVEWAY
- SIDEWALK

# KEYNOTES

- (N) POOL EQUIPMENT
- (N) SWIMMING POOL (SEPARATE PERMIT)
- (N) BAJA
- (N) JACUZZI
- OUTLINE OF ROOF ABOVE
- (N) TANKLESS WATER HEATER
- (N) GAS METER LOCATION
- (N) STRUCTURAL SLAB, SEE STRUCTURAL DRAWINGS
- (E) BLOCK WALL TO REMAIN
- (N) RETAINING WALL, SEE CIVIL/STRUCTURAL DRAWINGS
- (N) ELECTRIC METER

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

©COPYRIGHT 2024

REVISIONS	
NO.	DATE

PROJECT

WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

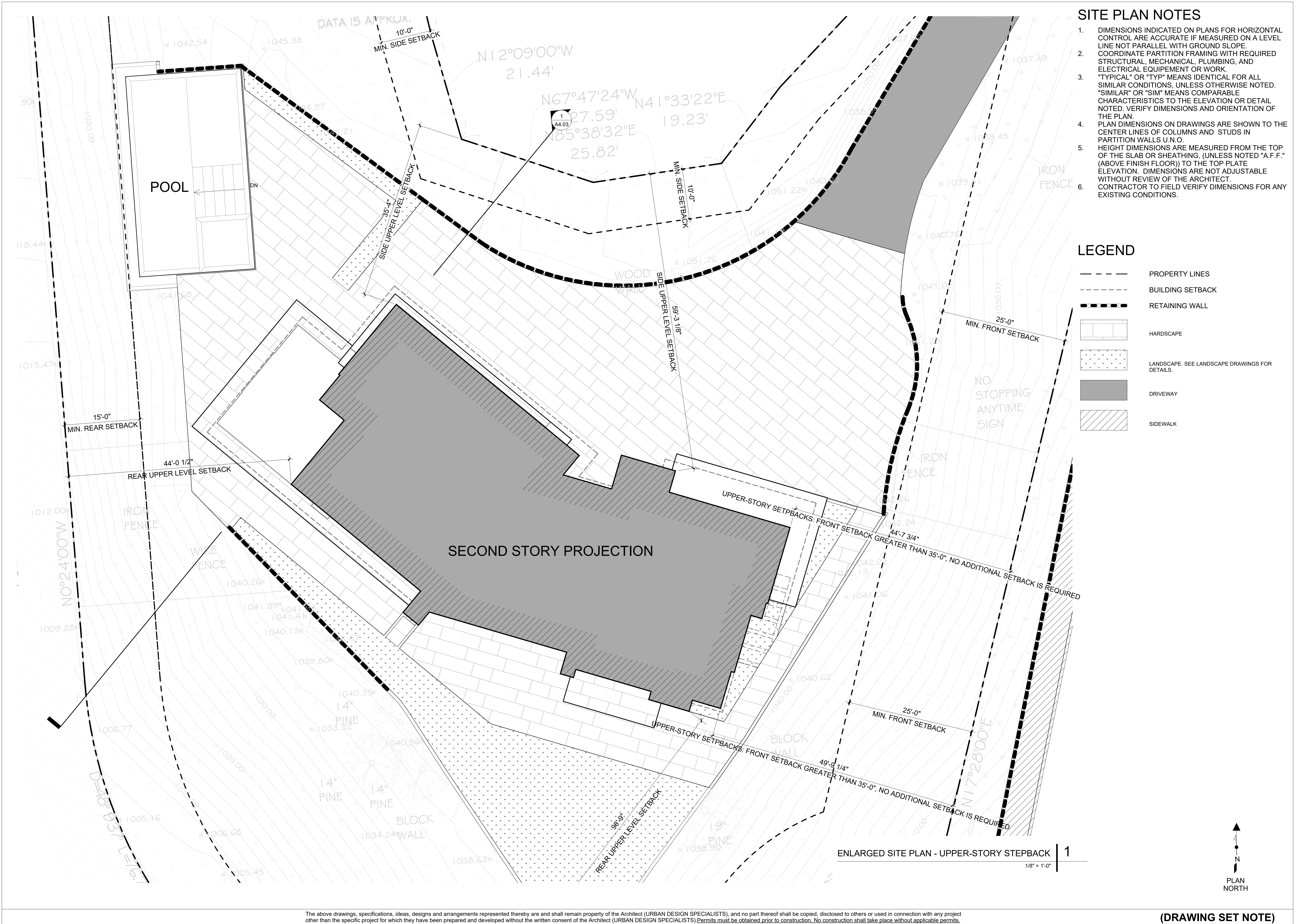
STAMP

DATE  
8/7/2025  
2:52:13 PM

#

DWG TITLE  
ENLARGED SITE PLAN

SHEET NO.  
A1.01



**(DRAWING SET NOTE)**

	TYPE	DATE

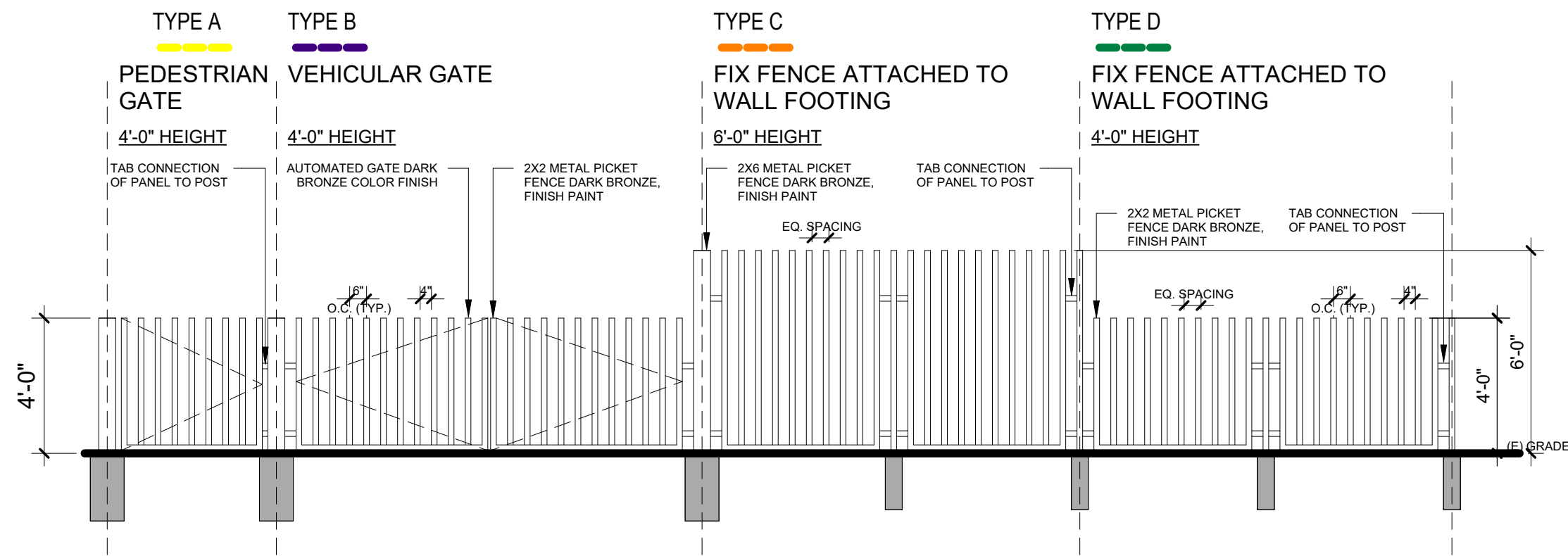
**PROJECT:**  
**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90501

8/7/2025  
2:11:41 PM

7

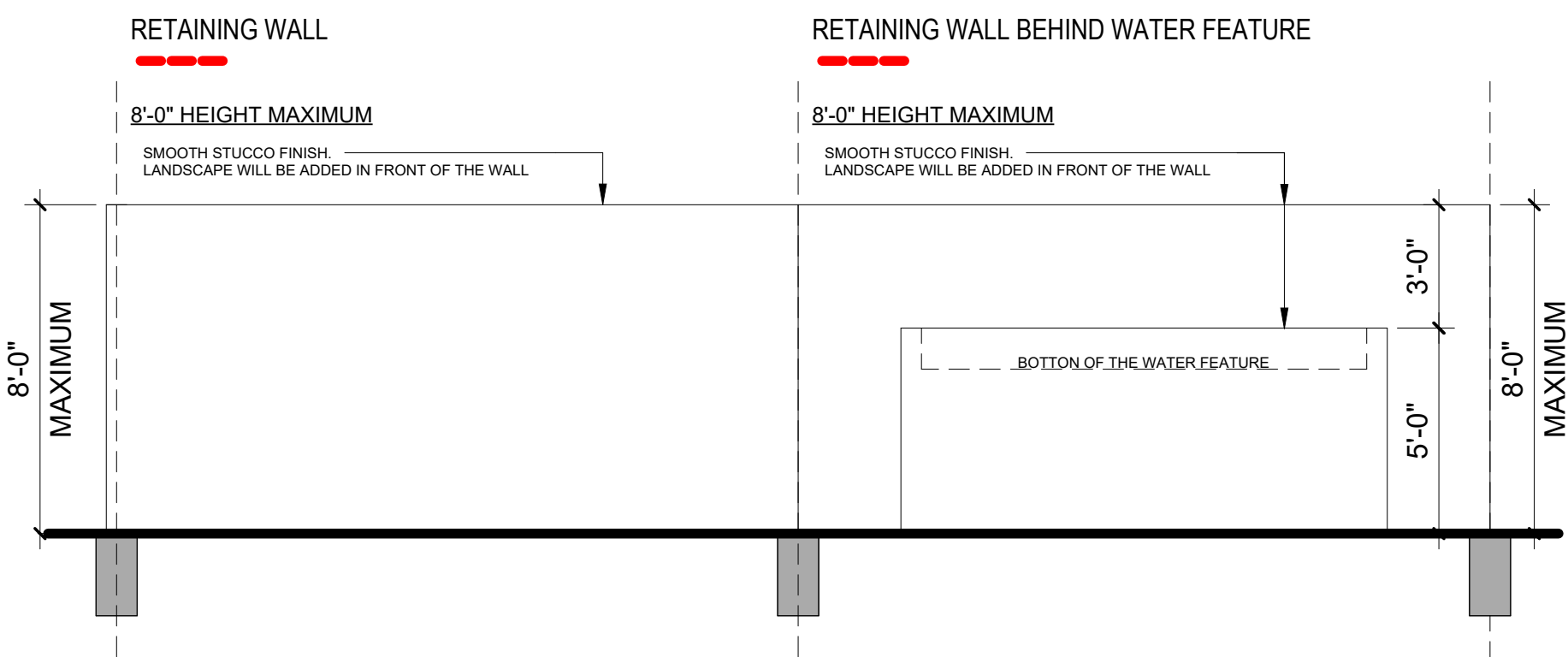
ENLARGED  
SITE PLAN -  
UPPER-STORY  
STEPBACK

A1.02



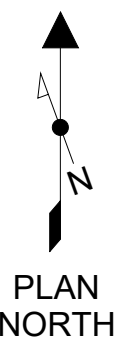
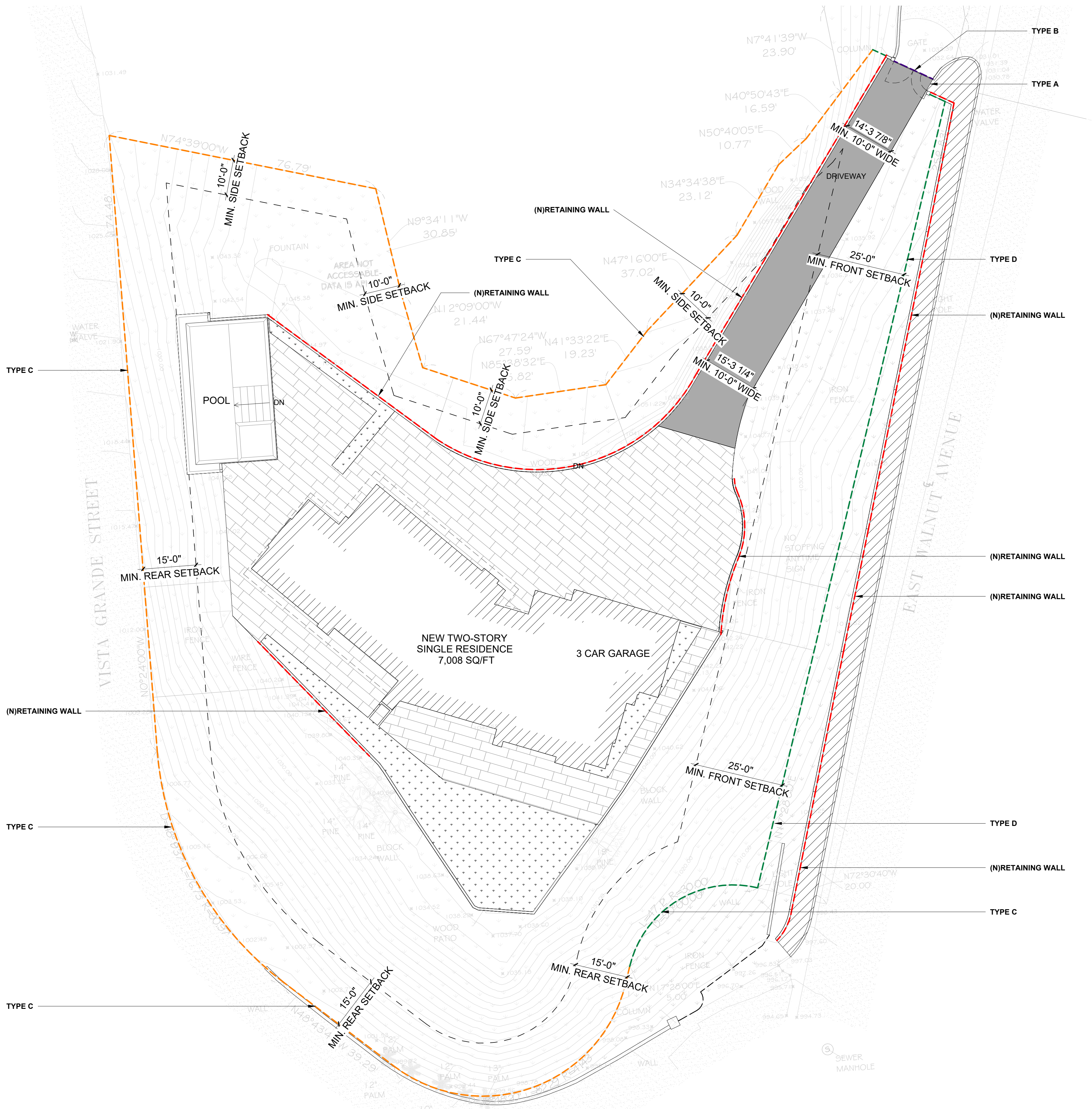
FENCES TYPES

1/4" = 1'-0"



RETAINING WALL TYPES

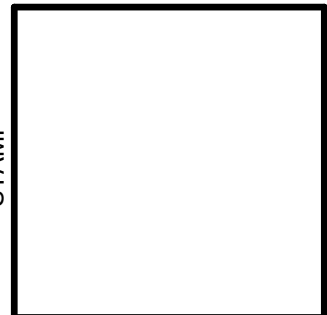
1/4" = 1'-0"



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

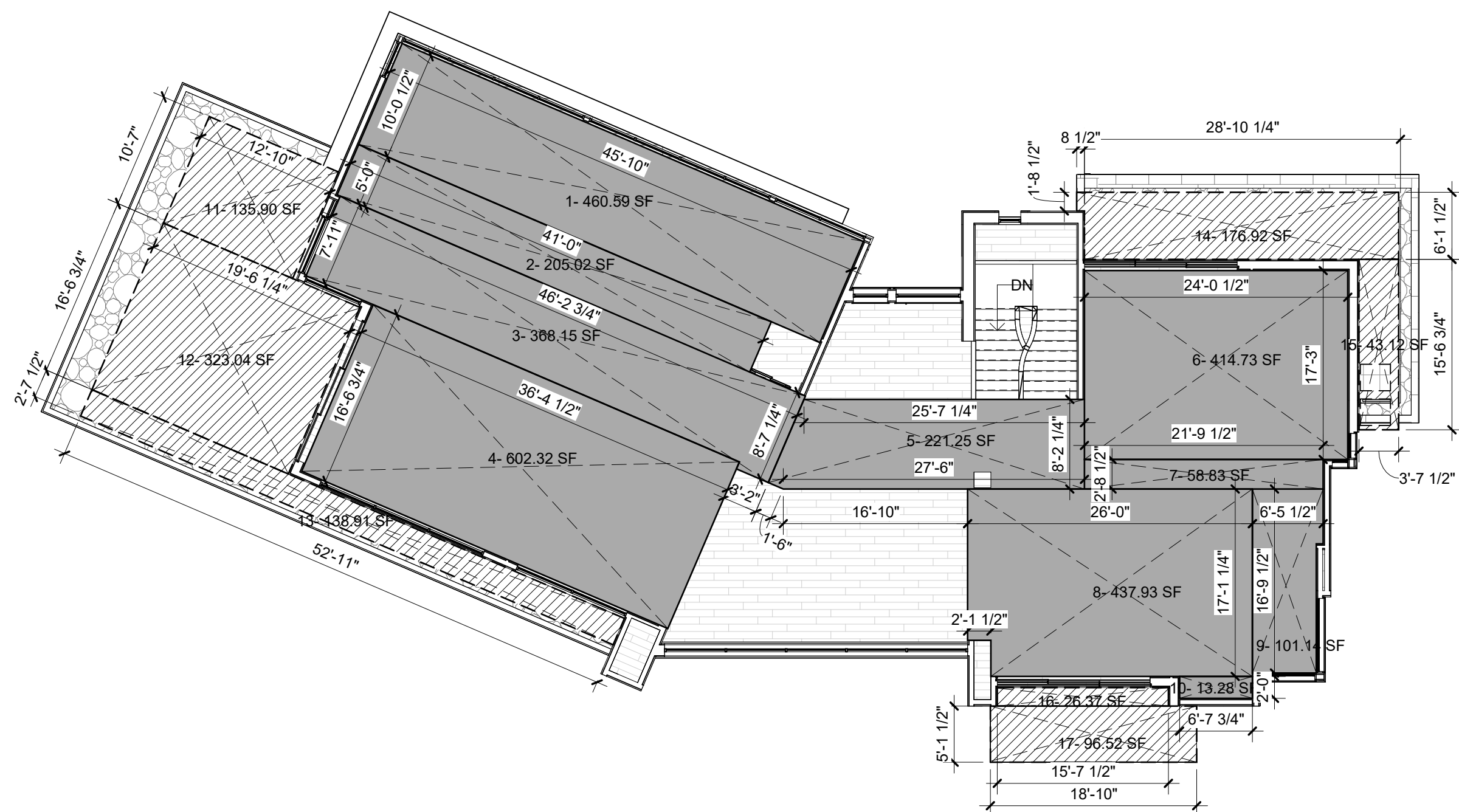
(DRAWING SET NOTE)

