

LOCATION / VICINITY MAP

NOTE TO SCALE

- NONE

- NONE

- NONE

HERSTests.com

NAME: TEO TOMASIAN

HVAC DISTRIBUTION SYSTEM VERIFICATIONS

DOMESTIC HOT WATER SYSTEM VERIFICATIONS:

**HERS VERIFICATION REQUIREMENTS:** 

LICENSE NO. : N/A

FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION:

A. ALL GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOL, SAUNAS, STEAM ROOM, BATH TUBS & SHOWER EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE OR DRAIN INLET

B. ALL GLAZING WITHIN 24" INCHES OF A DOOR AND WITHIN 60" INCHES OF THE

C. ALL GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF THE FLOOR OR 36" INCHES OF GRADE AND GLASS DOOR AND WALL PANELS.

15. ALL WINDOW GLASS ARE TO BE DUAL TYPE UNLESS OTHERWISE STATED

ULL DEMOLITION OF EXISTING SING AMILY RESIDENCE AND GARAGE A IKE - FOR - LIKE REPLACEMENT DU TRUCTURAL DEFICIENCY 26 S. SUNSET CYN., DR., BURBANK, CA. 91501 NEIL A. Checked by SEPT. 29, 2023 Scale 1/8" = 1'-0"Job No. Sheet No. **A-** ]

Joseph Pangilinan

Project No.

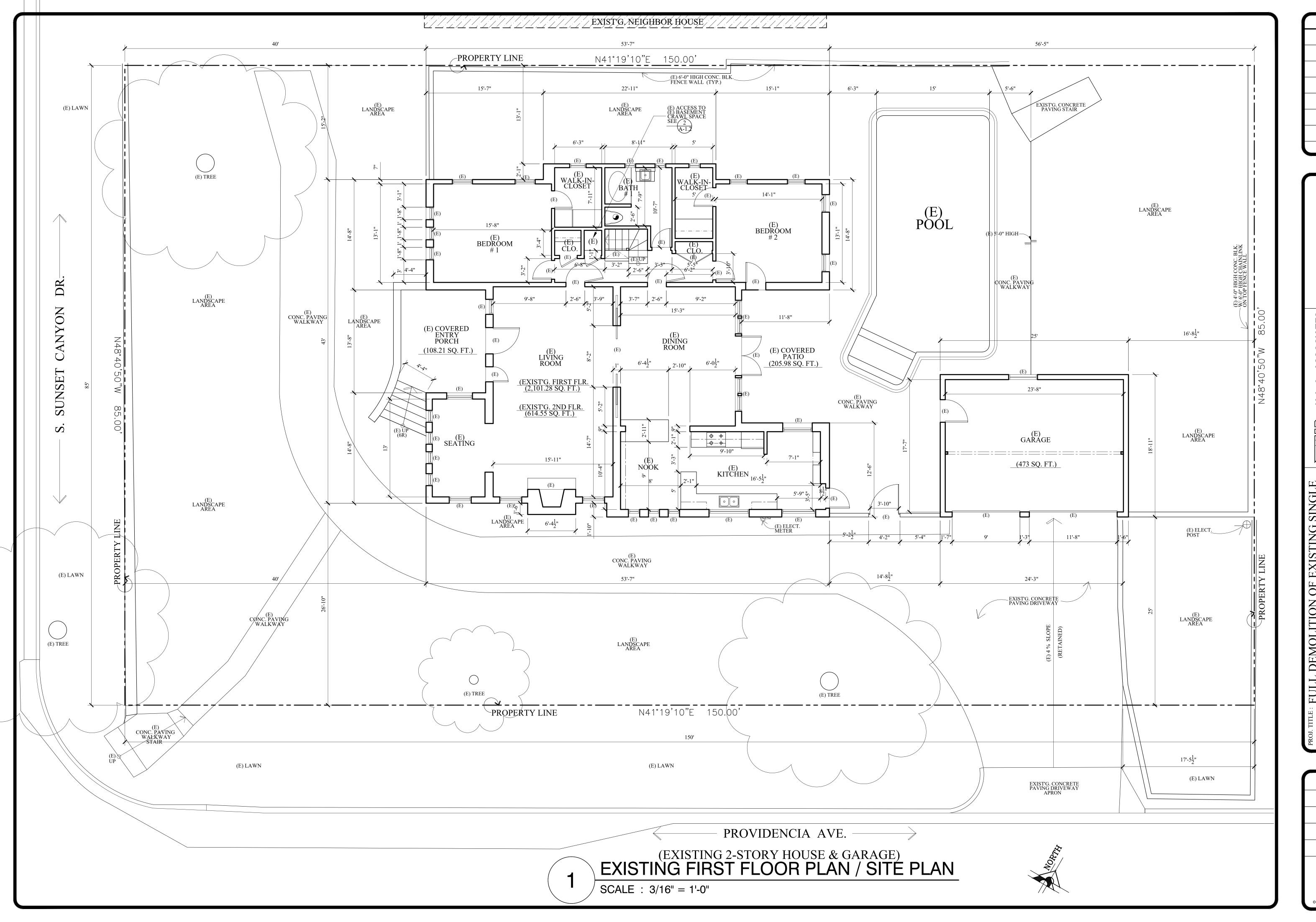
Associate Planner

Date: February 15, 2024

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ASSOCIA'

7



Revisions By

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VJ & ASSOCIATE
building design • planning • inter
1224 E. BROADWAY, SUITE 105,

FAMILY RESIDENCE AND GARAGE A
LIKE - FOR - LIKE REPLACEMENT DU
STRUCTURAL DEFICIENCY

ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

ER: MARINA ISOUNT
526 S. SUNSET CYN. BURBANK, CA. 91501

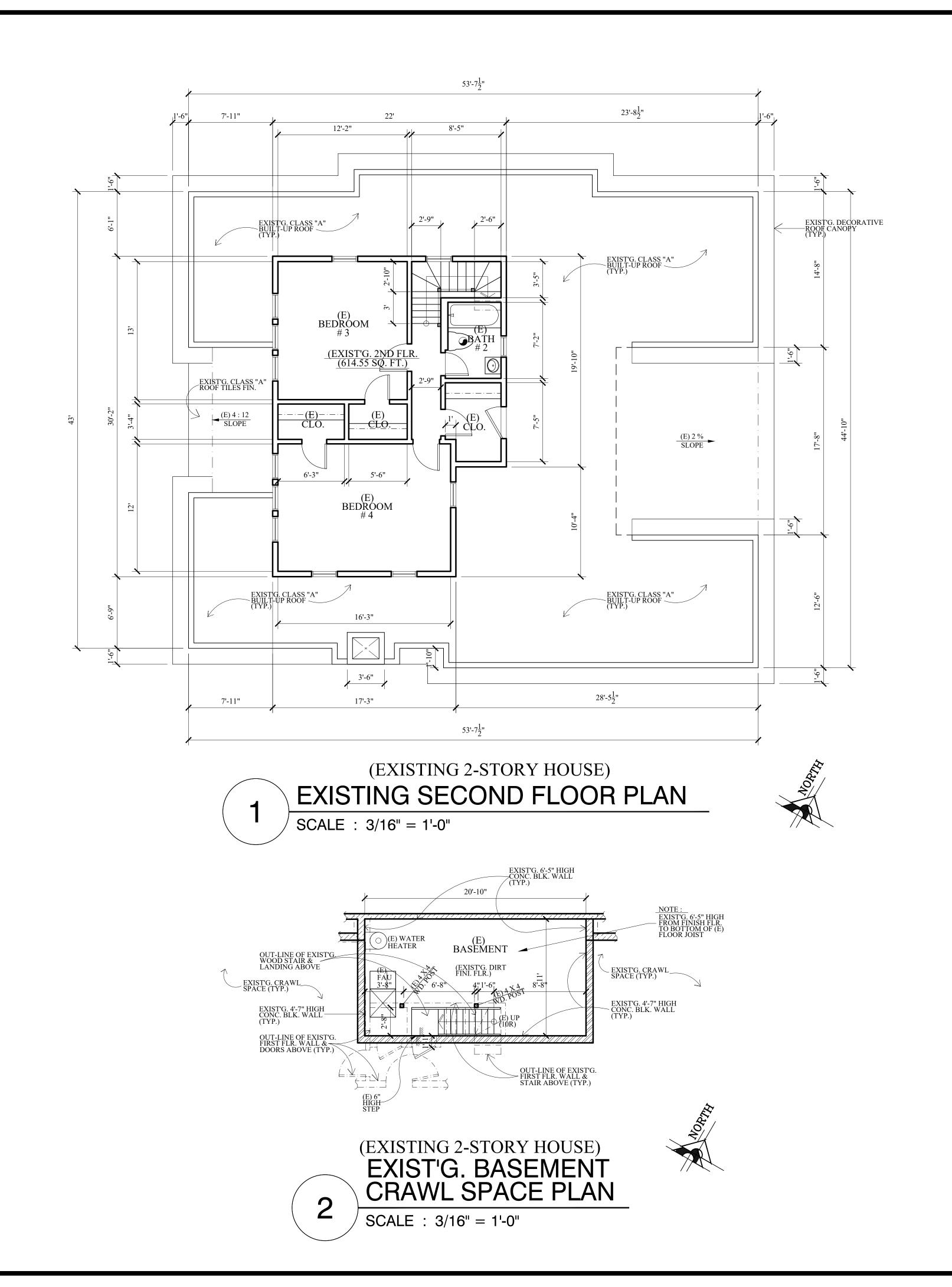
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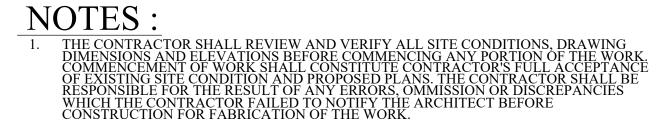
Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 10, 2023
Scale
3/16" = 1'-0"
Job No.

Sheet No.

A-1.1

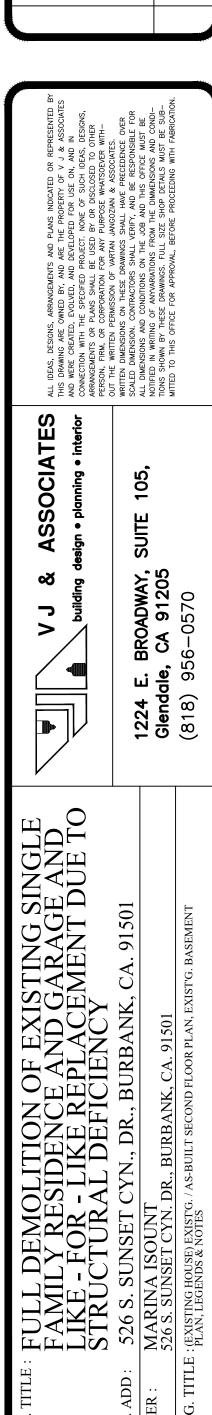
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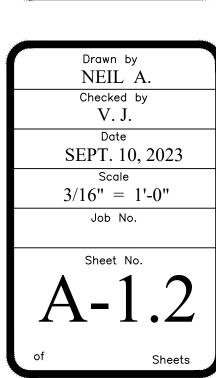


