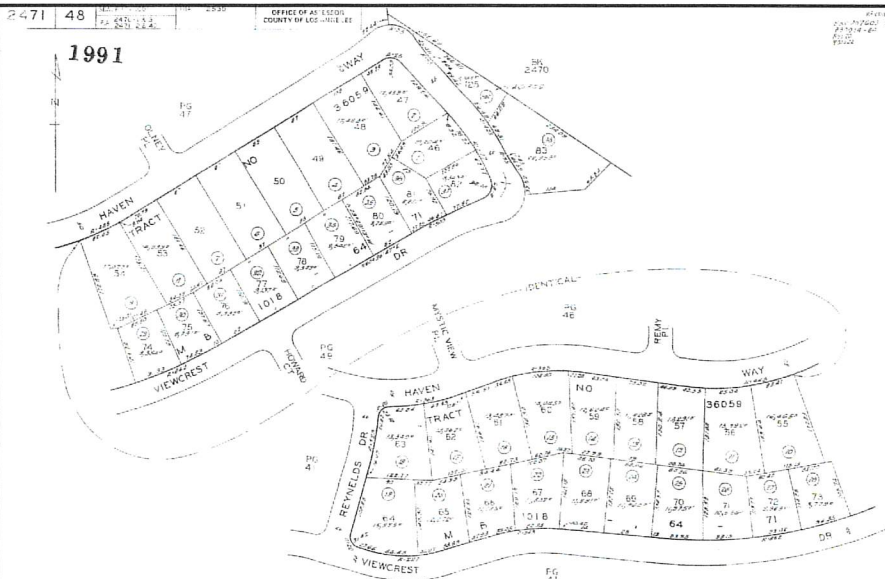


SINGLE FAMILY DWELLING

3537 VIEWCREST DRIVE
BURBANK , CALIFORNIA 91504

VICINITY MAP



SCOPE OF WORK

NEW REAR RETAINING WALLS 4'-6" WITH 3'-6" HIGH GLASS RAILING TOTAL 8'-0" HIGH
NEW FRONT RETAINING WALLS 2'-6" HIGH
NEW TRELLISES , BBQ AREA WITH CANOPY , NEW CONCRETE STEPS.

CONTACT INFORMATION

OWNER
EDIK DAVIDYAN
3537 VIEWCREST DRIVE
BURBANK , CALIFORNIA 91504

ARCHITECTURAL DESIGN
SIGMA DESIGN
ARMAN ABGARYAN
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PH. 818-548-0112

CIVIL ENGINEER
SIGMA DESIGN
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GLENDALE , CA 91203
PH. 818-548-0112

SHEET INDEX

ARCHITECTURAL	
A-1.0	COVER SHEET
A-2.0	SITE PLAN
A-2.1	GRADING PLAN
A-3.0	REAR RETAINING WALL SECTIONS
A-4.0	REAR RETAINING WALL ELEVATION AND SECTION
A-5.0	FRONT RETAINING WALL SECTIONS
A-6.0	PHOTOS

PROJECT DATA

PROPERTY TYPE	SINGLE FAMILY RESIDENCE
LOT AREA	8,910.0 SQ/FT
EXISTING HOUSE FLOOR AREA	3,447.0 SQ/FT
EXISTING GARAGE FLOOR AREA	580.00 SQ/FT
ASSESSOR PARCEL NUMBER	2471-048-031
TRACT	36059
ZONING	R-1
LOT	76
TYPE OF CONSTRUCTION	V-B

NOTES

DIVERSION OF C&D DEBRIS: A MINIMUM 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$60.05 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-11-1012).

BUILDING MAINTENANCE AND OPERATION SEC.4.410
BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, OR OTHER APPROVED MEDIA SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC.4.410.

GENERAL NOTES:
1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THE CITY OF BURBANK LOCAL AMENDMENTS.
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4)
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1)
7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 1804.4, CRC R401.3)
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CBC 1808.7.4, CRC R403.1.7.3)

REFERENCE CODE

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA GREEN BUILDING CODE
AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN T-24 OF THE CALIFORNIA CODE OF REGULATIONS(CCR) AND THE CITY OF BURBANK.

NOTE

THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL - BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.