REVISIONS	
#	DATE

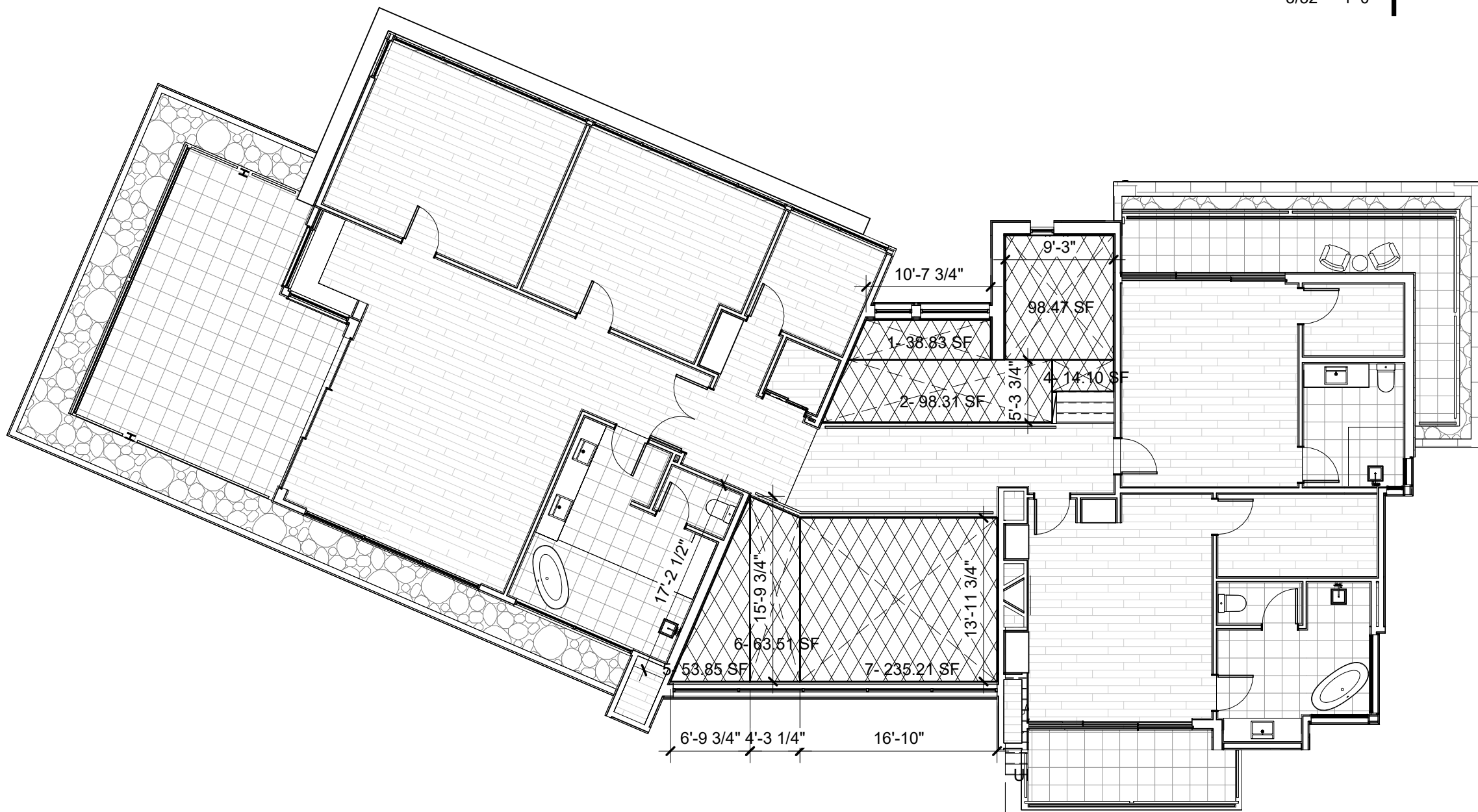




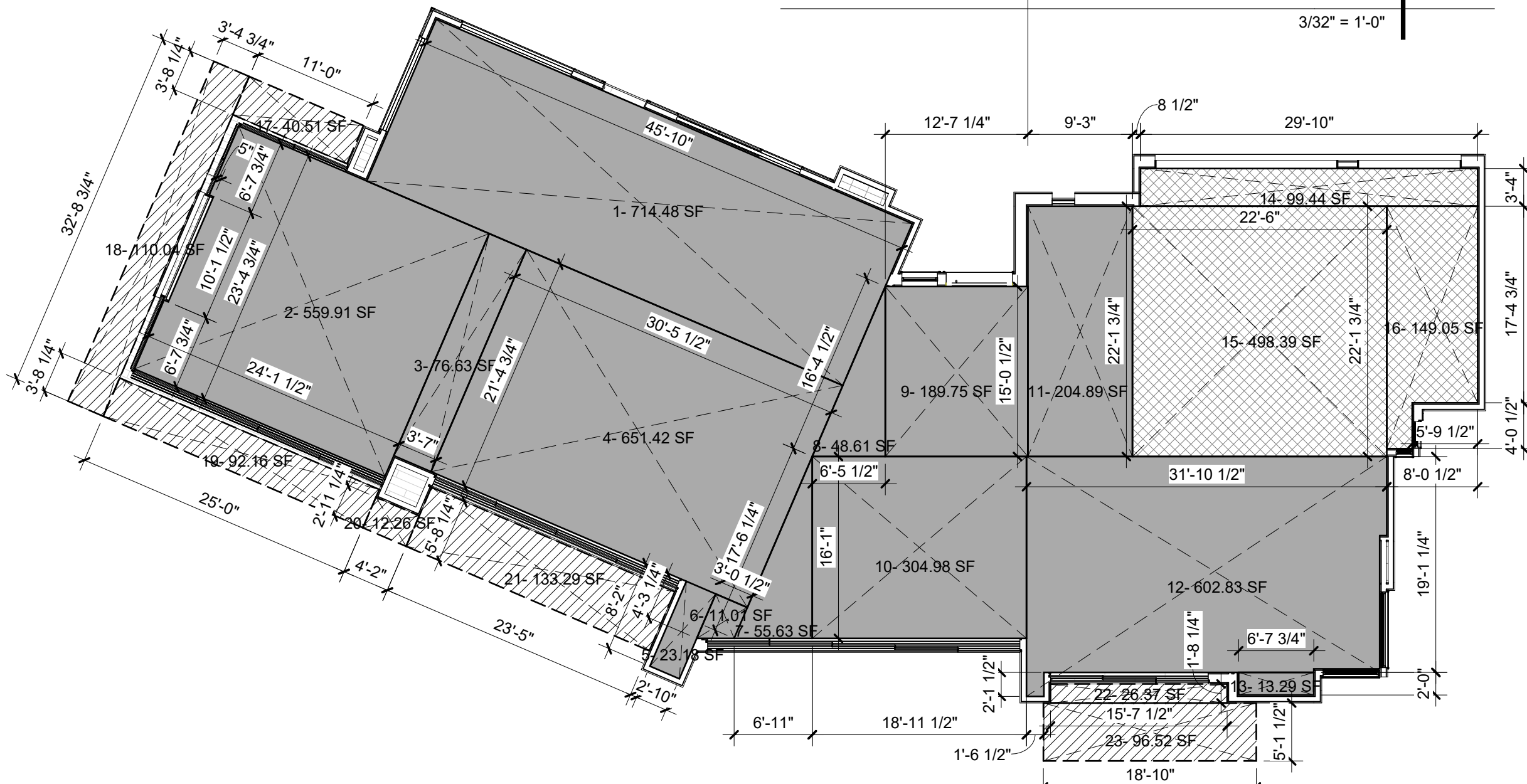
LOT COVERAGE DIAGRAM | 4  
3/64" = 1'-0"



RFA - CALCULATION 2ND FLOOR | 3  
3/32" = 1'-0"



RFA - CALCULATION DOUBLE CEILING HEIGHT | 2  
3/32" = 1'-0"



RFA - CALCULATION 1ST FLOOR | 1  
3/32" = 1'-0"

RESIDENCE FLOOR AREA (EXTERIOR WALLS ARE EXCLUDED)

MAXIMUM GROSS FLOOR AREA  
42,823.80 SF X 0.30 = 12,847.14 SF

MAIN LEVEL	DOUBLE CEILING HEIGHT
AREA 1 - 714.48 S/F	AREA 1 - 38.83 S/F
AREA 2 - 559.91 S/F	AREA 2 - 98.31 S/F
AREA 3 - 76.63 S/F	AREA 3 - 98.47 S/F
AREA 4 - 651.42 S/F	AREA 4 - 14.10 S/F
AREA 5 - 23.18 S/F	AREA 5 - 53.85 S/F
AREA 6 - 11.01 S/F	AREA 6 - 63.51 S/F
AREA 7 - 55.63 S/F	AREA 7 - 235.21 S/F
AREA 8 - 48.61 S/F	TOTAL 602.28 S/F
AREA 9 - 189.75 S/F	
AREA 10 - 304.98 S/F	
AREA 11 - 204.98 S/F	
AREA 12 - 602.83 S/F	
AREA 13 - 13.29 S/F	
TOTAL 3,456.70 S/F	

UPPER LEVEL
AREA 1 - 480.59 S/F
AREA 2 - 205.02 S/F
AREA 3 - 368.15 S/F
AREA 4 - 602.32 S/F
AREA 5 - 221.25 S/F
AREA 6 - 414.73 S/F
AREA 7 - 58.83 S/F
AREA 8 - 437.93 S/F
AREA 9 - 101.14 S/F
AREA 10 - 13.28 S/F
TOTAL 2,883.24 S/F

MAIN LEVEL	3,456.70 SF
UPPER LEVEL	2,883.24 SF
DOUBLE CEILING HEIGHT	602.28 SF

TOTAL 6,942.22 SF

GARAGE

AREA 14 - 99.44 S/F
AREA 15 - 498.39 S/F
AREA 16 - 149.05 S/F
TOTAL 746.88 S/F

GARAGEM ( EXEPM 400 SF ) 346.88 SF

TOTAL 7,289.10 SF

MAIN LEVEL COVERED PATIO	UPPER LEVEL COVERED PATIO
AREA 17 - 40.51 S/F	AREA 11 - 135.90 S/F
AREA 18 - 110.04 S/F	AREA 12 - 323.04 S/F
AREA 19 - 92.16 S/F	AREA 13 - 138.91 S/F
AREA 20 - 12.26 S/F	AREA 14 - 176.92 S/F
AREA 21 - 133.29 S/F	AREA 15 - 43.12 S/F
AREA 22 - 26.37 S/F	AREA 16 - 26.37 S/F
AREA 23 - 96.52 S/F	AREA 17 - 96.52 S/F
TOTAL 511.15 S/F	TOTAL 940.78 S/F

MAIN LEVEL COVERED PATIO	511.15 SF
UPPER LEVEL COVERED PATIO	940.78 SF

TOTAL COVERED PATIOS 1,451.93 SF

TOTAL GROSS AREA 8,741.03 SF

ALLOWABLE LOT COVERAGE TABLE

TOTAL LOT AREA 42,823.80 SF

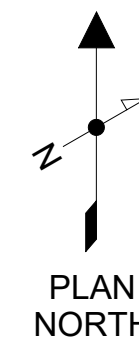
ALLOWABLE LOT COVERAGE  
42,823.80 SF X .5 = 21,411.9 SF

LOT COVERAGE

MAIN BUILDING 5,381.55 SF (12.56%)

LEGEND

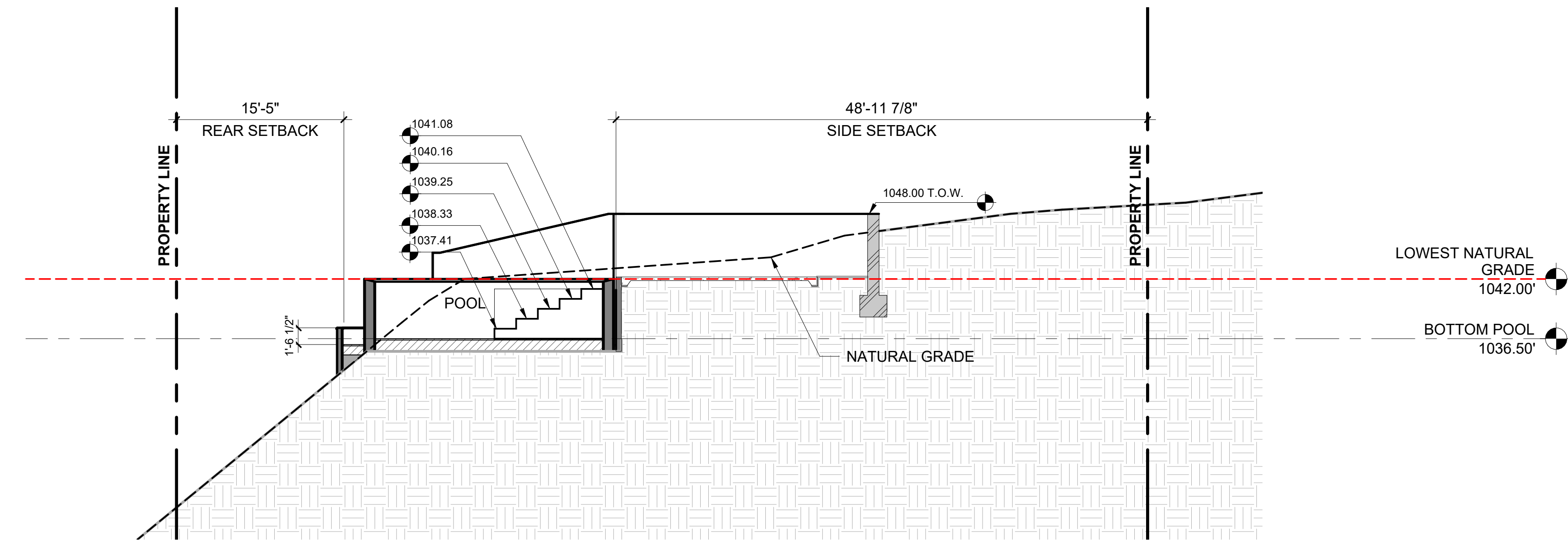
	SOFTSCAPE
	BUILDING FOOTPRINT
	POOL / WATER FEATURE
	HARDSCAPE / DRIVEWAY
	RFA
	DOUBLE CEILING HEIGHT
	COVERED PATIO
	GARAGE



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

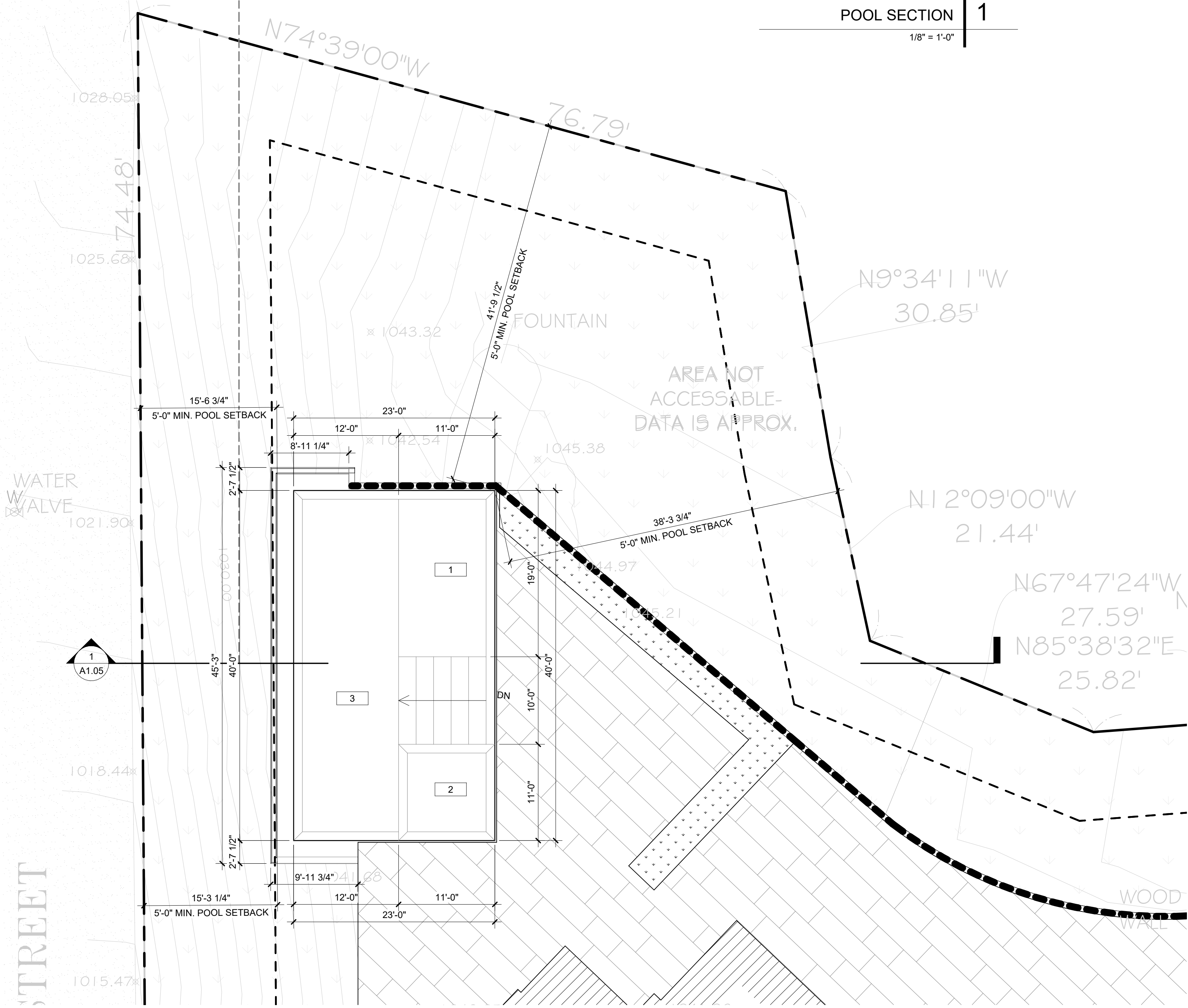
REVISIONS	TYPE	DATE



POOL SECTION | 1  
1/8" = 1'-0"

LEGEND

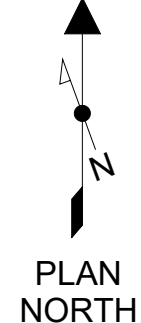
- PROPERTY LINES
- BUILDING SETBACK
- RETAINING WALL
- HARDSCAPE
- LANDSCAPE: SEE LANDSCAPE DRAWINGS FOR DETAILS.
- DRIVEWAY
- SIDEWALK



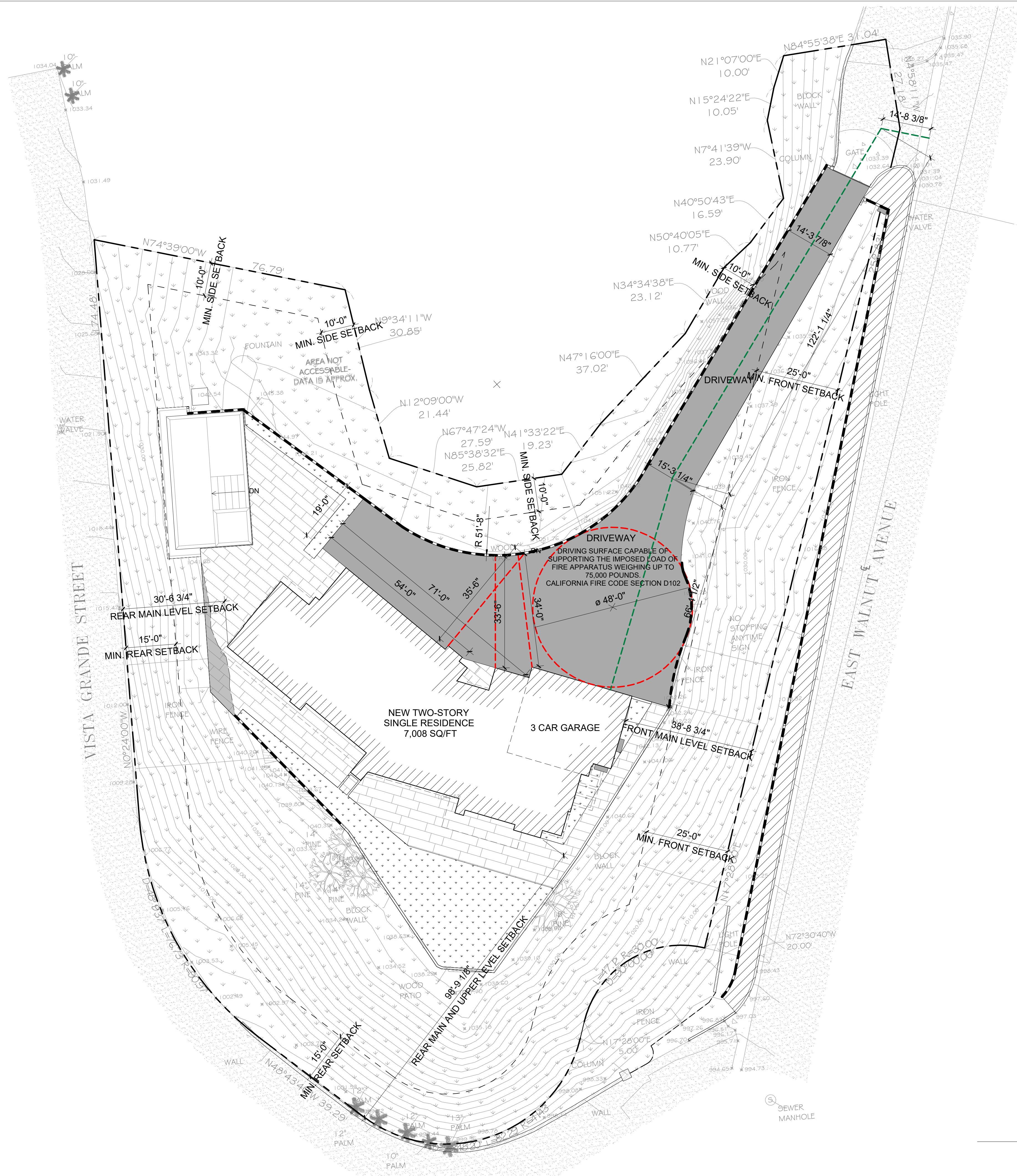
MAIN F.F. LEVEL | 2  
1/8" = 1'-0"

KEYNOTES

- (N) BAJA
- (N) JACUZZI
- (N) SWIMMING POOL (SEPARATE PERMIT)



REVISIONS	
A	TYPE DATE



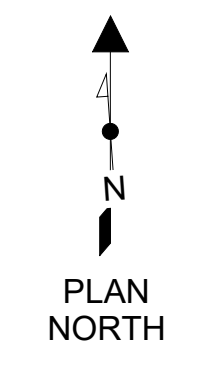
## SITE PLAN NOTES

- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
- COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPEMENT OR WORK.
- "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- PLAN DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTER LINES OF COLUMNS AND STUDS IN PARTITION WALLS U.N.O.
- HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.