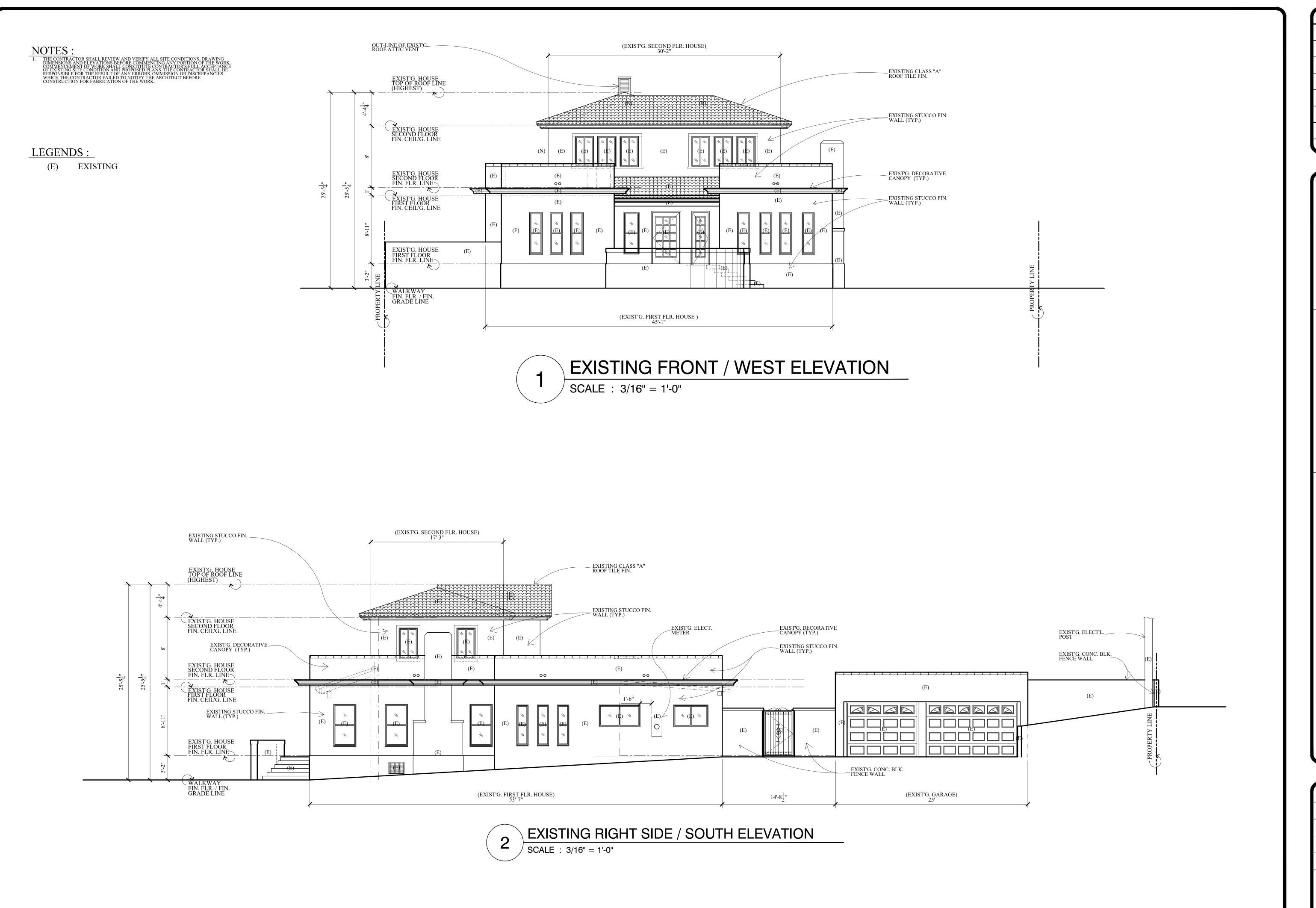


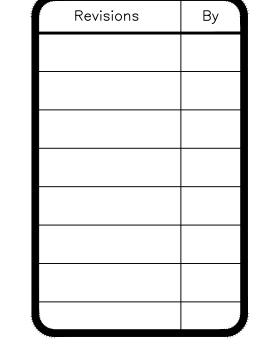
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(E) EXISTING

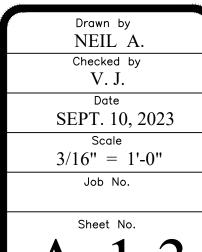


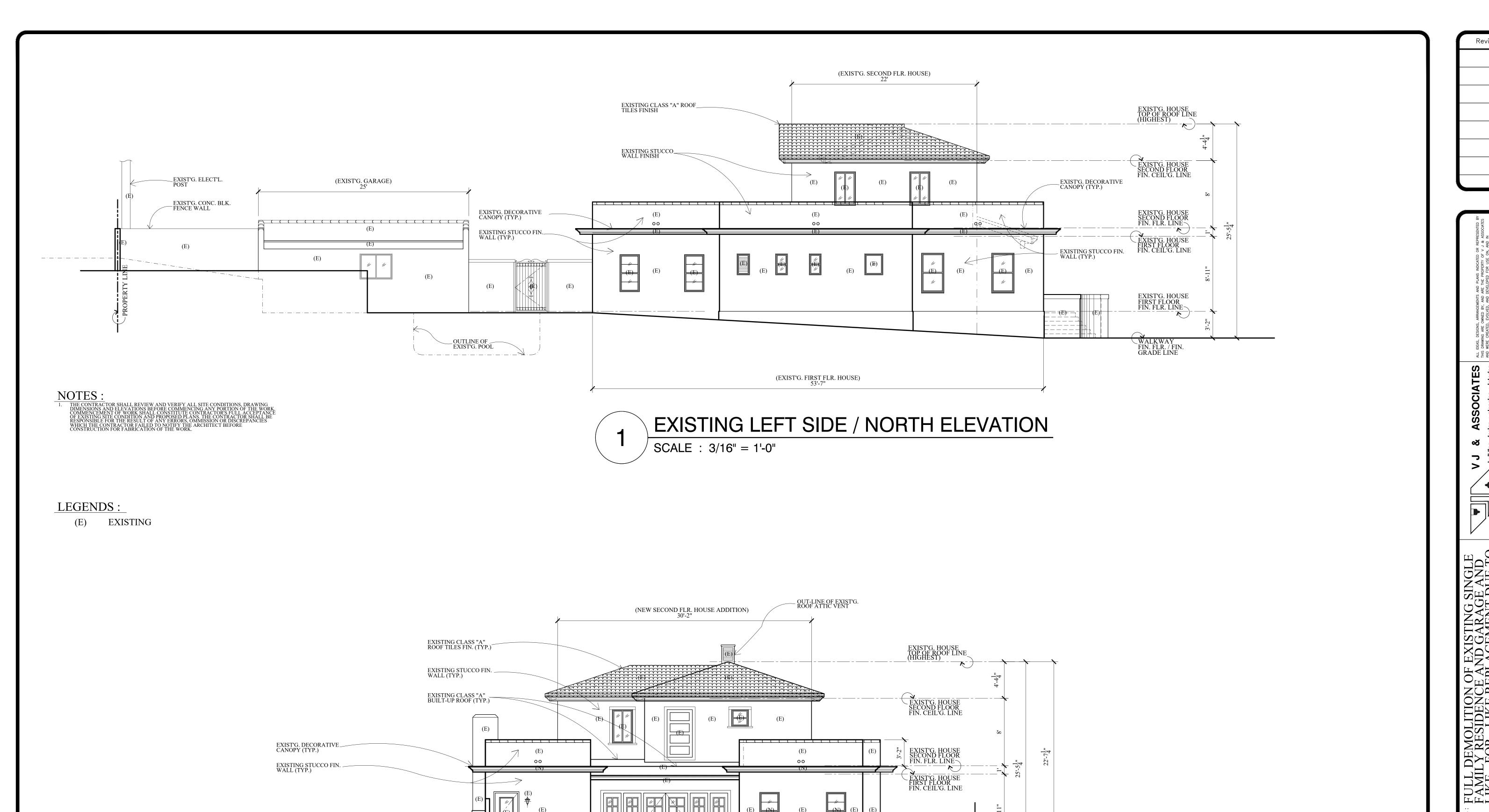






ASSOCIATES Interior FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

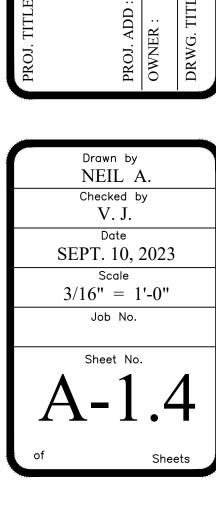




(EXIST'G. FIRST FLR. HOUSE)

SCALE: 3/16" = 1'-0"

EXISTING REAR / EAST ELEVATION



# SIZING WATER METER & SERVICE LINE:

	Plumbing Code, 2	_		,
Owner's Name: MARINA /50		Date:	OCT 14	12022
Project Address: 526 s , SUNSET	CYN	Agent :	V. JAN. (8/8)207	GO ZIA
Zone: 2 - /		Agent Ph #	1818)2-7	1111
	(Home,E	Business	(0/2/20/	-1114
Owner's Phone #: (8/8) 4/9 - 99/4	or	Cell)	2000	4.
		Water Supply	Eivture Unite	
	Fixture		ture Units	
Description	1 ixture	Private Use		SubTotal
Bathtub or Combination Bath/Shower (fill)		4	4	4
3/4" Bathtub Fill Valve		10	10	10
Shower, per head	- 3	2	2	6
Clothes washer	7	4	4	4
Dishwasher, domestic		1.5	1.5	1.5
lose Bibb		2.5	2.5	
lose Bibb, each additional 4	5	1	1	5
awn Sprinkler each head 2	30	1	1	30
Sinks			The second second	
Kitchen, domestic	2	1.5	1.5	3
Bar (Investory)		1	2	_
Bathroom (lavatory) Laundry	5	1,5	1	5
Service or Mop Basin		1.5	1.5	1,5
Wash-up, each set of faucets	1100000	1.0	2	
Clinic Faucet			3	
Clinic Flushometer Valve	100	The state of the s	ALCOHOLD TO THE	
with or without faucet			8	
Water Closet, 1.6 GPF Gravity Tank	- 4	2.5	2.5	10
Water Closet, 1.6 GPF Flushometer Tank	7/6/00	2.5	2.5	
Vater Closet, 1.6 GPF Flushometer Valve		See N	lote 5	11.
Water Closet, greater than 1.6 GPF Gravity Tank	the statement of the st	3	5.5	
Water Closet, greater than 1.6 GPF Flushometer Valve	-	See N		
Jrinal, 1.0 GPF Flushometer Valve		See N		
Jrinal, greater than 1.0 GPF Flushometer Valve Jrinal, flush tank		See N		
Bidet	The reason was as	1	2	
Dental Unit, cuspidor	- L		1	-
Orinking Fountain or Watercooler		0.5	0.5	
Vashfountain, circular spray			4	
Mobile Home, each (minimum)		6		80
Owner's/Agent's init	iale: \/ 1	Total F	ixture Units	
				120
Notes:	istance from met	ter to most re	mote outlet	120
Appliances, Appurtenances or Fixtures not included in this Table r For fixtures or supply connections likely to impose continuous flow separately to the demand (in GPM) for the distribution system or p Reducing fixture unit loading for additional hose bibbs is to be use hose bibb is supplied by a segment of water distributing pipe. The Fixture quantities are total plumbing fixtures existing and new.	demands, determine the ortions thereof. d only when sizing total be	required flow in gall uilding demand and	ons per minute (GPM for pipe sizing when	M) and add it more than one

# VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) NOTES:

2. ROOF GUTTERS:
ROOF GUTTERS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. (705.4; R337.5.4)

VENT OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVES SOFFIT SPACES, ENCLOSED RAFTER SPACES AND UNDERFLOOR VENTS SHALL RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME, THROUGH THE VENT OPENINGS. VENT OPENINGS SHALL COMPLY WITH ONE OF THE FOLLOWING:

a. LISTED VENT COMPLYING WITH ASTM E2886 OR b. PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRESH WITH MIN. 1/6" AND MAX 1/8" OPENINGS

(706A.2; R337.6.2)

EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY BY MEETING ONE OF THE FOLLOWING :

a. NONCOMBUSTIBLE CONSTRUCTION OR

b. IGNITION RESISTANT MATERIAL OR c. HEAVY TIMBER CONSTRUCTION OR

d. LOG WALL CONSTRUCTION OR

e. COMPLIES WITH SFM 12-7A-1

5. <u>ENCLOSED ROOF EAVES & ROOF EAVES SOFFIT :</u> EXPOSED UNDERSIDE SHALL BE PROTECTED BY ONE OF THE FOLLOWING : a. NONCOMBUSTIBLE CONSTRUCTION

b. IGNITION RESISTANT MATERIAL

c. ONE LAYER OF 5/8" TYPE "X" APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.

d. EXTERIOR PORTION OF A 1-HR. FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF RAFTERS TAILS OR SOFFIT PER GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.

e. BOX-IN ROOF EAVES SOFFIT ASSEMBLIES COMPLYING WITH SFM 12-7 A-3 OR ASTM E2957.