APPROVED

JAN 29 2024

CITY OF BURBANK
PLANNING

REVISIONS

BY

3537 VIEWCREST DRIVE
BURBANK , CALIFORNIA 91204

SIGMA DESIGN94,INC

STRUCTURAL ENGINEERING
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E-MAIL: HOK@SIGMADSGN.COM

REGISTERED PROFESSIONAL ENGINEER
HOVIK KHANJIAN
No. 00516939
Exp. 08-24
CIVIL
STATE OF CALIFORNIA

Date: 02-22-23

Scale: AS SHOWN

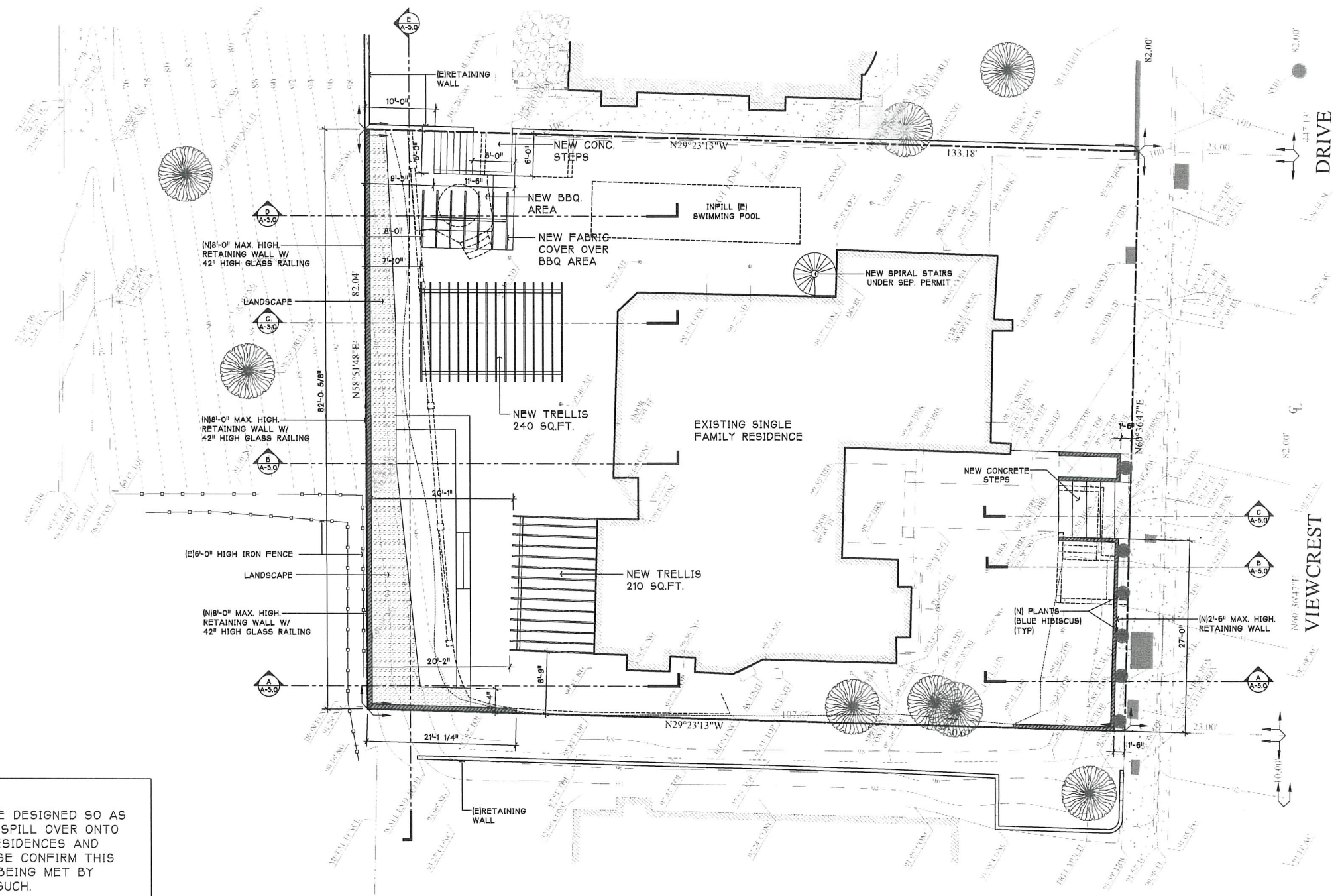
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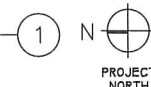
EXTERIOR LIGHTING NOTE:
EXTERIOR LIGHTING SHALL BE DESIGNED SO AS TO AVOID GLARE AND LIGHT SPILL OVER ONTO ADJOINING AND ADJACENT RESIDENCES AND PUBLIC RIGHT OF WAY. PLEASE CONFIRM THIS DEVELOPMENT STANDARD IS BEING MET BY INCLUDING TEXT AFFIRMING SUCH.