## LEGEND

- PROPERTY LINES
- BUILDING SETBACK
- RETAINING WALL
- HARDSCAPE
- LANDSCAPE. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- DRIVEWAY
- SIDEWALK

FIRE APPARATUS ACCESS ROAD | 1  
1/16" = 1'-0"



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

REVISIONS  
A TYPE DATE

PROJECT  
WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

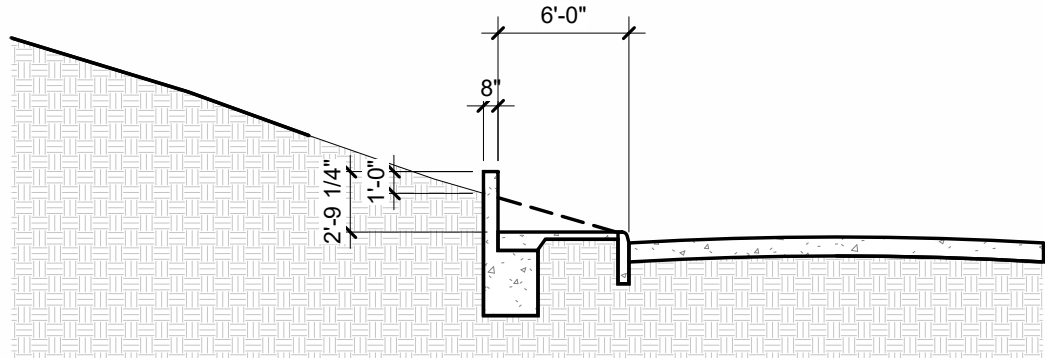
STAMP

DATE  
8/7/2025  
2:52:19 PM

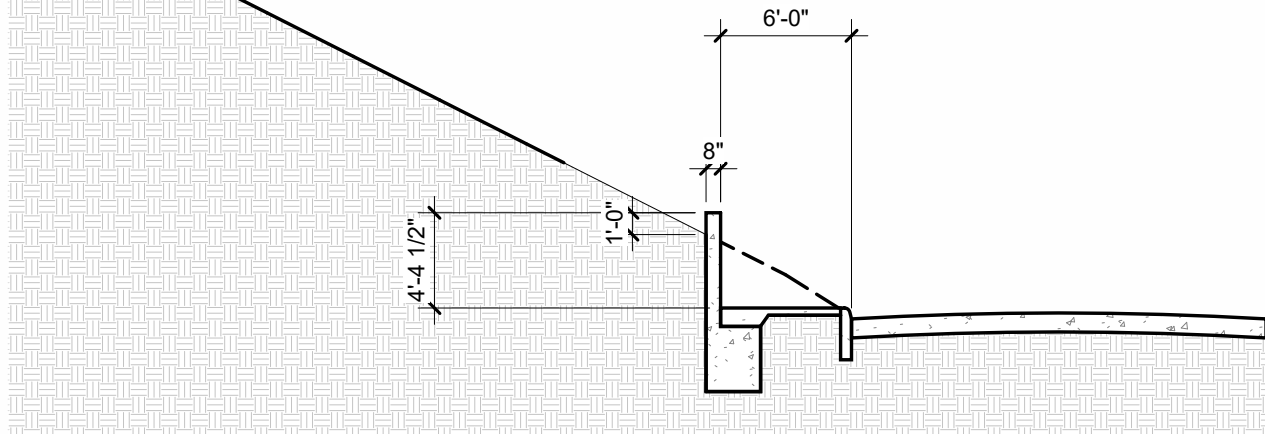
PROJECT #  
#

DWG TITLE  
FIRE APPARATUS ACCESS ROAD

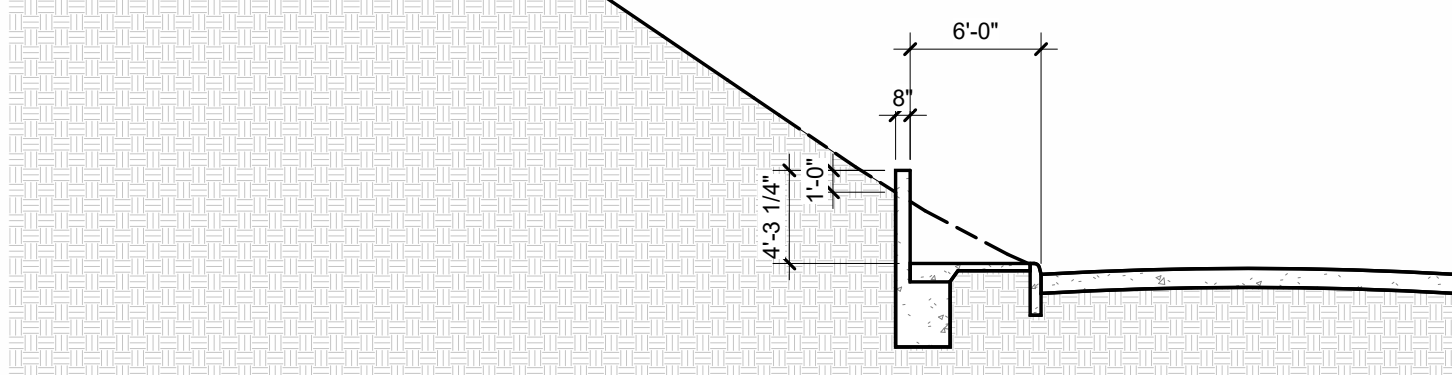
SHEET NO.  
A1.06



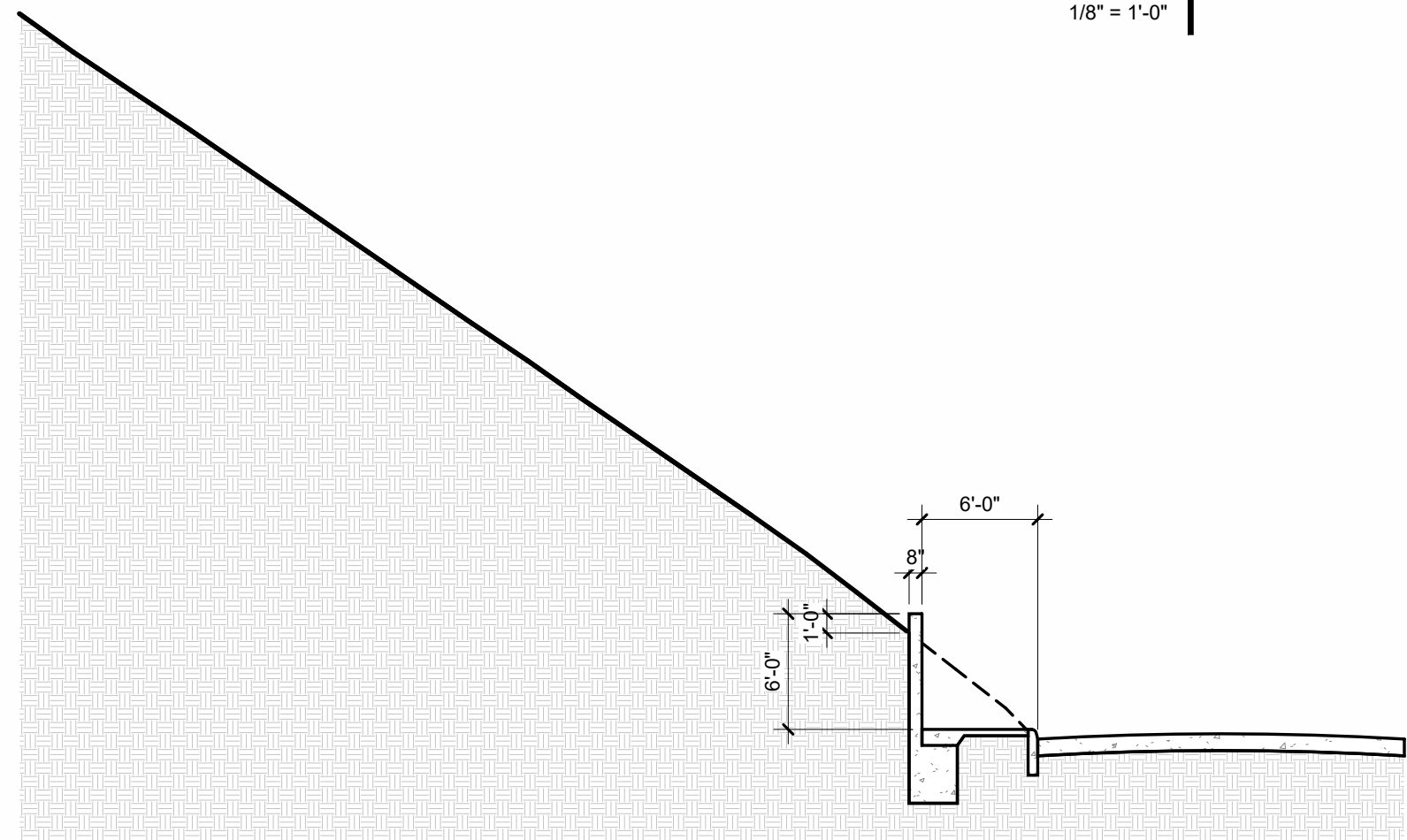
Section A4 | 4  
1/8" = 1'-0"



Section A3 | 3  
1/8" = 1'-0" A1.07



Section A2 | 2  
1/8" = 1'-0"



Section A1 | 1  
1/8" = 1'-0"

## SITE PLAN NOTES

- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
- COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT OR WORK.
- "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- PLAN DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTER LINES OF COLUMNS AND STUDS IN PARTITION WALLS U.N.O.
- HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.

## LEGEND

- PROPERTY LINES
- BUILDING SETBACK
- RETAINING WALL
- HARDSCAPE
- LANDSCAPE: SEE LANDSCAPE DRAWINGS FOR DETAILS.
- DRIVEWAY
- SIDEWALK

## KEYNOTES

- (N) RETAINING WALL, SEE CIVIL/STRUCTURAL DRAWINGS

REVISIONS		
A	TYPE	DATE

PROJECT  
**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90601

STAMP

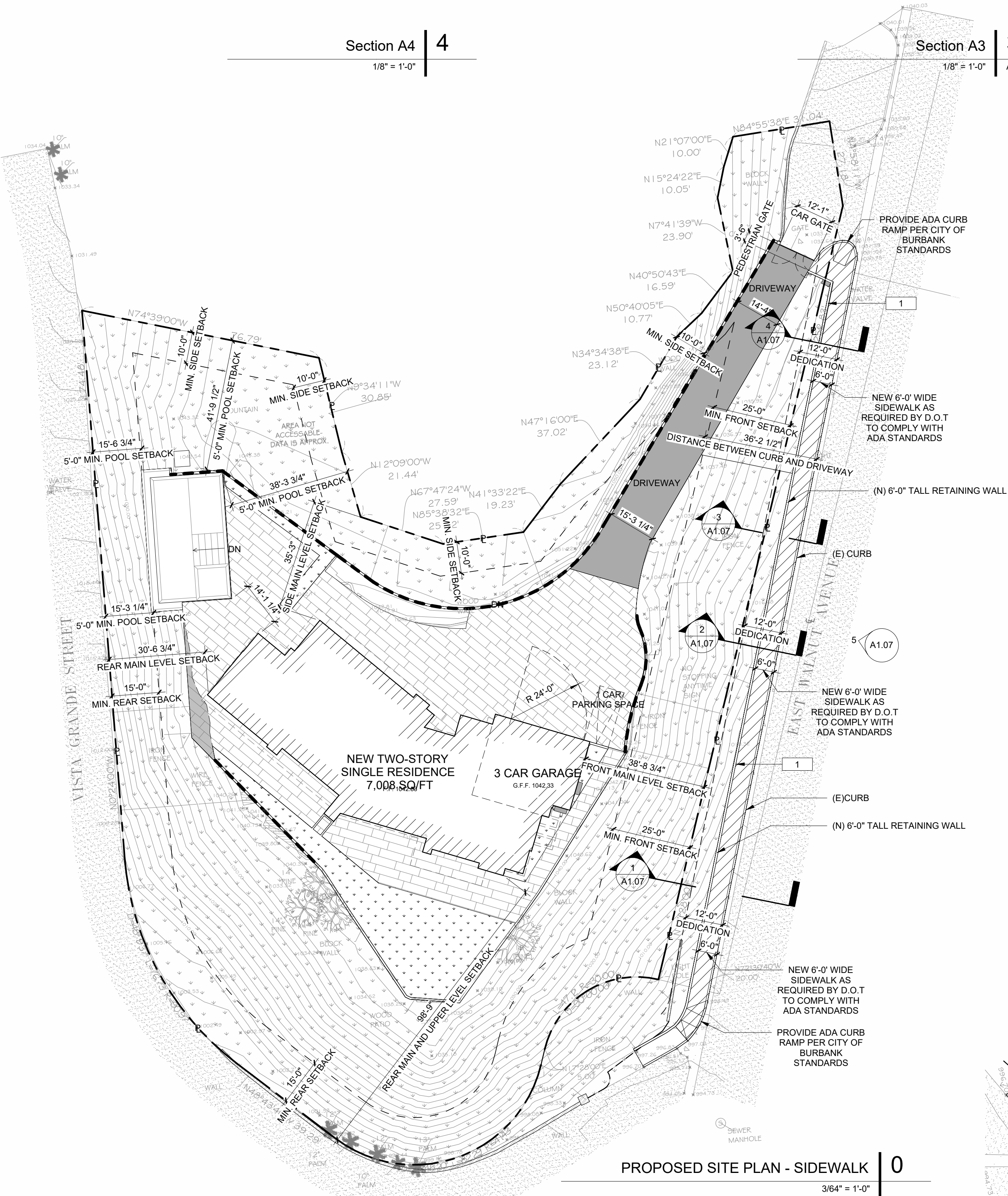
DATE  
8/7/2025  
4:46:49 PM

PROJECT #  
#

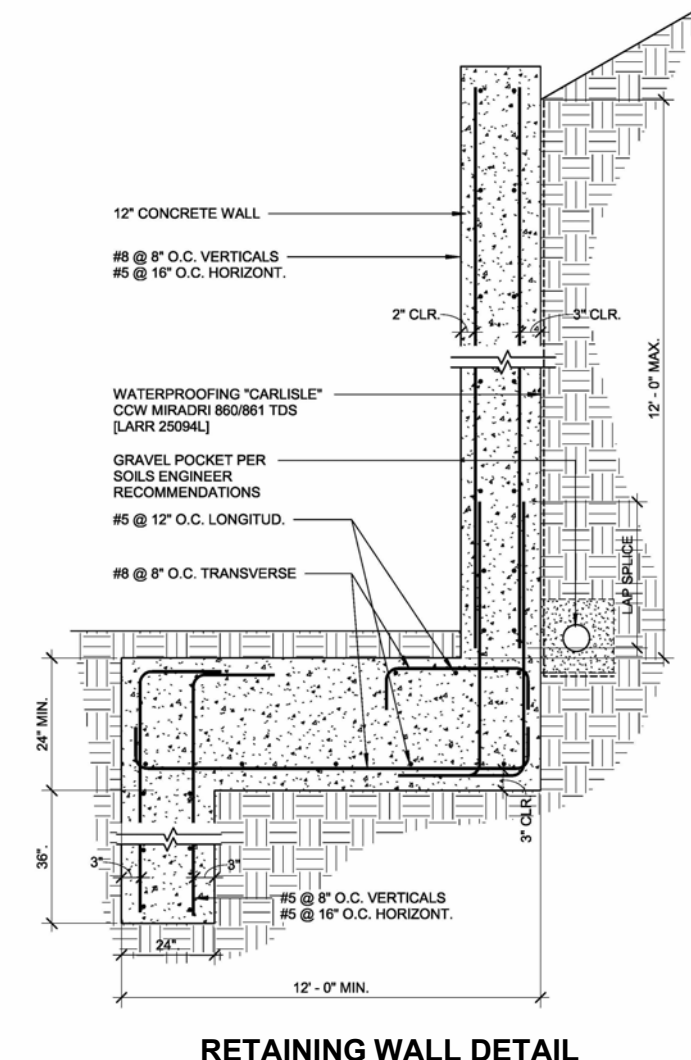
DWG. TITLE  
SIDEWALK  
FLOOR PLAN /  
SECTION

SHEET NO.  
A1.07

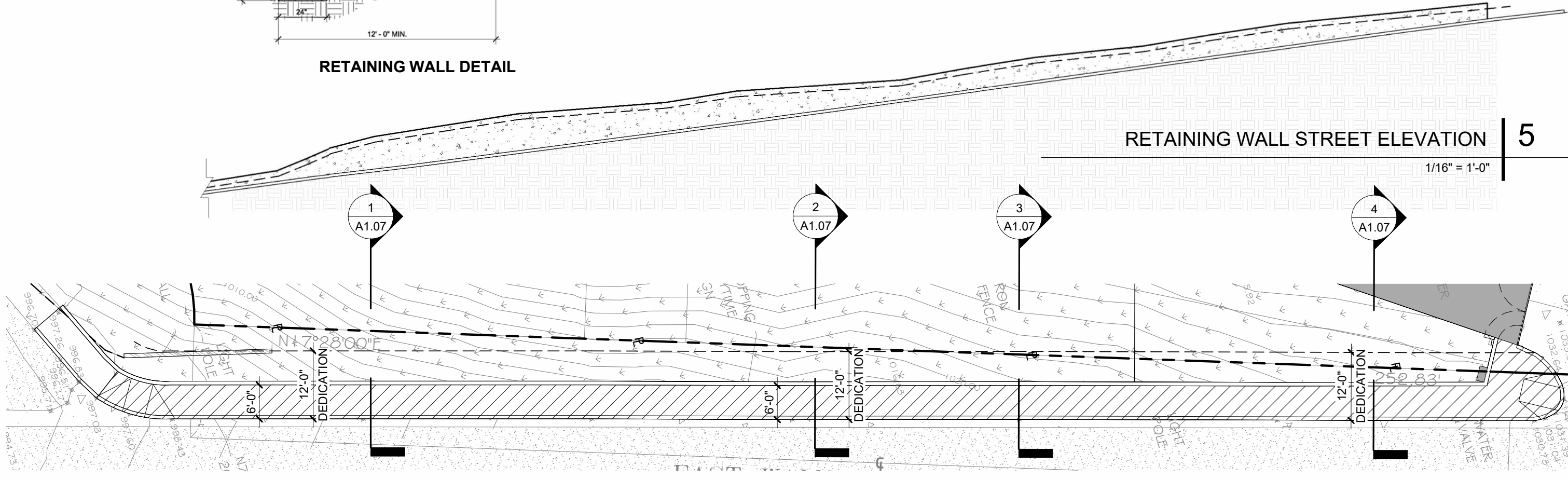
(DRAWING SET NOTE)



PROPOSED SITE PLAN - SIDEWALK | 0  
3/64" = 1'-0"

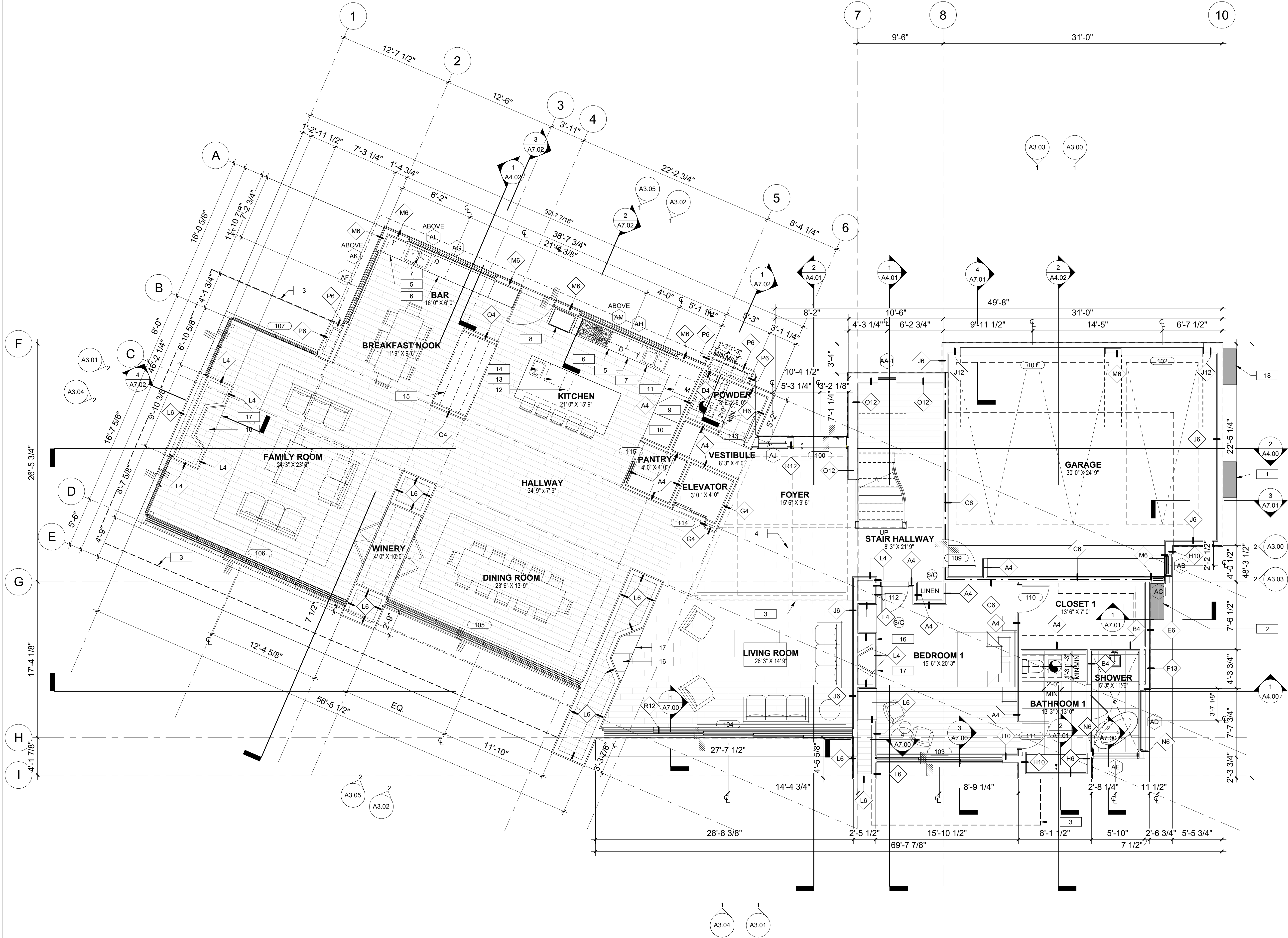


RETAINING WALL DETAIL



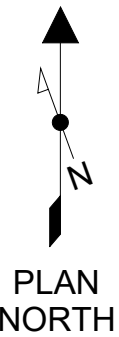
RETAINING WALL STREET ELEVATION | 5  
1/16" = 1'-0"

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.



PROPOSED FIRST FLOOR PLAN | 1

3/16" = 1'-0"



FLOOR PLAN NOTES

- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
- COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
- "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- PLAN DIMENSIONS ON DRAWINGS ARE SHOWN AT EXTERIOR FACE OF STUD AT ALL EXTERIOR AND INTERIOR WALLS U.N.O.
- HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- CEILING HEIGHT DEIMENSIONS LABELED WITH "MIN." SHOULD BE CONSTRUCTED TIGHT TO THE STRUCTURE OR DUCTING ABOVE.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.
- WRAP ALL DRAINAGE PIPES LOCATED INSIDE OF WALLS TO MINIMIZE SOUND TRANSMISSION.