(707A.5; R337.7.5)

6. EXTERIOR PORCH CEILINGS: EXPOSED UNDERSIDE SHALL BE PROTECTED BY ONE OF THE FOLLOWING

a. NONCOMBUSTIBLE CONSTRUCTION

b. IGNITION RESISTANT MATERIAL c. ONE LAYER OF 5/8" TYPE "X" APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.

d. EXTERIOR PORTION OF A 1-HR. FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY PER GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.

e. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE COMPLYING WITH

SFM 12-7 A-3 OR ASTM E2957.

7. EXTERIOR WINDOWS AND DOORS:

7a. EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BOCK UNITS, OR MINIMUM 20-MIN. RATED, OR COMPLIES WITH SFM # 2-7A-2

(708A.2.1; R337.8.2.1)

7b. EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING:

a. NONCOMBUSTIBLE MATERIAL OR

b. IGNITION RESISTANT MATERIAL OR

c. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4-IN. THICK OR

d. MINIMUM 20 - MINS. RATED OR e. COMPLIES WITH SFM 12-7A-1

(708A..3; R337.8.3)

WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS WHEN ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING:

a. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH SFM 12-7A-4 AND 12-7A-5

b. EXTERIOR FIRE RETARDANT TREATED WOOD c. NONCOMBUSTIBLE MATERIAL

d. COMPLIES WITH SFM 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. (708A..3; R337.9.3)

WHEN ANY PORTION OF AN ATTACHED OR DETACHED ACCESSORY STRUCTURE (TRELLISES, ARBORS, PATIO COVERS, CARPORT, GAZEBOS AND SIMILAR STRUCTURES OF AN ACCESSORY OR MISCELLANEOUS CHARAHCTER) LIES WITHIN 50 FEET OF AN APPLICABLE BUILDING. IT SHALL BE CONSTRUCTED OF:

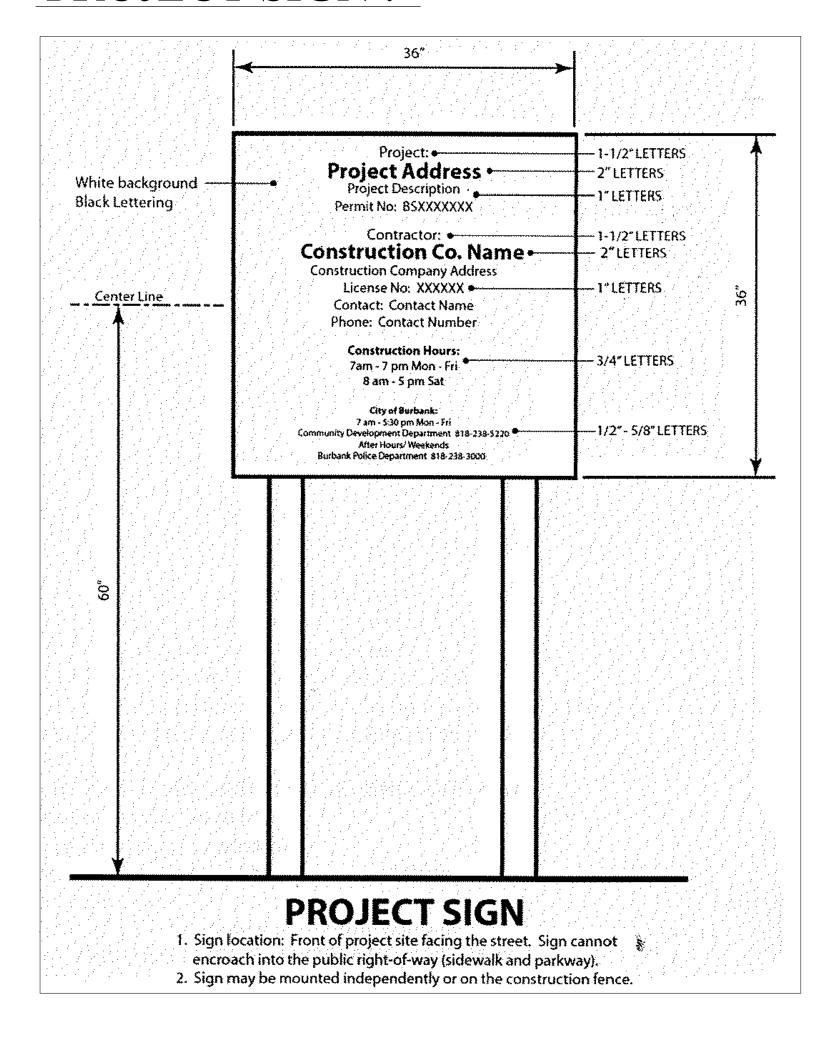
a. NONCOMBUSTIBLE MATERIALS OR

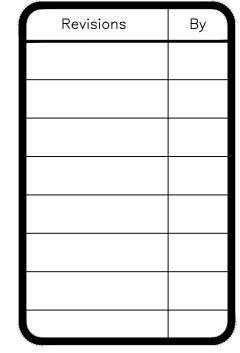
b. IGNITION-RESISTANT MATERIALS OR

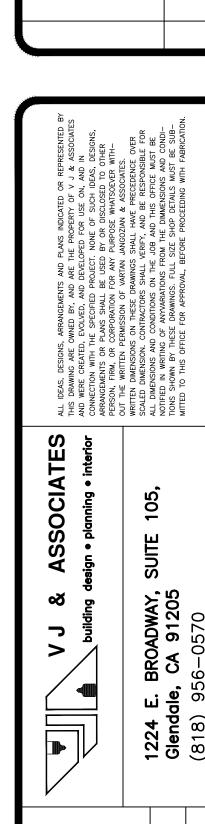
c. HEAVY TIMBER CONSTRUCTION

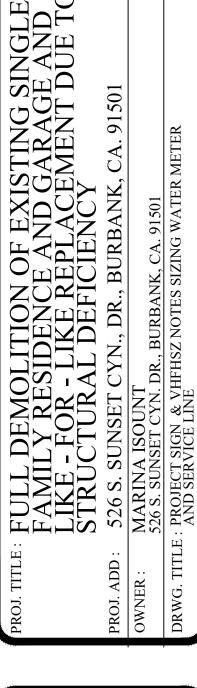
(710A; R337.10)

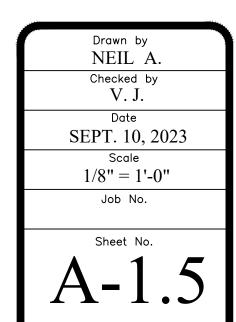
# PROJECT SIGN:

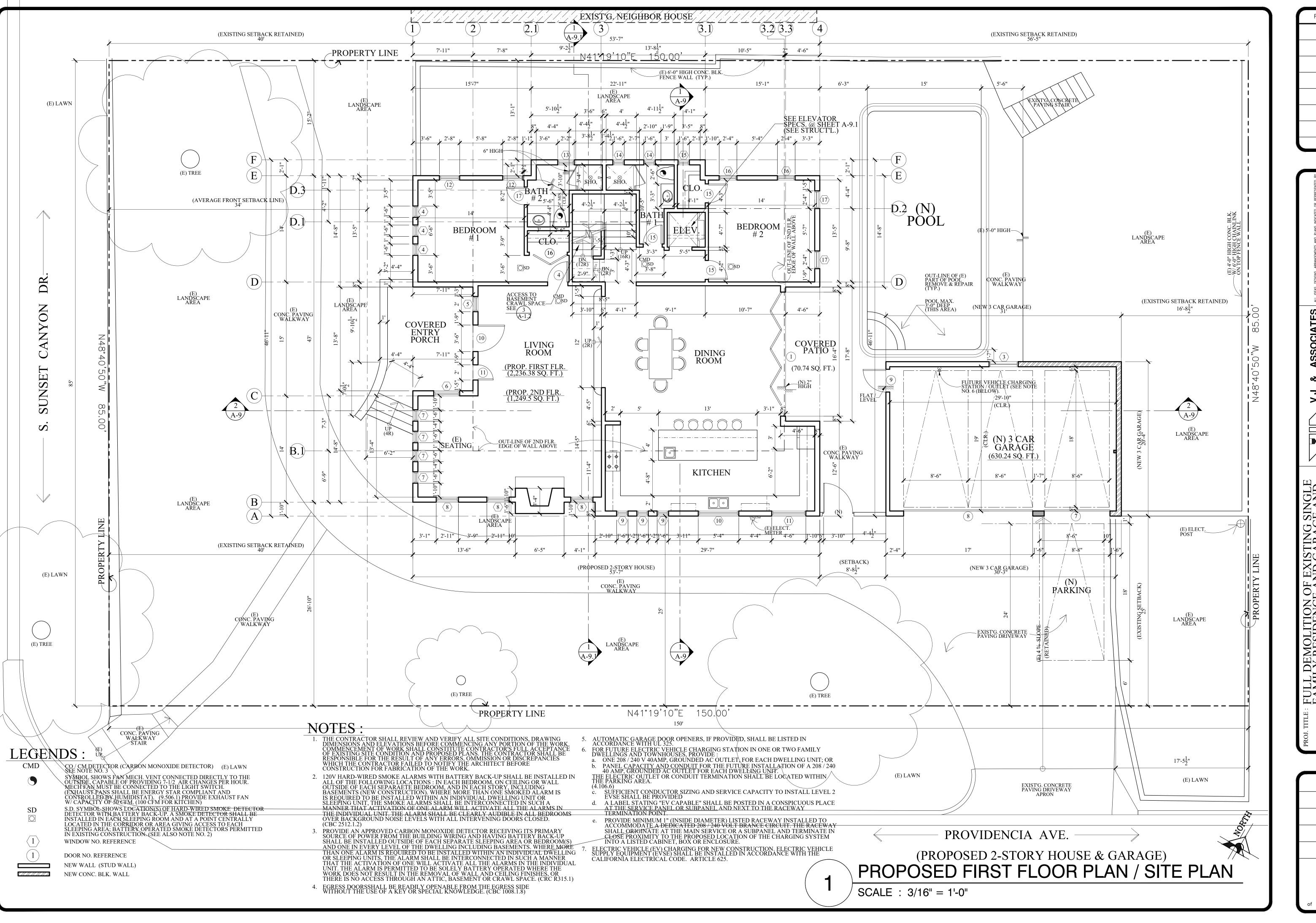


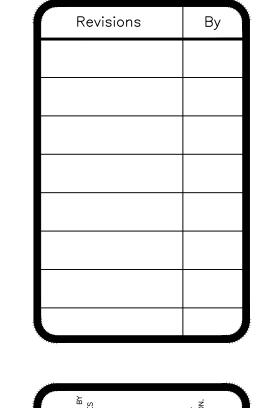












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VJ & ASSOCIATES

Let building design • planning • interior

F. BROADWAY, SUITE 105.

AOLITION OF EXISTING SINGLE RESIDENCE AND GARAGE AND R - LIKE REPLACEMENT DUE TO RAL DEFICIENCY ET CYN., DR., BURBANK, CA. 91501

Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 10, 2023
Scale

SEPT. 10, 2023

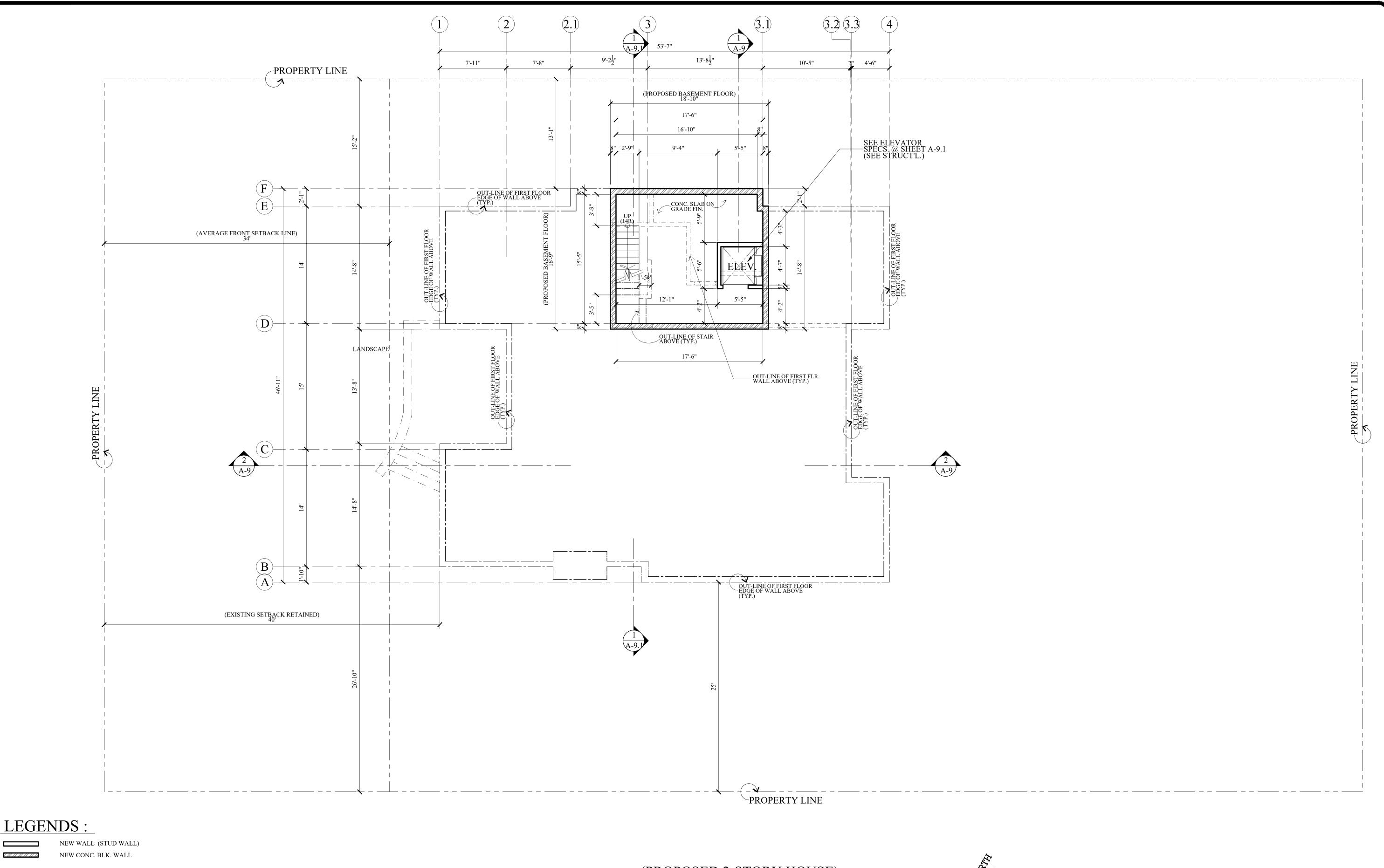
Scale

3/16" = 1'-0"

Job No.

Sheet No.

A-2

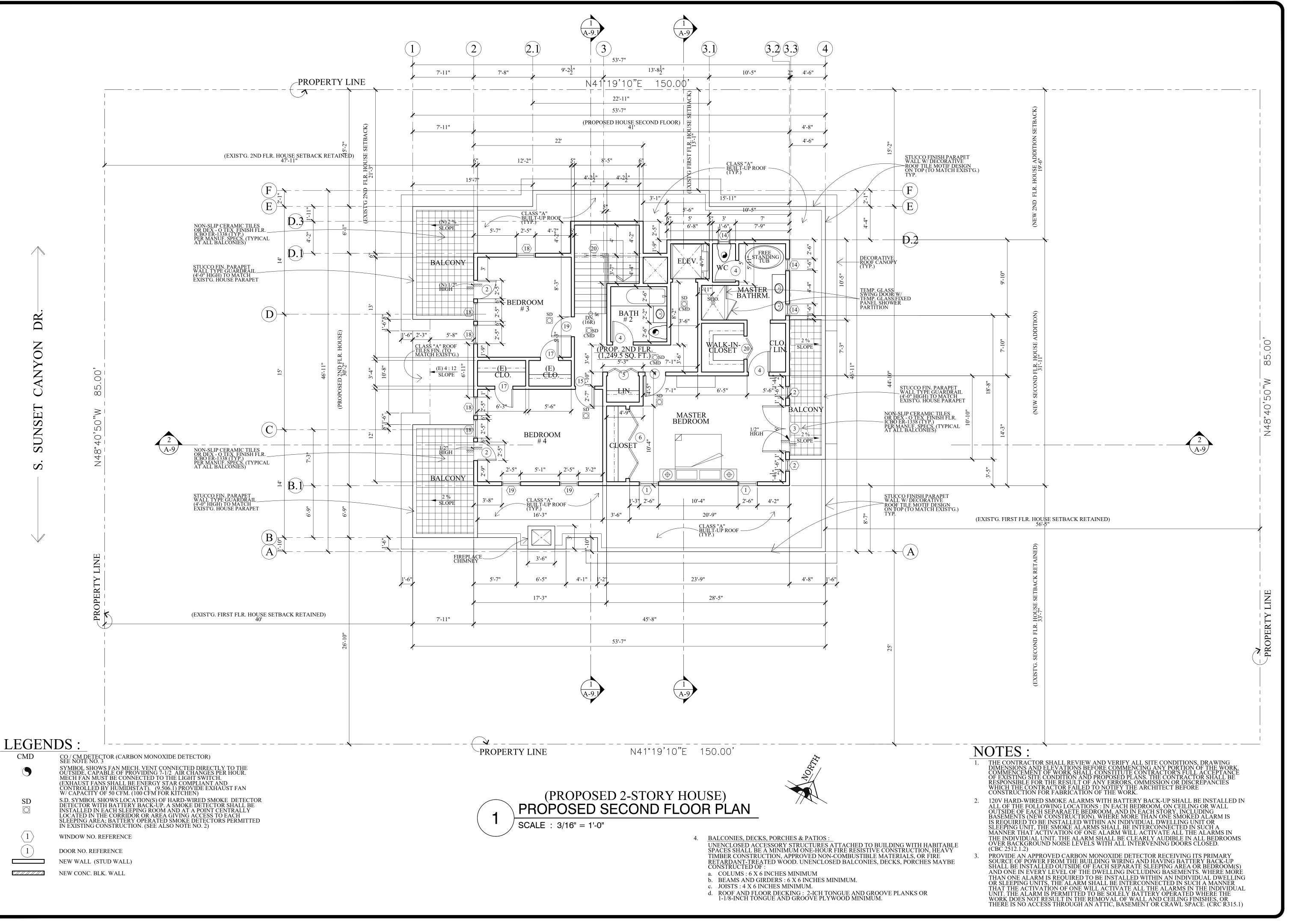


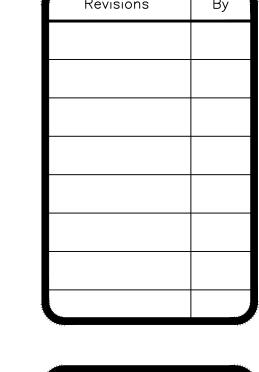
SEPT. 13, 2023 3/16" = 1'-0"

(PROPOSED 2-STORY HOUSE)
PROPOSED BASEMENT FLOOR PLAN

SCALE : 3/16" = 1'-0"

NOTES: THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.





ASSOCIATES

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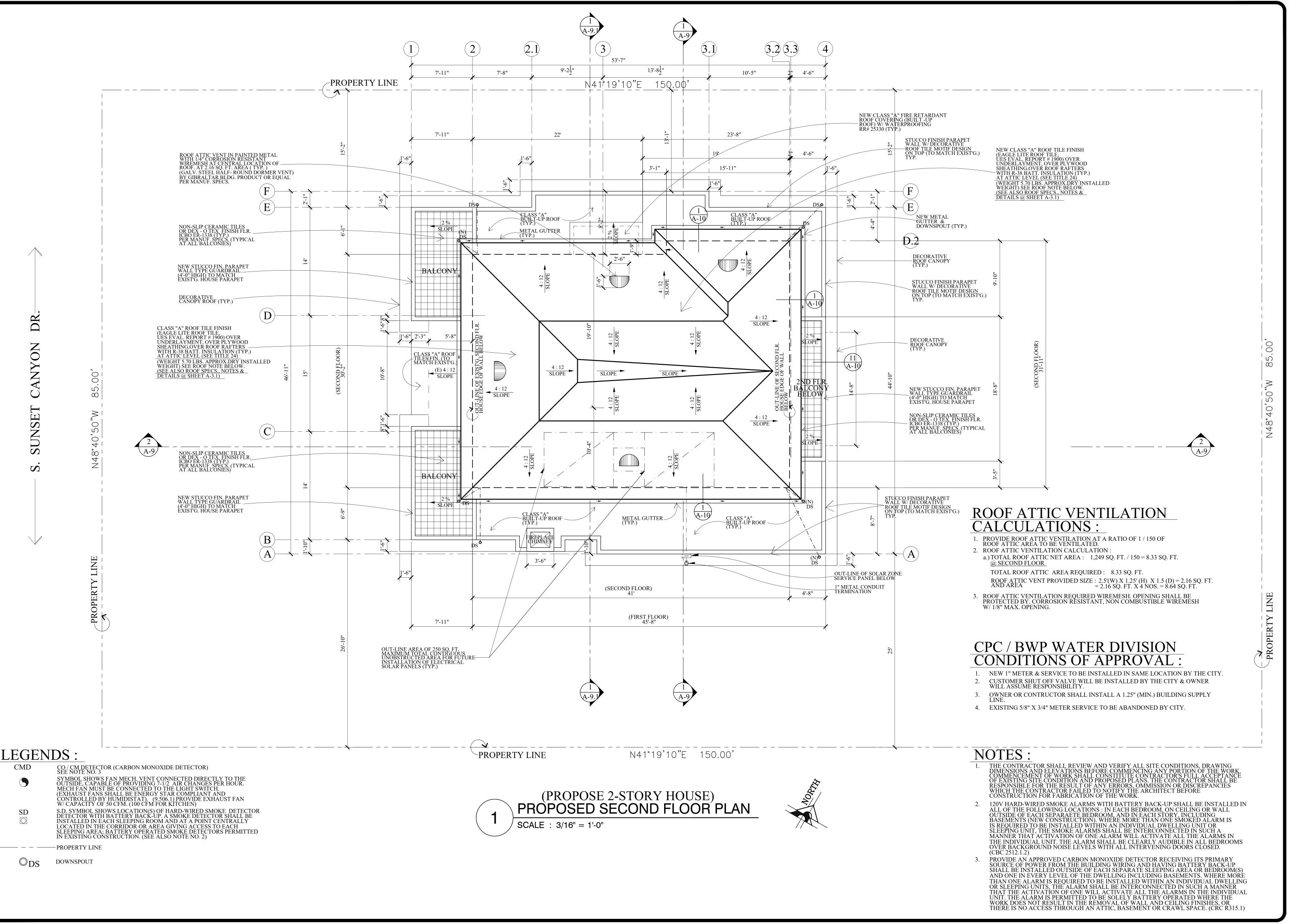
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LIKE - FOR - LIKE REPLAC STRUCTURAL DEFICIENC DD: 526 S. SUNSET CYN., DR., BURBAN : MARINA ISOUNT 526 S. SUNSET CYN. BURBANK, CA. 9150 ITTLE: EXISTING HOUSE (PROPOSED SECOND)

Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 10, 2023
Scale

3/16" = 1'-0"Job No.

Sheet No.