TRELLIS NOTE:
THE TRELLIS STRUCTURES WILL HAVE ROOFS THAT ARE AT LEAST 50 PERCENT OPEN TO THE SKY WITH UNIFORMLY DISTRIBUTED OPENINGS. IF THE STRUCTURES DO NOT MEET THIS REQUIREMENT, THE SQUARE FOOTAGE WILL NEED TO BE INCLUDED IN LOT COVER CALCULATIONS.

SETBACK CERTIFICATION REQUIREMENT
A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION. [BMC 9-1-1A-109.3.1]

ALL CONCENTRATED DRAINAGE INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOC AT A 2% MIN.

SITE PLAN
SCALE: Scale 1/8" = 1'-0"



WALL LEGEND

- EXISTING CMU RETAINING WALL
- NEW CMU RETAINING WALL
- DEMO EXISTING WALL

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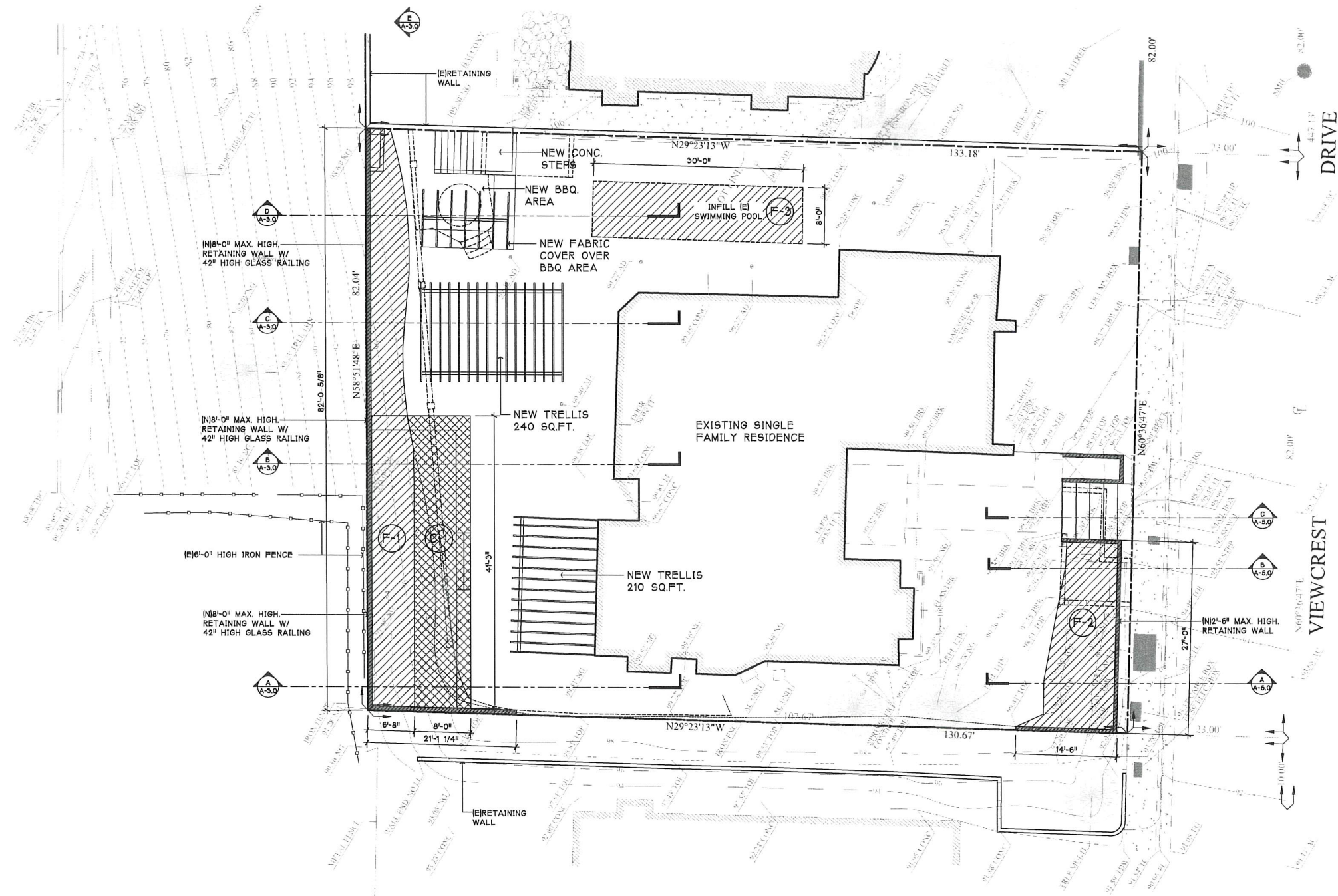
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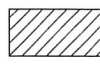
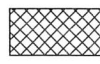
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CUT AND FILL		TOTAL
FILL 	F-1 = $\frac{6.7 \times 82 \times 4.5}{2} = \frac{2,472.3}{2} = 1,236.15 / 27 = 45 \text{ C.Y.}$	FILL 89.6 C.Y.
	F-2 = $\frac{14.5 \times 27 \times 2.5}{2} = \frac{978.75}{2} = 489.3 / 27 = 18 \text{ C.Y.}$	
	F-3 = $\frac{8 \times 30 \times 6}{2} = \frac{1,440.0}{2} = 720 / 27 = 26.6 \text{ C.Y.}$	
CUT 	C-1 = $\frac{8 \times 41.2 \times 2.8}{2} = \frac{922.88}{2} = 461.44 / 27 = 17 \text{ C.Y.}$	CUT 17 C.Y.