LEGEND

- W24 WINDOW TYPE
- A2X INTERIOR PARTITION TYPE  
A = WALL TYPE, VARIES (LETTER WILL VARY)  
2 = NOMINAL STUD SIZE (NUMBER WILL VARY)  
X = 5/8" TYPE 'X' GYP, WHERE OCCURS
- 101 DOOR NUMBER
- KITCHEN ROOM TAG
- NEW
- 1HR
- PROPERTY LINES
- BUILDING SETBACK
- S/C SMOKE / CARBON MONOXIDE DETECTOR
- EXHAUST FAN W/ HIGH EFFICACY LIGHT

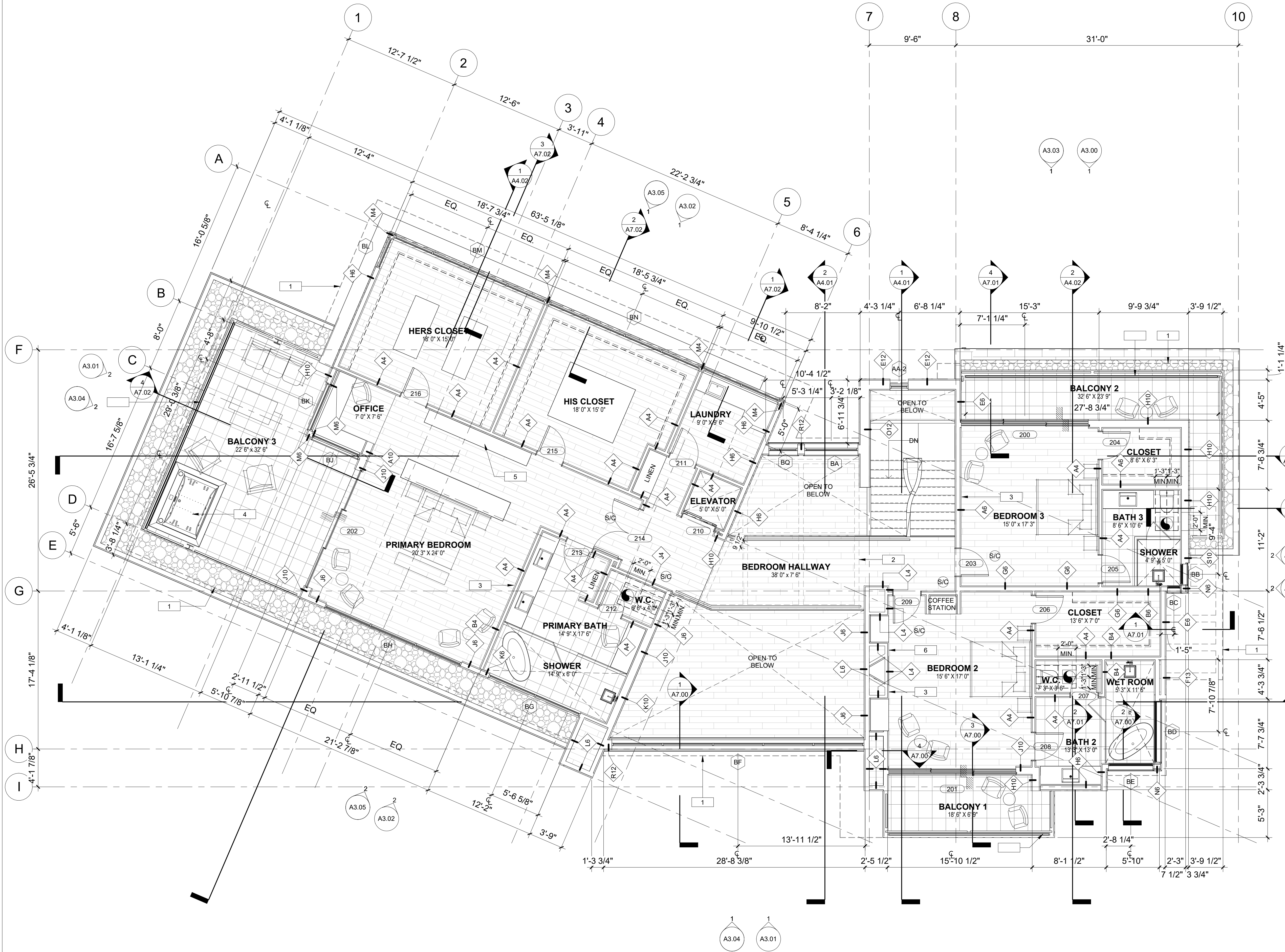
KEYNOTES

- (N) TANKLESS WATER HEATER
- (N) GAS METER LOCATION
- LINE OF FLOOR ABOVE
- SKYLIGHT ABOVE. SEE WINDOWS SCHEDULE FOR SPECS.
- TRASH DRAWER
- 24" DISHWASHER
- SINK
- DOUBLE OVEN
- 36" REFRIGERATOR
- 36" FREEZER
- MICROWAVE
- ICE MACHINE
- 24" BEVERAGE REFRIGERATOR
- PREP. SINK
- COFFEE STATION
- FIREPLACE
- TV
- (N) ELECTRIC METER

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

REVISIONS	
NO.	DESCRIPTION

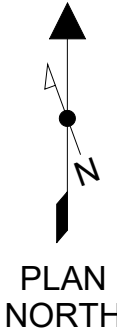


- FLOOR PLAN NOTES**
- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
  - COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
  - "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
  - PLAN DIMENSIONS ON DRAWINGS ARE SHOWN AT EXTERIOR FACE OF STUD AT ALL EXTERIOR AND INTERIOR WALLS U.N.O.
  - HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
  - CEILING HEIGHT DEIMENSIONS LABELED WITH "MIN." SHOULD BE CONSTRUCTED TIGHT TO THE STRUCTURE OR DUCTING ABOVE.
  - CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.
  - WRAP ALL DRAINAGE PIPES LOCATED INSIDE OF WALLS TO MINIMIZE SOUND TRANSMISSION.

- LEGEND**
- W24 WINDOW TYPE
  - A2X INTERIOR PARTITION TYPE  
A = WALL TYPE, VARIES (LETTER WILL VARY)  
2 = NOMINAL STUD SIZE (NUMBER WILL VARY)  
X = 5/8" TYPE 'X' GYP, WHERE OCCURS
  - 101 DOOR NUMBER
  - 101 KITCHEN ROOM TAG
  - NEW
  - 1HR
  - PROPERTY LINES
  - BUILDING SETBACK
  - S/C SMOKE / CARBON MONOXIDE DETECTOR
  - EXHAUST FAN W/ HIGH EFFICACY LIGHT

- KEYNOTES**
- 1 LINEAR DRAIN
  - 2 LINE OF ROOF ABOVE
  - 3 LINE OF SKYLIGHT ABOVE
  - 4 TV
  - 5 JACUZZI
  - 6 COFFEE STATION
  - 7 FIREPLACE

PROPOSED SECOND FLOOR PLAN | 1  
3/16" = 1'-0"



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

**URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

REVISIONS

NO.	DATE	DESCRIPTION

**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90501

PROJECT

DATE  
8/7/2025  
2:12:06 PM

PROJECT #  
#

DWG TITLE  
UPPER LEVEL FLOOR PLAN

SHEET NO.  
A2.01

1. See RCP for ceiling condition and to verify roof venting needs.
2. Class "A" roof

**URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
WWW.URBANDESIGNSPECIALISTS.COM  
TEL: 310.304.1840

[illegible]

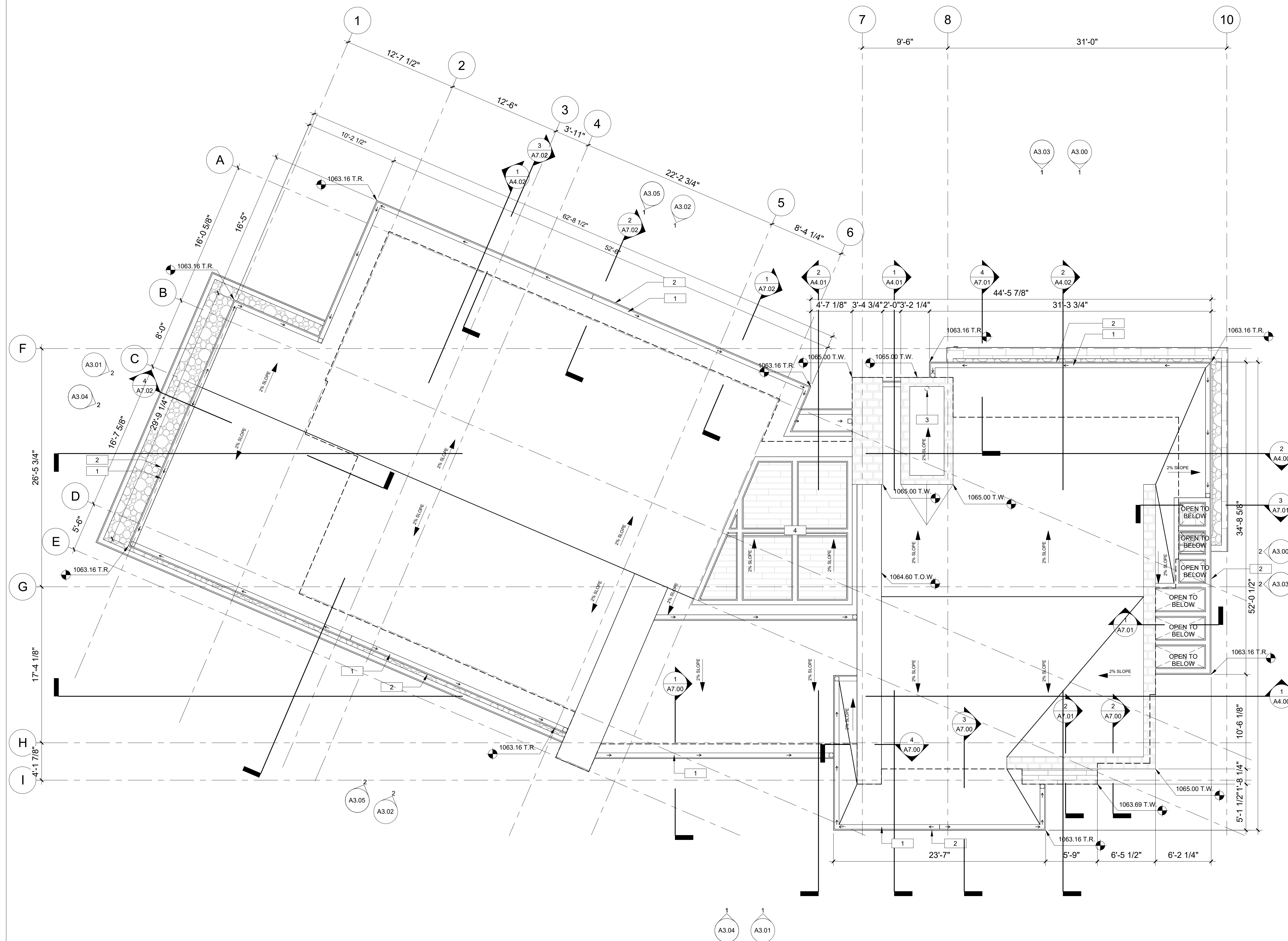
PROJECT  
**WALNUT RESIDENCE**  
11141 E. WALNUT AVE., BURBANK, CA - 90501

8/7/2025  
2:12:08 PM

#

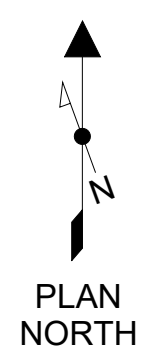
ROOF FLOOR  
PLAN

A2.02



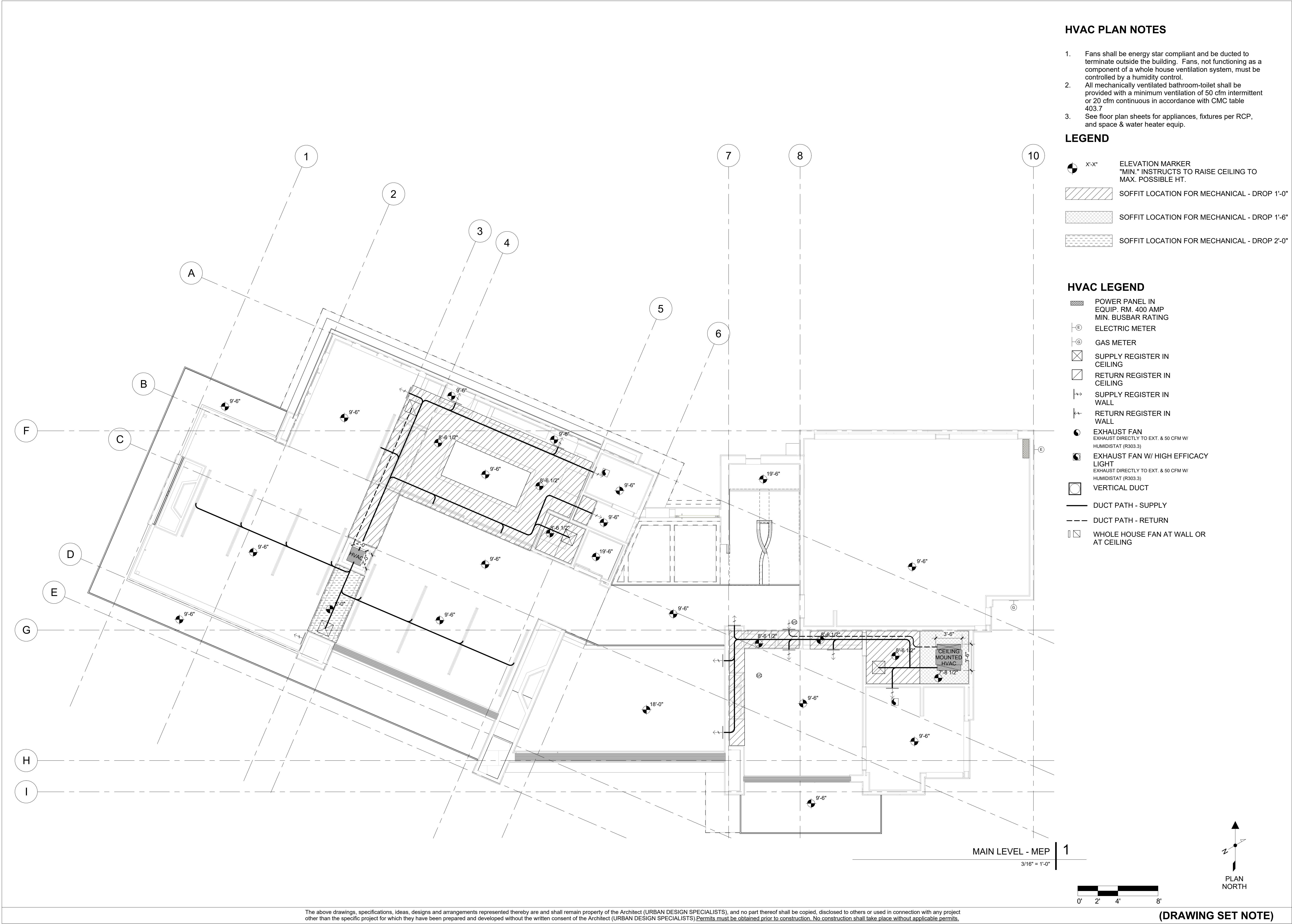
1 GUTTER PER DETAIL - SLOPE TO DRAIN  
2 METAL FASCIA PER DETAIL  
3 ROOF DRAIN  
4 SKYLIGHT SYSTEM, PER SCHEDULE

MAIN RESIDENCE - PROPOSED ROOF PLAN 1



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

**(DRAWING SET NOTE)**



HVAC PLAN NOTES

- Fans shall be energy star compliant and be ducted to terminate outside the building. Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.
- All mechanically ventilated bathroom-toilet shall be provided with a minimum ventilation of 50 cfm intermittent or 20 cfm continuous in accordance with CMC table 403.7
- See floor plan sheets for appliances, fixtures per RCP, and space & water heater equip.

LEGEND

- X-X" ELEVATION MARKER  
"MIN." INSTRUCTS TO RAISE CEILING TO MAX. POSSIBLE HT.
- SOFFIT LOCATION FOR MECHANICAL - DROP 1'-0"
- SOFFIT LOCATION FOR MECHANICAL - DROP 1'-6"
- SOFFIT LOCATION FOR MECHANICAL - DROP 2'-0"

HVAC LEGEND

- POWER PANEL IN EQUIP. RM. 400 AMP MIN. BUSBAR RATING
- ELECTRIC METER
- GAS METER
- SUPPLY REGISTER IN CEILING
- RETURN REGISTER IN CEILING
- SUPPLY REGISTER IN WALL
- RETURN REGISTER IN WALL
- EXHAUST FAN  
EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)
- EXHAUST FAN W/ HIGH EFFICACY LIGHT  
EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)
- VERTICAL DUCT
- DUCT PATH - SUPPLY
- DUCT PATH - RETURN
- WHOLE HOUSE FAN AT WALL OR AT CEILING

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM  
©COPYRIGHT 2024

REVISIONS	
#	DATE

PROJECT  
WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

STAMP

DATE  
8/7/2025  
2:12:16 PM

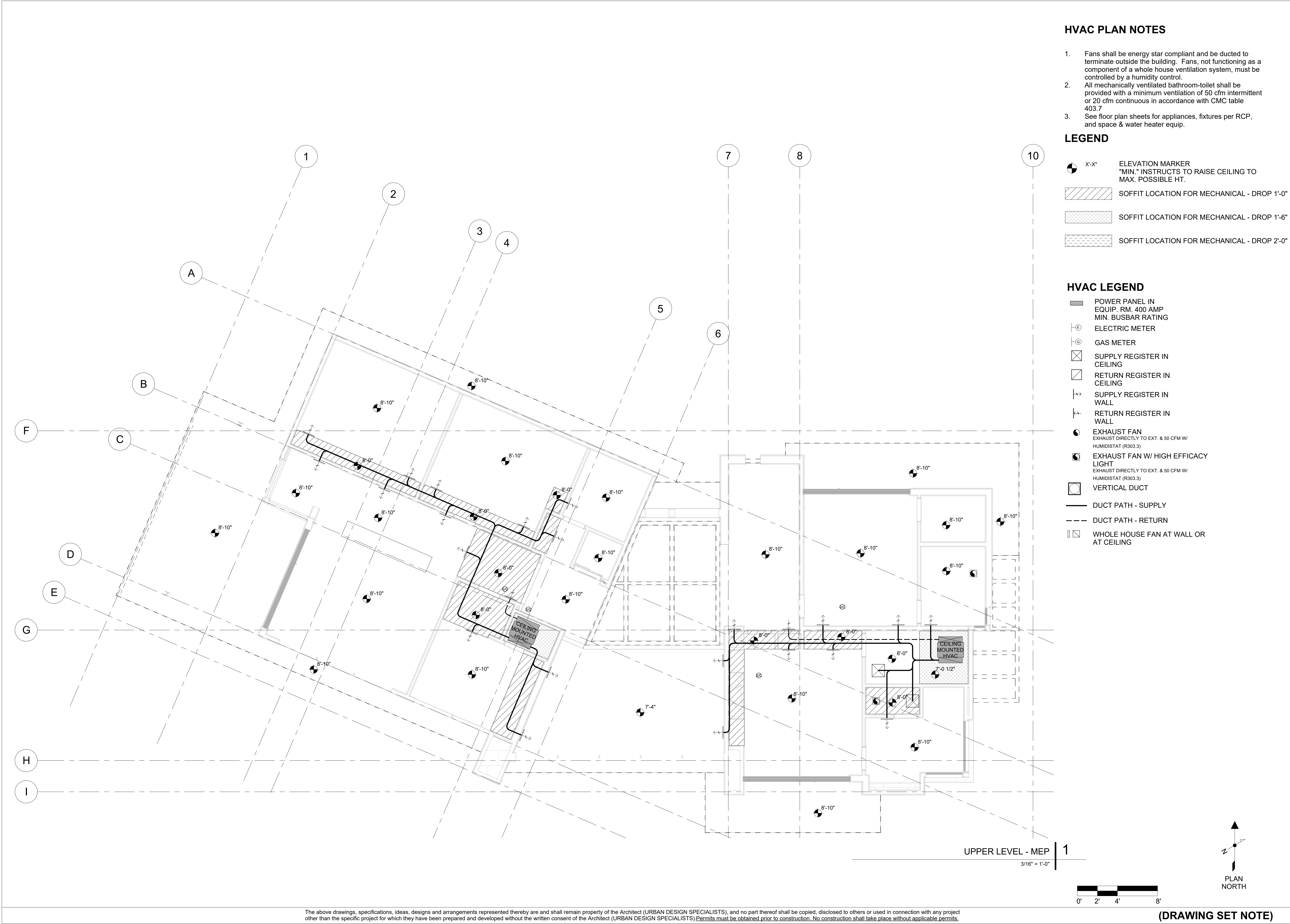
PROJECT #  
#

DWG TITLE  
MAIN LEVEL - MEP

SHEET NO.  
A2.41

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)



HVAC PLAN NOTES

- Fans shall be energy star compliant and be ducted to terminate outside the building. Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.
- All mechanically ventilated bathroom-toilet shall be provided with a minimum ventilation of 50 cfm intermittent or 20 cfm continuous in accordance with CMC table 403.7
- See floor plan sheets for appliances, fixtures per RCP, and space & water heater equip.

LEGEND

- X-X" ELEVATION MARKER "MIN." INSTRUCTS TO RAISE CEILING TO MAX. POSSIBLE HT.
- SOFFIT LOCATION FOR MECHANICAL - DROP 1'-0"
- SOFFIT LOCATION FOR MECHANICAL - DROP 1'-6"
- SOFFIT LOCATION FOR MECHANICAL - DROP 2'-0"

HVAC LEGEND

- POWER PANEL IN EQUIP. RM. 400 AMP MIN. BUSBAR RATING
- ELECTRIC METER
- GAS METER
- SUPPLY REGISTER IN CEILING
- RETURN REGISTER IN CEILING
- SUPPLY REGISTER IN WALL
- RETURN REGISTER IN WALL
- EXHAUST FAN EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)
- EXHAUST FAN W/ HIGH EFFICACY LIGHT EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)
- VERTICAL DUCT
- DUCT PATH - SUPPLY
- DUCT PATH - RETURN
- WHOLE HOUSE FAN AT WALL OR AT CEILING

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM  
©COPYRIGHT 2024

REVISIONS  
# TYPE DATE

PROJECT  
WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

STAMP

DATE  
8/7/2025  
2:12:18 PM

PROJECT #  
#








DWG TITLE  
UPPER LEVEL - MEP









SHEET NO.  
A2.42









(DRAWING SET NOTE)









The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.


