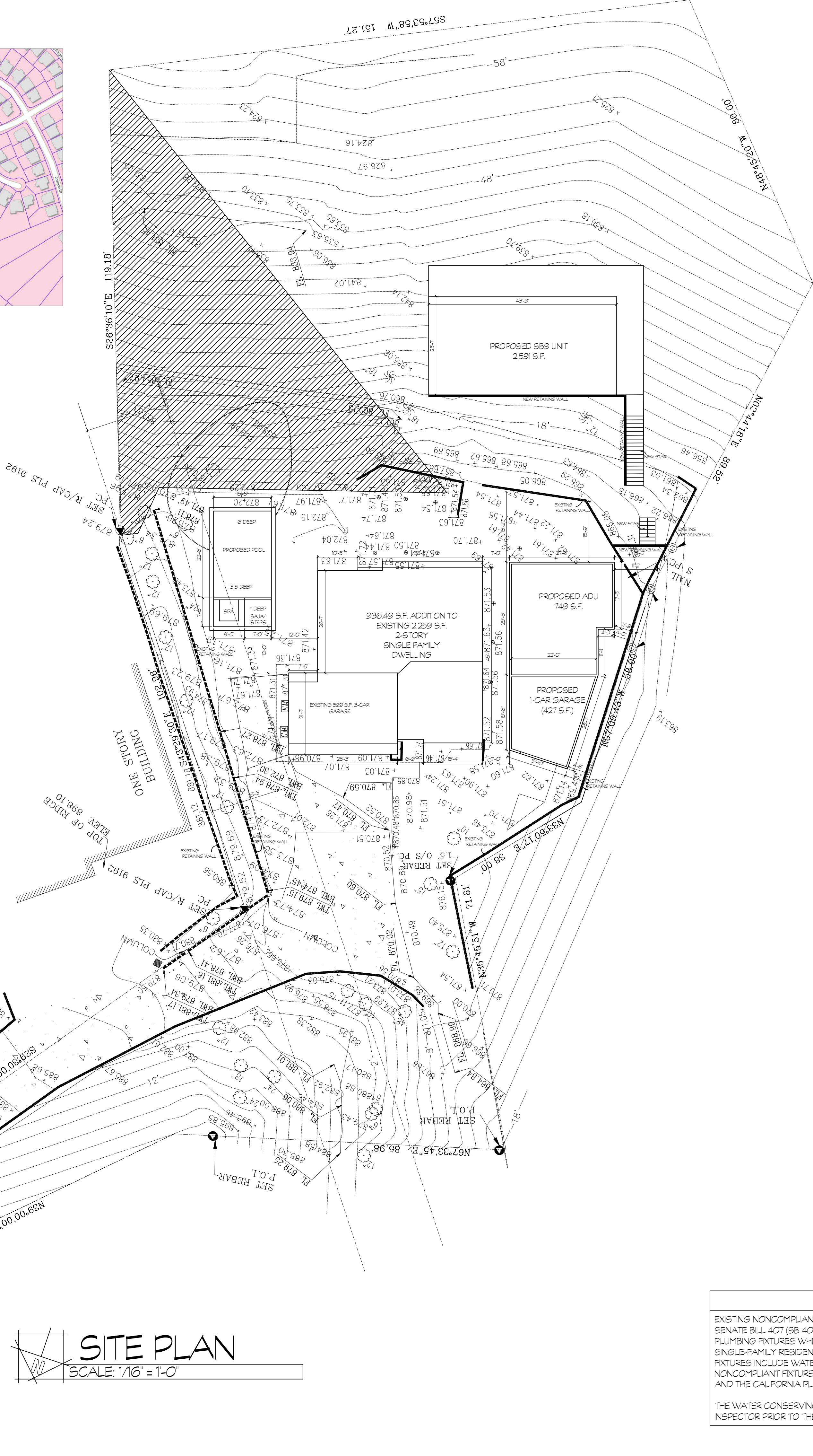




PREVAILING SETBACK CALCULATION

1. 3021 AMIGOS DR - 24.03
2. 3027 AMIGOS DR - 21.21
3. 3033 AMIGOS DR - 20.74
4. 3039 AMIGOS DR - 20.27
5. 3101 AMIGOS DR - 26.80
6. 3105 AMIGOS DR - (SUBJECT PROP, NOT COUNTED)
7. 3111 AMIGOS DR - 18.53
8. 3117 AMIGOS DR - 19.46
9. 3123 AMIGOS DR - 20.85
10. 3129 AMIGOS DR - 21.10
11. 3135 AMIGOS DR - 20.16
- 10 PROPERTIES - TOTAL 213.15
AVERAGE SETBACK = 21.315



SITE PLAN

SCALE: 1/16" = 1'-0"

KESHISHYAN RESIDENCE

PROJECT DESCRIPTION:

ADDRESS: 3105 AMIGOS DR BURBANK CA 91504
OWNER: HAYK KESHISHYAN
DESCRIPTION: 936.49 S.F. ADDITION TO EXISTING 2,259 S.F. 2-STORY SINGLE FAMILY DWELLING. PROPOSED 800 S.F. ADU. PROPOSED 2,591 S.F. 889 UNIT -

CODE ANALYSIS:

TYPE OF CONSTRUCTION: TYPE V-B
OCCUPANCY: R-3
STORIES: 2
BUILDING HEIGHTS: 26'-0" FROM GRADE.
FIRE SPRINKLERS: FULLY SPRINKLERED
CA CLIMATE ZONE: 9
HIGH FIRE HAZARD ZONE: YES
EXISTING RESIDENCE: 2,259 S.F.
ADDITION TO EXISTING RESIDENCE: 936 S.F.
EXISTING 3-CAR GARAGE + ADDITION: 599 S.F.
PROPOSED ADU: 800 S.F.
PROPOSED 1 CAR GARAGE: 427 S.F.
PROPOSED 889: 2,591 S.F.

SHEET INDEX:

- A-1 SITE PLAN, NOTES
A-2 EXISTING AND PROPOSED 1ST FLOOR PLANS, NOTES
A-3 EXISTING AND PROPOSED 2ND FLOOR PLANS, SCHEDULES
A-3.1 FLOOR AREA DIAGRAM
A-3.2 EXISTING PLAN + DEMO CALC.
A-4 EXISTING/ PROPOSED ROOF PLAN
A-5 ELEVATIONS
A-6 ELECTRICAL PLAN, NOTES
A-7 ELECTRICAL PLAN, NOTES
A-8 PROPOSED ADU FLOOR AND ROOF PLANS, SCHEDULES
A-9 ADU ELEVATIONS, SECTION
A-10 ADU ELECTRICAL PLAN, NOTES
A-11 889 FLOOR PLANS
A-12 889 ROOF PLAN, SECTION
A-13 889 ELEVATIONS
A-14 889 ELECTRICAL PLANS
A-15 889 ELECTRICAL PLANS

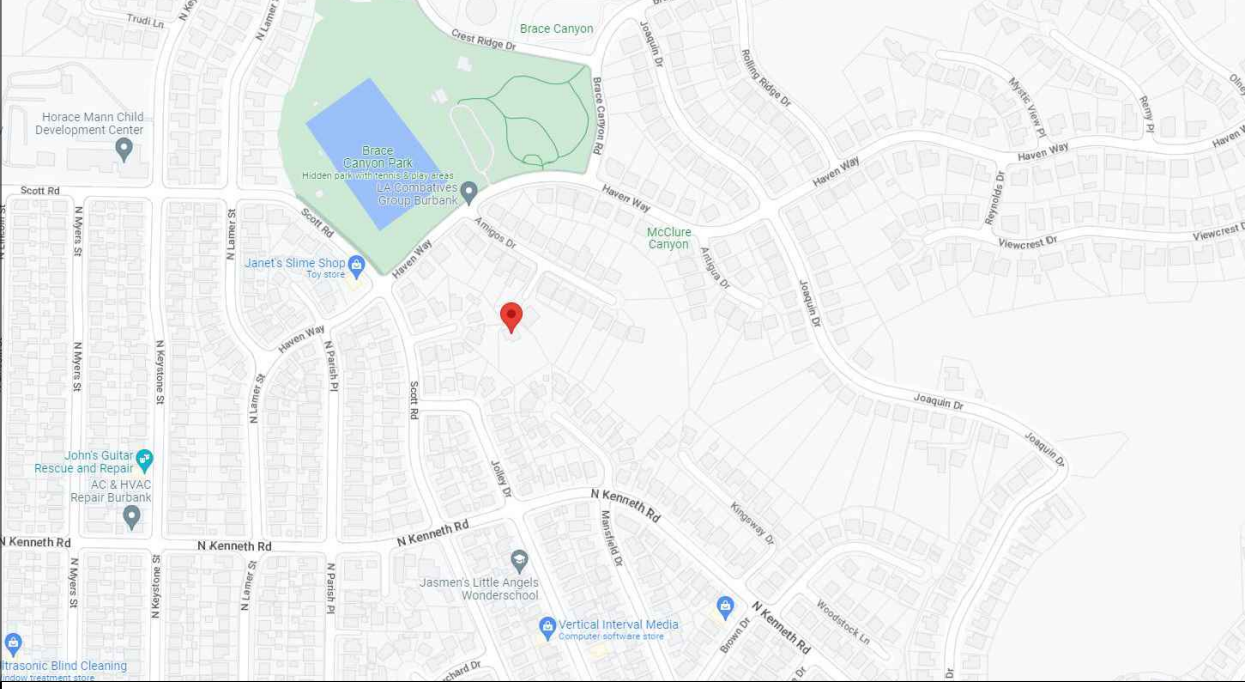
ZONE: R1
OCCUPANCY: R-3, U
CONST. TYPE: V-B
LOT SIZE: 40,511 S.F.
ALLOWABLE COV:

LEGAL DESCRIPTION: TRACT NO 30448 LOT 8
A.P.N. #: 2471-018-025

PHYSICAL DESCRIPTION:

TOTAL FLOOR AREA: 2,259 S.F.
EXISTING RESIDENCE: 936 S.F.
ADDITION TO EXISTING RESIDENCE: 936 S.F. (400 S.F. EXEMPT)
EXISTING 3-CAR GARAGE: 599 S.F.
PROPOSED ADU: 749 S.F.
PROPOSED 1 CAR GARAGE: 427 S.F. (EXEMPT)
PROPOSED 889: 2,591 S.F.

VICINITY MAP:



STORM WATER MANAGMENT:

STORM WATER MANAGEMENT: FOR SITES LESS THAN ONE ACRE THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIRES ALL CONSTRUCTION PROJECTS TO PROTECT WATER QUALITY DURING CONSTRUCTION AND REDUCE POLLUTANTS IN STORM WATER RUNOFF THROUGH IMPLEMENTATION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES (BMP).
SCHEDULING (ESC-1)
PRESERVATION OF EXISTING VEGETATION (ESC-2)
STABILIZED CONSTRUCTION SITE ENTRANCE/EXIT (ESC-24)
SILT FENCE (ESC-50)
SAND BAG BARRIER (ESC-52)
WATER CONSERVATION PRACTICES (NS-1)
DEWATERING OPERATIONS (NS-2)
MATERIAL DELIVERY AND STORAGE (WM-1)
STOCKPILE MANAGEMENT (WM-3)
SPILL PREVENTION AND CONTROL (WM-4)
SOLID WASTE MANAGEMENT (WM-5)
CONCRETE WASTE MANAGEMENT (WM-8)
SANITARY/SEPTIC WASTE MANAGEMENT (WM-9)

THE SUGGESTED IMPLEMENTATION MEASURES LISTED BELOW ARE NOT INTENDED TO BE A COMPLETE LIST OF BMPs. PROJECT APPLICANTS ARE RESPONSIBLE FOR ADOPTING BMPs THAT ADDRESS THE SPECIFIC CONDITIONS OF THEIR PROJECT. CONSULT THE CALIFORNIA BEST MANAGEMENT PRACTICE PRACTICE HANDBOOK PUBLISHED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION FOR MORE DETAILED INFORMATION.

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
 2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
 3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
 4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
 5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
 6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
 7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
 8. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
 9. ANY SLOPES WITH DISTURBED SOILS OR DENUDE OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
 10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.
- STORMWATER DRAINAGE AND RETENTION DURING CONSTRUCTION TO BE MANAGED BY THE USE OF SAND-BAGS

SETBACK CERTIFICATION REQUIREMENT: A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACK OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-107).

SEPARATE PERMITS ARE REQUIRED FOR:
POOL/SPA, FENCE/WALL/RETAINING WALL, MECHANICAL/ELECTRICAL, PLUMBING

EXISTING NONCOMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENT: SENATE BILL 407 (SB 407) REQUIRES NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER- CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS BILL APPLIES TO ALL SINGLE-FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS CONSTRUCTED ON OR BEFORE JANUARY 1, 1994. FIXTURES INCLUDE WATER CLOSETS, URINALS, SHOWER-HEADS, LAVATORY FAUCETS, AND KITCHEN FAUCETS. NONCOMPLIANT FIXTURES CAN ONLY BE REPLACED BY FIXTURES COMPLYING WITH THE REQUIREMENTS OF CALGREEN AND THE CALIFORNIA PLUMBING CODE.

THE WATER CONSERVING PLUMBING FIXTURE CERTIFICATE OF COMPLIANCE MUST BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO THE FINAL BUILDING INSPECTION.

DIVERSION OF CONSTRUCTION & DEMOLITION DEBRIS

DIVERSION OF C&D DEBRIS: A MINIMUM OF 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$60.05 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL. (BMC 9-1-1-1012).

RESIDENTIAL DEMOLITION NOTE
PARTIAL DEMOLITION OF A RESIDENTIAL STRUCTURE IN ASSOCIATION WITH A CONSTRUCTION PROJECT IS ONLY PERMITTED WHERE INDICATED ON THE APPROVED PLANS. ANY DEMOLITION WORK BEYOND THAT SHOWN ON THE APPROVED PLANS MAY RESULT IN A STOP WORK ORDER (CBC CHAPTER 1 SEC 115) AND/OR REVOCATION OF THE PERMIT (CBC CHAPTER 1 SEC 105.6). ADDITIONAL DEMOLITION WORK MAY ALSO REQUIRE COMPLIANCE WITH BURBANK MUNICIPAL CODE SEC. 10-1-1810 IF MORE THAN 50% OF THE STRUCTURE IS DEMOLISHED.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, CMG, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THE CITY OF BURBANK LOCAL AMENDMENTS.
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4)
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1)
7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6% TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%.
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%.

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA GREEN BUILDING CODE (CALGreen)
2019 CALIFORNIA ENERGY CODE

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT (5% SLOPE) WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10 FT. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE RAINFALL AWAY FROM THE STRUCTURE. [CBC 1804.4]

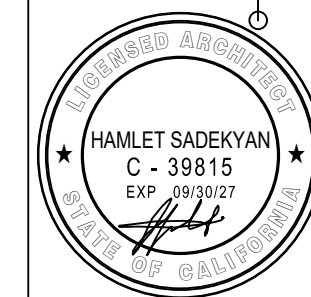
IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. [CBC 1804.4]

HERS VERIFICATION REQUIREMENT

FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION:
NAME: _____ LICENSE NO. _____