GRADING PLAN
SCALE: Scale 1/8" = 1'-0"



WALL LEGEND

- EXISTING CMU RETAINING WALL
- NEW CMU RETAINING WALL
- DEMO EXISTING WALL

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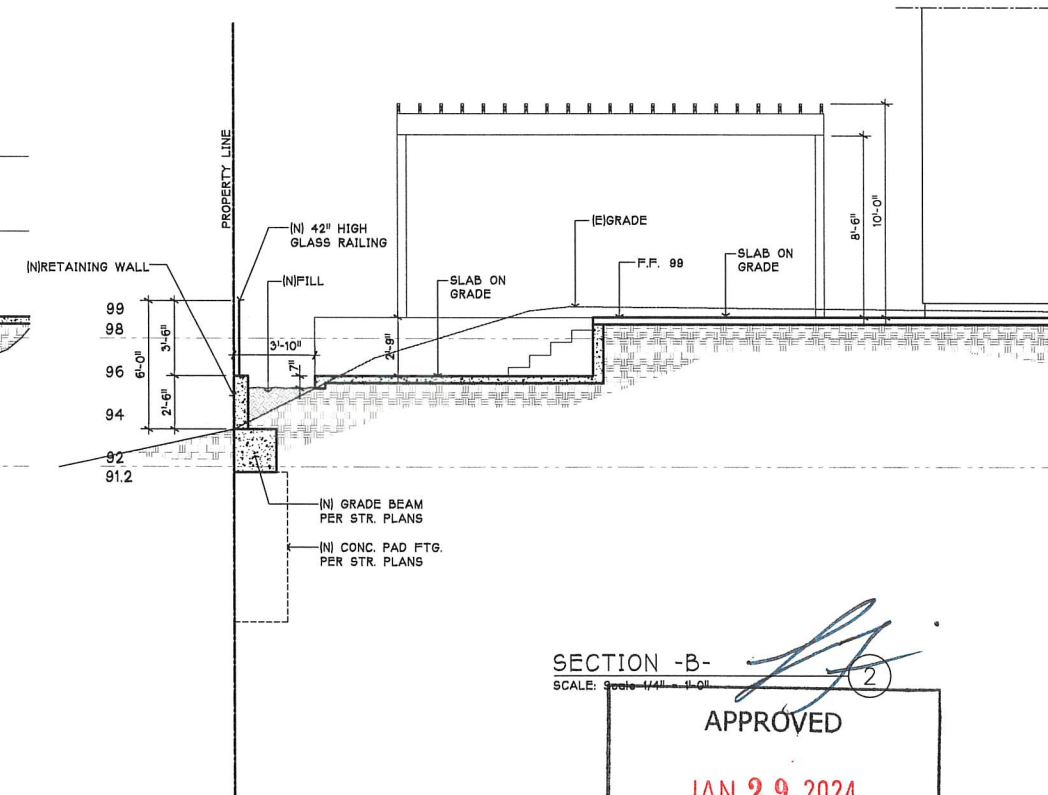