	HIGH EFFICACY 4" DIA. RECESSED LT.		HIGH EFFICACY SPOT LIGHT
	HIGH EFFICACY 6" DIA. RECESSED LT.		HIGH EFFICACY FLOOD LT. W/ MOTION CONTROL
	HIGH EFFICACY PENDANT LT.		STAKE MOUNTED UPLIGHT
	HIGH EFFICACY WALL LT.		SURFACE MOUNTED UPLIGHT
	KEYLESS IMPACT RESISTANT CFL		LINEAR FLUOR. FIXTURE
	HIGH EFFICACY WALL WASHER		COVE & UNDER CABINET HIGH EFFICACY LED LIGHT STRIP
	HIGH EFFICACY STEP LIGHT		SKYLIGHT
			10" SOLA TUBE SKYLIGHT







	HIGH EFFICACY SPOT LIGHT
	HIGH EFFICACY FLOOD LT. W/ MOTION CONTROL
	STAKE MOUNTED UPLIGHT
	SURFACE MOUNTED UPLIGHT
	LINEAR FLUOR. FIXTURE
	COVE & UNDER CABINET HIGH EFFICACY LED LIGHT STRIP SKYLIGHT
	10" SOLA TUBE SKYLIGHT

	POWER PANEL IN EQUIP. RM. 200 AMP MIN. BUSBAR RATING
	ELECTRIC METER
	GAS METER
	PREFERRED SOFFIT LOCATION FOR MECHANICAL
	SUPPLY REGISTER IN CEILING
	RETURN REGISTER IN CEILING
	SUPPLY REGISTER IN WALL
	RETURN REGISTER IN WALL

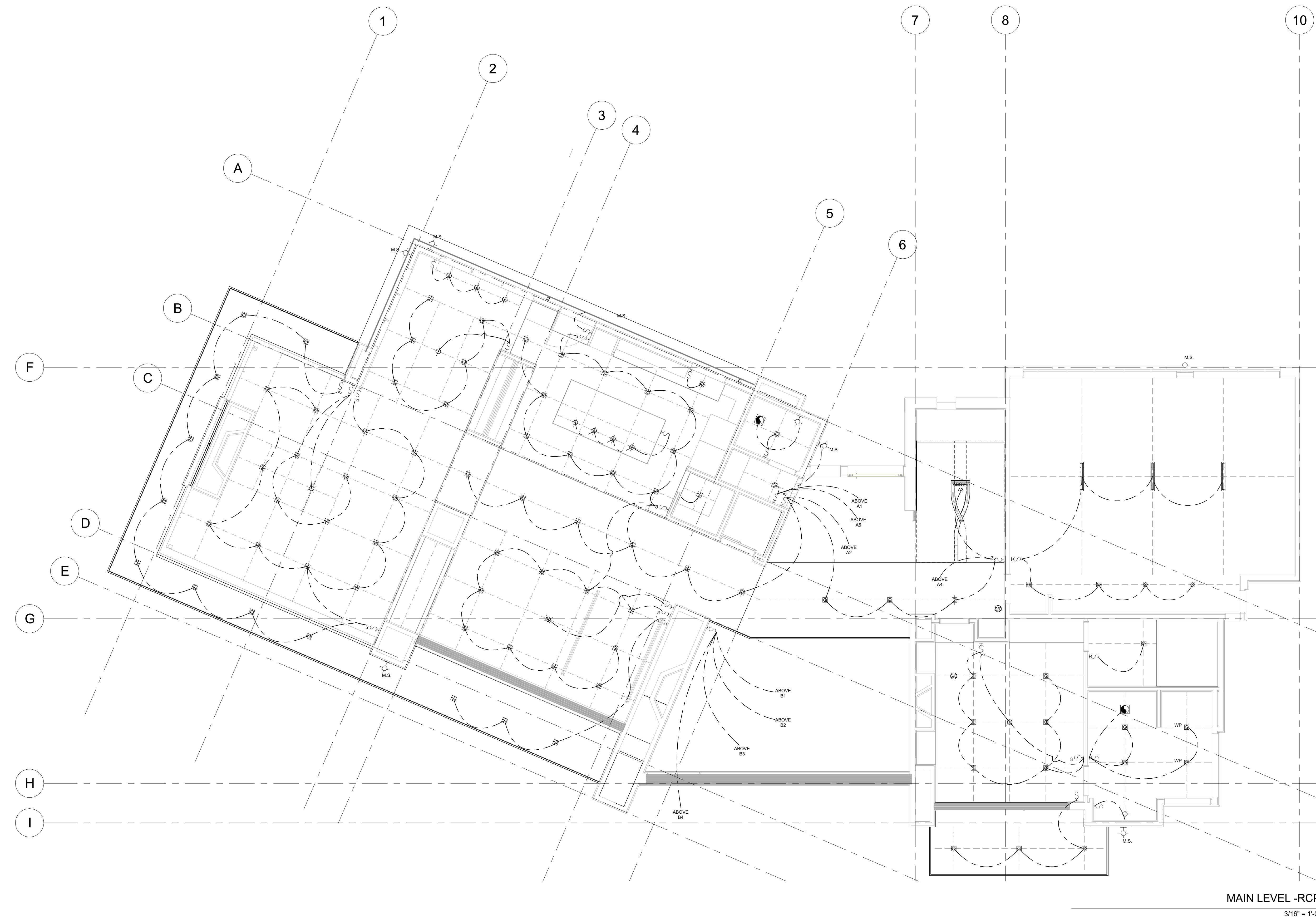
	<b>GAS OUTLET</b>
	<b>HOSE BIBB</b>
	<b>EXHAUST FAN</b> EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)
	<b>EXHAUST FAN W/ HIGH EFFICACY LIGHT</b> EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)
	<b>SWITCH</b>
	<b>SWITCH W/ VACANCY SENSOR</b>
	<b>3-WAY &amp; 4-WAY SWITCH</b>
	<b>DIMMER SWITCH</b>

	DUPLEX OUTLET
	"#" IS INCHES ABOVE F.F.
	SWITCHED DUPLEX OUTLET
	DUPLEX, PROTECTED BY G.F.I.
	QUAD OUTLET
	SWITCHED QUAD OUTLET
	CEILING MOUNTED OUTLET
	FLOOR MOUNTED OUTLET

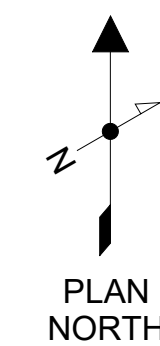
	DOOR BELL
	DOOR BELL CHIMES
	COAXIAL OUTLET
	PHONE JACK
	ETHERNET OUTLET
	RECEIVER BOX LOCATION
	HDMI OUTLET

	THERMOSTAT
	GARBAGE DISPOSAL
	VACUUM OUTLET
	EXIT SIGN, INTERNALLY ILLUMINATED
	SPEAKER
	SMOKE / CARBON MONOXIDE DETECTOR

1. Smoke alarms and carbon monoxide alarms shall receive their primary power from the building wiring, shall be equipped with a battery backup and interconnected - per section R314.3, R314.4, and R315.1.
2. Fans shall be energy star compliant and be ducted to terminate outside the building. Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.
3. All mechanically ventilated bathroom-toilet shall be provided with a minimum ventilation of 50 cfm intermittent or 20 cfm continuous in accordance with CMC table 403.7
4. Humidity controls shall be capable of adjustment between a relative humidity range of  $\leq 50$  percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).
5. Luminaire requirements. Section 150 (K) 1
  - A. Luminaire efficacy: installed luminaries shall be classified as high efficacy or low efficacy for compliance with section 150.00 (K) in accordance with table 150.0-A or table 150.0-B, as applicable. All high efficacy lighting to use CFL & LED lamps.
  - B. Hybrid luminaries: when a high efficacy and low efficacy lighting system are combined together in a single luminaire, the high efficacy and low efficacy lighting systems shall separately comply with the applicable provisions of sections 150.0 (K).
6. Not less than 5/8" Type X Gypsum Board or equal shall be provided above garage, per R302.6.
7. 3 way switches with two dimmers require smart lighting system.
8. All receptacles in dwelling unit shall be tamper-resistant, per CEC.
9. All receptacles in the bedroom, the dining room, hallway, den, libraries, closet, the family room and similar rooms shall be Arc-Fault Circuit Interrupter (AFCI) per the CEC.
10. Bathroom receptacles shall be served by dedicated 20-amp circuit Ground Fault Interrupter (GFI), per the CEC.
11. All lighting groupings to be centered in room, U.O.N'. See floor plan sheets for appliances, fixtures per RCP, and space & water heater equip.
13. Provide 20-amp service for dishwasher, garbage disposal, oven, and refrigerator.
14. 208/240v outlet served by 40-amp circuit for future EV charging. Per 2016 CGBSC.
15. All receptacles shall be AFCI and tamper resistant.
16. Contractor to provide a 200 amp. min. electrical panel. Consult with owner prior to procurement.



MAIN LEVEL -RCP	1
3/16" = 1'-0"	



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

**(DRAWING SET NOTE)**

[illegible]

PROJECT  
**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90501

STAMP

DATE 8/7/2025  
2:12:20 PM

JECT	#
------	---

TITLE	MAIN LEVEL - RCP
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31
32	32
33	33
34	34
35	35
36	36
37	37
38	38
39	39
40	40
41	41
42	42
43	43
44	44
45	45
46	46
47	47
48	48
49	49
50	50
51	51
52	52
53	53
54	54
55	55
56	56
57	57
58	58
59	59
60	60
61	61
62	62
63	63
64	64
65	65
66	66
67	67
68	68
69	69
70	70
71	71
72	72
73	73
74	74
75	75
76	76
77	77
78	78
79	79
80	80
81	81
82	82
83	83
84	84
85	85
86	86
87	87
88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

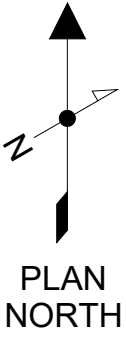
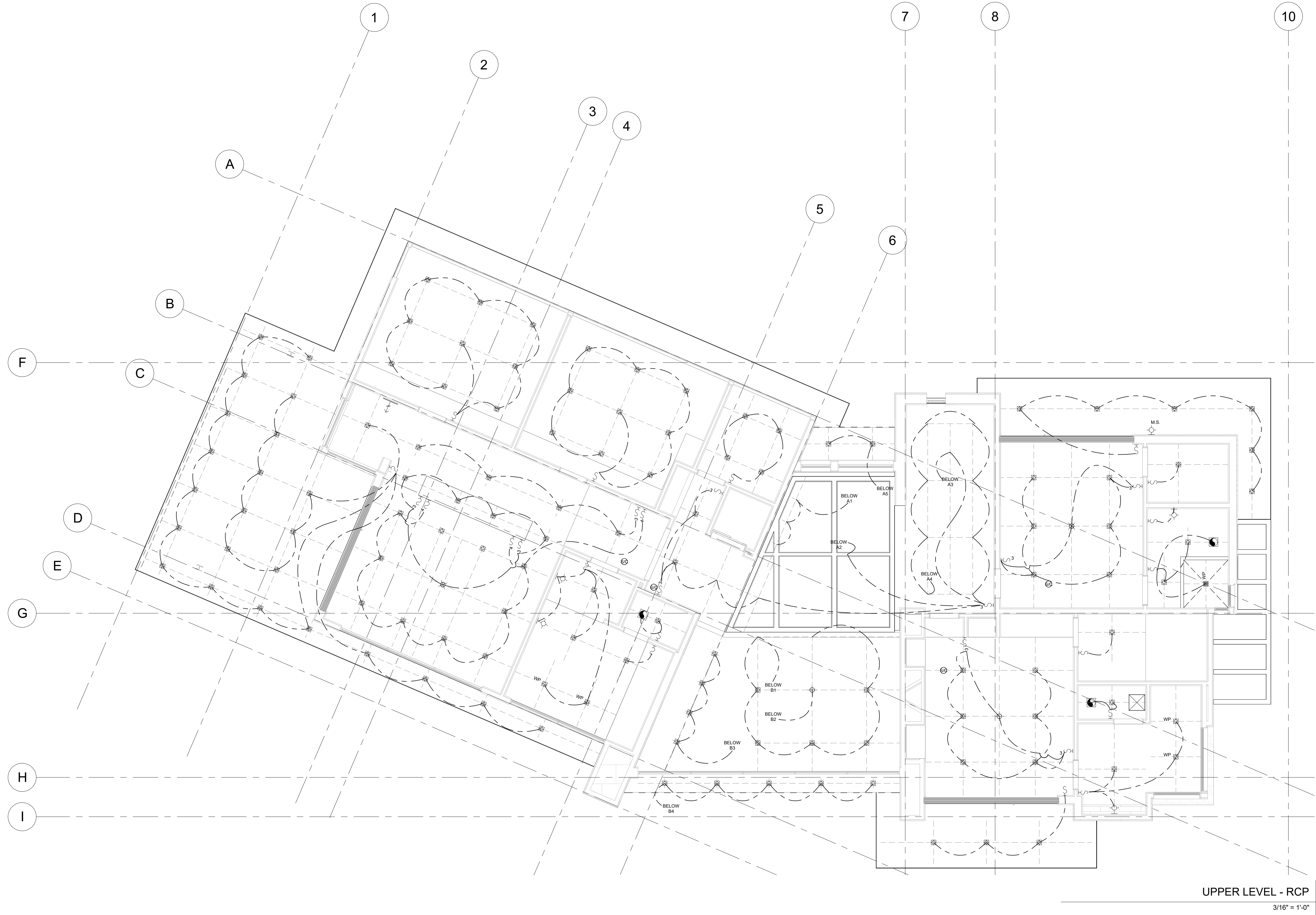
A2.51

ELECTRICAL LEGEND

	HIGH EFFICACY 4" DIA. RECESSED LT.		HIGH EFFICACY SPOT LIGHT		POWER PANEL IN EQUIP. RM. 200 AMP MIN. BUSBAR RATING ELECTRIC METER		GAS OUTLET		DUPLEX OUTLET "##" IS INCHES ABOVE F.F.		DOOR BELL		THERMOSTAT
	HIGH EFFICACY 6" DIA. RECESSED LT.		HIGH EFFICACY FLOOD LT. W/ MOTION CONTROL		GAS METER		HOSE BIBB		SWITCHED DUPLEX OUTLET		DOOR BELL CHIMES		GARBAGE DISPOSAL
	HIGH EFFICACY PENDANT LT.		STAKE MOUNTED UPLIGHT		PREFERRED SOFFIT LOCATION FOR MECHANICAL SUPPLY REGISTER IN CEILING		EXHAUST FAN EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)		DUPLEX, PROTECTED BY G.F.I.		COAXIAL OUTLET		VACUUM OUTLET
	HIGH EFFICACY WALL LT.		SURFACE MOUNTED UPLIGHT		RETURN REGISTER IN CEILING		EXHAUST FAN W/ HIGH EFFICACY LIGHT EXHAUST DIRECTLY TO EXT. & 50 CFM W/ HUMIDISTAT (R303.3)		QUAD OUTLET		PHONE JACK		EXIT SIGN, INTERNALLY ILLUMINATED
	KEYLESS IMPACT RESISTANT CFL		LINEAR FLUOR. FIXTURE		SUPPLY REGISTER IN WALL		SWITCH		SWITCHED QUAD OUTLET		ETHERNET OUTLET		SPEAKER
	COVE & UNDER CABINET HIGH EFFICACY LED LIGHT STRIP		SKYLIGHT		3-WAY & 4-WAY SWITCH		SWITCH W/ VACANCY SENSOR		CEILING MOUNTED OUTLET		RECEIVER BOX LOCATION		SMOKE / CARBON MONOXIDE DETECTOR
	HIGH EFFICACY STEP LIGHT		10" SOLA TUBE SKYLIGHT		DIMMER SWITCH		CEILING MOUNTED OUTLET		FLOOR MOUNTED OUTLET		HDMI OUTLET		

REFLECTED CEILING PLAN NOTES

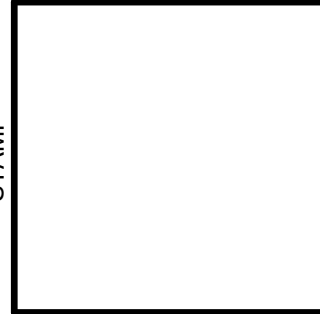
- Smoke alarms and carbon monoxide alarms shall receive their primary power from the building wiring, shall be equipped with a battery backup and interconnected - per section R314.3, R314.4, and R315.1.
- Fans shall be energy star compliant and be ducted to terminate outside the building. Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.
- All mechanically ventilated bathroom-toilet shall be provided with a minimum ventilation of 50 cfm intermittent or 20 cfm continuous in accordance with CMC table 403.7
- Humidity controls shall be capable of adjustment between a relative humidity range of  $\leq 50$  percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).
- Luminaire requirements. Section 150 (K) 1
  - Luminaire efficacy: installed luminaires shall be classified as high efficacy or low efficacy for compliance with section 150.00 (K) in accordance with table 150.0-A or table 150.0-B, as applicable. All high efficacy lighting to use CFL & LED lamps. Hybrid luminaires: when a high efficacy and low efficacy lighting system are combined together in a single luminaire, the high efficacy and low efficacy lighting systems shall separately comply with the applicable provisions of sections 150.0 (K).
- Not less than 5/8" Type X Gypsum Board or equal shall be provided above garage, per R302.6.
- 3 way switches with two dimmers require smart lighting system.
- All receptacles in dwelling unit shall be tamper-resistant, per CEC.
- All receptacles in the bedroom, the dining room, hallway, den, libraries, closet, the family room and similar rooms shall be Arc-Fault Circuit Interrupter (AFCI) per the CEC. Bathroom receptacles shall be served by dedicated 20-amp circuit Ground Fault Interrupter (GFI), per the CEC.
- All lighting groupings to be centered in room, U.O.N.
- See floor plan sheets for appliances, fixtures per RCP, and space & water heater equip.
- Provide 20-amp service for dishwasher, garbage disposal, oven, and refrigerator.
- 208/240v outlet served by 40-amp circuit for future EV charging. Per 2016 CGBSC.
- All receptacles shall be AFCI and tamper resistant.
- Contractor to provide a 200 amp. min. electrical panel. Consult with owner prior to procurement.



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

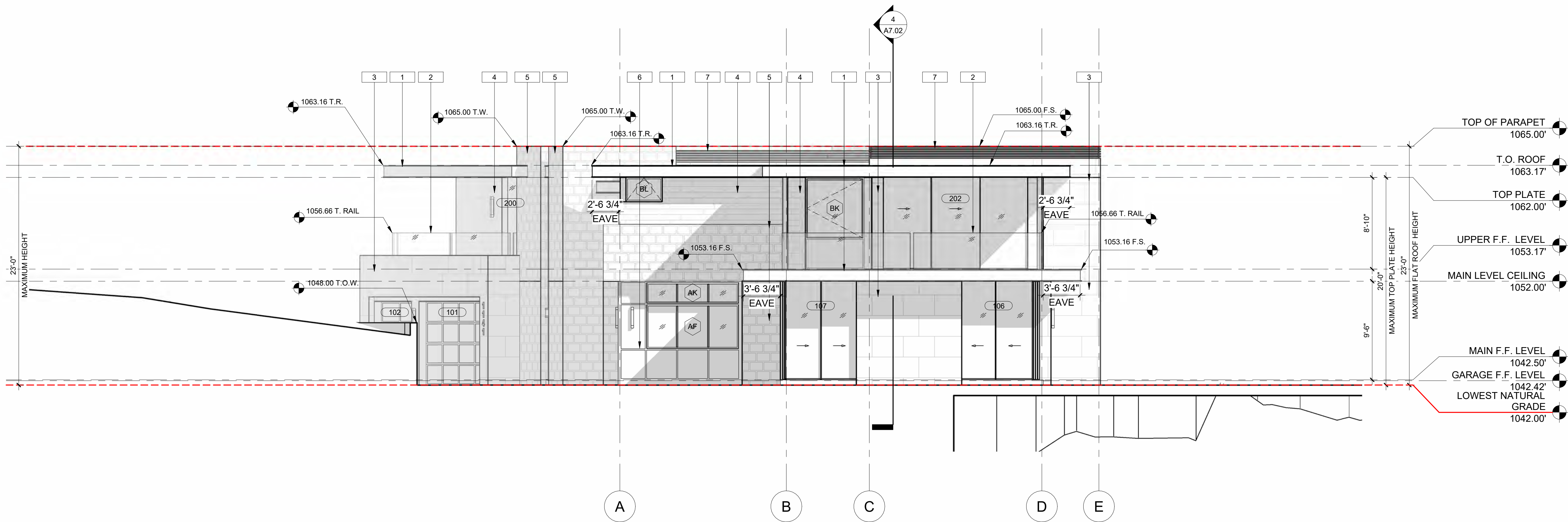
(DRAWING SET NOTE)

REVISIONS	
#	DATE

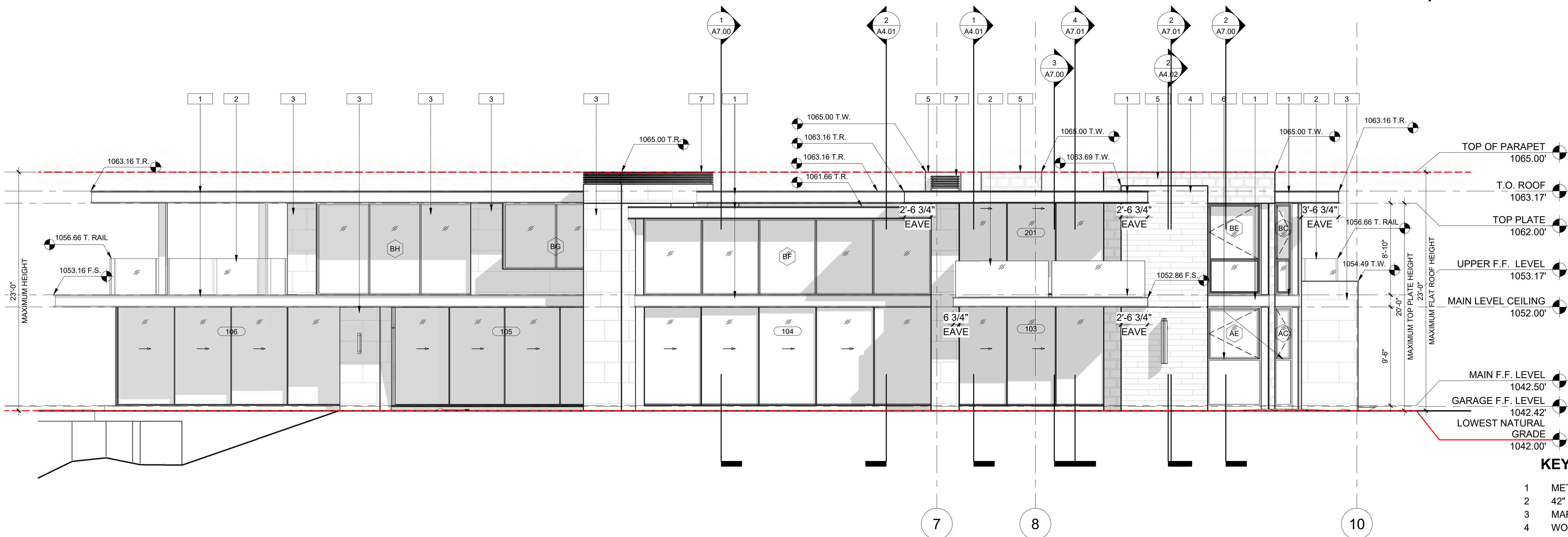




- 1 WOOD SIDING FINISH
- 2 METAL FASCIA PER DETAIL
- 3 MARBLE FINISH WALL
- 4 STONE FINISH WALL
- 5 METAL PANELING FINISH
- 6 42" MIN. GUARDRAIL
- 7 METAL CHIMNEY CAP