ARCHITECT: HAMLET SADEKYAN
(N RESPONSIBLE CONTROL)
STU3DIO
111 N. CEDAR AVE #202
BURBANK, CA 91502
(818)-745-7413

stu3Dio



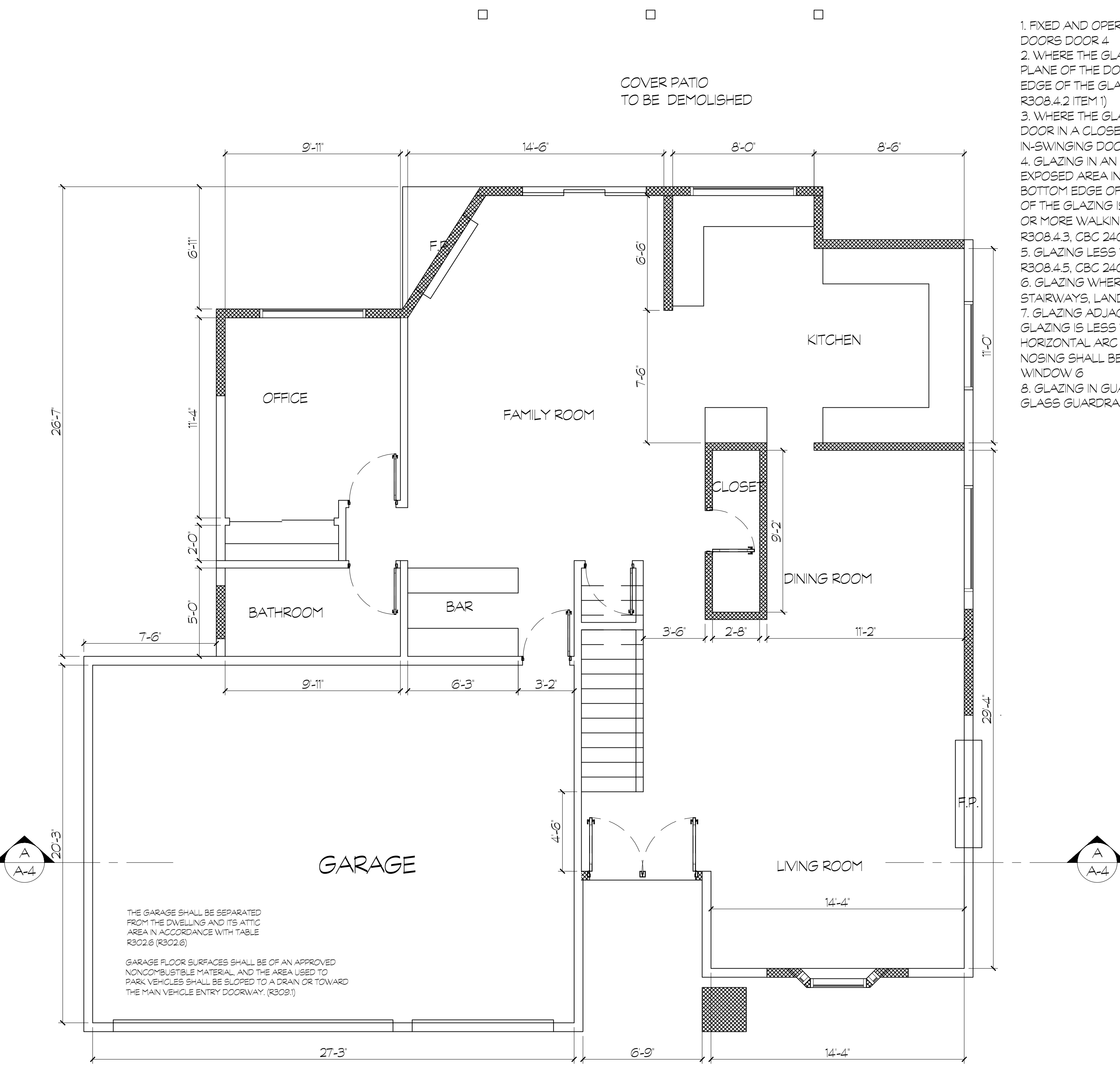
PROJECT NAME & SITE ADDRESS:
3105 AMIGOS DR BURBANK CA 91504
KESHISHYAN RESIDENCE

SITE PLAN
NOTES

DATE:
09/08/25

A-1

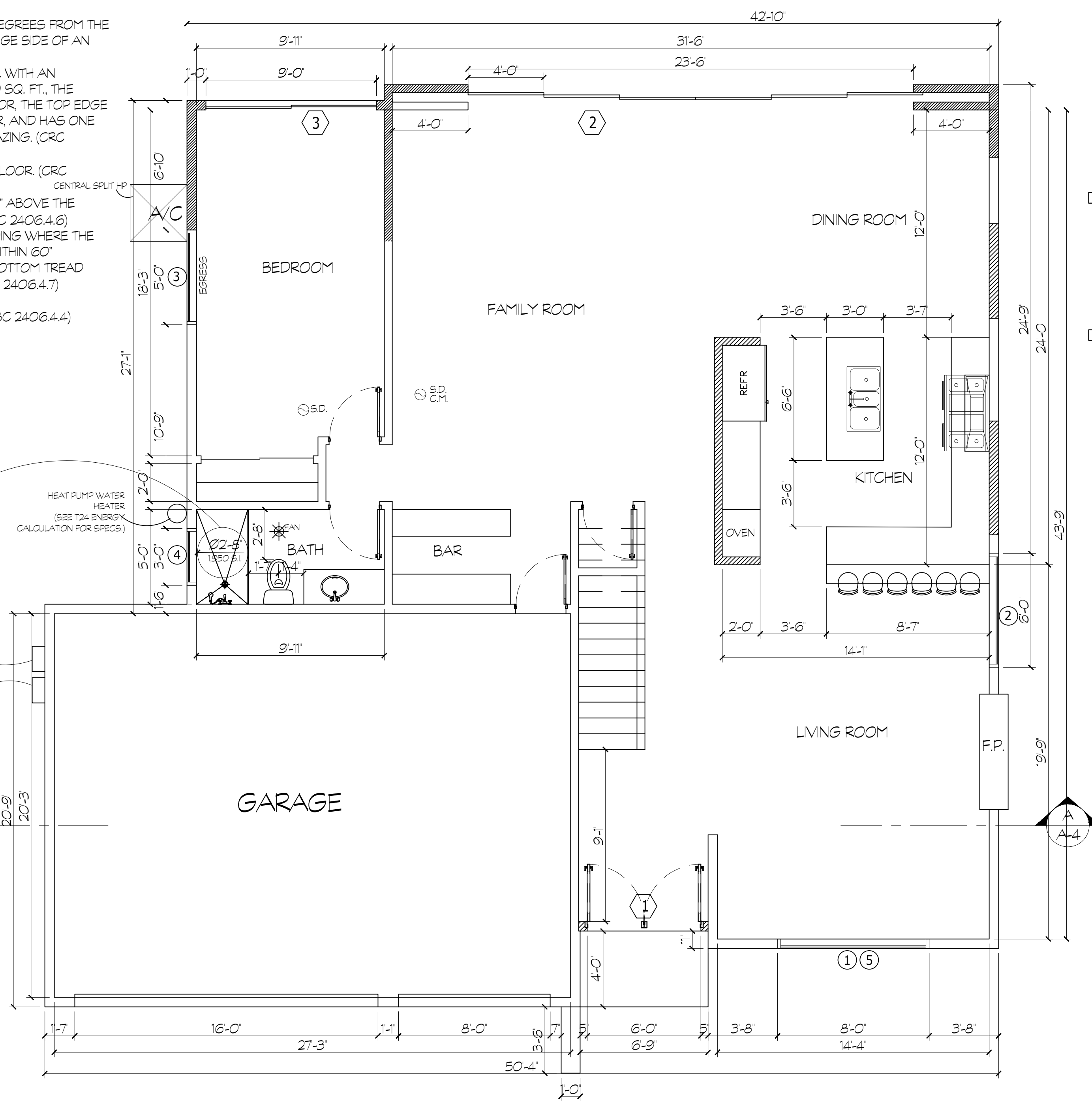
3105 AMIGOS DR.



EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALLS TO REMAIN
WALLS TO BE DEMOLISHED

1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS DOOR 4
2. WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR. (CRC R308.4.2 ITEM 1)
3. WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR. (CRC R308.4.2 ITEM 2)
4. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WITH AN EXPOSED AREA IN THE INDIVIDUAL PANE LARGER THAN 9 SQ. FT., THE BOTTOM EDGE OF THE GLAZING IS 18 IN. ABOVE THE FLOOR, THE TOP EDGE OF THE GLAZING IS MORE THAN 36 IN. ABOVE THE FLOOR, AND HAS ONE OR MORE WALKING SURFACES WITHIN 36 IN. OF THE GLAZING. (CRC R308.4.3, CBC 2406.4.3)
5. GLAZING LESS THAN 60" ABOVE A SHOWER OR TUB FLOOR. (CRC R308.4.5, CBC 2406.5) WINDOW 9, 11
6. GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE THE STAIRWAYS, LANDINGS, AND RAMP. (CRC R308.4.6, CBC 2406.4.6)
7. GLAZING ADJACENT TO THE STAIRWAY BOTTOM LANDING WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE SAFETY GLAZING. (CRC R308.4.7, CBC 2406.4.7) WINDOW 6
8. GLAZING IN GUARDS AND RAILINGS. (CRC R308.4.4, CBC 2406.4.4) GLASS GUARDRAIL ON SHEET A-4



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING WALLS
NEW WALLS

CARBON MONOXIDE DETECTOR C.M.

A. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. [CBC 915.11, CBC 915.15]

B. CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CBC 915.4.1]

C. CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL 217, UL 2075, AND MAINTAINED PER NFPA 720. [R315.7.2, CBC 915.4.2, CBC 915.4.4, CBC 915.5.2]

D. CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. [CBC 915.2]

E. CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CBC 915.4.5]

F. IN EXISTING DWELLING UNIT, A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. [CBC 915.4.1 EXCEPTION 3]

SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA 72 SECTION 29.8.3.4. (CBC 907.2.11.6)

SMOKE ALARMS S.D.

A. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. [CRC R314.8.2]

B. BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDINGS UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. [CRC R314.6 EXCEPTIONS 1.3, CBC 907.2.11.9]

C. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CRC R314.4, CBC 907.10.5]

D. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CRC R314.6, CBC 907.12.6, CBC 907.2.11.9]

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NEW INSTALLATION OF GAS WATER HEATER SHALL HAVE ALL THE FOLLOWING AS PER 2019 CALIFORNIA ENERGY CODE (50.01):

1. A 120V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.

2. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE TERMINATION AND THE WATER HEATER

3. A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.

4. A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 Btu/hr.

SHOWER FLOOR AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR.

A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM OF 6'8" CEILING HEIGHT ABOVE A MINIMUM AREA OF 30'x30" AT THE SHOWERHEAD.

ALL EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY [CRC R303.8]

HABITABLE SPACES, HALLWAYS, AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A MINIMUM OF 7 FT. CEILING HEIGHT. (CRC R305.1)

BATHROOMS, TOILET ROOMS AND LAUNDRY ROOMS SHALL HAVE A MINIMUM OF 6'-8" CEILING HEIGHT. (CRC R305.1)

RADIANT BARRIER THE RADIANT BARRIER SHALL HAVE AN EMITTANCE VALUE OF LESS THAN OR EQUAL TO 0.05 AND BE INSTALLED IN THE UPPER PORTION OF THE BUILDING'S TRUSS/RAPERS, COVERING THE ENTIRE ROOF/ATTIC (INCLUDING ALL GABLE ENDS), WITH THE REFLECTIVE SURFACE FACING DOWN TOWARD THE ATTIC.

EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

 WALLS TO REMAIN

 WALLS TO BE DEMOLISHED

WINDOW NUMBER	QTY	PROPOSED SIZES	PROPOSED MATERIAL	TYPE	BEDROOM	NOTES
1	1	80x50'	VINYL	fixed	no	
2	1	60x50'	VINYL	slider	no	
3	1	50x50'	VINYL	slider	yes	
4	1	30x10'	VINYL	slider	no	
5	1	80x26'	VINYL	fixed	no	
6	1	40x30'	VINYL	fixed	no	
7	1	80x20'	VINYL	fixed	no	
8	2	36x60'	VINYL	fixed	yes	
9	4	30x60'	VINYL	fixed	yes	
10	1	60x70'	VINYL	slider	no	
11	3	26x60'	VINYL	fixed	yes	

WINDOW SCHEDULE

WINDOW NOTES

1. ALL EXTERIOR WINDOW SHALL BE FULLY WEATHERSTRIPPED AT HEAD, SILL AND JAMB.
2. ALL GLASS WITH 18" (OR WITHIN 24" ON DOOR) FROM FLOOR LINE SHALL BE TAMPED GLASS.
3. ALL WINDOWS SHALL BE BE MARVIN WINDOWS OR APPROVED EQUAL TO MATCH EXISTING.
4. ALL WINDOWS SHALL BE PREPARED FOR PAINT.
5. CONTRACTOR SHALL VERIFY WALL THICKNESS PRIOR TO ORDERING WINDOWS AND PROVIDE NECESSARY JAMB EXTENSION AND BRACING.
6. ALL WINDOWS SHALL BE DUAL-GLAZED.
7. ALL OPERABLE WINDOWS SHALL HAVE SCREENS BY WINDOW MANUFACTURER.
8. CHANGES TO MATCH EXISTING AT HOUSE.
9. ALL DOOR AND ADJACENT WINDOW TO ADJACENT GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD. 5406 (B) (1).
10. ALL WINDOWS SHALL BE PELLA WOOD GLAZING ARCHITECT® SERIES OR EQUAL.

SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS
PER NFPA 72 SECTION 29.8.3.4. (CBC 907.2.11.8)

SMOKE ALARMS S.D.

- A. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. (CFC R314.8.2)
- B. BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN EXISTING SMOKE DETECTOR WHICH COULD PROVIDE ACCESS FOR WIRING. (CFC R314.6 EXISTING 1.3, CFC 907.21.9)
- C. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CFC R314.4, CFC 907.10.5)
- D. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CFC R314.6, CFC 907.12.6, CFC 907.21.9)

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR)
MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

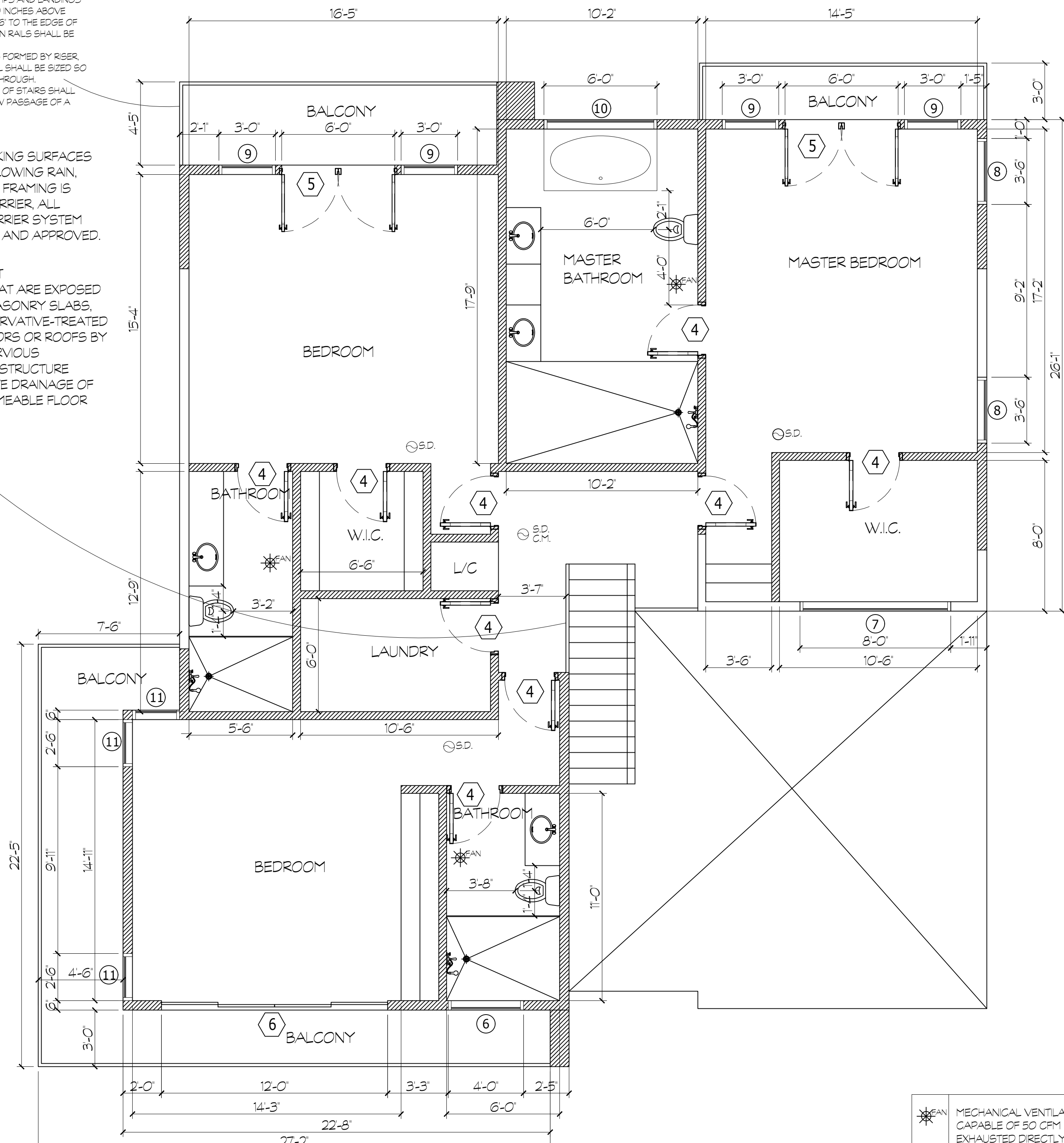
NEW INSTALLATION OF GAS WATER HEATER SHALL HAVE ALL THE FOLLOWING AS PER 2019 CALIFORNIA ENERGY CODE 150.0(n):

- 1. A 120V ELECTRICAL RESEALABLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.
- 2. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE TERMINATION AND THE WATER HEATER.
- 3. A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
- 4. A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 Btu/hr.