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ADWAY, SUITE 202, 91205

1224 E. BROADW Glendale, CA 912 (818) 956-0570

FION OF EXISTING SINGLE
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., DR., BURBANK, CA. 91501

RUCTURAL DEFICIENC
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RINA ISOUNT
S. SUNSET CYN., BURBANK, CA. 9150

Drawu by OWNER:

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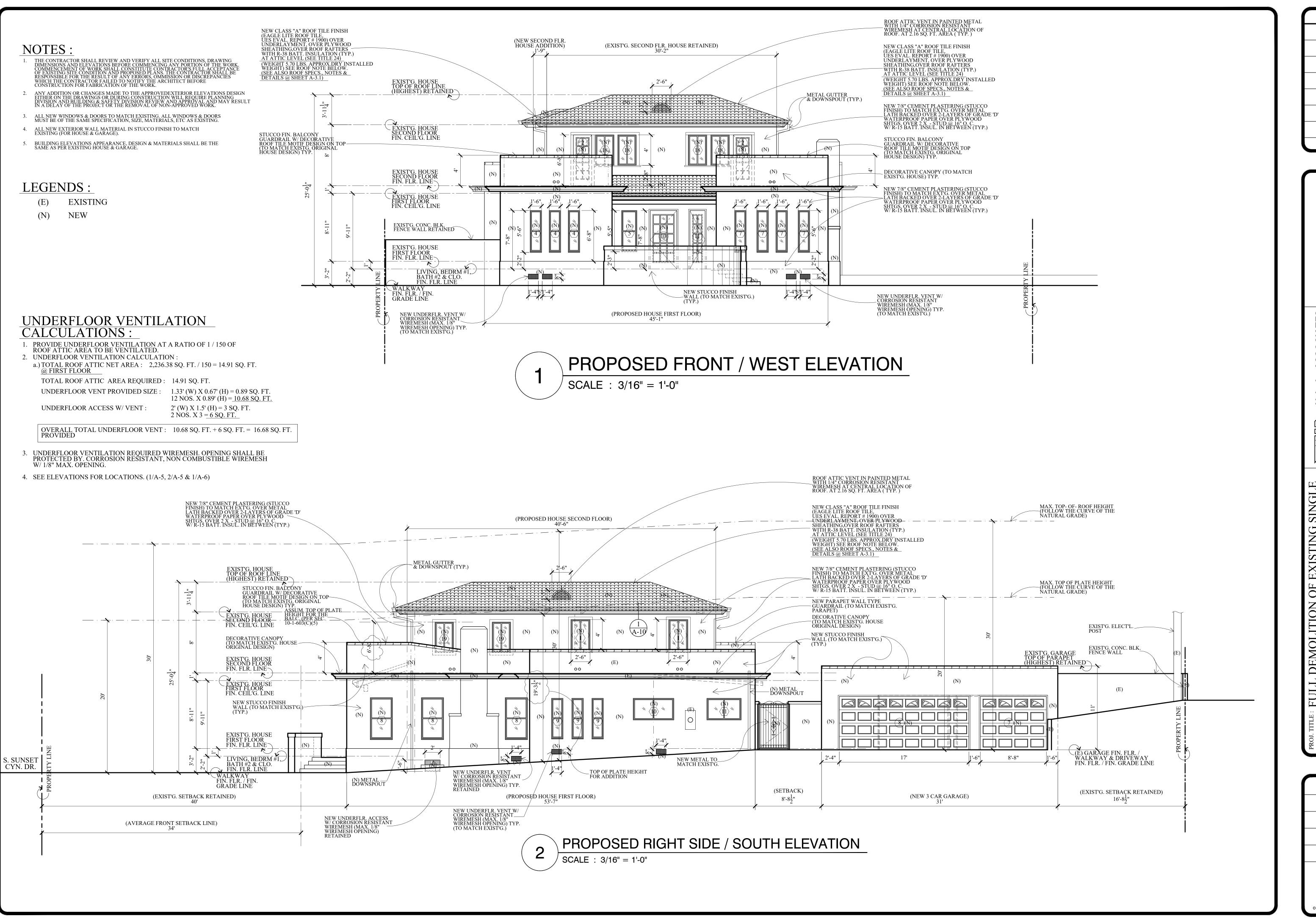
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NEIL A.
Checked by
V. J.
Date

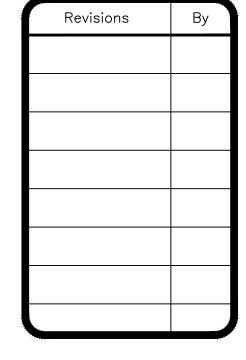
SEPT. 10, 2023

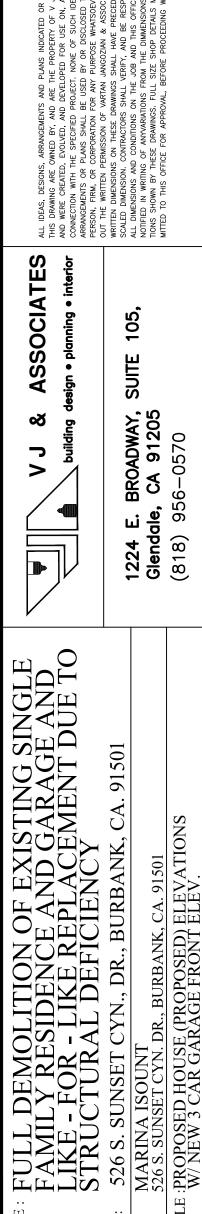
Scale 3/16'' = 1'-0''Job No.

Sheet No.

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Drawn by
NEIL A.

Checked by
V. J.

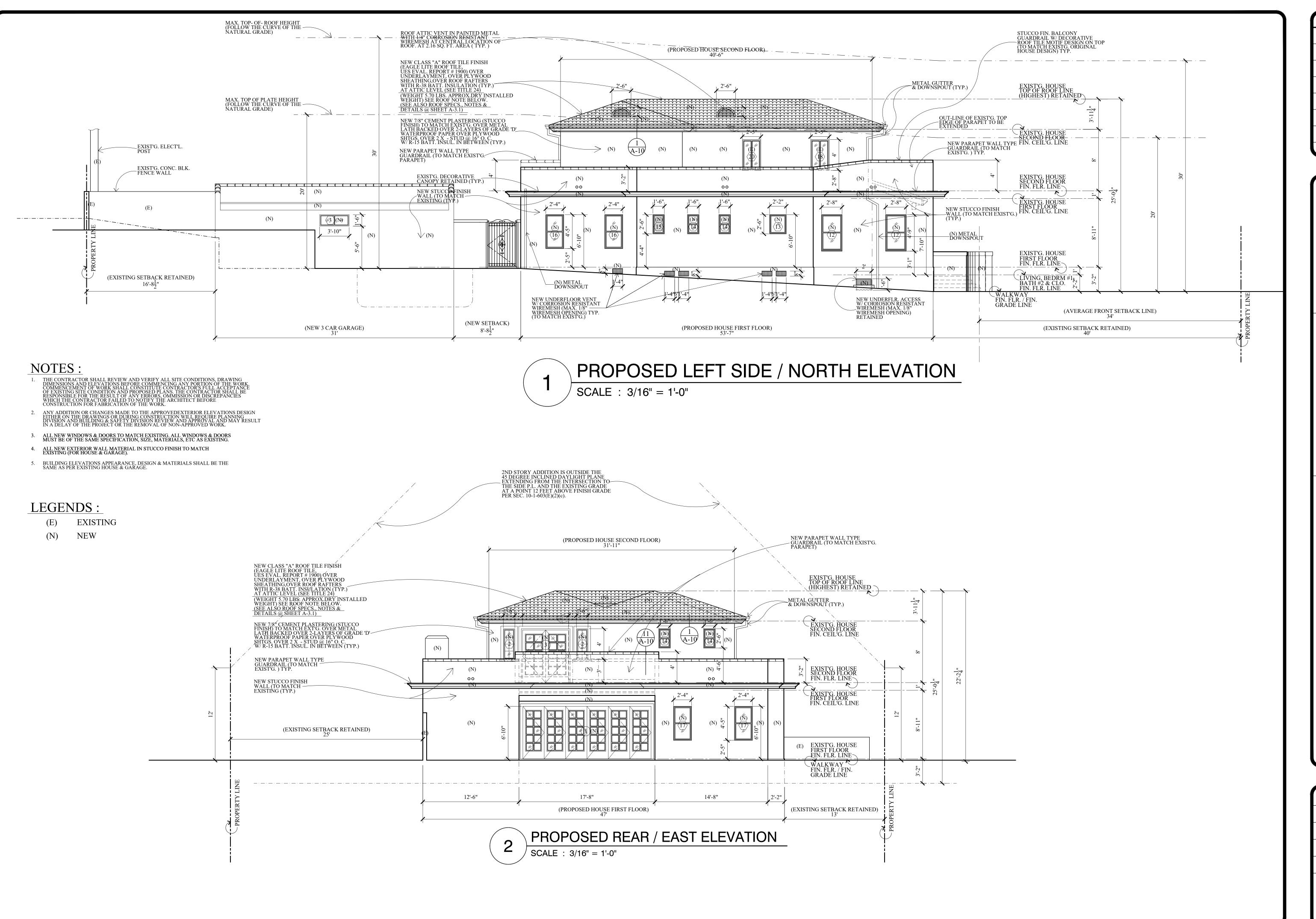
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3/16" = 1'-0"

Job No.

Sheet No.

A-5



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VJ & ASSOCIATES building design • planning • interior

AND GARAGE AND
PLACEMENT DUE TO
IENCY

FAMILY RESIDENCE AND LIKE - FOR - LIKE REPLA STRUCTURAL DEFICIENCADE:

ADD: 526 S. SUNSET CYN., DR., BURBA ISOUNT 526 S. SUNSET CYN., DR., BURBANK, CA. 91.

Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 10, 2023

3/16" = 1'-0"

Job No.

Sheet No.

A-6

# NOTES:

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
- CONSTRUCTION FOR FABRICATION OF THE WORK.

  SMOKE DETECTOR SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

  WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EGRESS DOORSSHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
- ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AN SCREEN DOOR ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
- PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET. TO ANY SIDE WALL (CALIF. PLUMB. CODE 407.6)
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)
- 8. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING". (PER ORDINANCE 170,158) SEPARATE PLUMBING PERMIT IS REQUIRED).
- 9. FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2
- FINISH MATERIAL POLLUTANT CONTROL: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTION 4.504
- ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVES, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
- 10. DOORS, WINDOWS, GLASS & GLAZING. WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.
  - GLAZINGS IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3 (6), WITHON 18" OF FLOOR, WITHIN 60" OF TUB OR SHOER FLOOR (CBC 2406.3(5), OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10) SHALL BE
- GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3(5), OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10) SHALL BE TEMPERED.
- COMPLY WITH THE LOS ANGELES BUILDING AND SAFETY CODE & THE NEW 2019 CBC. ALL NEW WINDOW GLAZED SHALL BE DUAL TYPE UNLES OTHERWISE STATED SEE SCHED. OF WINDOWS.
- SEPARATE PERMIT FOR MECH'L., PLUMBING & ELECTRICAL
- NO NEW ROOF TOP EQUIPTMENT.
- PROVIDE NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4-INCHES ABOVE EARTH OR 2-INCHES ABOVE PAVED AREAS. (CMC. 2512. 1.2)

  AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL.
- PROVIDE AN APPROVED CARBON MONOXIDEALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWE POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC. OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE THE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
- KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING LINITS INTENDED FOR HLIMAN OCCUPANCY, UPON THE OWNER;S APPLICATION OFR A PERMIT FOR ALTERATIONS, REPAIRS
- OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2) GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) R308.4):
- a. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES. GLAZING IN AN INDIVIDUAL FIXED OR OPERÁBLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 - INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING
- c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS :
- 1.) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- 2.) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR. 3.) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING. d. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING
- S LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING e. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER EDGE.
- GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING
- IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE. PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE - TREATED IN CCORDANCE WITH AWPA U1 FOR THE SPECIFICAL OF A WITH A LIE.
- LISTED ON SECTION 2 OF AWPA U1. 25. FOR STEPS / STAIR, TREAD AND RISER DIMENSIONS (7.75" MAX. RISER / 10" MIN.
- TREAD) (CRC R311.7.4) ) 26. EXTERIOR DOOR SHALL MEET ONE OF THE FOLLOWING:
- a. NONCOMBUSTIBLE CONSTRUCTION OR SOLID WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4-IN. THICK. OR c. MINIMUM 20-MINS. RATED-OR
- d. MEET SFM 12-7A-1 ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS. IN EAVE OVERHANG, BETWEEN RAFTERS AT EAVES, OR IN OTHER OVERHANG AREAS. GABLE ENDS & DORMER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINES. UNDERFLOOR VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE AS TO GRADE AS POSSIBLE.
- BATHTUB AND SHOWER FLOORS, WALL ABOVE BATHTUB WITH A SHOWER HEAD, AND SHOWER COMPARTMENT SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE". (R308) 32. FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2).
- FOR CLOTHES DRYER A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED (CMC 504.3.2.1).
- 34. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC) FOR WATER HEATER A T & P RELIEF VALVE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS IS REQUIRED. (CPC 505.6)
- WATER HEATERS WITH OUTDOOR COMBUSTION AIR SHALL PROVIDE TWO OPENINGS WITHIN 12 INCHES OF THE TOP AND BOTTOM OF THE ENCLOSURE. EACH OPENING SHALL BE SIZED AT 1 SQUARE INCH/4000BTU/H IF THE COMBUSTION AIR IS DIRECTLY FROM OUTDOOR WITHOUT DUCTS (CPC 507.4) FOR ALL OTHER INSTALLATION, COMBUSTION AIR SHALL COMPLY WITH CPC 507.
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED BY A CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL
- 39' A COPY OF THE EVALUATION REPORT AND / OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

