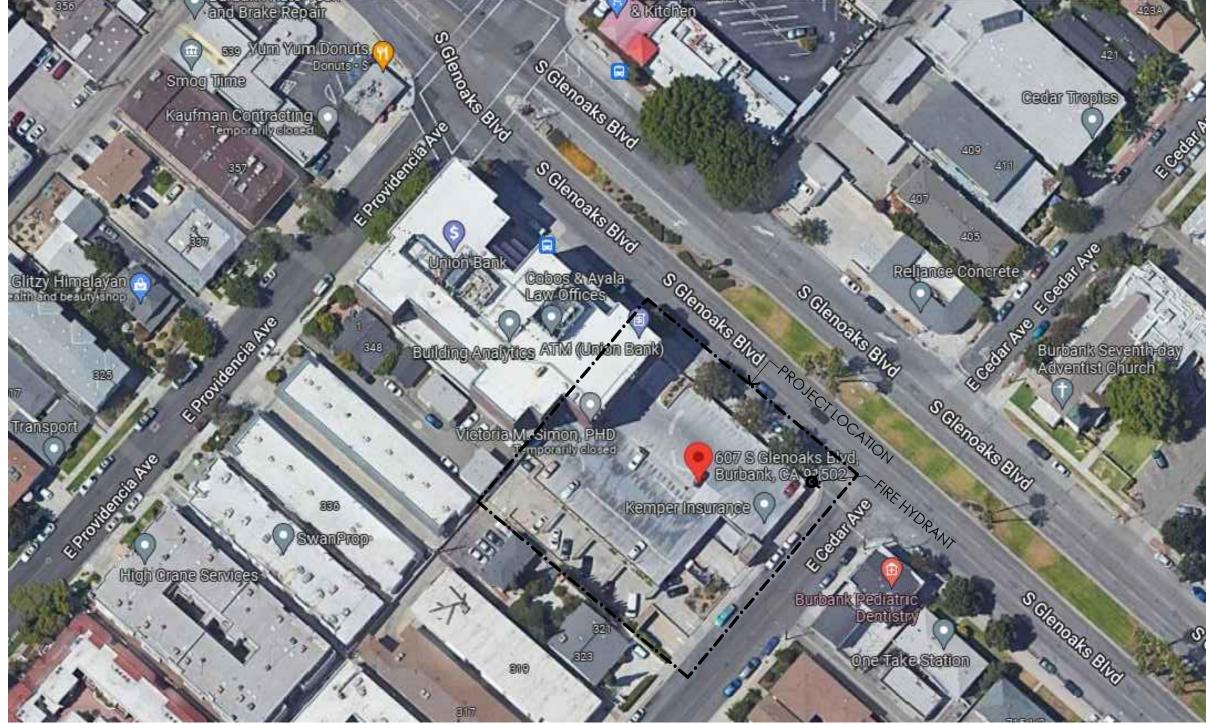
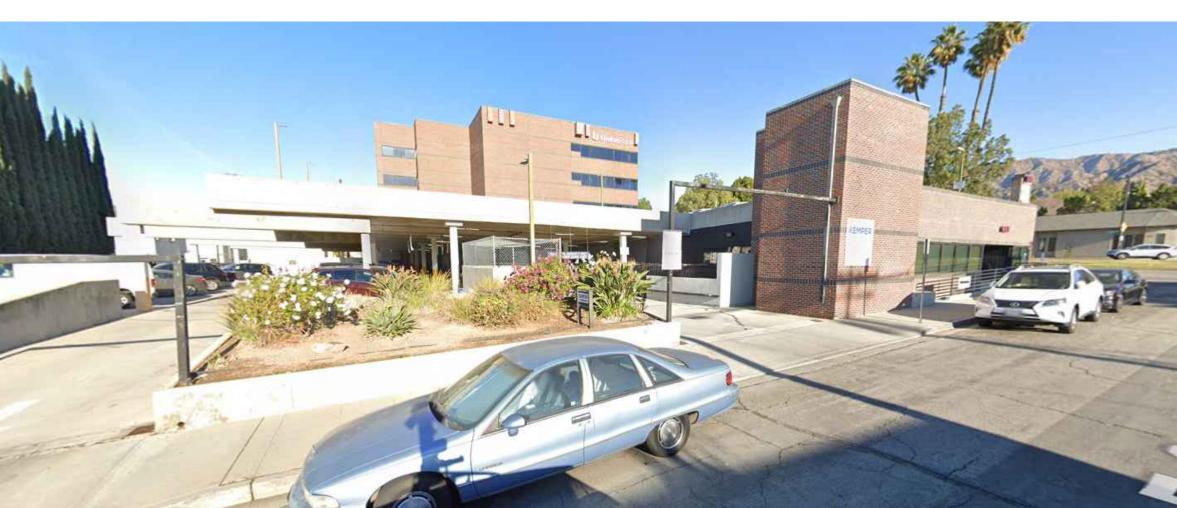
#### **B:** GENERAL NOTES:

- The contractor shall carefully study and compare the contract documents with each other and with information furnished by the owner and shall at once report to designer. errors, inconsistencies or omissions discovered. If the contractor performs any construction activity knowing it involves a recognized error, without such notice to designer., the contractor shall assume appropriate responsibility for such performance and shall bear an appropriate amount of the attributable costs for correction.
- 2. The contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions and other information known to the contractor with the contract documents before commencing activities. Errors, inconsistencies or omissions discovered shall be reported to designer. at once.
- The contractor shall supervise and direct the work, using the contractor's best skill, knowledge and attention. The contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures, including safety procedures, and for coordinating all portions of the work under the contract, unless contract documents give other specific instructions concerning these matters.
- 4. The contractor shall be responsible to the owner for acts and omissions of the contractor's employees, subcontractors and their agents and employees, and other persons performing portions of the work under a contract with the contractor.
- 5. The contractor shall be responsible for inspection of portions of work already performed under this contract to determine that such portions are in proper condition to receive subsequent work. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected. Commencement of work by any trade will be considered unqualified acceptance of the substrate and installation conditions. No claim or warranty voidance will be accepted if installation over an improper substrate has commenced.
- 6. Unless otherwise provided in the contract documents, the contractor shall provide and pay for labor,
- materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and the work, whether temporary or permanent and whether or not incorporated or to be
- 7. Unless otherwise provided in the contract documents, the contractor shall secure and pay for the building permit and other permits and governmental fees, licenses and inspections necessary for proper execution and completion of the work, including certificate of occupancy, which are customarily secured after execution of the contract and which are legally required when bids are received or negotiations concluded. Separate individual building permits are required for all plumbing, mechanical, and electrical work.
- 8. The contractor shall comply with and give notices required by laws, ordinances, rules, regulations and lawful orders of public authorities bearing on performance of the work
- 9. It is not the contractor's responsibility to ascertain that the contract documents are in accordance with applicable laws, statutes, ordinances, building codes, and rules and regulations. However, if the contractor observes that portions of the contract documents are at variance therewith, the contractor shall promptly notify designer in writing, and necessary changes shall be accomplished by appropriate modification.
- 10. The contractor shall be responsible for cutting, fitting or patching as required to complete the work or the make its parts fit together properly; the refinished surfaces shall match the adjacent surfaces.
- 11. The contractor shall not damage or endanger any portion of fully or partially completed construction of the owner of separate contractors by cutting, patching or otherwise altering such construction.
- 12. The contractor shall keep the premises and surrounding area free from accumulation of waste materials caused by operations under the contract. At completion of the work, the contractor shall remove from and about the project waste materials, rubbish, contractor's tools, construction equipment, machinery and surplus materials.
- 13. The contractor shall not be relieved of responsibility for deviations from requirements of the contract documents by designer review of shop drawings, product data, samples or similar submittals unless the contractor has specifically informed and obtained written approval from designer The contractor shall not be relieved of responsibility for errors or omissions in shop drawings, product data, samples or similar submittals by designer review thereof. The contractor shall be solely responsible for providing a complete installation of elements whether or not the shop drawings have been reviewed
- 14. Contractor shall submit 1 paper sepia and 1 print of required shop drawings for review of conceptual design by designer prior to execution of
- 15. All areas to receive millwork shall be field measured prior to construction.
- 16. All cabinetwork shall conform to the applicable requirements of the woodwork institute of California and the latest edition of the "WIC Manual of Millwork", premium grade.
- 17. Horizontal dimensions are to finish face of wall or face of concrete unless otherwise.
- 18. Vertical dimensions and elevations are to finish materials unless noted
- 19. Contractor shall provide a complete partition layout chalked in field for review by designer prior to any construction.
- 20. Contractor shall verify equipment rough-in requirements with the equipment manufacturers.
- 21. The contractor shall provide all necessary blocking, backing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items.
- 22. Notify owner of non-availability of specified materials at the time of bidding. If no notification is given, it will be assumed that materials are
- 23. Substitutions of specified products will require written approval by designer prior to ordering or installation.
- 24. Do not scale the drawings. 25. Protect finish materials against damage.