WHERE BALCONY OR OTHER ELEVATED WALKING SURFACES ARE EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED. (CRC R109.1.3.3, CBC 110.3.6)

WOOD STRUCTURAL MEMBERS THAT SUPPORT MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING. (CRC R317; CBC 2304.12.2.5)

1. MINIMUM CLEAR WIDTH OF 36" (CRC R311.7.1, CBC 1011.2 EXCEPTION 1)
2. MAXIMUM RISER HEIGHT OF 7 7/8" AND MINIMUM TREAD DEPTH OF 10" (CRC R311.7.5.1)
3. CRC R311.7.5.2, CBC 1011.5.2 EXCEPTION 3
4. NOSING PROJECTION SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS EXCEPT WHERE THE MINIMUM TREAD DEPTH IS 12". NOSING PROJECTION SHALL BE 3/4" MINIMUM ABOVE THE TREAD WITH A 2 1/8" MAXIMUM NOSING RADIUS (CRC R311.7.5.3)
5. NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/8" BUT NOT MORE THAN 3/8". THE NOSING SHALL PROJECT NOT MORE THAN 1/4".
6. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING LOCATED MORE THAN 30" VERTICALLY TO FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE (CRC R311.7.5.1)
7. MINIMUM HEAD ROOM OF 6'-8" (CRC R311.7.2, CBC 1011.3)
8. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE OF MORE THAN 12' BETWEEN FLOOR LEVELS OR LANDINGS (CRC R311.7.3) OR 144" (CBC 1011.3)
9. FRAMING (STRINGER) SIZE, BRACING, CONNECTIONS, FOOTINGS
10. ENCLOSED ACCESSIBLE SPACE UNDER INTERIOR STAIR REQUIRES 1" LAYER OF 1/2" GYPSUM BOARD ON ENCLOSED SIDE (CRC R302.7, CBC 1011.7.3)



PROPOSED 2ND FLOOR PLAN

*SCALE: 1/4" = 1'-0"

	MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
	EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT. 4.506.1

EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 MINIMUM AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. THE INSTALLATION OF PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE. (R303.9 CRC)

SHOWER FLOOR AND WALLS ABOVE
BATHTUBS WITH INSTALLED SHOWER HEADS
SHALL BE FINISHED WITH A
NON-ABSORBENT SURFACE TO A HEIGHT
OF NOT LESS THAN 6' ABOVE THE FLOOR.

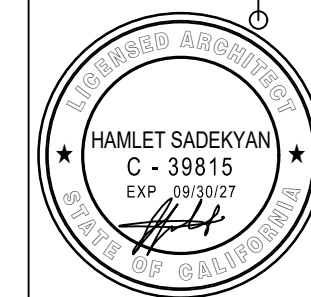
A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM OF 68" CEILING HEIGHT ABOVE A MINIMUM AREA OF 30'X30' AT THE SHOWERHEAD.

ALL EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY [CRC R303.8]

HABITABLE SPACES, HALLWAYS, AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A MINIMUM OF 7 FT. CEILING HEIGHT. (CRC R305.1)

BATHROOMS, TOILET ROOMS AND LAUNDRY ROOMS SHALL HAVE A MINIMUM OF 6'-8" CEILING HEIGHT. (CRC R305.1)

RADIANT BARRIER: THE RADIANT BARRIER SHALL HAVE AN EMITTANCE VALUE OF LESS THAN OR EQUAL TO 0.05 AND BE INSTALLED IN THE UPPER PORTION OF THE BUILDING'S TRUSS/RAFTERS, COVERING THE ENTIRE ROOF/ATTIC (INCLUDING ALL GABLE ENDS), WITH THE REFLECTIVE SURFACE FACING DOWN TOWARD THE ATTIC.



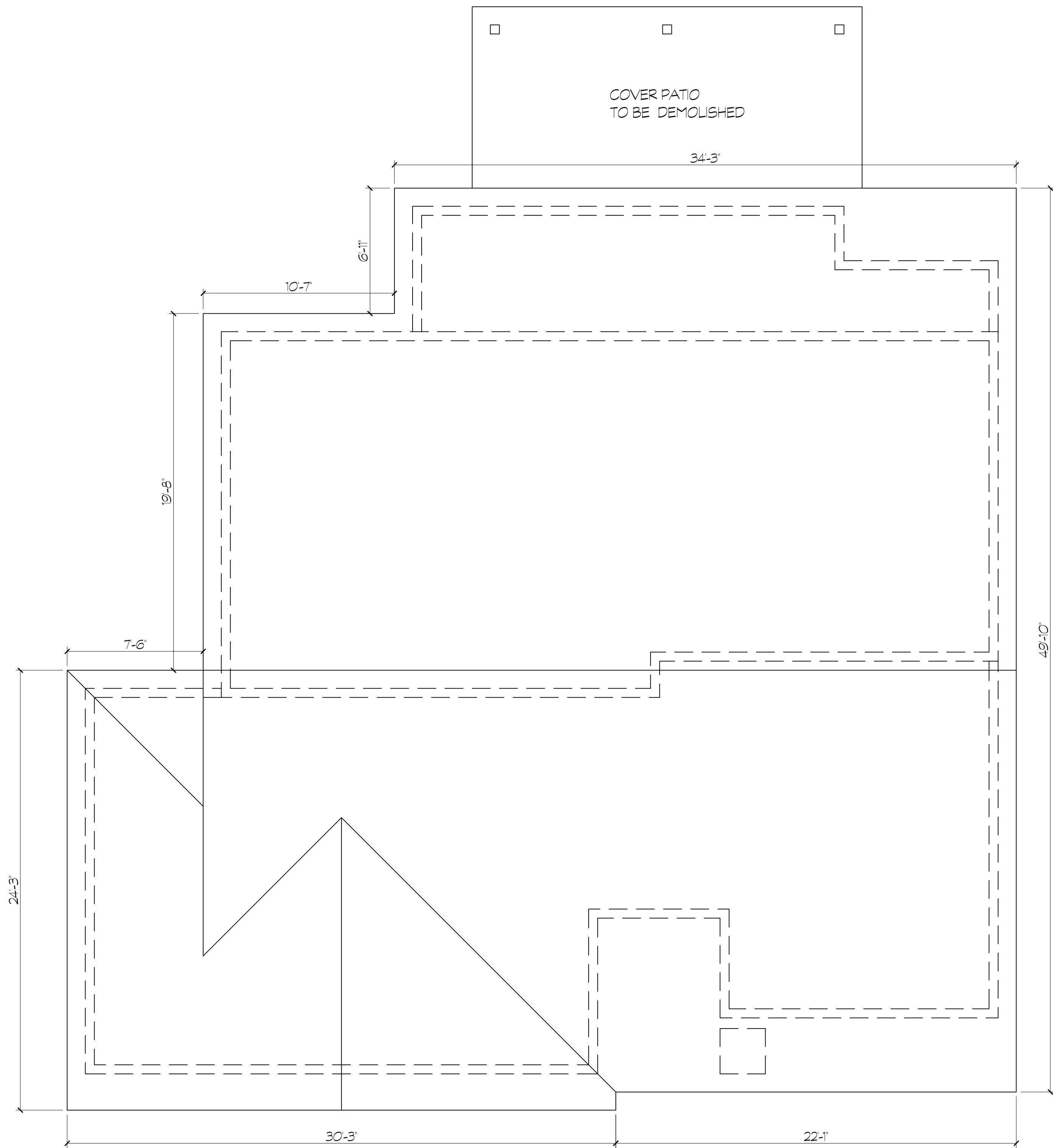
PROJECT NAME & SITE ADDRESS:
3105 AMIGOS DR BURBANK CA 91504