# FINISH SCHEDULES:

ROOMS		FI	LOOF	₹				C	EILI	٧G				W	ALL	S			BAS	SE
	CARPET	CERAMIC	MARBLE/STONE	CONCRETE	ELASTOMERIC	WOOD	D. WALL	ACOUSTIC	ACOUSTIC SPRAY	WB PAINT	OL. B. PAINT	STUCCO	D. WALL	BLOCK WALL	WB PAINT	OL. B. PAINT	STUCCO	WOOD	CERAMIC	CONCRETE
LIVING ROOM						0	0						0					0		
DINING ROOM						0	0						0					0		
KITCHEN		0					0						0						0	
ALL BEDROOMS						0	0						0					0		
HALLWAYS / CORRIDOR						0											0		0	
UNDERSTAIR						0	0						0					0		
MASTER BATHROOM		0					0						0						0	
ALL BATHROOMS		0					0						0						0	
ALL BEDRMS. CLOSETS						0	0						0					0		

## SCHEDULE OF DOORS:

DOOR NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
1	16' - 8"	6' - 10"	PER MANUF.	SLIDING FOLDING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	DINING ROOM FIRST FLOOR, (REAR / EAST ELEVATION)	SEE 2/A-6 REAR / EAST ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
2	2' - 6"	6' - 8"	PER MANUF.	SINGLE LEAF SWING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	BEDROOM # 3 & # 4 SECOND FLOOR, (FRONT / WEST ELEVATION)	SEE 1/A-5 FRONT / WEST ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC) (EGRESS DOO
3	6' - 0"	6' - 10"	PER MANUF.	DOUBLE LEAF SWING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	MASTER BEDROOM SECOND FLOOR, (REAR / EAST ELEVATION)	SEE 2/A-6 REAR / EAST ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC) (EGRESS DOO
4	2' - 8"	6' - 10"	PER MANUF.	SINGLE LEAF SWING	H.C. WOOD	BEDROOM # 1 (FIRST FLR.) MASTER BEDRM., MASTER BATH RM. & (N) WALK-IN CLO., BATH 2 (SECOND FLR.)	SEE PROPOSED SECOND FLR. PLAN @ 1/A-3
5	4' - 0"	6' - 10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	LINEN @ SECOND FLR.	SEE PROPOSED SECOND FLR. PLAN @ 1/A-3
6	9' - 0"	6' - 10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	CLOSET @ MASTER BEDRM. (SECOND FLOOR)	SEE PROPOSED SECOND FLR. PLAN @ 1/A-3
7	8' - 8"	7' - 0"	PER MANUF.	LIFT-UP (REMOTE CONTROL)	METAL	3 CAR GARAGE (RIGHT SIDE / SOUTH ELEVATION)	SEE PROP. RIGHT SIDE / SOUTH ELEV 2/A-5, & PROP. FIRST FLR. PLAN 1/A-2 (GARAGE AREA)
8	17' - 0"	7' - 0"	PER MANUF.	LIFT-UP (REMOTE CONTROL)	METAL	3 CAR GARAGE ADDITION (RIGHT SIDE / SOUTH ELEVATION)	SEE PROPOSED FIRST FLOOR PLAN @ 1/A-2 (GARAGE AREA)
9	3' - 0"	6' - 10"	PER MANUF.	SINGLE LEAF SWING	SOLID WD.	3 CAR GARAGE ADDITION (WEST OF GARAGE)	SEE PROPOSED FIRST FLOOR PLAN @ 1/A-2 (GARAGE AREA)
(10)	3' - 6"	6' - 8"	PER MANUF.	SINGLE LEAF SWING (RECESSED)	SOLID WD. W/ GLASS VIEW	LIVING ROOM, FIRST FLR. (FRONT / WEST ELEVATION)	SEE PROP. FRONT / WEST ELEV. @ 1/A PROP. FIRST FLR. PLAN @ 1/A-2
(11)	2' - 0"	6' - 8"	PER MANUF.	SINGLE LEAF SWING (RECESSED)	SOLID WD. W/ GLASS VIEW	LIVING ROOM, FIRST FLR. (FRONT / WEST ELEVATION)	SEE PROP. FRONT / WEST ELEV. @ 1/A PROP. FIRST FLR. PLAN @ 1/A-2
(12)	8' - 2"	6' - 8"	PER MANUF.	SLIDING POCKET (RECESSED)	SOLID WD. W/ GLASS VIEW	LIVING RM. LEADING TO DINING RM. (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
(13)	2' - 6"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	DINING RM. LEADING TO BEDRM. HALLWAY & STAIR (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
(14)	2' - 8"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	SOLID WD.	DINING RM. LEADING TO BEDRM. # 2 (FIRST FLOOR) HOUSE ADDITION AREA	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
(15)	2' - 8"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	BEDROOM # 2, WALK-IN-CLO. @ BDRM. # 2, BATH #1 (FIRST FLR.) BEDRM. # 4 @ SECOND FLR.	SEE PROP. FIRST FLOOR PLAN @ 1/A-& PROP. SECOND FLR. PLAN @ 1/A-3
(16)	2' - 4"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	CLOSET @ BEDROOM # 1 FIRST FLOOR	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
17)	2' - 4"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	WALK-IN-CLO. CONVERT TO BATH #2 LOCATED INSIDE BEDRM. #1 (FIRST FLR.) CLO. @ BDRM. #3 & #4 @ SECOND FLR.	SEE PROP. FIRST FLOOR PLAN @ 1/A-& PROP. SECOND FLR. PLAN @ 1/A-3
(18)	2' - 2"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	CLOSET UNDER STAIR @ FIRST FLR. HALLWAY	SEE PROP. FIRST FLOOR PLAN @ 1/A-2
19)	2' - 7"	6' - 8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	BEDROOM # 3 ENTRY (SECOND FLOOR)	SEE PROP. SECOND FLOOR PLAN @ 1/A-3

# SCHEDULE OF WINDOWS:

WDW. NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
1	2' - 6"	4' - 0"	PER MANUF.	LIFT - UP / TOP HANG (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	MASTER BEDROOM @ SECOND FLOOR	TEMP.GLASS, SEE 2/A-5 RIGHT SIDE / SOU ELEV. & 1/A-3 PROP. SECOND FLOOR PLA (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
(2)	1' - 6"	4' - 0"	PER MANUF.	FIXED (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	MASTER BEDROOM @ SECOND FLOOR	TEMP.GLASS, SEE 2/A-6 REAR / EAST ELE & 1/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
3	3' - 10"	1' - 6"	PER MANUF.	SLIDING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/ TEMP. GLASS	3 CAR GARAGE (LEFT SIDE / NORTH ELEVATION)	TEMP. GLASS, SEE 1/A-6 LEFT SIDE / NOR ELEV., & 1/A-2 PROPOSED FIRST FLR. PLA (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
4	1' - 6"	5' - 6"	PER MANUF.	CASEMENT/ SWING (RECESSED)	WOOD FRAMED	BEDROOM # 1 FIRST FLOOR (FRONT / WEST ELEVATION)	1/A-5 PROP. FRONT WEST ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(5)	2' - 0"	5' - 5"	PER MANUF.	CASEMENT/ SWING (RECESSED)	WOOD FRAMED	LIVING ROOM FIRST FLOOR (FRONT / WEST ELEVATION)	1/A-5 PROP. FRONT WEST ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
<u>(6)</u>	3' - 5"	5' - 5"	PER MANUF.	CASEMENT/ SWING (RECESSED)	WOOD FRAMED	SEATING AREA FIRST FLOOR	1/A-2 PROP. FIRST FLOOR PLAN
7	1' - 6"	5' - 6"	PER MANUF.	CASEMENT/ SWING (RECESSED)	WOOD FRAMED	SEATING AREA FIRST FLOOR	1/A-5 PROP. FRONT WEST ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
8	2' - 11"	5' - 6"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	LIVING & SEATING AREA FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
9	1' - 6"	5' - 4"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(10)	5' - 4"	2' - 10"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(11)	4' - 6"	2' - 10"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(12)	2' - 8"	4' - 9"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 1 FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN (EGRESS WINDOW)
(13)	2' - 2"	2' - 6"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	WALK-IN-CLOSET CONVERT TO BATH # 2, FIRST FLR. (LEFT SIDE / NORTH ELEVATION)	1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(14)	1' - 6"	2' - 6"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	BATH # (1ST FIRST FLR.) & WC @ MASTER BATHRM (2ND FLR.) (LEFT SIDE / NORTH ELEVATION)	1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(15)	1' - 6"	2' - 6"	PER MANUF.	LOUVER (RECESSED)	WOOD FRAMED	WALK-IN-CLOSET @ BEDRM # 2, FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN
(16)	2' - 4"	4' - 5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 2 FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN (EGRESS WINDOW)
(17)	2' - 4"	4' - 5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 2 FIRST FLOOR (REAR / EAST ELEVATION)	2/A-6 PROP. REAR / EAST ELEV. & 1/A-2 PROP. FIRST FLOOR PLAN (EGRESS WINDOW)
(18)	2' - 5"	4' - 0"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	BEDROOM # 3 & # 4 SECOND FLOOR, (FRONT WEST WEST ELEVATION & LEFT SIDE / NORTH ELEVATIONS)	1/A-5 PROP. FRONT / WEST ELEV. 1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN
(19)	2' - 5"	4' - 0"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	BEDROOM # 4 SECOND FLOOR, (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN
(20)	2' - 5"	4' - 0"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	STAIRWAY SECOND FLOOR, (LEFT SIDE / SOUTH ELEVATION)	1/A-6 PROP. LEFT SIDE / NORTH ELEV. & 1/A-3 PROP. SECOND FLOOR PLAN

## DOORS & WINDOWS NOTE:

- 1. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- 2. ALL WINDOWS ARE TO BE IN FIBERGLASS TYPE W/ TEMP. GLASS, UNLESS OTHERWISE STATED. (SEE WINDOW SCHEDULE ABOVE). TO MATCH EXISTING HOUSE.
- 3. ALL GLASS DOOR ARE TO BE IN FIBERGLASS TYPE TEMP. GLASS. (SEE DOOR SCHEDULE BELOW) (SEE DOOR SCHEDULE ABOVE).
- 4. FOR WINDOWS & DOORS U-FACTOR & SHGC SEE T24 SHEET

ALLOWED FOR NEW OR ALTERED WINDOW OPENINGS.