**EXISTING AERIAL SITE VIEW** 



EXISTING STREET VIEW

243.0 sq.ft. /35 = 6.9

# ADULT DAY HEALTH CARE CENTER

607A-607B S. Glenoaks Blvd. Burbank, CA 91502



# SCOPE OF WORK:

#### PROPOSED ADULT DAY HEALTH CARE CENTER

- 1. Backwater valve to be installed on private sewer per B-1-313 and requirements of the Cityas CDD Building Department. It is noted and acknowledged that City staff will non sign off on the Final Building Permit Approval and/or Certificate of Occupancy until the owner/developer provides proof that backwater valve(s) have been installed.
- 2. Per BMC 9-3-407, Stormwater Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy.
- 3. Any existing fixture or connection to the sewer main line must be capped before building demolition activities occur.

# PROJECT OWNER / CLIENT:

Owner: First Choice ADHC Address: 1809 Magnolia Blvd. Burbank, Ca 91506 Tel: (747)212-1900 Email: firstchoiceadhc@gmail.com

# ARCHITECTURAL:

PERMIT PROCESSING AND CONSULTING LLC -2022 CALIFORNIA BUILDING CODE. 639 W. Broadway Glendale Ca 91204 Tel: (818) 240-5617 email: permitconsultant@yahoo.com

## CONSULTANTS:

STRUCTURAL PLANS Souren Grigoryan. Civil Engineer, No C 93320. 12829 Jolette Ave. Granada Hills, Ca 91344 Tel: 818-967-3139 email: souren@sgstudio.org

www.SGSTUDIO.ORG

# PROJECT ADDRESS:

607 A, - 607 B, S. GLENOAKS BLVD. BURBANK, CA-91502

## CODES:

THIS PROJECT SHALL CONFORM TO THE FOLLOWING CODES. -2022 CITY OF BURBANK 2019 AMENDMENTS. -2022 CALIFORNIA PLUMBING CODE. -2022 CALIFORNIA MECHANICAL CODE. -2022 CALIFORNIA ELECTRICAL CODE. -2022 FIRE CODE. -2022 CALIFORNIA ENERGY CODE.

-2022 CALIFORNIA GREEN BUILDING CODE.

## PROJECT DATA:

LEGAL DESCRIPTION: M R 17-25 LOTS 3 THRU 7 AND EX OF ST LOTS 1 AND 2 Assessor's ID No: 2453-030-023

**Building Description** Building Improvement 1 Square Footage: 8,600. sq.ft. Year Build / Effective Year Built:1986 / 1986

JURISDICTION: CITY OF BURBANK CONSTRUCTION TYPE: V-B OCCUPANCY: I-4 CBDG/R-4 **ZONED USE:** TENANT IMPROVEMENT: 8,600.0 SQ.FT. ACTUAL AREA 8,600.0 SQ.FT. FIRE SPRINKLER

# OCCUPANT LOAD CALCULATION:

ACTIVITY/MAIN HALL # 1 3,405.0 sq.ft./35 = 97.3

RECEPTION, ENTRY

, ,		o,,
ACTIVITY AREA # 2		895.0 sq.ft./35 = 26.0
KITCHENETTE		256.0 sq.ft./200 = 1.3
STORAGE ROOM		268.0 sq.ft./300 = 0.8°
STORAGE / UTILITY AREA		117.0  sq.ft./300 = 0.3
HD RESTROOM # 1		316.0  sq.ft./100 = 3.1
HD RESTROOM # 2		316.0  sq.ft./100 = 3.1
HD BATHROOM # 1		60.0  sq.ft./100 = 0.6
HD BATHROOM # 2		60.0  sq.ft./100 = 0.6
HALLWAY # 1		450.0 sq.ft./100 = 4.5
HALLWAY # 2		77.0  sq.ft./100 = 0.73
S.W.	ROOM # 1.	205.0 sq.ft./35 = 5.9
ASSESSMENT ROOM # 2.		166.0  sq.ft./35 = 4.7
ASSESSMENT ROOM # 3.		145.0  sq.ft./35 = 4.1
ASSESSMENT ROOM # 4.		89.0 sq.ft./35 = 2.5
OTIPT.	ROOM # 5.	185.0  sq.ft./35 = 5.3
C ///	POOM # 4	$\frac{1170 \text{ cg ft } /35 - 33}{1170 \text{ cg ft } /35 - 33}$