EXISTING AND PROPOSED
2ND FLOOR PLANS,
SCHEDULES

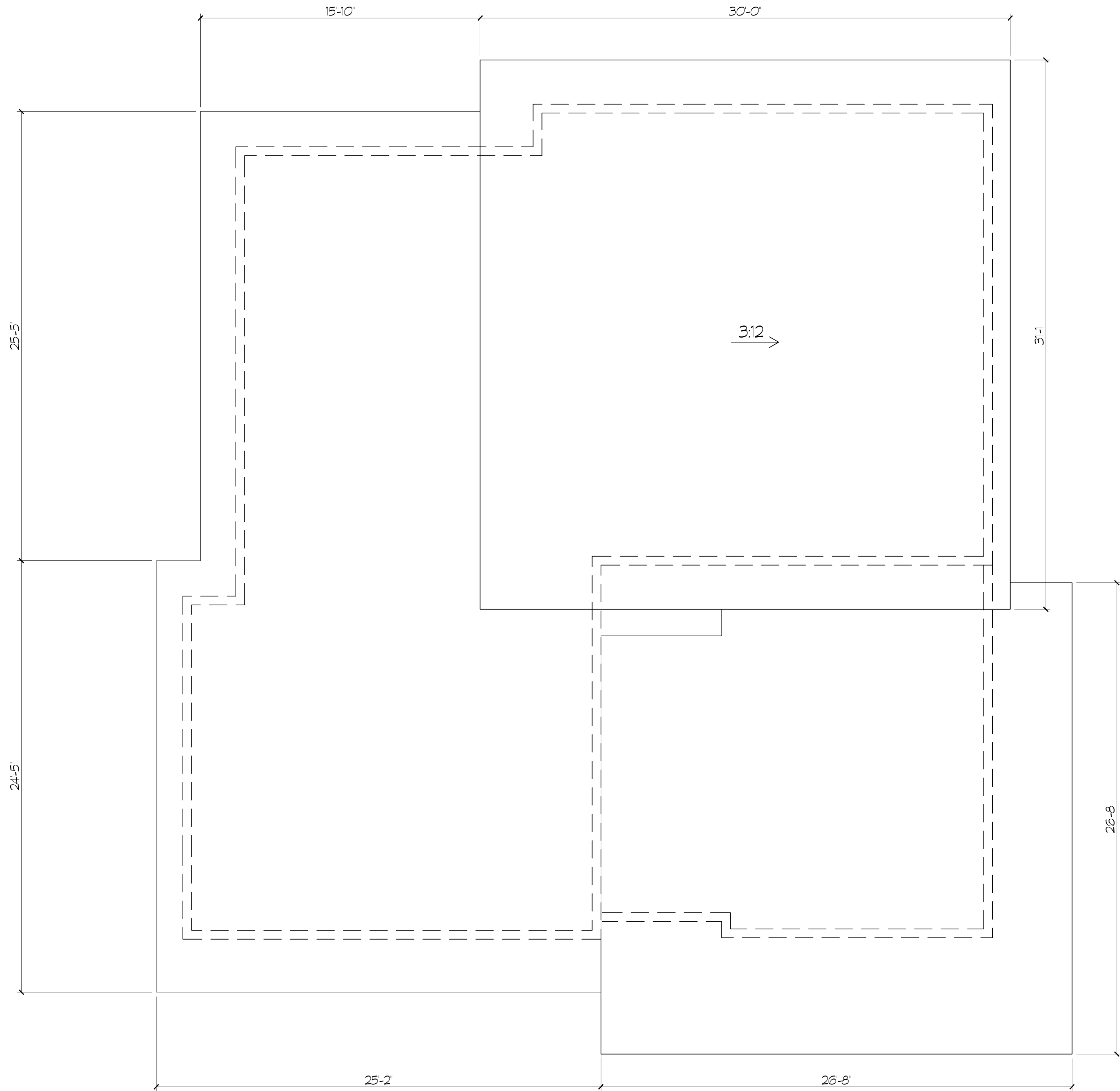
A-3

3105 AMIGOS DR

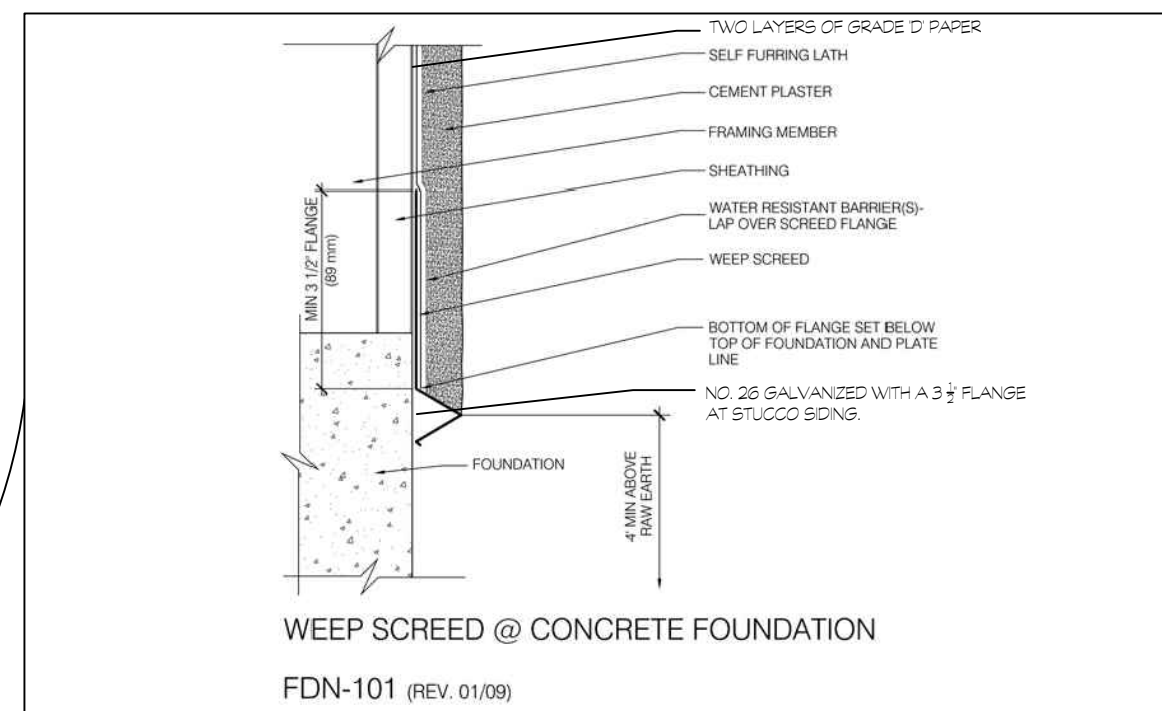
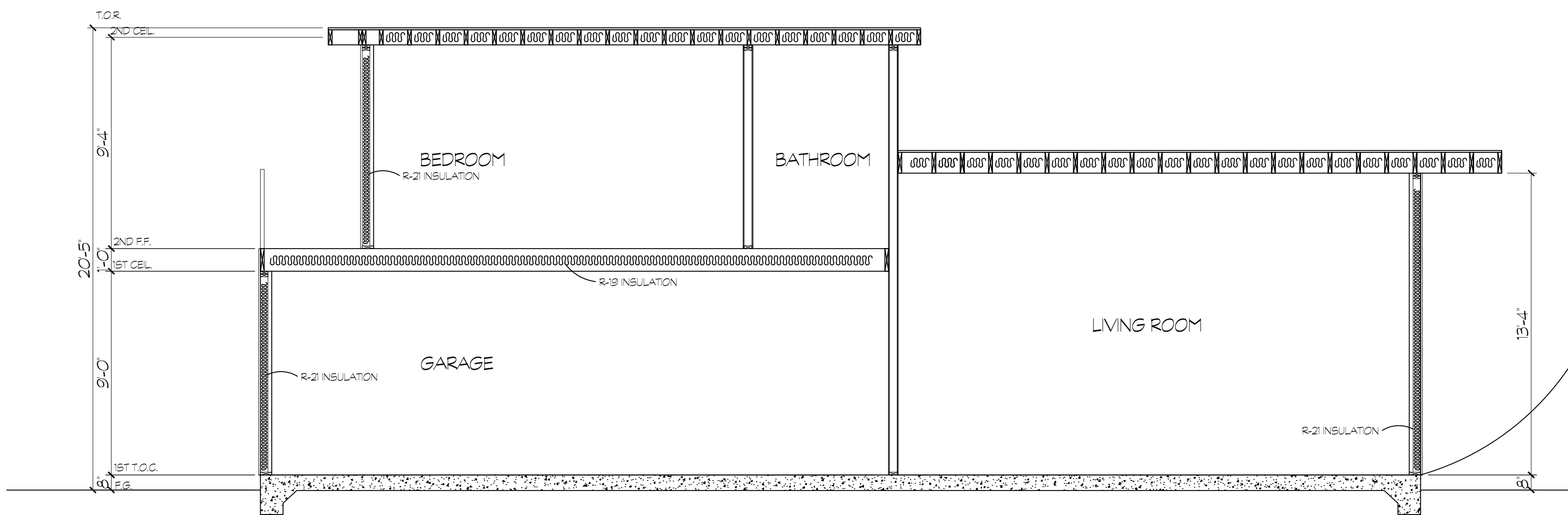
stu3Dio
111 CEDAR AVE. #202, BURBANK, CA 91502
TEL: 818-745-7413 INFO@STU3DIO.COM



EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

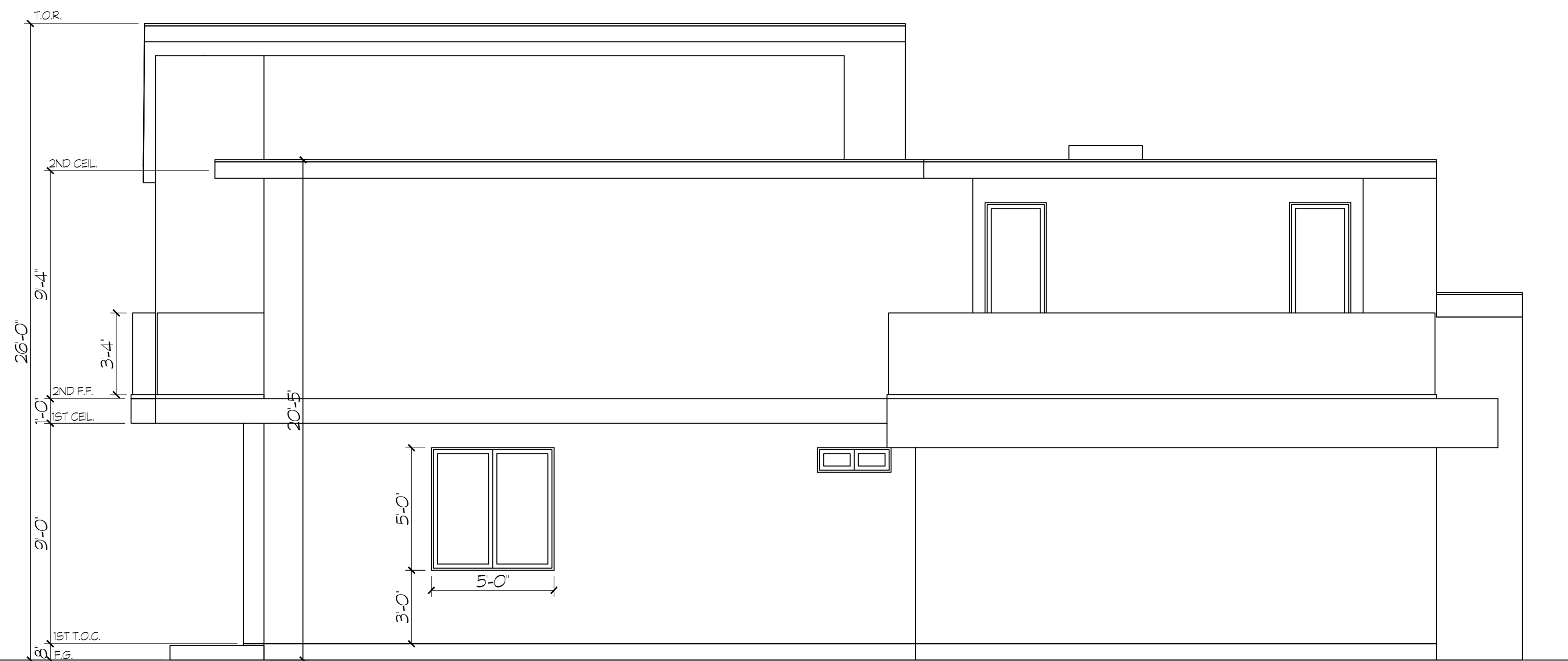


SECTION A-A
SCALE: 1/4" = 1'-0"



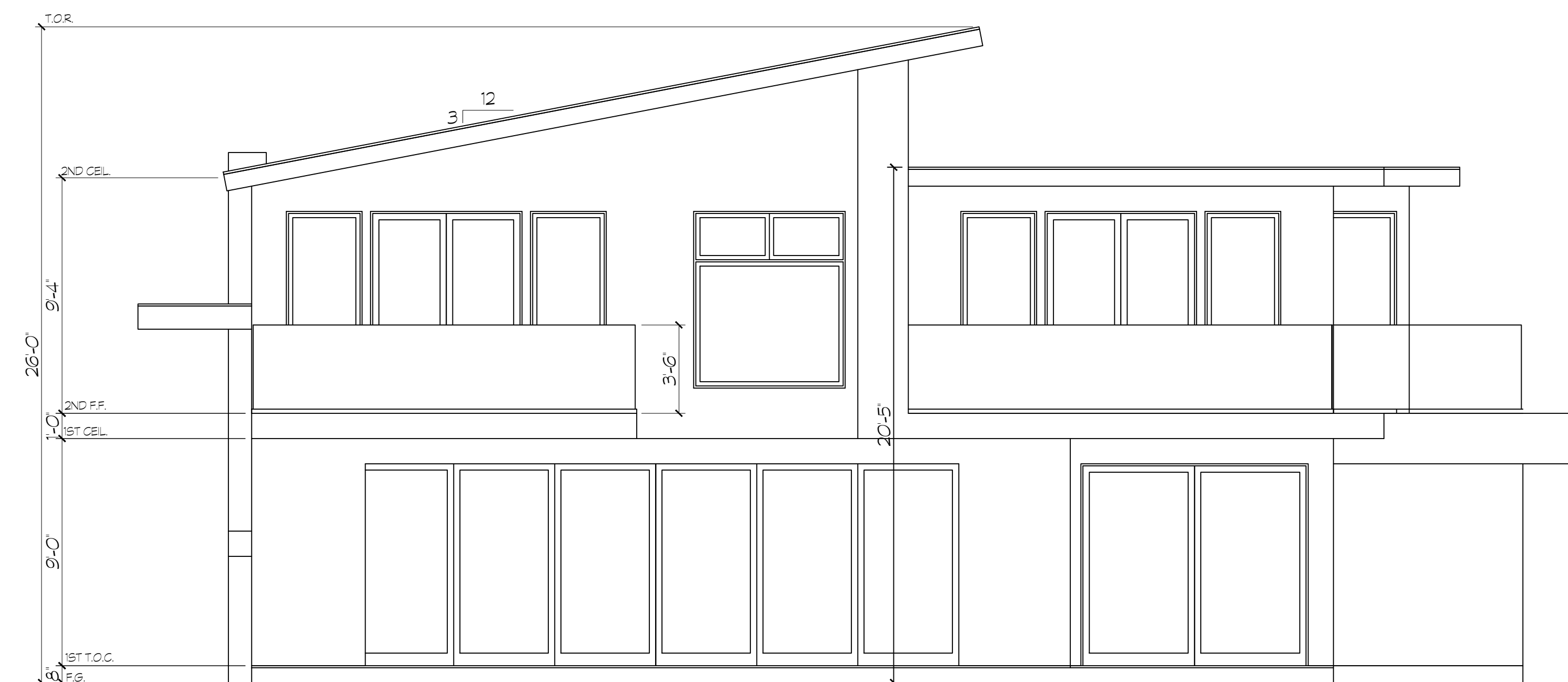
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