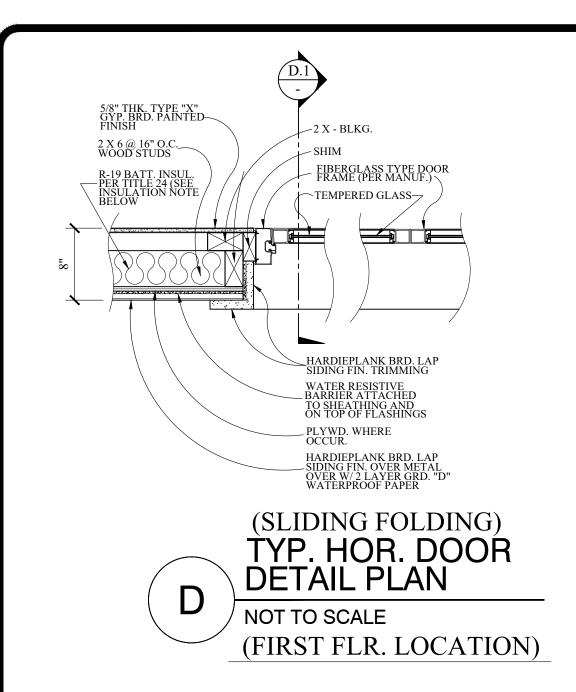
- 5. ALL DOORS & WINDOWS SHALL MEET BURBANK SECURITY ORDINANCE. 6. ALL NEW WINDOW S SHALL BE NAIL - ON TYPE . NO BLOCK OR RETROFIT TYPES
- 7. <u>ALL WINDOWS & DOORS TO MATCH EXISTING. ALL WINDOWS & DOORS MUST BE OF THE SAME SPECIFICATION, SIZE, MATERIALS, ETC AS EXISTING.</u>

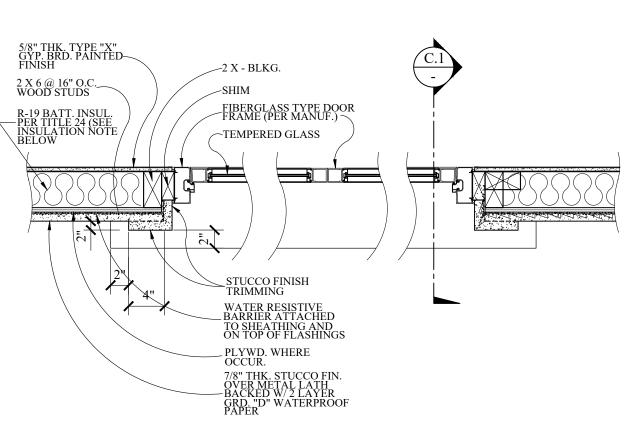
ON OF EXISTING SIN NCE AND GARAGE A E REPLACEMENT DU EFICIENCY OR., BURBANK, CA. 91501

Checked by SEPT. 10, 2023 1/4" = 1'-0"

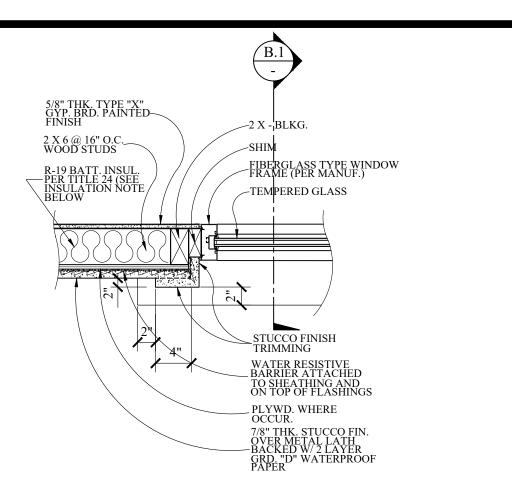
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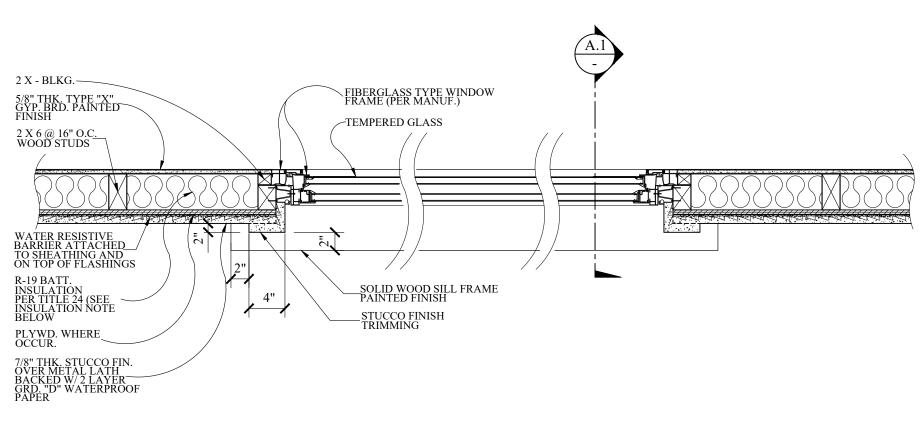
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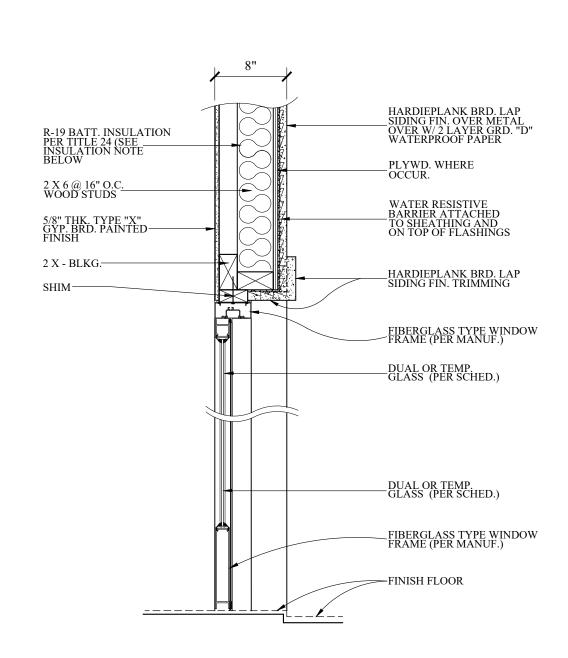


(FIXED WINDOW)
TYP. HOR. WINDOW DET. PLAN
(EXISTING & NEW)
NOT TO SCALE

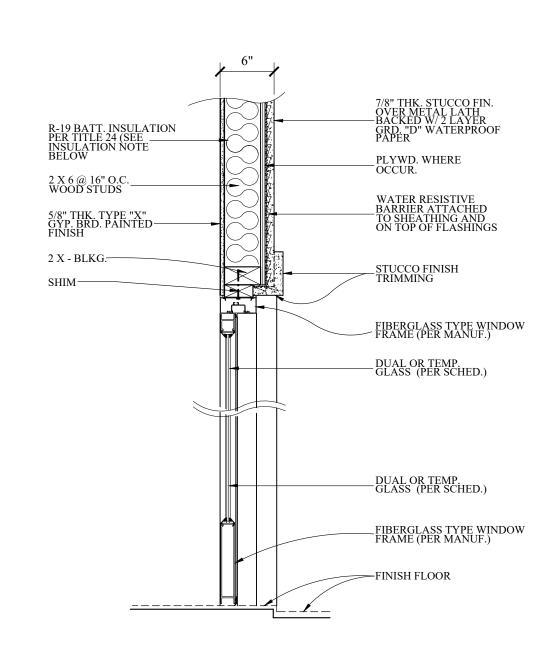
scale (2ND FLR. LOCATION)

В

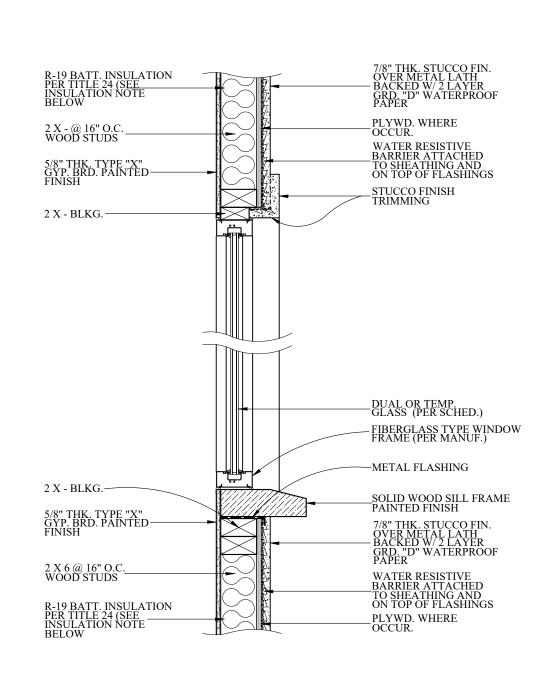








(DOUBLE LEAF SWING DOOR)
TYP. VERT. DOOR
DETAIL PLAN
NOT TO SCALE



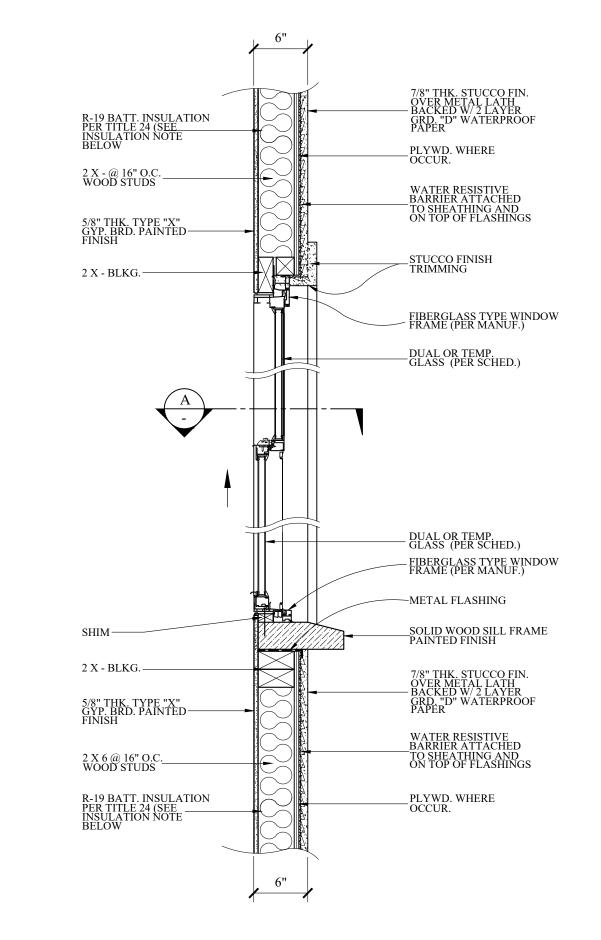
(FIXED WINDOW)

TYP. HOR. WINDOW DET. PLAN

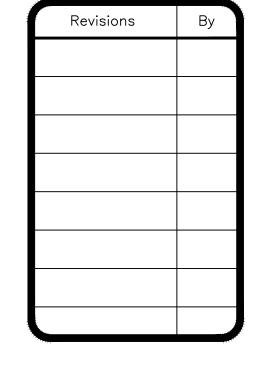
(EXISTING & NEW)

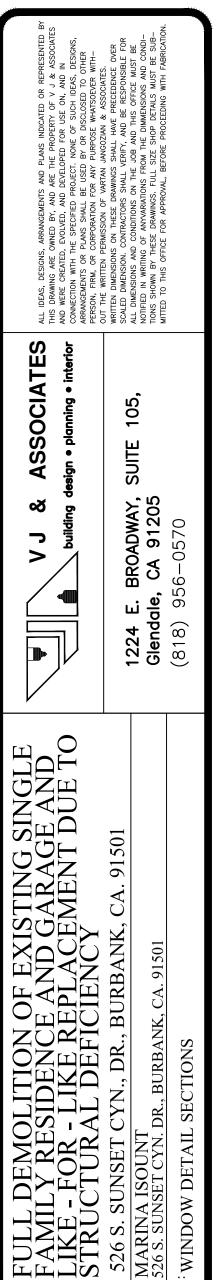
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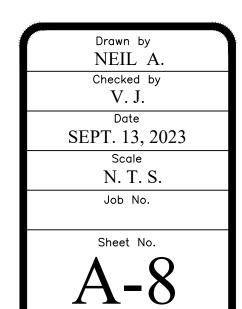
(2ND FLR. LOCATION)