OTIPT.	ROOM # 5.	185.0 sq.ft./35 = 5.3
S.W.	ROOM # 6.	117.0  sq.ft./35 = 3.34
R.N.	ROOM # 7.	134.0  sq.ft./35 = 3.83
PD Assessment RM # 8.		112.0 sq.ft./35 = 3.2
R.N.	ROOM # 9.	150.0  sq.ft./35 = 4.3
QUIET RC	OM # 10.	150.0  sq.ft./35 = 4.3

= 187.16 = 187 TOTAL OCCUPANT LOAD

**REQUIRED EXITS** 2 (TWO)

## PARKING CALCULATIONS:

607 A, - 607 B, S. GLENOAKS BLVD. GROUND FLOOR TENANT TOTAL REQUIRED TOTAL PROVIDED ACCESSIBLE SPACE

## PLUMBING FIXTURES ANALYSIS

CALIFORNIA PLUMBING CODE: 2022 BUSINESS OCCUPANCY: l - 4 GROSS SQ.FT. = 8,600.0 SQ.FT. = 5,988.0 SQ.FT. PUBLIC SQ.FT. OCCUPANCY LOAD CALCULATION 5,988.0/200.= 30

# FIXTURES PROVIDED

5 LAVATORY 5 LAVATORY 9 WATERCLOSET 9 WATERCLOSET 2 DRINKING FOUNTAIN

WATER CONSERVATION: The project shall demonstrate a 20% reduction in water use by specifying plumbing fixtures and fixtures that meet the flow rates listed below, or trough a calculation showing a 20% reduction from baseline values listed in CALGreen Table 5.303.2.3.

Showerheads Lavatory faucet-nonresidential Kitchen faucets Water closets

Metering faucets

0.4 gpm 1.8 gpm 1.28 gallons per flush 0.5 gallon per flush 0.2 gallon per flush

2.0 gallons per minute (gpm)

1. The combined flow rate of multiple shower heads shall not exceed the maximum flow rate, or the shower shall be designed to permit one showerhead to be in operation at a time. 2. The effective flush volume for dual-flush toilets is defined as composite, average flush volume of two reduced flushes and one flush.

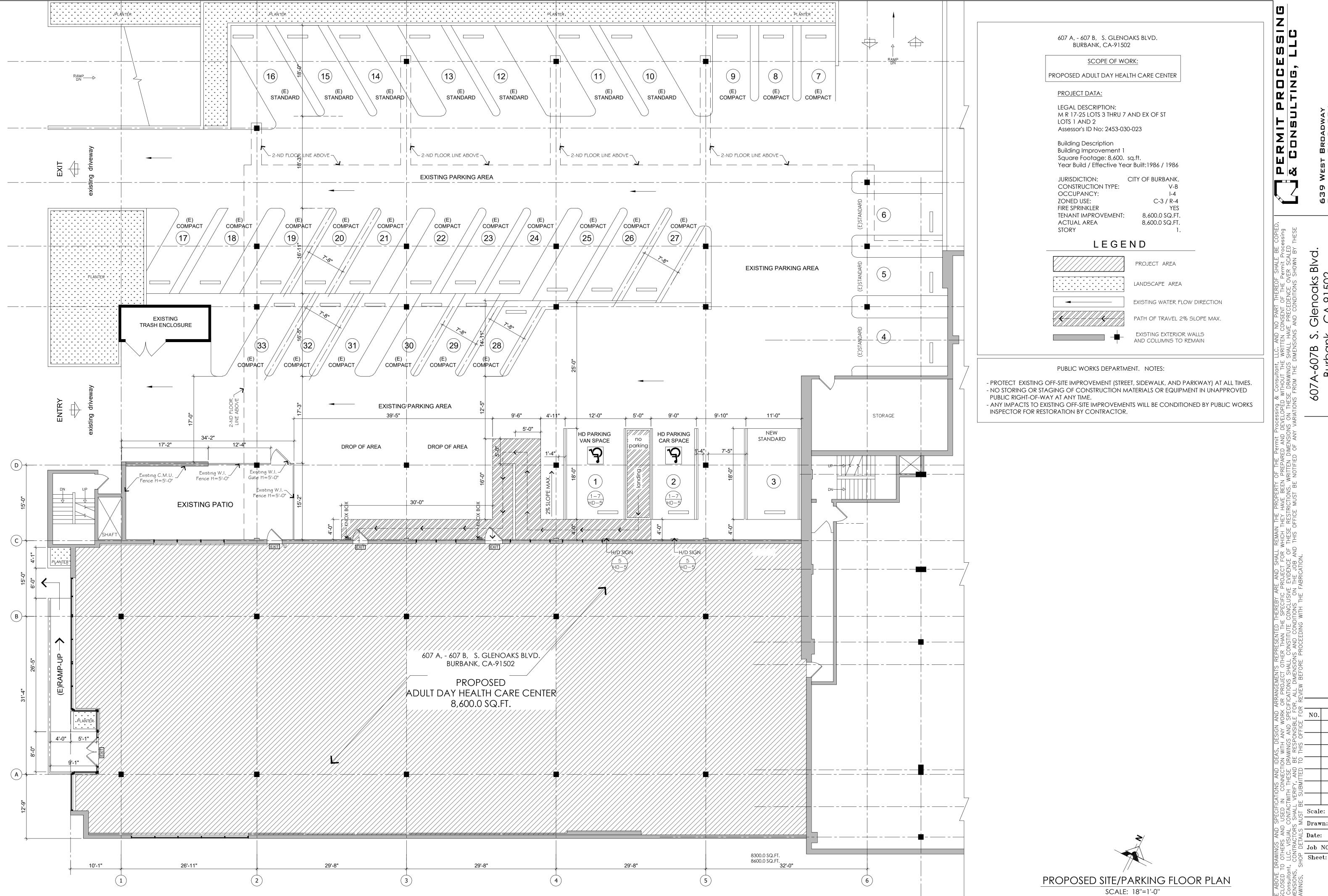
# INDEX OF DRAWINGS:

Architectural Title sheet, Notes. A-1 Site/Parking Floor Plan. A-2 Floor plan. A-3 Enlarge Restrooms Plan A-4 Egress plan

REVISIONS ISSUE N.T.S. Scale: E Drawn: 12-19-23

Date: Job NO.

Sheet:



A-607B S. Glenoaks Blvd.
Burbank, CA 91502
wner: First Choice ADHC

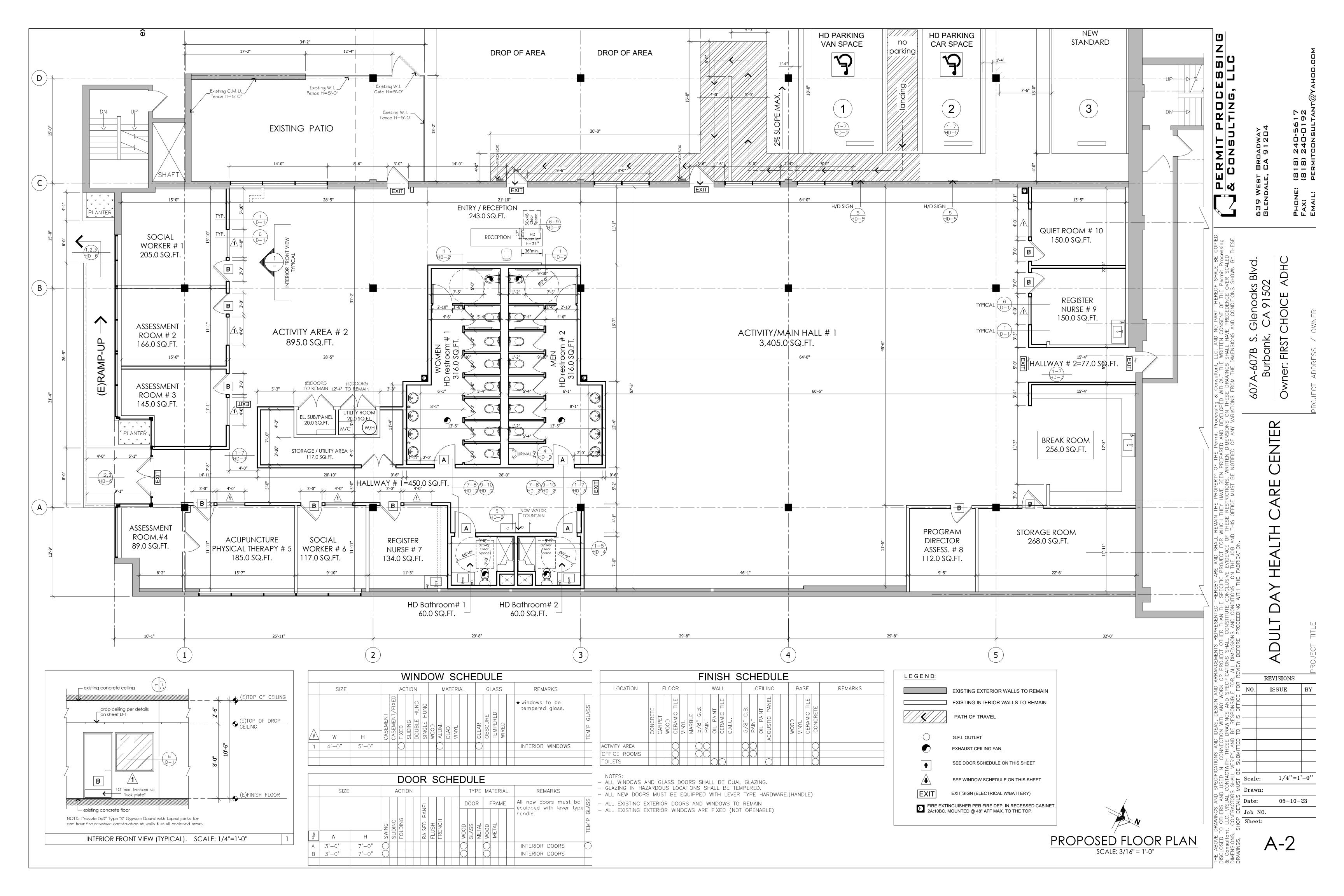
DAY HEALTH CARE CENTER

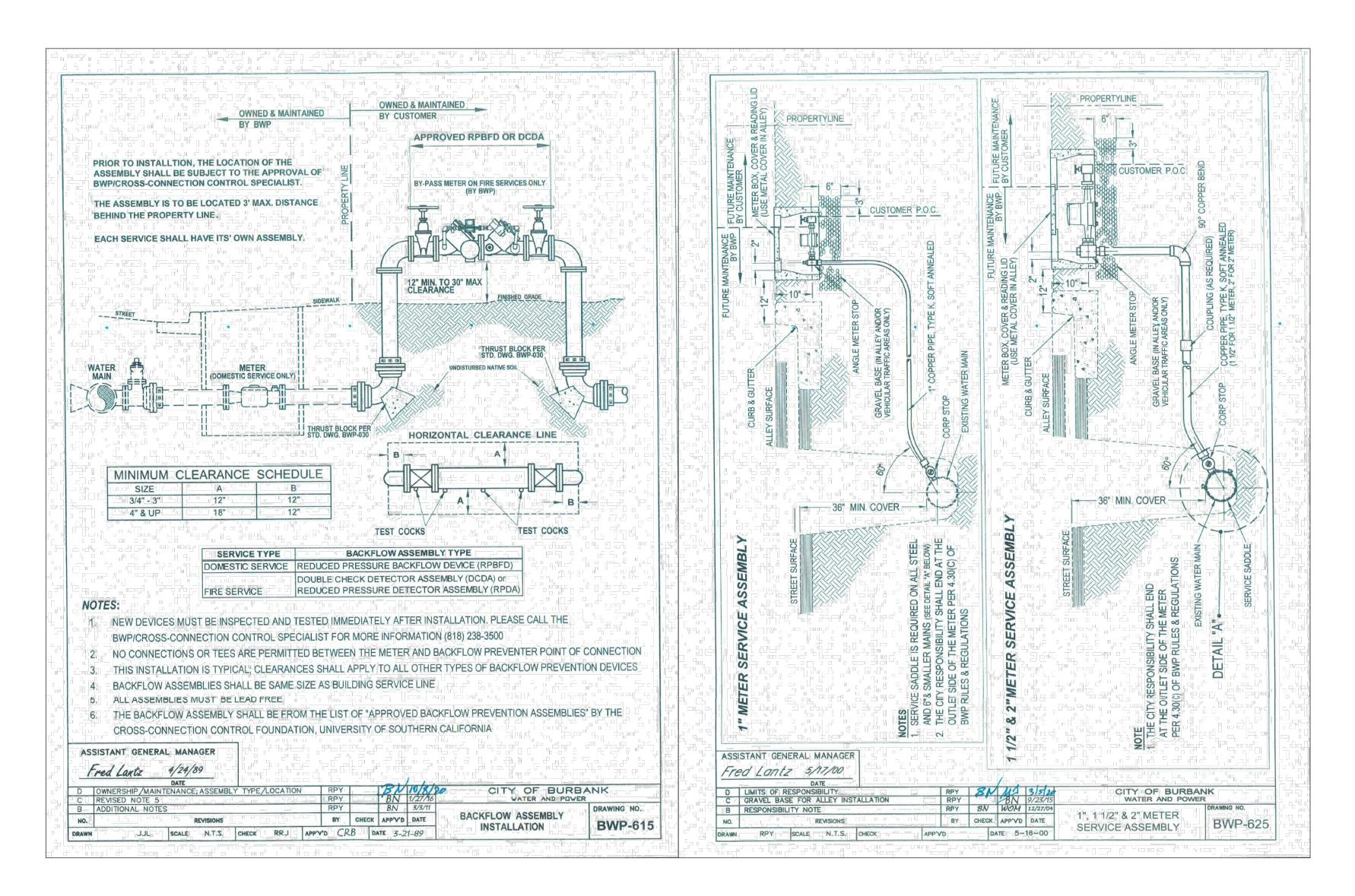