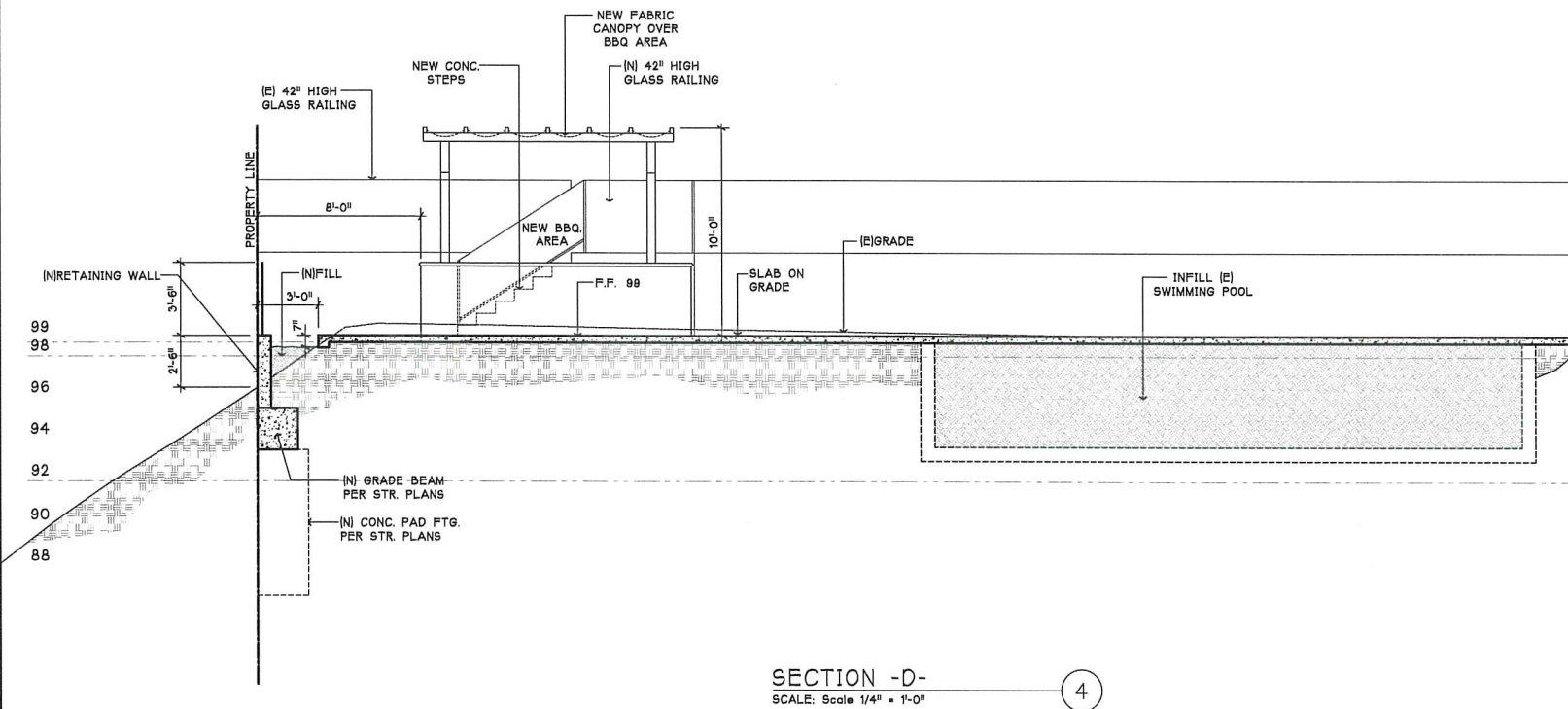
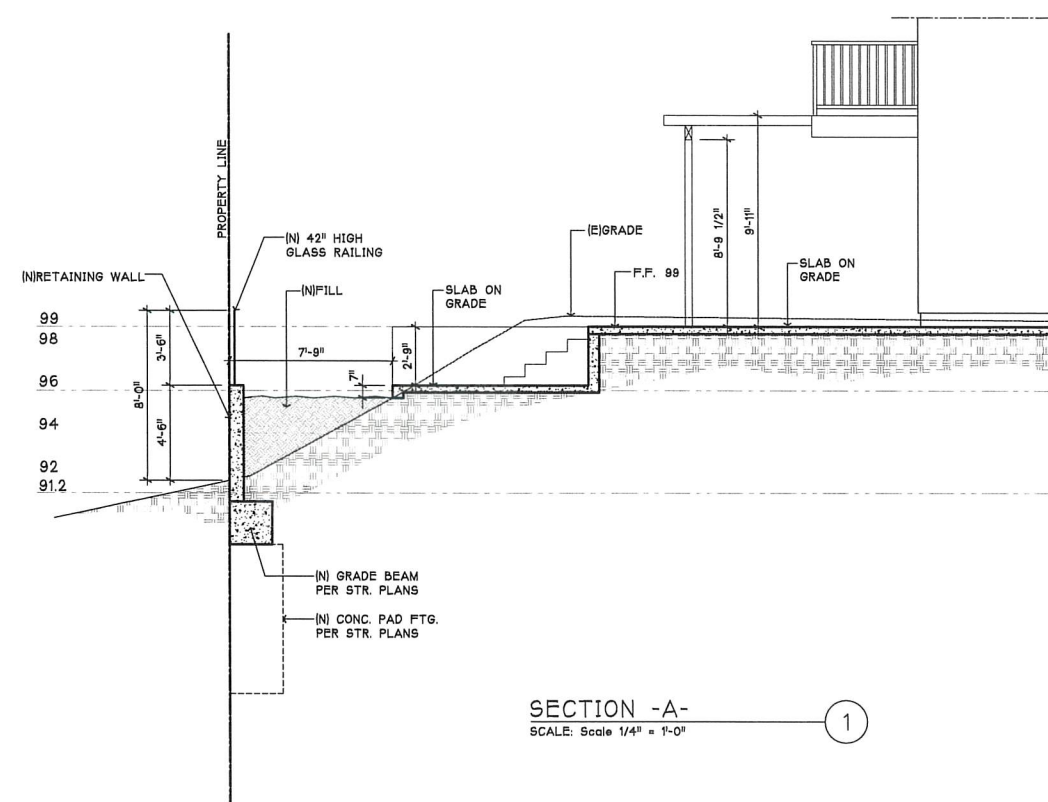
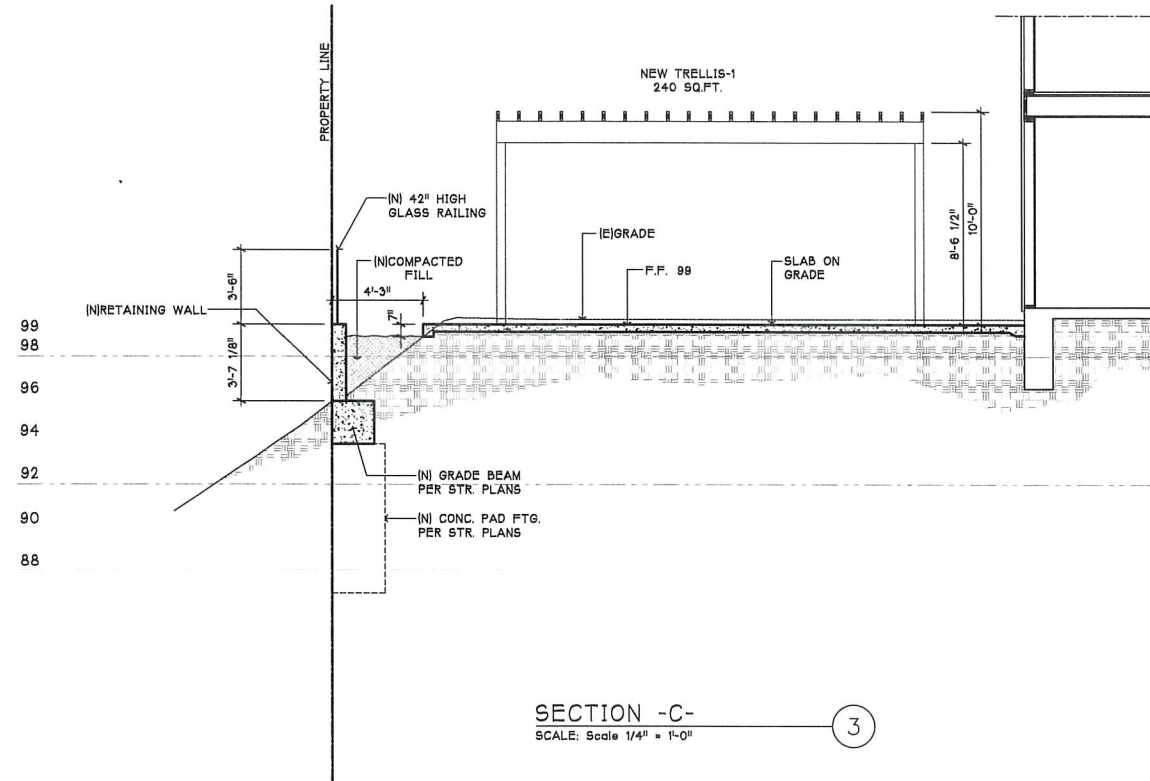
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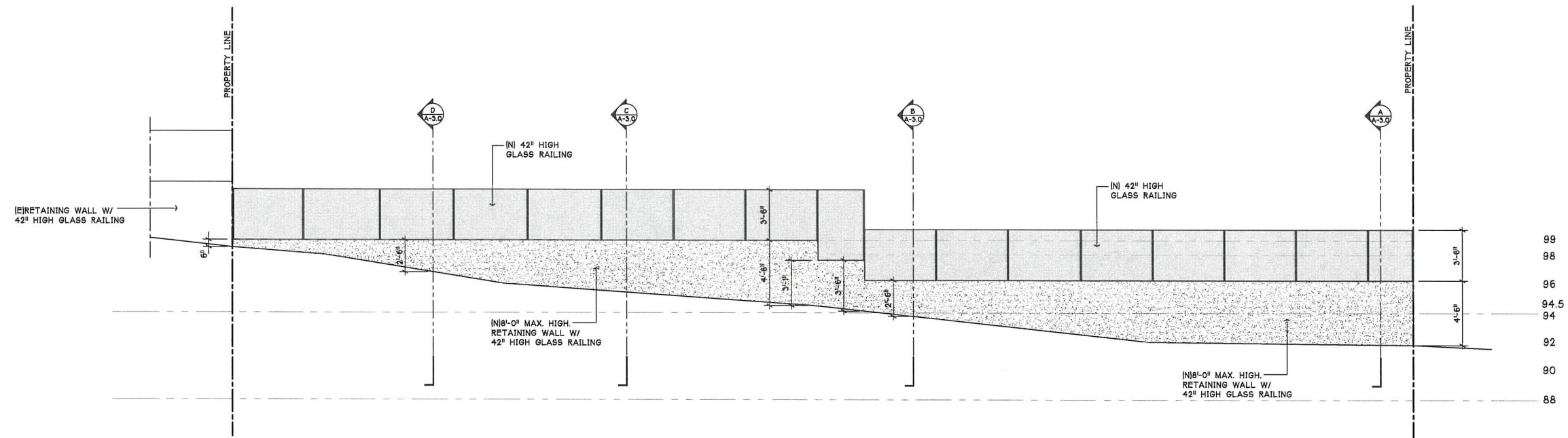