PROPOSED WEST ELEVATION | 2  
3/16" = 1'-0"

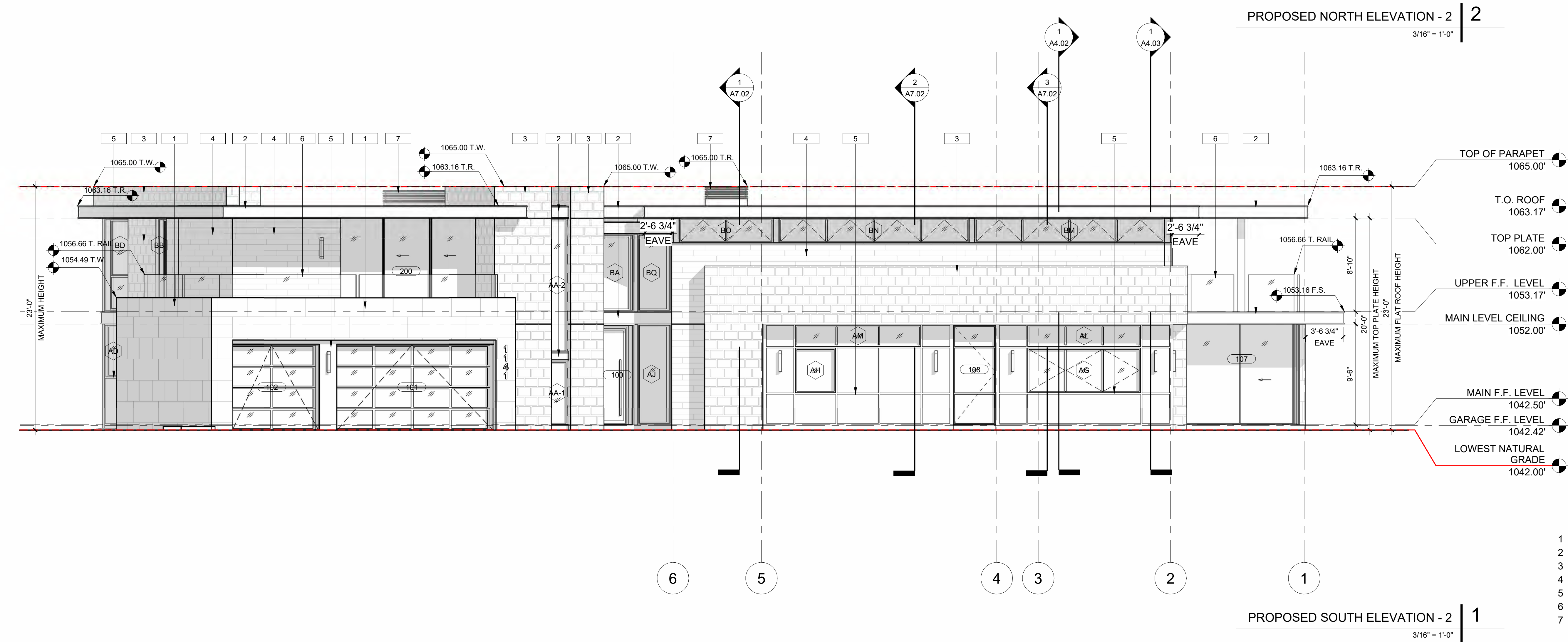
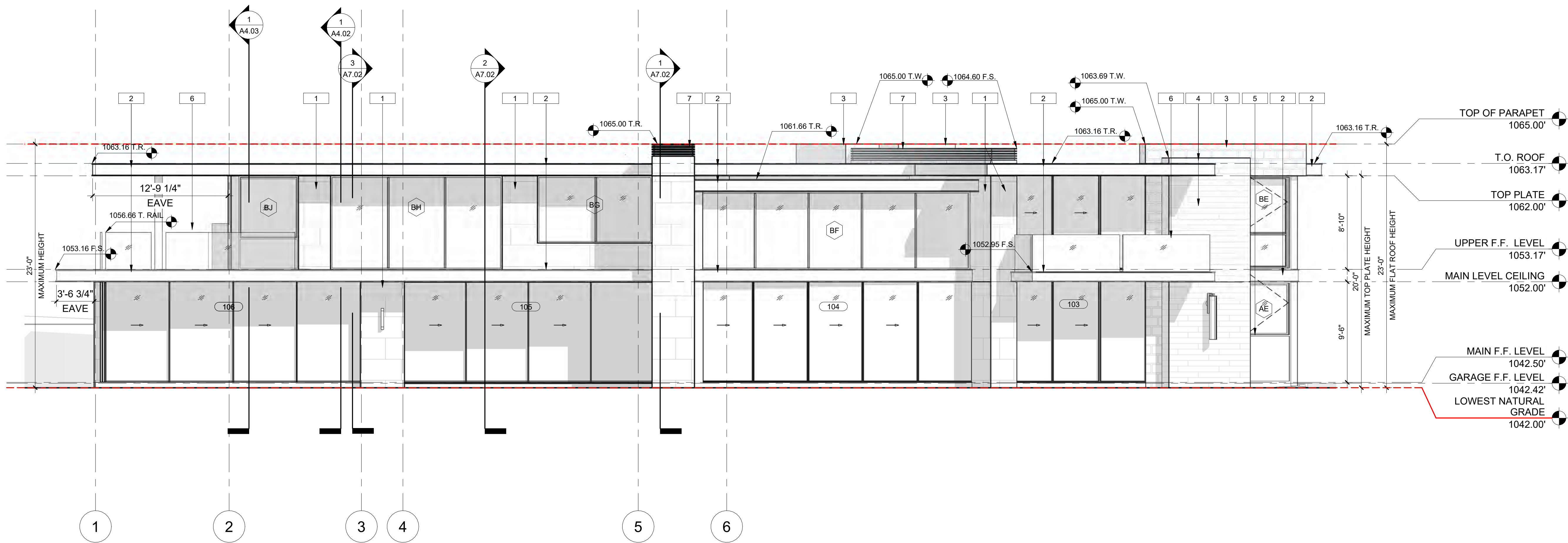


PROPOSED NORTH ELEVATION | 1  
3/16" = 1'-0"

#### KEYNOTES

- 1 METAL FASCIA PER DETAIL
- 2 42" MIN. GUARDRAIL
- 3 MARBLE FINISH WALL
- 4 WOOD SIDING FINISH
- 5 STONE FINISH WALL
- 6 METAL PANELING FINISH
- 7 METAL CHIMNEY CAP

REVISIONS	
NO.	DATE



KEYNOTES

- MARBLE FINISH WALL
- METAL FASCIA PER DETAIL
- STONE FINISH WALL
- WOOD SIDING FINISH
- METAL PANELING FINISH
- 42\"/>
- METAL CHIMNEY CAP

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM  
©COPYRIGHT 2024

REVISIONS  
# TYPE DATE

PROJECT  
WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

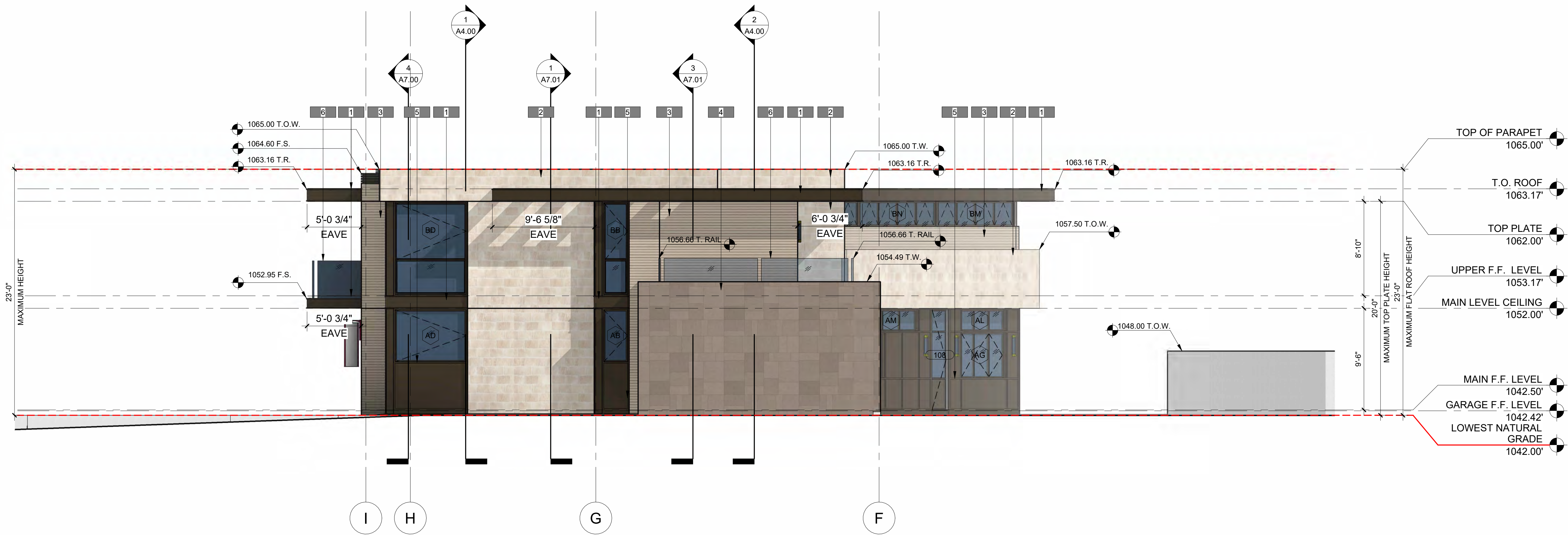
STAMP

DATE  
8/7/2025  
2:12:47 PM

#

MAIN HOUSE - EXTERIOR ELEVATION

A3.02



PROPOSED COLOR EAST ELEVATION | 2  
3/16" = 1'-0"



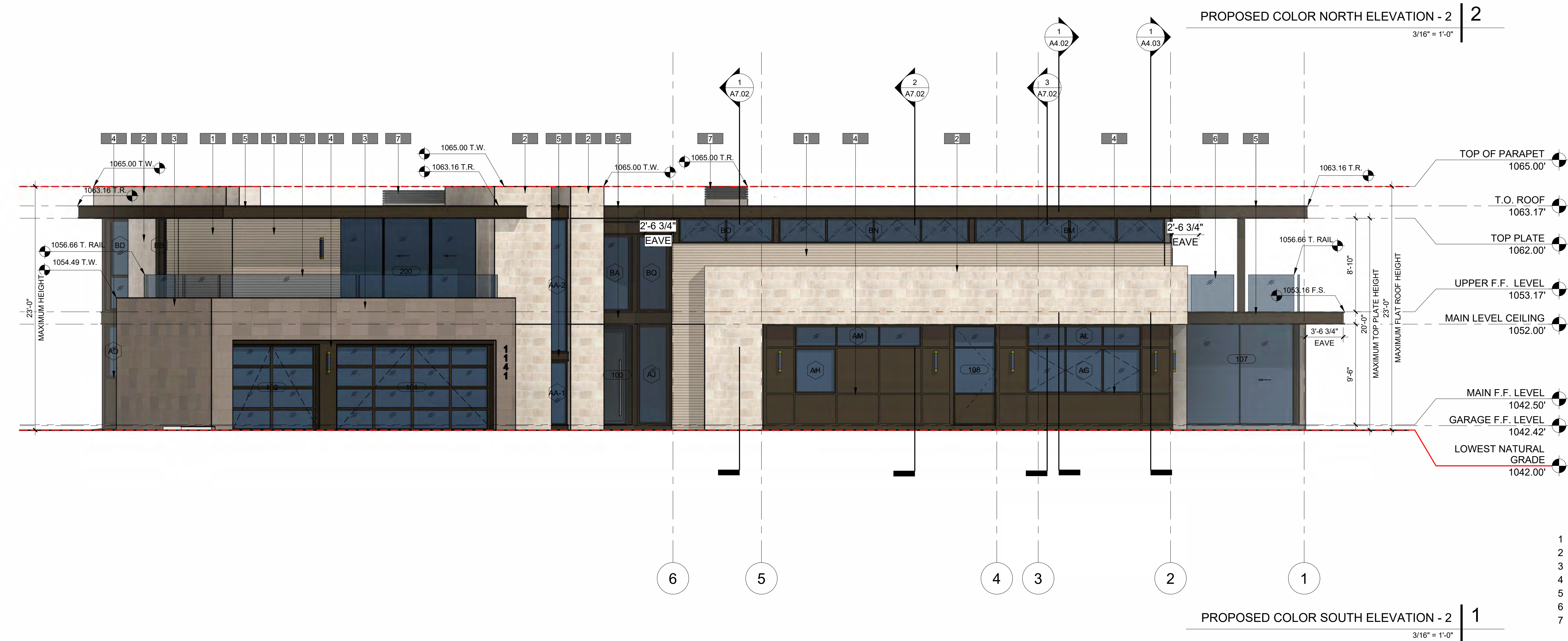
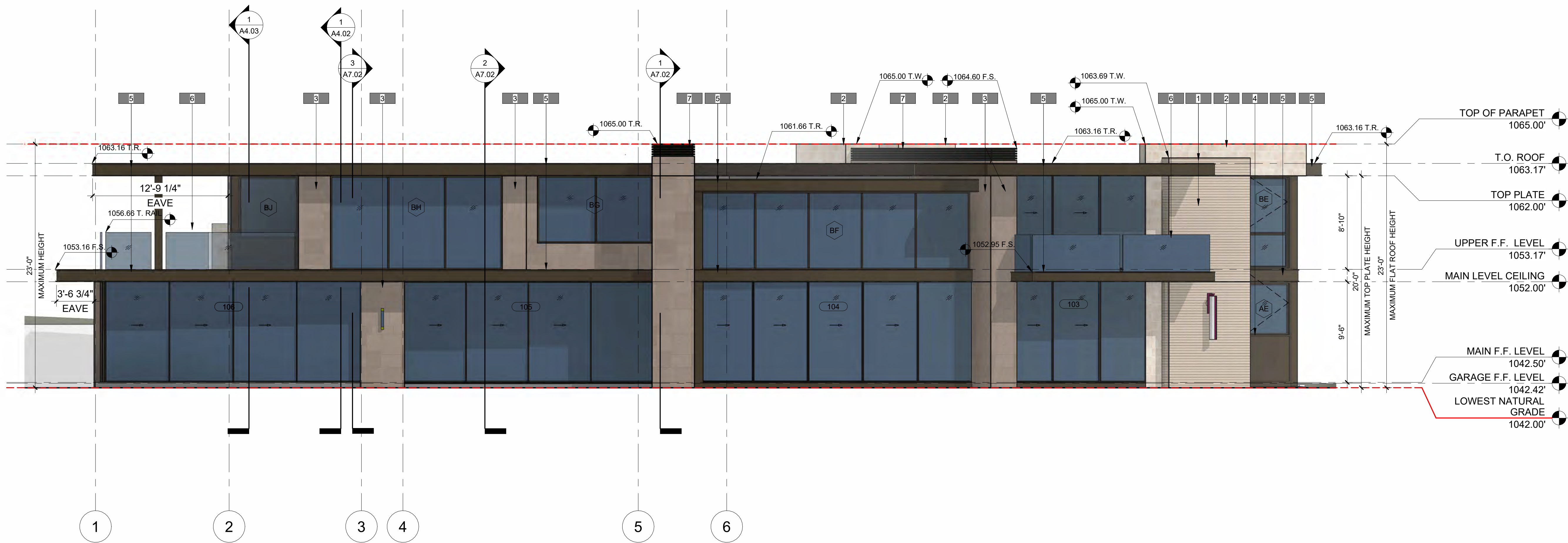
PROPOSED COLOR SOUTH ELEVATION | 1  
3/16" = 1'-0"

#### KEYNOTES

- 1 METAL FASCIA PER DETAIL
- 2 STONE FINISH WALL
- 3 WOOD SIDING FINISH
- 4 MARBLE FINISH WALL
- 5 METAL PANELING FINISH
- 6 42" MIN. GUARDRAIL
- 7 METAL CHIMNEY CAP

REVISIONS		
NO.	TYPE	DATE





#### KEYNOTES

- 1 WOOD SIDING FINISH
- 2 STONE FINISH WALL
- 3 MARBLE FINISH WALL
- 4 METAL PANELING FINISH
- 5 METAL FASCIA PER DETAIL
- 6 42" MIN. GUARDRAIL
- 7 METAL CHIMNEY CAP

---

---

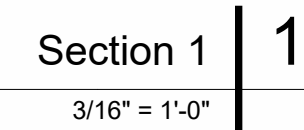
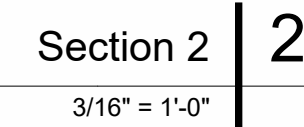
---

---

---

---

1



**(DRAWING SET NOTE)**

[illegible]

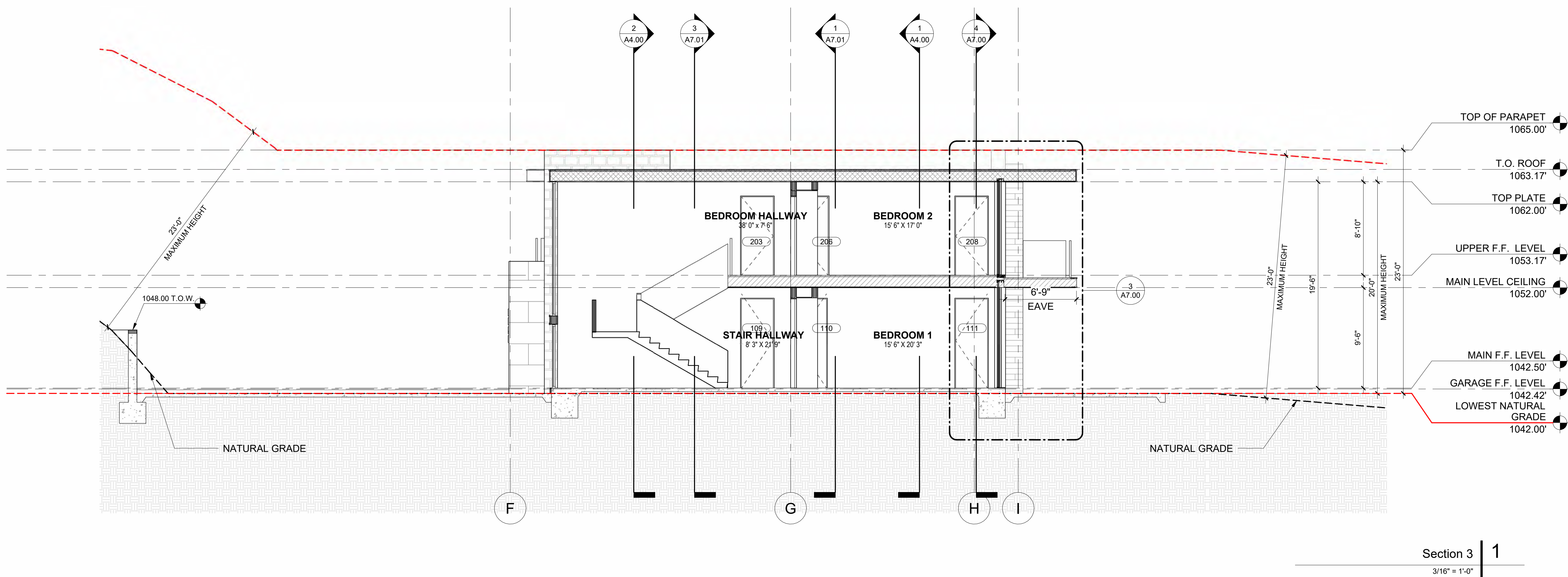
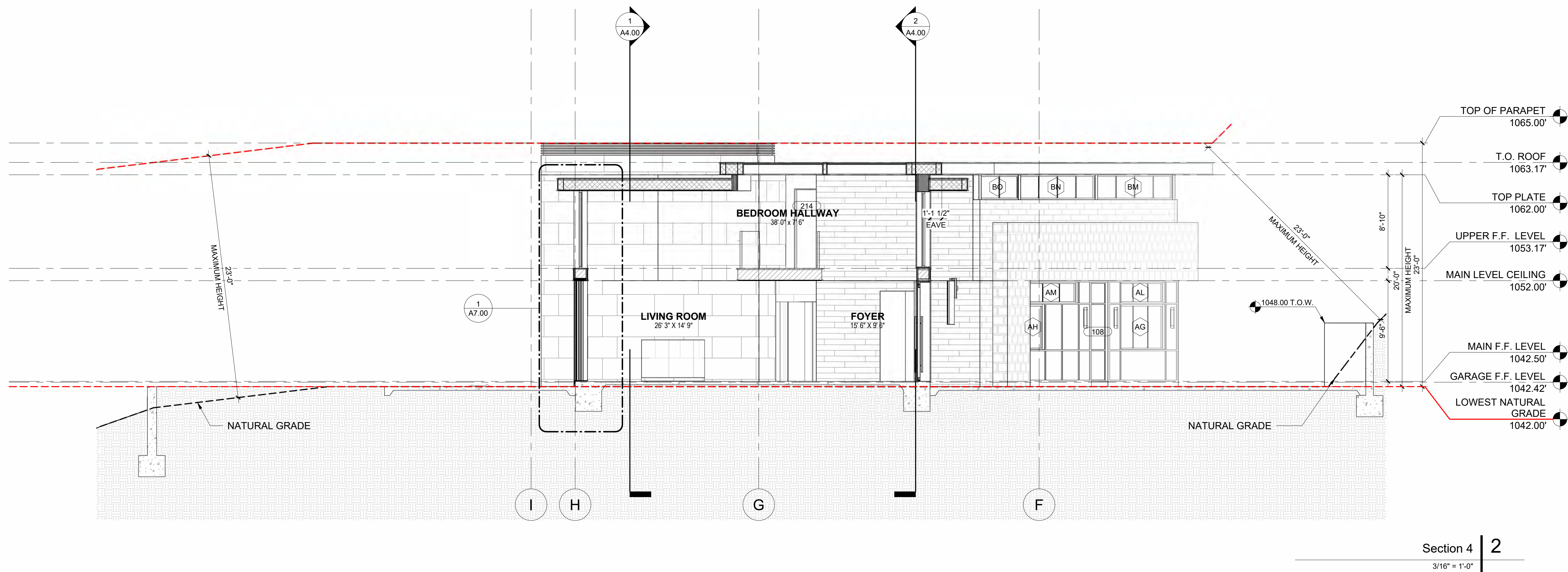
**PROJECT**  
**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90501