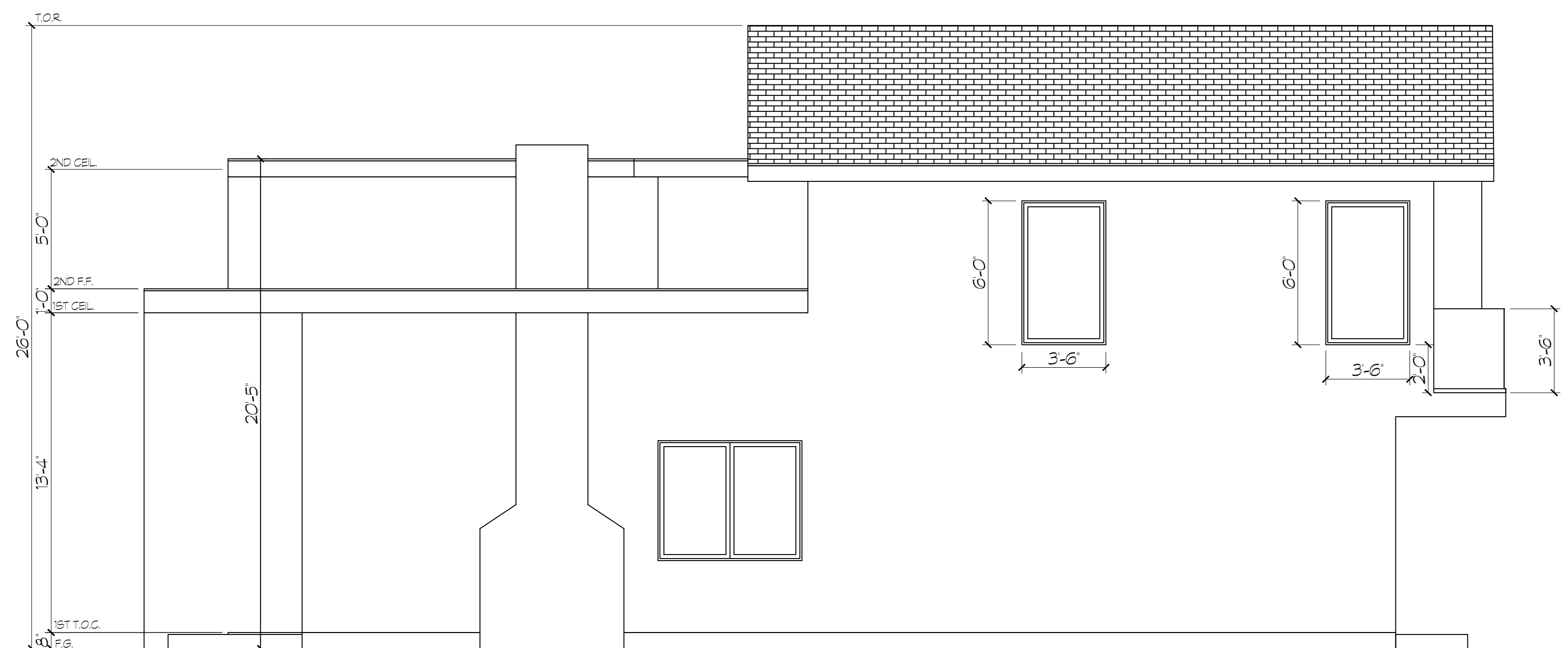
EAST ELEVATION

SCALE: 1/4" = 1'-0"



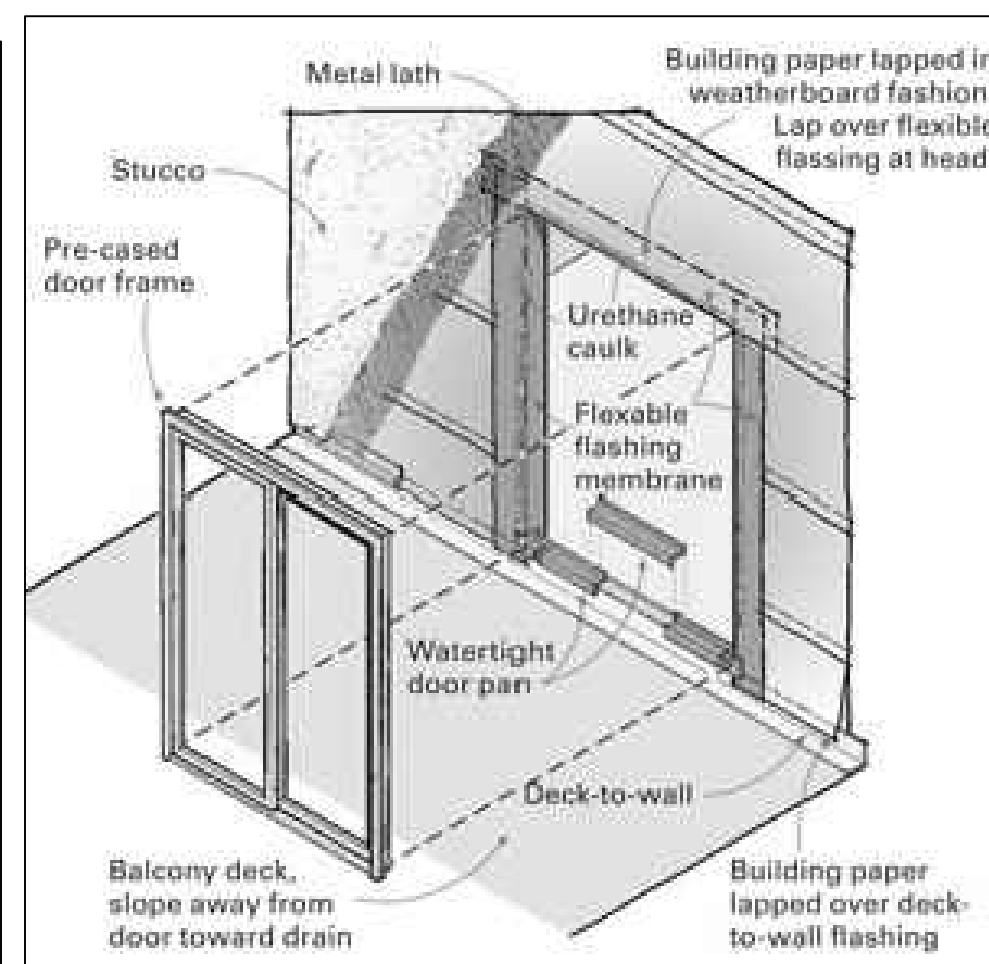
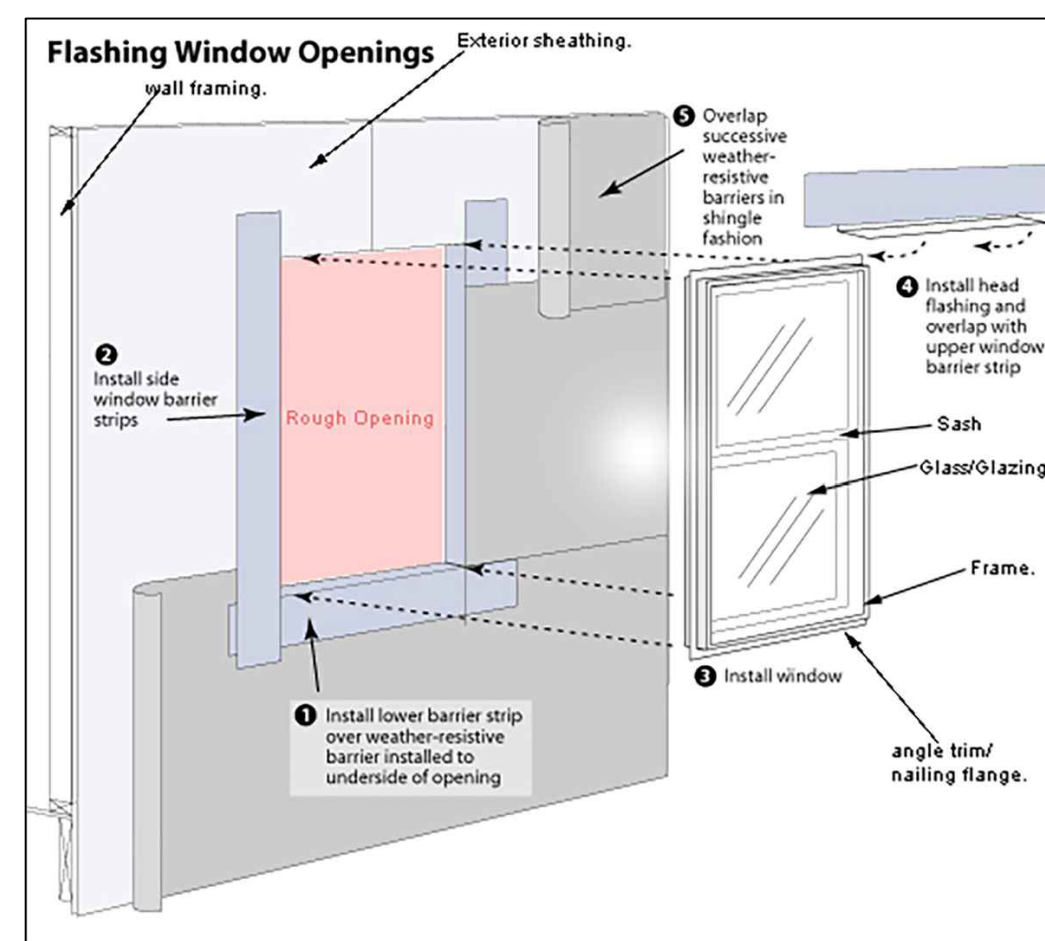
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

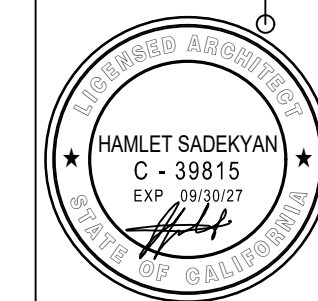


WEST ELEVATION

SCALE: 1/4" = 1'-0"



ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING & SAFETY DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.



stu3Dio
11 E CEDAR AVE #202 BURBANK CA 91502
TEL: 818-745-7413 INFO@STU3DIO.COM

PROJECT NAME & SITE ADDRESS:
3105 AMIGOS DR BURBANK CA 91504
KESHISHYAN RESIDENCE

ELEVATIONS

DATE:
06/06/25

A-5

3105 AMIGOS DR.