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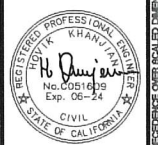
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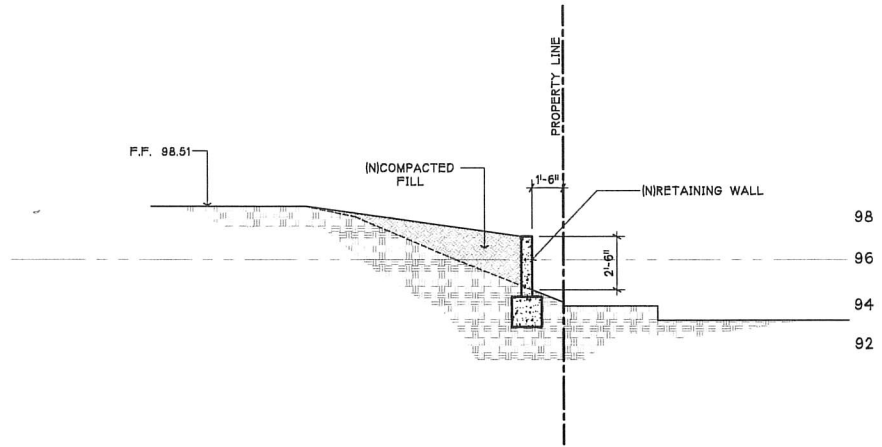