DATE 8/7/2025  
2:17:10 PM

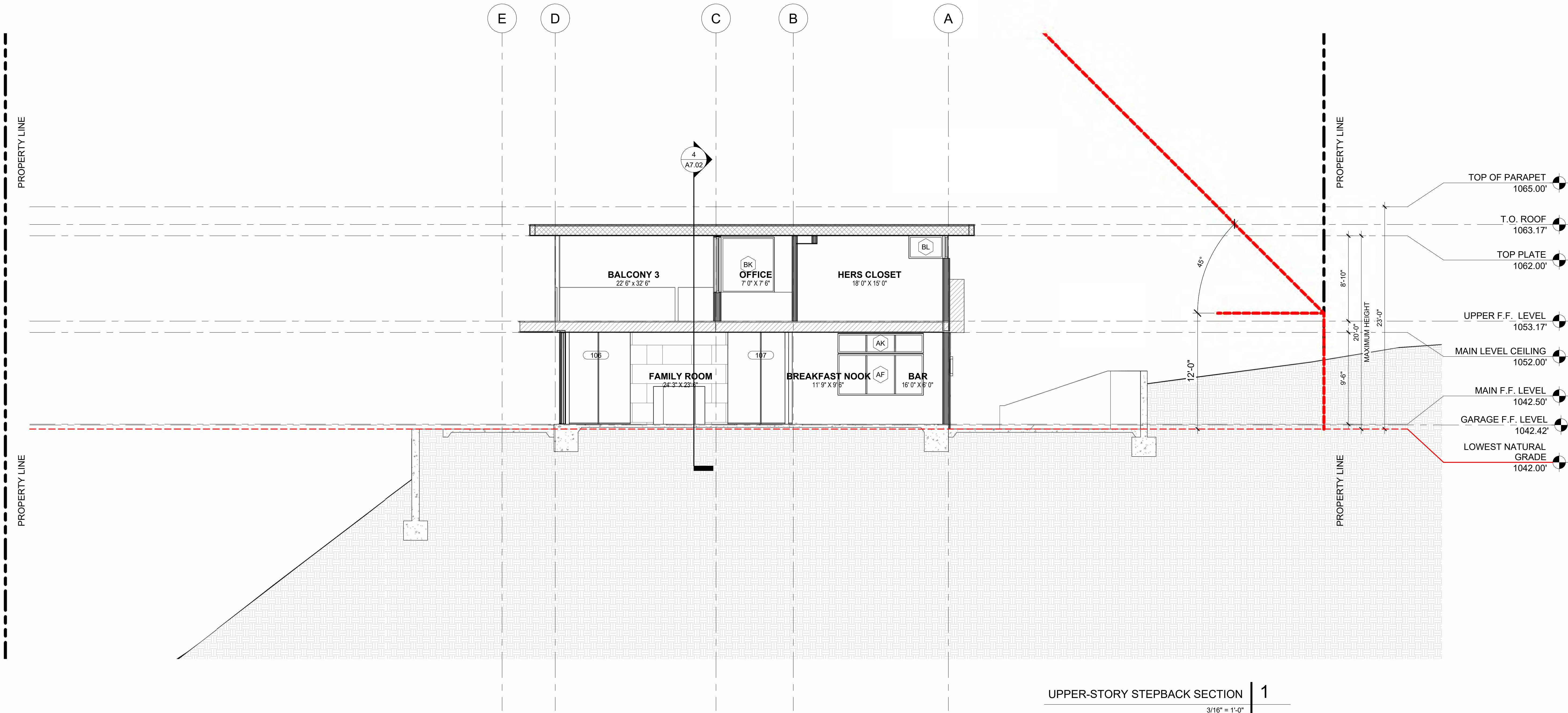
# JECT

BUILDING  
SECTION

**A4.01**







UPPER-STORY STEPBACK SECTION | 1  
3/16" = 1'-0"

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

REVISIONS		
#	TYPE	DATE

PROJECT

WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

STAMP

DATE

8/7/2025  
2:17:15 PM

PROJECT #

#

DWG TITLE

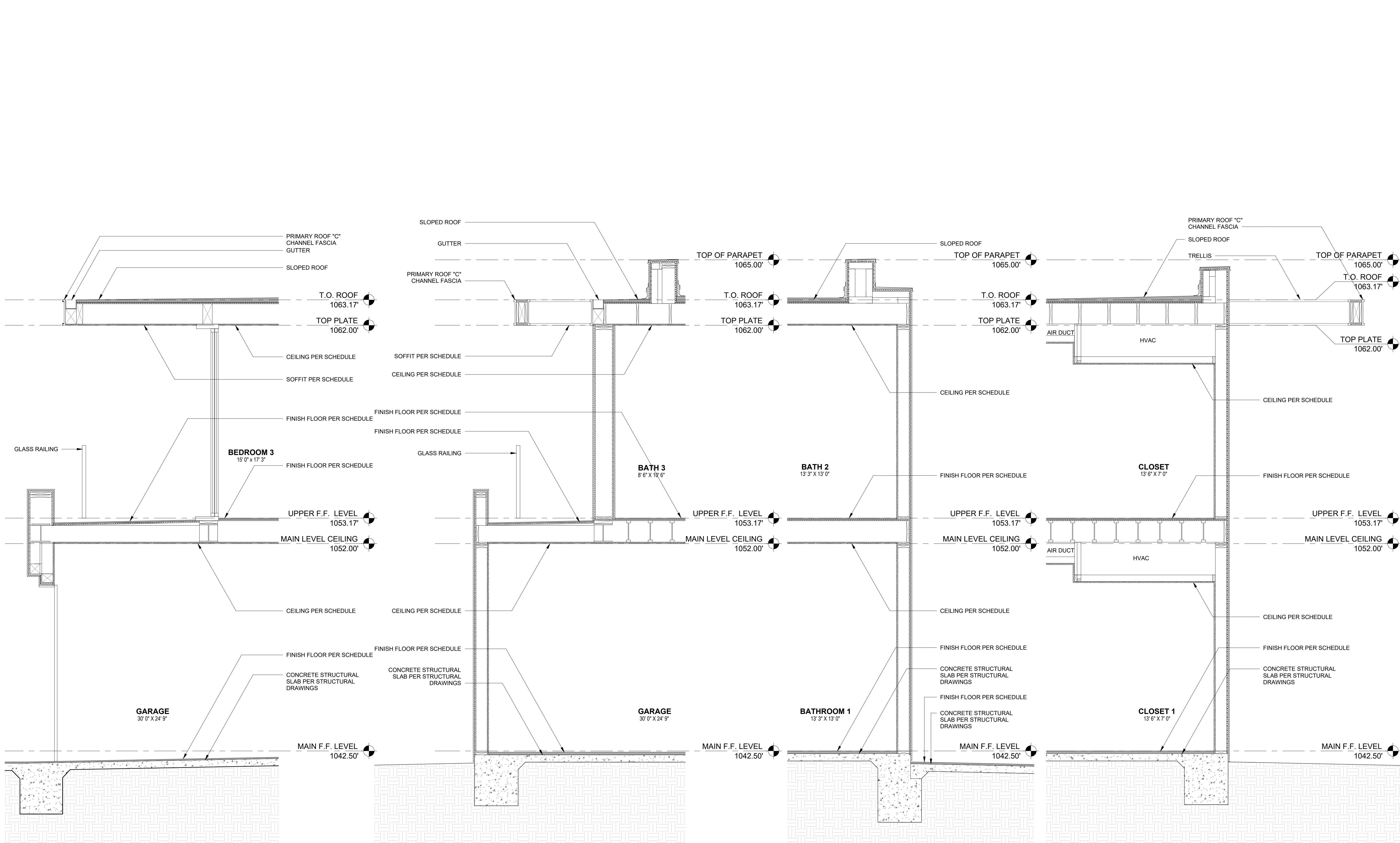
UPPER-STORY STEPBACK SECTION

SHEET NO.

A4.03

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

©COPYRIGHT 2024



Section 19 | 4  
1/2" = 1'-0"

Section 18 | 3  
1/2" = 1'-0"

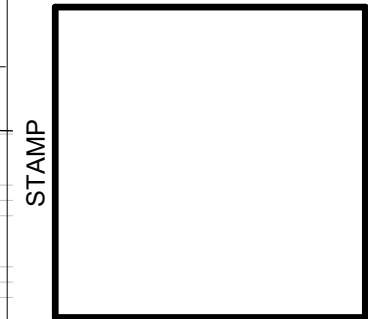
Section 16 | 2  
1/2" = 1'-0"

Section 17 | 1  
1/2" = 1'-0"

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

REVISIONS		
#	TYPE	DATE

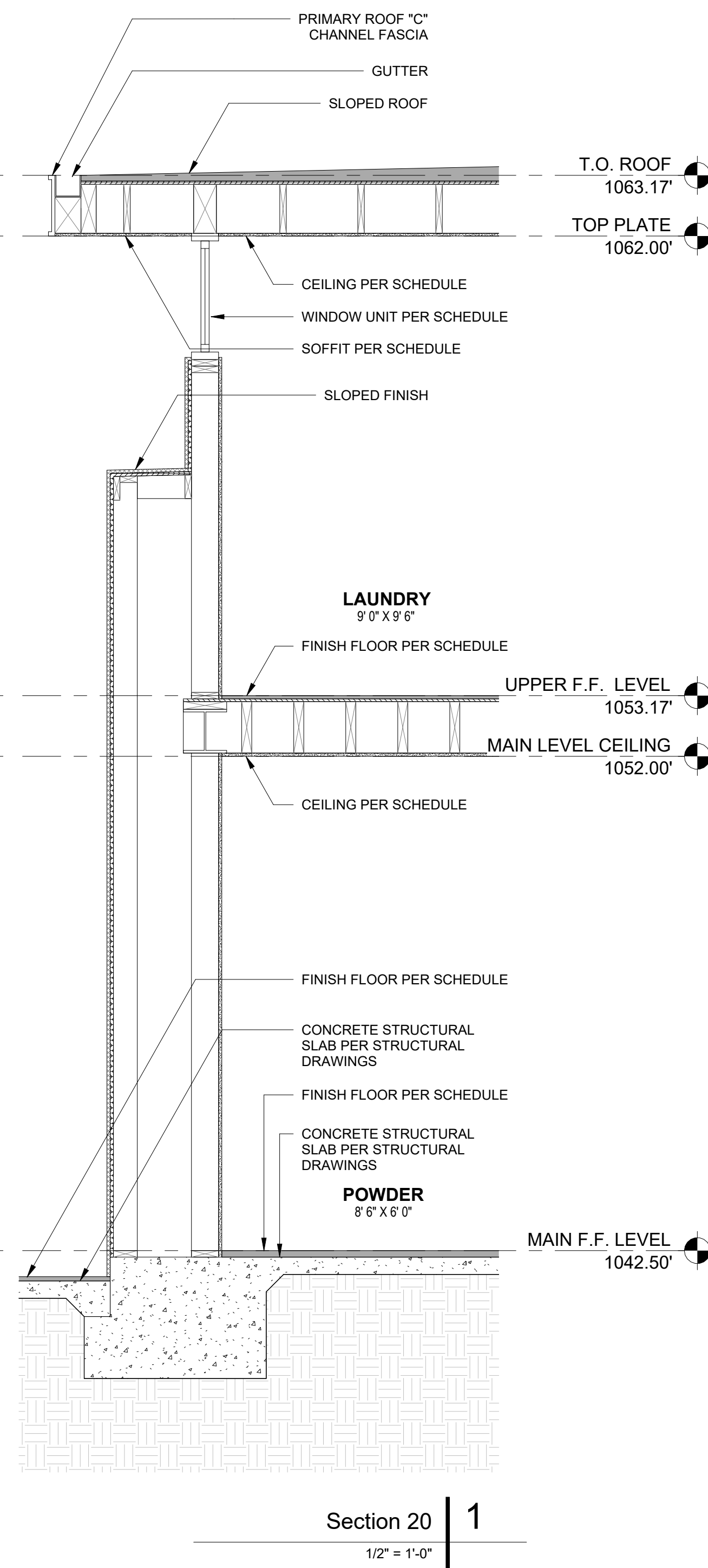
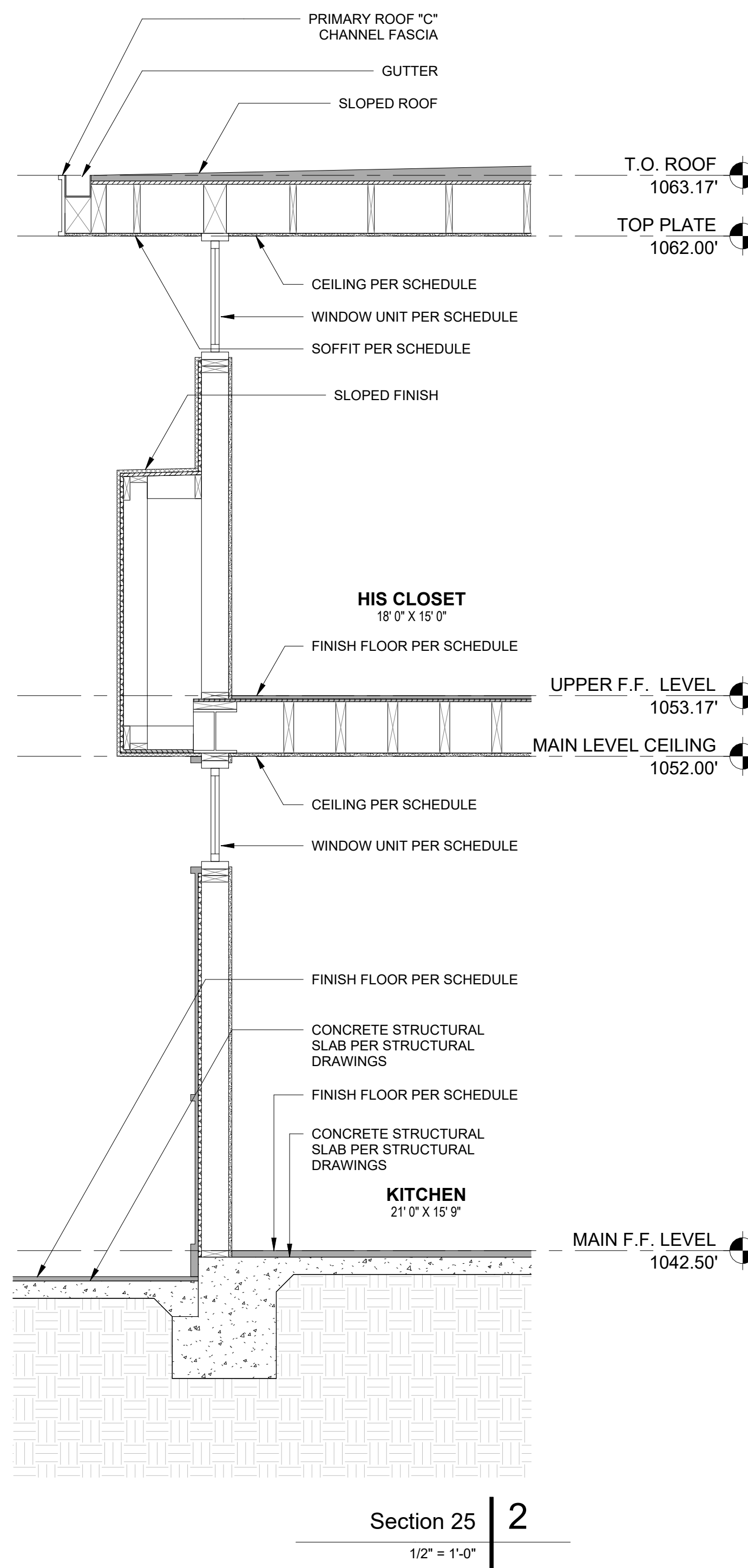
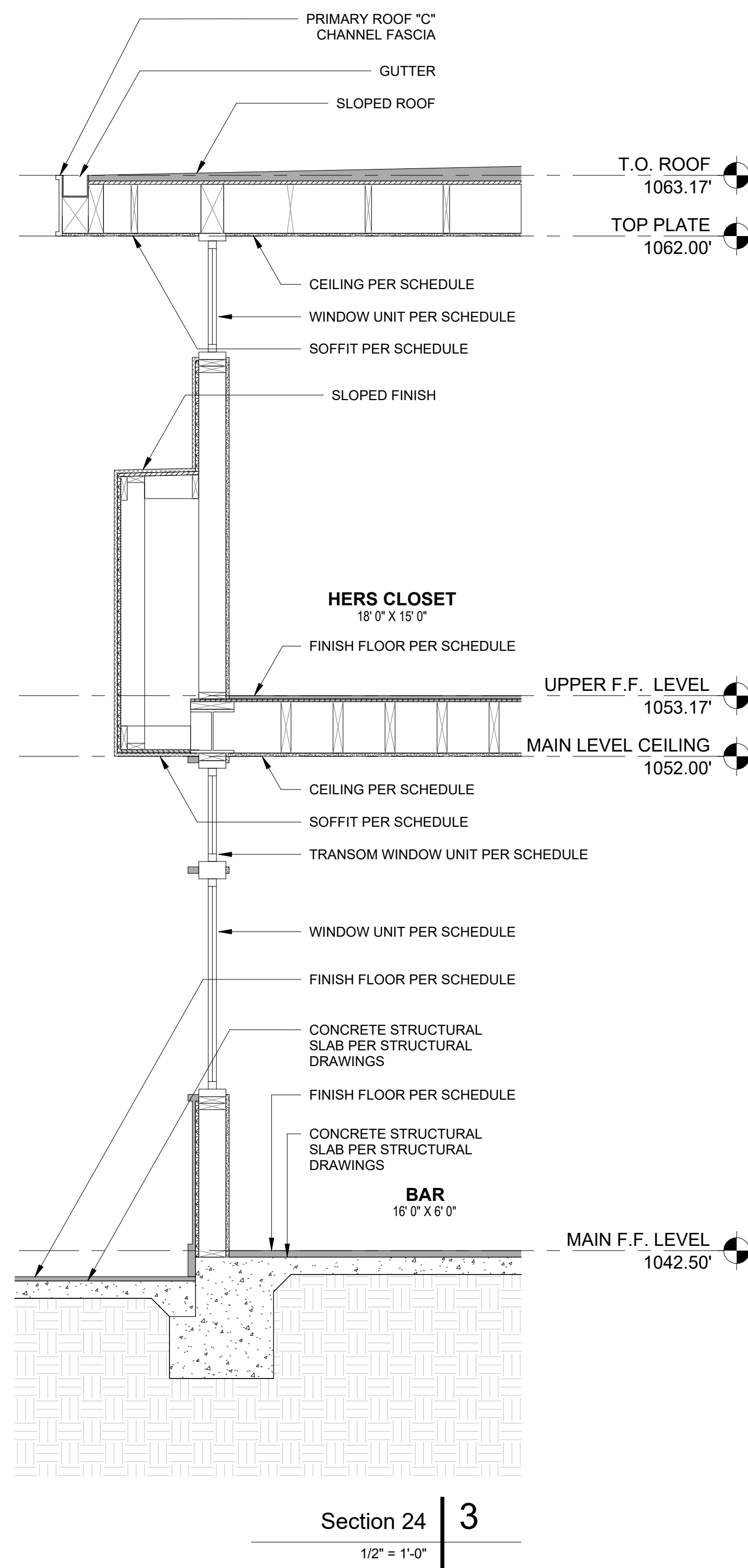
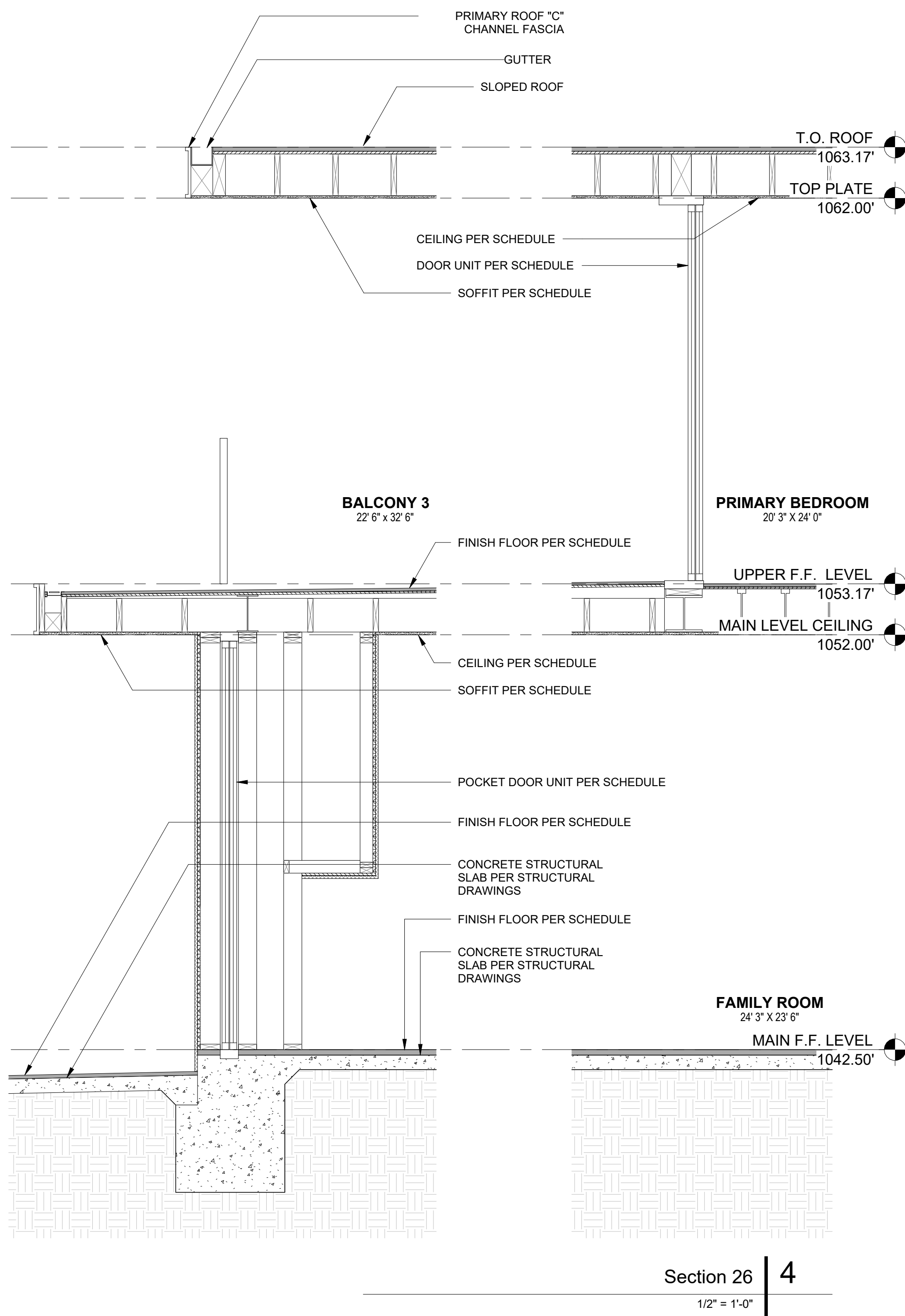