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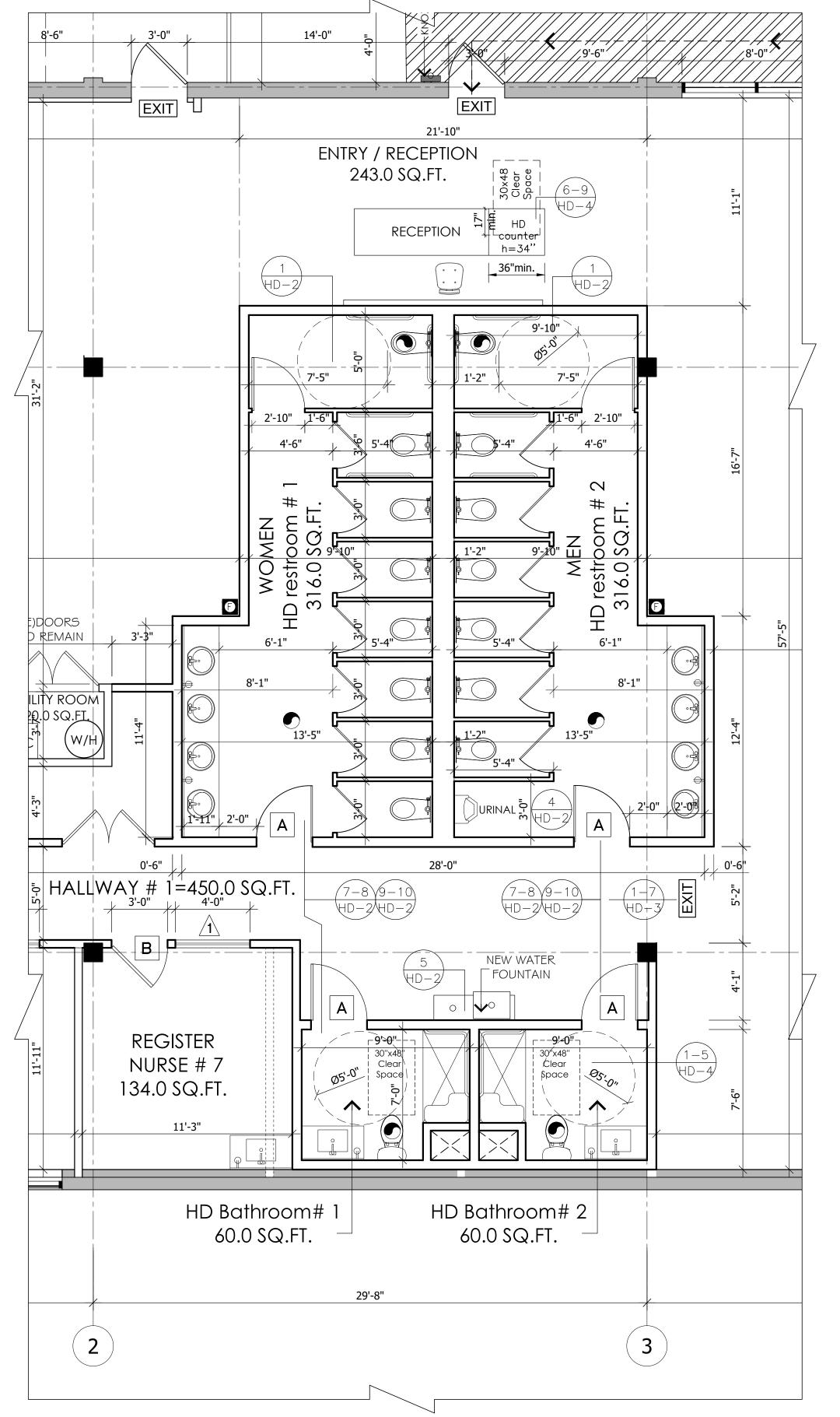
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PERMIT PROCESSIN & CONSULTING, LLC