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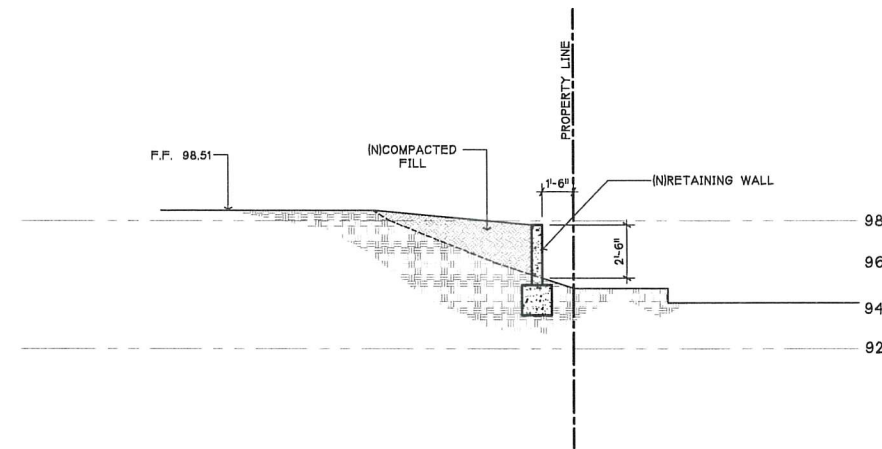
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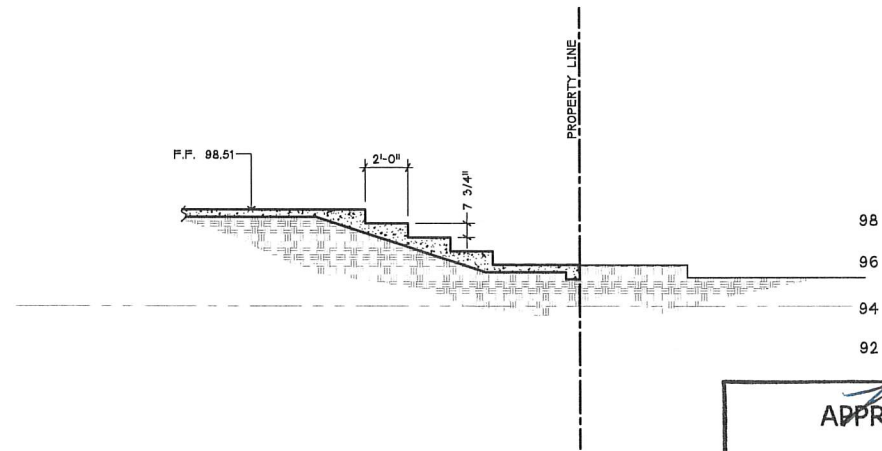
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SECTION -A-
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SECTION -B-
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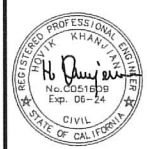
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