DATE  
8/7/2025  
2:17:22 PM

PROJECT #  
#

DWG TITLE  
WALL SECTIONS

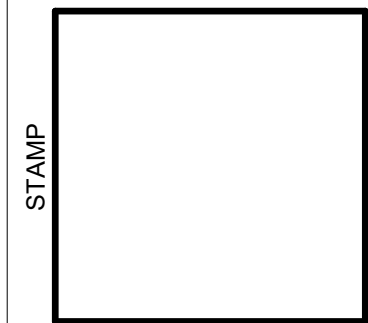
SHEET NO.  
A7.01



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

REVISIONS		
NO.	TYPE	DATE






The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

**(DRAWING SET NOTE)**

**URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARTINA DEL REY, CA 90232  
TEL: 310-301-1810 [WWW.URBANDESIGNSPECIALISTS.COM](http://WWW.URBANDESIGNSPECIALISTS.COM)


REVISIONS

 TYPE DATE

**PROJECT**

**WALNUT RESIDENCE**

1141 E. WALNUT AVE., BURBANK, CA - 90501

STAMP

DATE 8/7/2025  
2:17:30 PM

#

## RENDERINGS


A9.00



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

**(DRAWING SET NOTE)**

**URBAN DESIGN SPECIALISTS**  
4801 GRATIA WAY • NORTHERN CALIFORNIA  
TEL. 310.301.1810 • [WWW.URBANDESIGNSPECIALISTS.COM](http://WWW.URBANDESIGNSPECIALISTS.COM)



@COPYRIGHT 2024

[illegible]

PROJECT  
**WALNUT RESIDENCE**  
1141 E. WALNUT AVE., BURBANK, CA - 90501

STAMP

DATE	8/7/2025 2:17:31 PM
PROJECT #	#
DWG. TITLE	RENDERINGS
SHEET NO.	A9.01



The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (URBAN DESIGN SPECIALISTS), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (URBAN DESIGN SPECIALISTS). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWING SET NOTE)

URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM  
©COPYRIGHT 2024

REVISIONS	
NO.	DESCRIPTION

NO.	TYPE	DATE

PROJECT  
WALNUT RESIDENCE  
1141 E. WALNUT AVE., BURBANK, CA - 90501

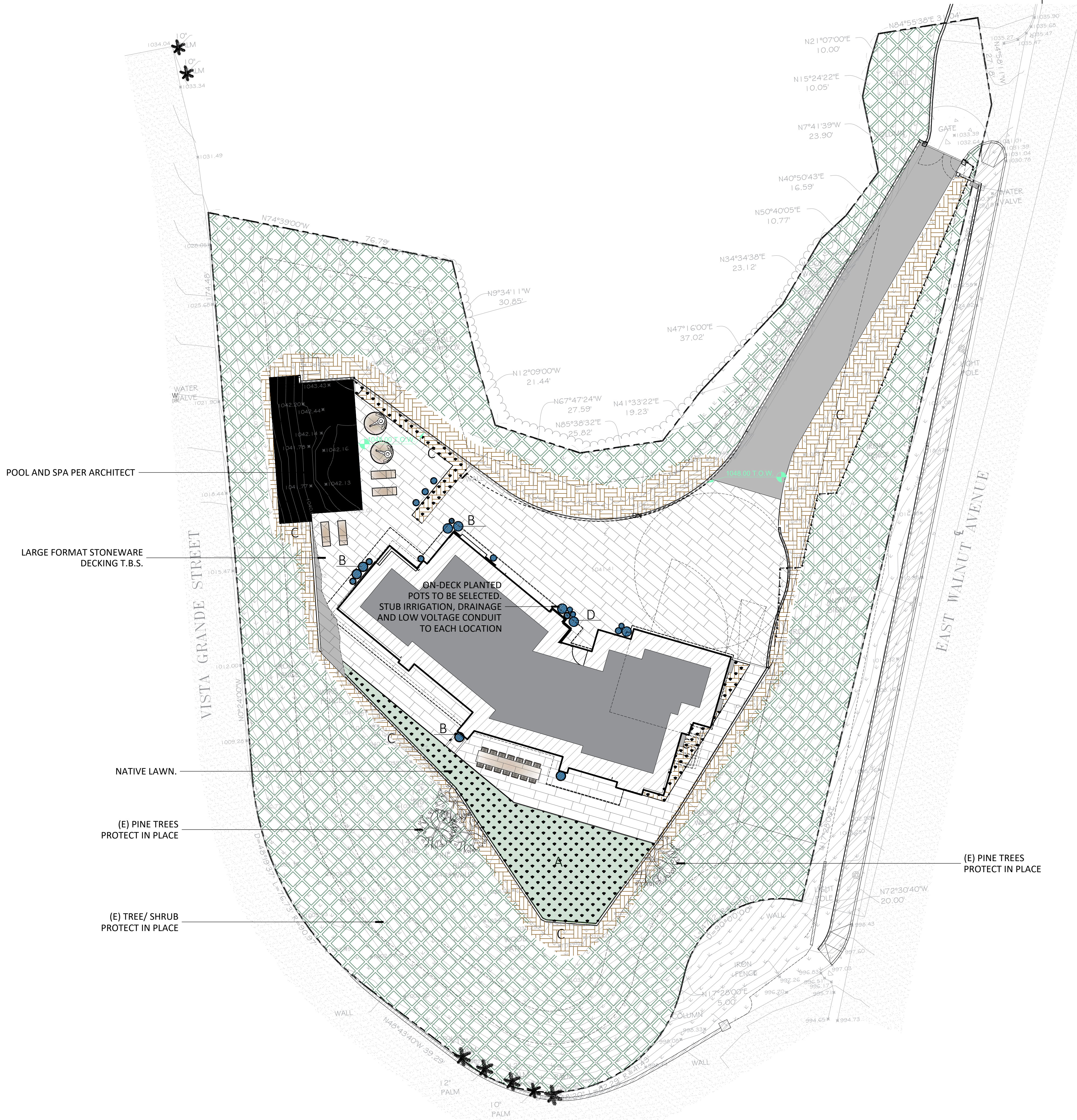
STAMP

DATE  
8/7/2025  
2:17:31 PM

PROJECT #  
#

DWG TITLE  
RENDERINGS

SHEET NO.  
A9.02



POOL AND SPA PER ARCHITECT

LARGE FORMAT STONEWARE  
DECKING T.B.S.

NATIVE LAWN.

(E) PINE TREES  
PROTECT IN PLACE

(E) TREE/ SHRUB  
PROTECT IN PLACE

ON-DECK PLANTED  
POTS TO BE SELECTED.  
STUB IRRIGATION, DRAINAGE  
AND LOW VOLTAGE CONDUIT  
TO EACH LOCATION

(E) PINE TREES  
PROTECT IN PLACE

LANDSCAPE AREAS

- (E) NON-REHABILITATED LANDSCAPE AREA  
(THIN-OUT VEGETATION PER FIRE DEPT.)  
20,900 SQ. FT.
- REHABILITATED LANDSCAPE AREAS
- A: NATIVE LAWN (LOW WATER USE) 1,581 SQ. FT.
- B1: POOL AND SPA 1,041 SQ. FT. (HIGH WATER USE)
- C: PLANTING (DRIP) 4,165 SQ. FT. (LOW WATER USE)
- D: ON DECK PLANTER POTS 75 SQ. FT. (MED WATER USE)

TOTAL REHABILITATED LANDSCAPE AREA: 6,862 SQ. FT.  
83.7% LOW WATER USE

LANDSCAPE SUMMARY  
SCALE: 1/16"=1'-0"



LANDSCAPE  
SUMMARY

THIS PLAN DOES NOT COMMUNICATE  
CONSTRUCTION MEANS OR METHODS AND  
THEREFORE SHALL NOT BE USED FOR  
CONSTRUCTION OR MISCONSTRUED AS A  
CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.  
FINISH ELEVATIONS ARE APPROXIMATE AND SHALL  
BE ADJUSTED AS NEEDED TO ACCOMMODATE  
ACTUAL FIELD CONDITIONS.  
THIS IS A CONCEPT PLAN AND NOT FOR  
CONSTRUCTION.

PROJECT

TITLE

RESIDENCE

1141  
E. WALNUT AVE.  
BURBANK, CA  
90501

DESCRIPTION

DATE

NO.

SHEET

LANDSCAPE

L-1

DATE

07.16.2025



PLANTING SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	MATURE HT.
	COTONEASTER DAMMERI 'LOWFAST'	LOW UPRIGHT ROSEMARY	1 GAL	108	L	1'
	RHAMNUS CA. 'EVE CASE'	COFFEEBERRY	5 GAL	37	L	4'
	HESPERALOE WHIPPLEI	CHAPARRAL YUCCA	5 GAL	8	L	4'
	ARCTOSTAPHYLOS 'EMERALD CARPET'	CARPET MANZANITA	1 GAL	62	L	1.5'
	LAURUS NOBILIS (SHRUB FORM)	SWEET BAY	15 GAL	30	L	2'
	WESTRINGIA 'LOW HORIZON'	GROUNDCOVER COAST ROSEMARY	1 GAL	32	L	1.5'
	AGAVE OVATIFOLIA	WHALE'S TONGUE AGAVE	5 GAL	28	L	3'
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	97	L	2'
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF INDIAN HAWTHORNE	5 GAL	11	L	3'
	BOUGAINVILLEA 'LA JOLLA'	BEAKED YUCCA	15 GAL	5	L	2'-3'
	ALOE STRIATA	CORAL ALOE	5 GAL	11	L	2'
	GREVILLEA 'LONG JOHN'	LONG JOHN GREVILLEA	15 GAL	3	L	6'
	AGAVE BRACTEOSA 'CALAMAR'	SQUID AGAVE	5 GAL	2	L	1'
	AGAVE 'KARA'S STRIPE'	KARA'S TRIPE AGAVE	5 GAL	3	L	2'
	STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	24" BOX	9	L	20'
	ALOE 'HERCULES'	HERCULES TREE ALOE	24" BOX	5	L	20-30'
	AEONIUM 'KIWI'	DWARF VARIEGATED AEONIUM	4" FLAT	3	L	0.5'
	SENECIO MANDRAUSCAE	BLUE CHALKSTICKS	4" FLAT	5	L	0.5'
	AGROSTIS PALLENS	NATIVE BENTGRASS	SOD	1,581 SQ. FT.	L	0.5'

TREES						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	MATURE HT.
	GLEDTISIA TRIACANTHOS 'SUNBURST' (STANDARD)	SUNBURST HONEYLOCUST	24" BOX	6	L	50'

Richard Lusk

LANDSCAPE AND DESIGN

richardlusk.com

800.808.7510

C27 | 950714

CERTIFIED LANDSCAPE CONTRACTOR

Ryan Paul Rusk

Lic# 950714

Exp. 08-31-2026

State of California

LANDSCAPE

THIS PLAN DOES NOT COMMUNICATE CONSTRUCTION MEANS OR METHODS AND THEREFORE SHALL NOT BE USED FOR CONSTRUCTION OR MISCONSTRUCTION AS A CONSTRUCTION PLAN OR TECHNICAL DOCUMENT. FINISH ELEVATIONS ARE APPROXIMATE AND SHALL BE ADJUSTED AS NEEDED TO ACCOMMODATE ACTUAL FIELD CONDITIONS. THIS IS A CONCEPT PLAN AND NOT FOR CONSTRUCTION.

PROJECT TITLE

RESIDENCE

1141 E. WALNUT AVE. BURBANK, CA 90501

NO. DATE DESCRIPTION

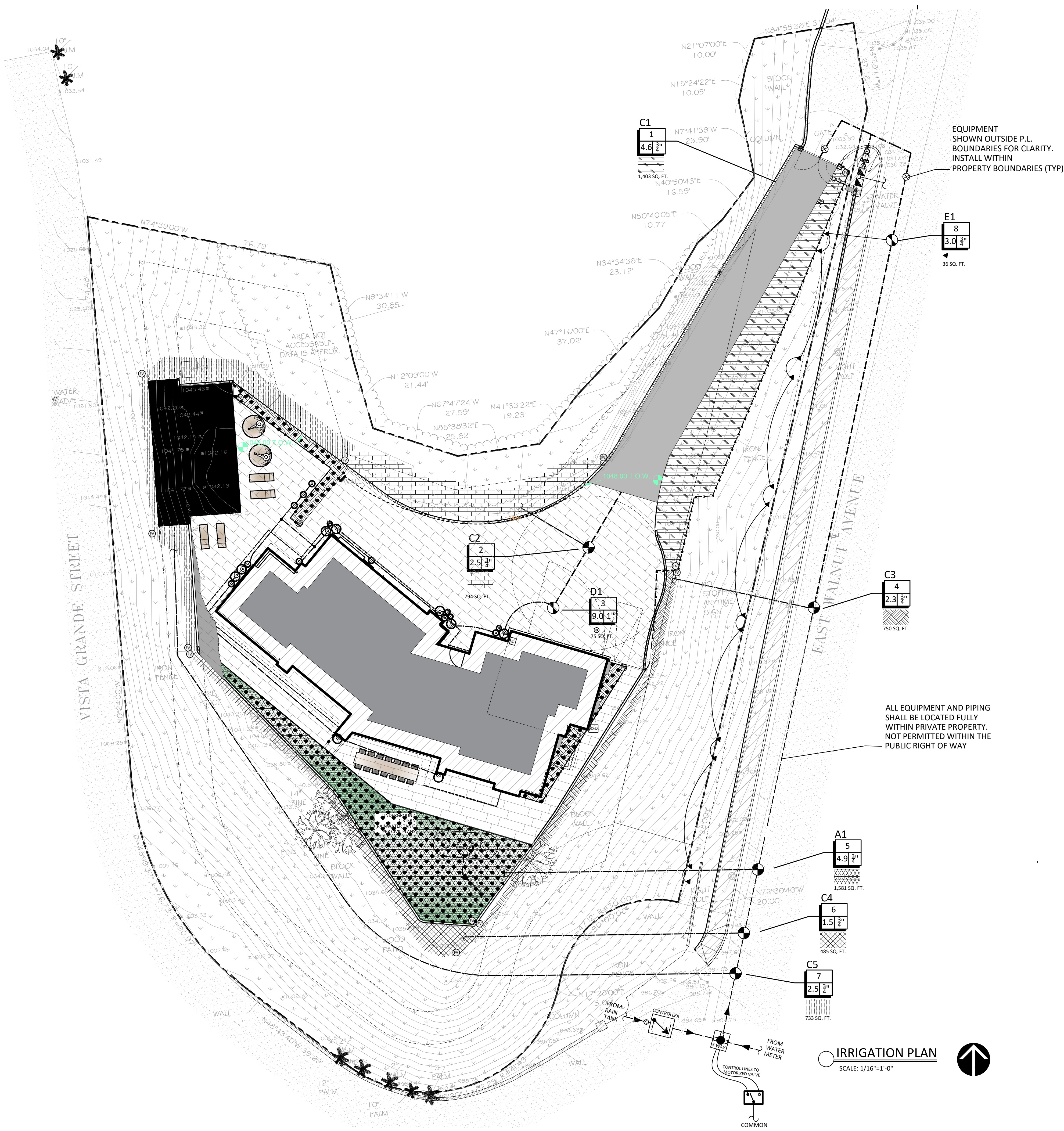
1 07-16-2025 PARKS AND RECREATION UPDATE

SHEET TITLE

PLANTING L-2

DATE

07.16.2025



## IRRIGATION METHODS

### DRIP TUBING (LOW WATER)

SYMBOL	MANUF.	MODEL NO./ DESCRIPTION	PSI	G.P.M	DRIPPER SPACING	TUBE SPACING	PRECIP. RATE
HATCH PATTERNS	NETAFIM	NETAFIM- DRIP LINES (SUB SURFACE AND ON SURFACE) NETAFIM CONTROL ZONE KIT (SEE HYDROZONE MATRIX FOR MODEL)	42	PER ZONE (REFER TO PLAN)	18"	16"	0.45
FV		MANUAL FLUSH VALVE: NETAFIN MODEL# TL5OV INSTALL IN VALVE BOX WITH GRAVEL SUMP.					

### XERISCAPE BUBBLERS (TREES/ SPECIMENS)

SYMBOL	MANUF.	MODEL NO./ DESCRIPTION	PSI	G.P.M	RADIUS	PRECIP. RATE
⊙	RAINBIRD	Xeri-BUBBLER EMITTER UXB (35 GPH MAX)	30	0.58 (MAX)	360	NA

### TREE BUBBLERS (MED WATER REQ.)

SYMBOL	MANUF.	MODEL NO./ DESCRIPTION	PSI	G.P.M	RADIUS	PRECIP. RATE
◀	HUNTER	HUNTER RZW5-18-25-CV	30	0.25	360	NA

## IRRIGATION UTILITES

W	EXISTING POTABLE WATER METER. (E) WATER PRESSURE AT P.O.C.= 70-80 PSI CONTRACTOR TO FIELD VERIFY LOCATION AND PRESSURE PRIOR TO BEGINNING WORK
⚡	WILKINS MODEL#: 500XL PRESSURE REDUCING VALVE W/ REDUCED PRESSURE SET AT 50 P.S.I.
⊗	KING BRO B.T.U. BALL VALVE SHUTOFF (OR EQUAL) LINE-SIZE
⌵	NORMALLY CLOSED MASTER VALVE- LINE SIZE
F	IRRITROL FS-B-100 FLOW SENSOR 1" SIZE IN PVC "T"
⌚	1" IRRIGATION SUB-METER: NETAFIM WM-100-1.0-RS-M (DISPLAY IN GALLONS FOR HOME OWNER) INSTALL IN (1) #1419 CARSON BOX W/ LID
⬮	FEBCO 825Y REDUCED PRESSURE BACKFLOW PREVENTER (FIELD SPOT LOCATION)

## RAINTANK IRRIGATION

⬮	RAINFLO PC115 115V AUTOMATIC PUMP CONTROLLER W/ BUILT IN CHECK VALVE
⚡	RAINFLO MOTORIZED 3-WAY BACKUP VALVE
⊙	RAINFLO 1.25 HP UNIVERSAL RAINWATER PUMP 115V W/ FLOAT SWITCH, FLOATING FILTER AND SCREEN (SUBMERSE IN TANK)
⊕	PRESSURE GAUGE- INSTALL IN CARSON BOX W/ LID
⌚	FLOAT SWITCH WITH WEIGHT, RAINFLO MULTIFUNCTION SET TO 3-WAY VALVE CONTROL MODE (LOCATION ON PLAN IS SCHEMATIC INSTALL FLOAT SWITCH IN CISTERN)
F	GRAF OPTIMAX FILTER - PEDESTRIAN W/ 6" CONNECTIONS

## IRRIGATION CONTROLLER

C	HUNTER PRO-HC CONTROLLER WITH RAIN CLIK RAIN SENSOR
RSD	HUNTER RAIN CLIK RAIN SENSOR

## IRRIGATION PIPING

— — —	1 1/4" IRRIGATION PRESSURE MAINLINE SCH. 40 PVC- BURY MIN. 18" BELOW GRADE WITH SCH. 80 FITTINGS
— — —	NON-PRESSURE LATERAL SCH. 40 PVC WITH SCH. 40 FITTINGS UP TO 1 1/4" BURY MIN. 12" BELOW GRADE NOTE: FOR UNDER FLATWORK, USE PVC SCHEDULE 40 SLEEVING (2x SIZE OF WORKING PIPE)

## VALVE KEY

⬮	CONTROL STATION
⬮	VALVE SIZE
⬮	MAX. GPM DEMAND
⬮	ZONE SYMBOL/ HATCH
⬮	AREA SQ. FT.
⬮	NETAFIM LOW/ HIGH FLOW CONTROL ZONE KIT- KIT IS PRE-ASSEMBLED WITH CONTROL VALVE, FILTER & PRESSURE REGULATOR.
⬮	RAINBIRD 100-DV VALVE