639 WEST BROA GLENDALE, CA 9

(8 1 8) (8 1 8) PERMIT

-607 S. Glenoaks Blvd. 3urbank, CA 91502 er: FIRST CHOICE ADHC

Y HEALTH CARE CENTER

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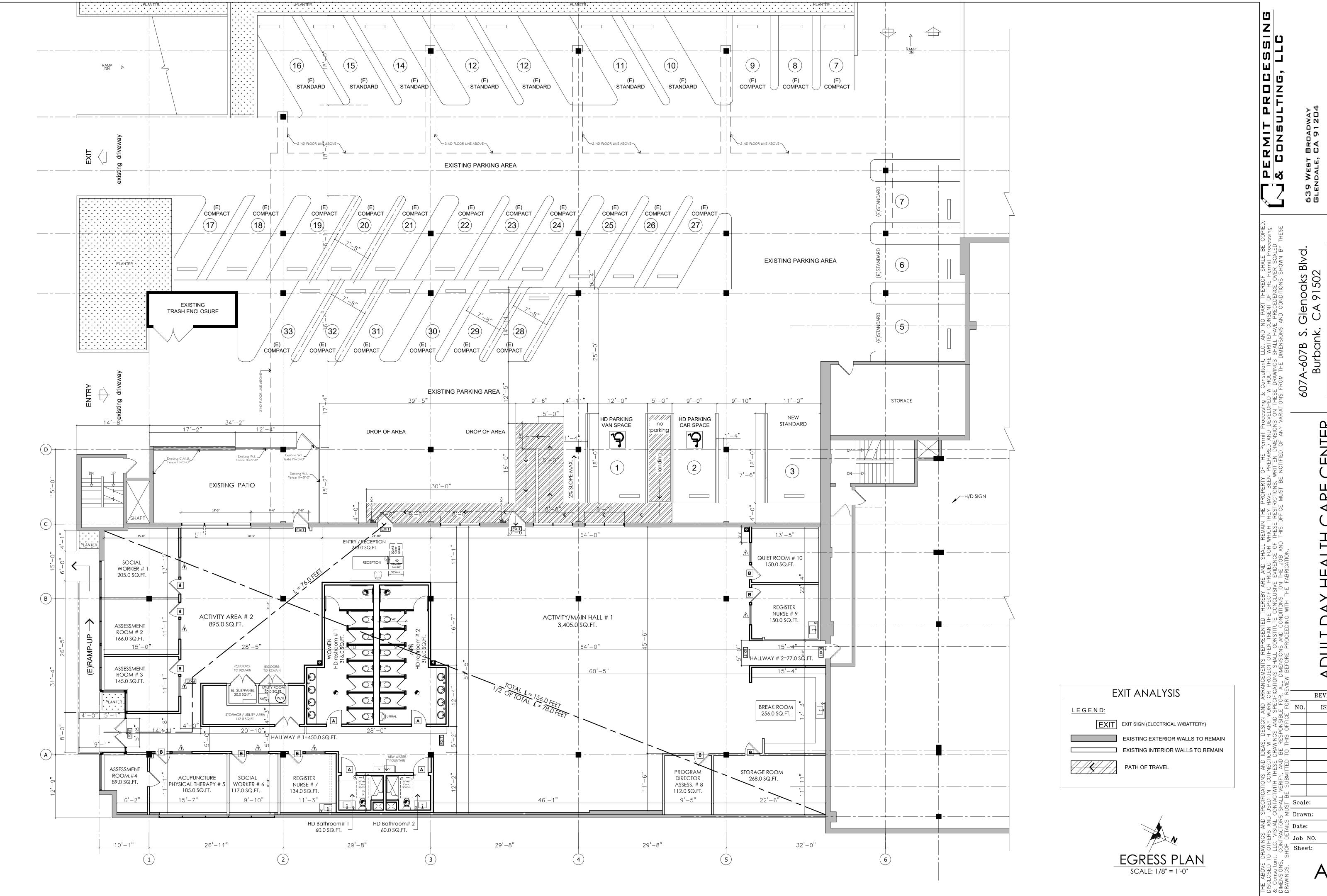
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A-3



ISSUE 1/4"=1'-0"

05-10-23