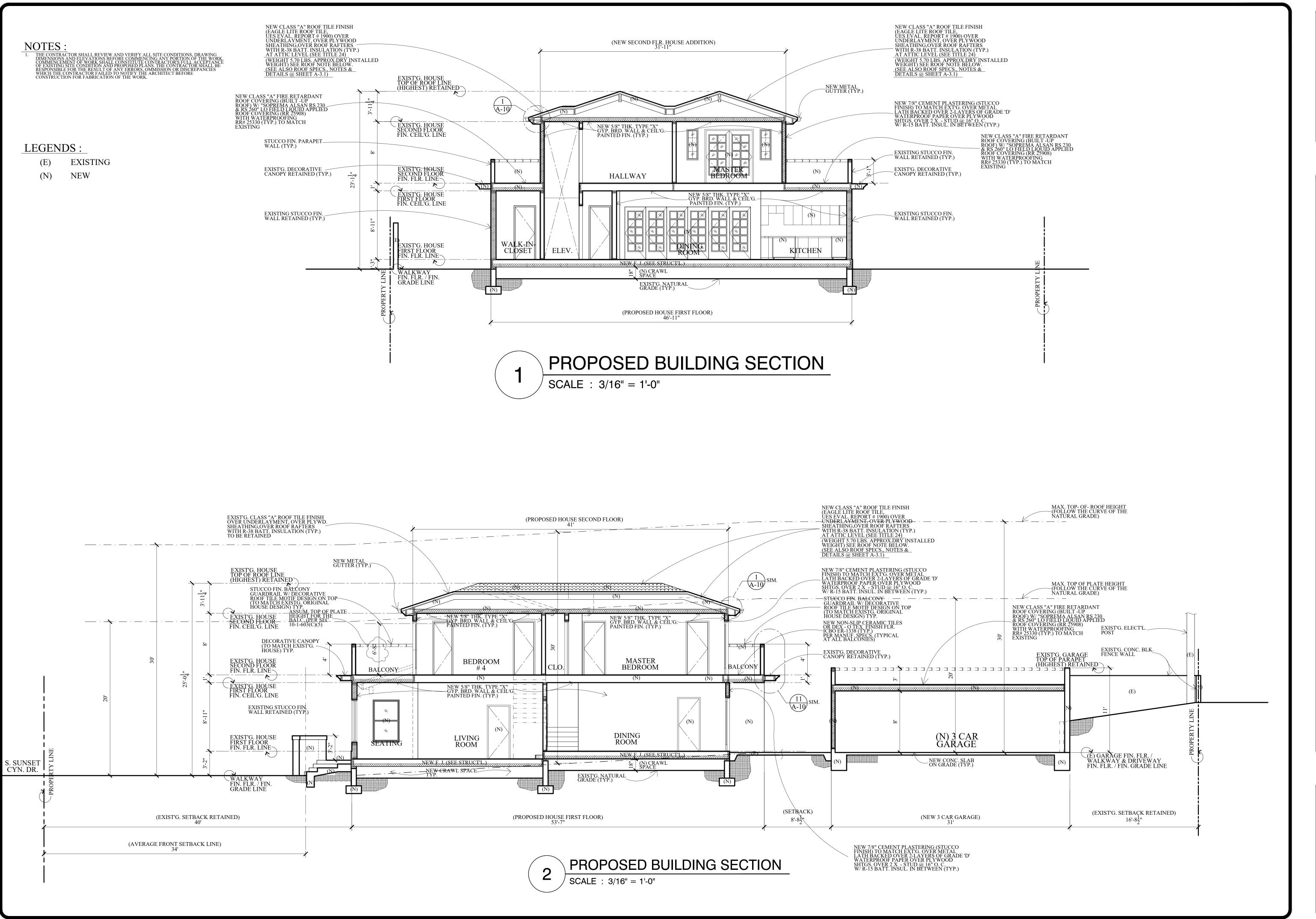


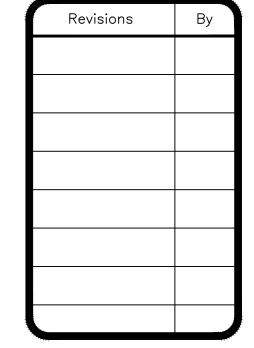
(SINGLE HUNG WINDOW)
TYP. VERT.. WINDOW DET. PLAN
(EXISTING & NEW)
NOT TO SCALE
(2ND FLR. LOCATION)











AND

LETA E. BROADWAY, SUITE 105,

(818) 956-0570

PROJ. TITLE: FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

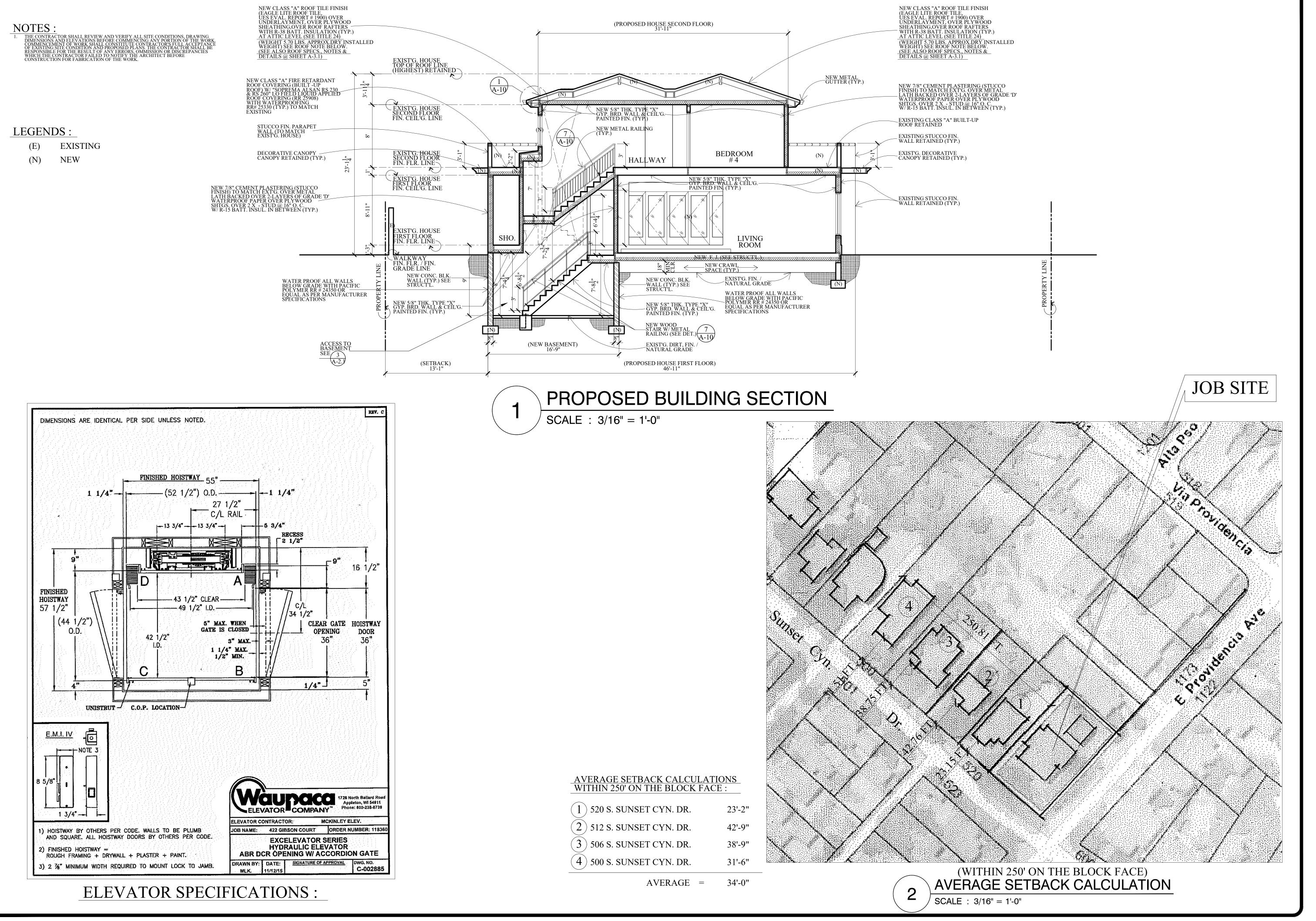
OWNER: MARINA ISOUNT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE: EXIST'G. HOUSE (PROPOSED) BLDG. SECTIONS

W/ EXIST'G. GARAGE SECTION

Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 10, 2023
Scale
3/16" = 1'-0"
Job No.
Sheet No.

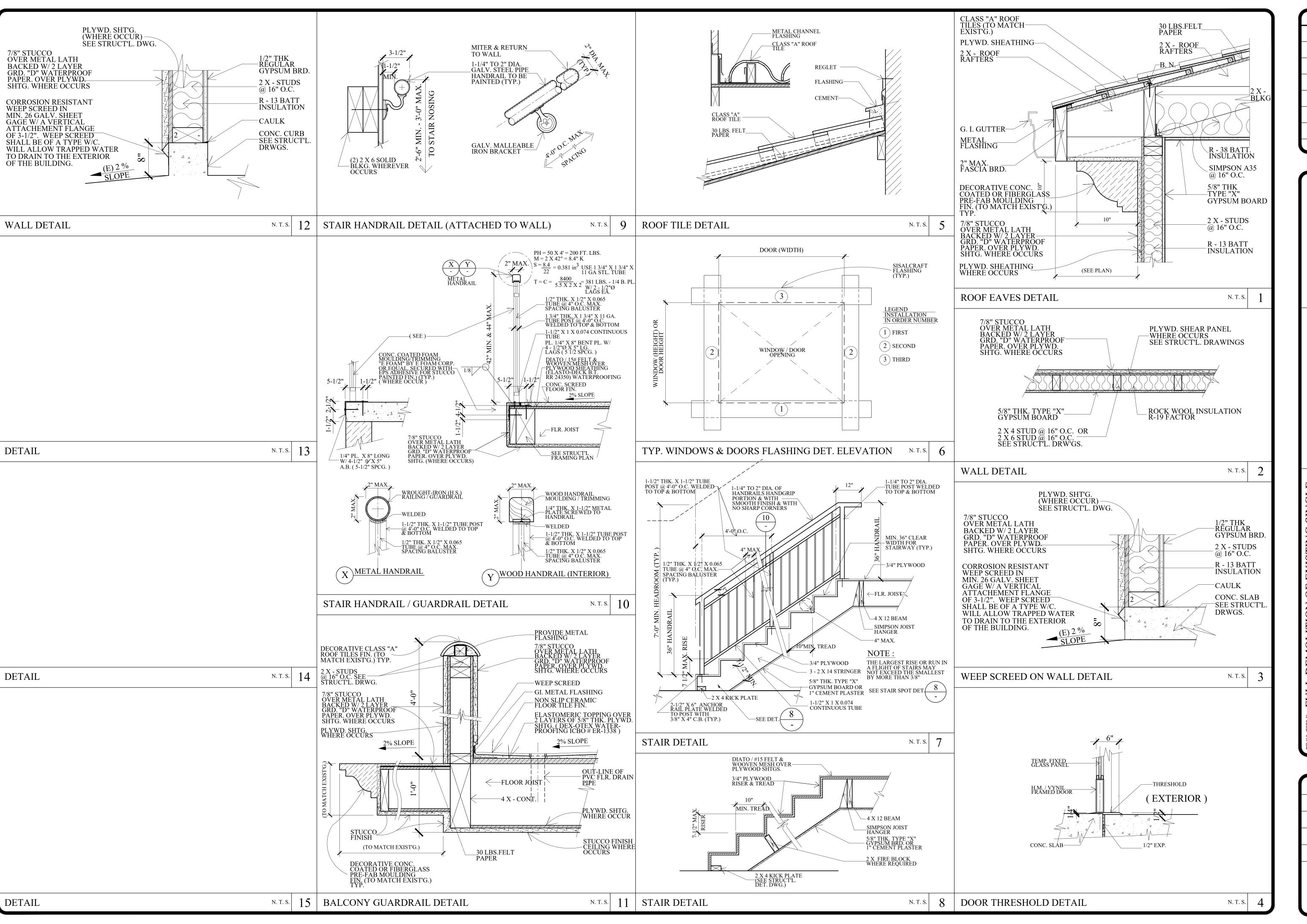
A-9

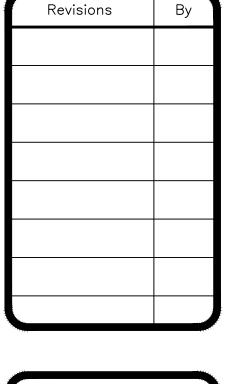


ASSOCIATES 7 >

NEIL A. Checked by SEPT. 10, 2023

3/16" = 1'-0"





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VJ & ASSOCIATES  building design • planning • interior		Glendale, CA 91205	(818) 956-0570
FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY	526 S. SUNSET CYN., DR., BURBANK, CA. 91501	MARINA ISOUNT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501	E: ARCHITECTURAL DETAILS
PROJ. TITLE: FI FA LI ST	PROJ. ADD:	OWNER:	DRWG. TITLE: ARC

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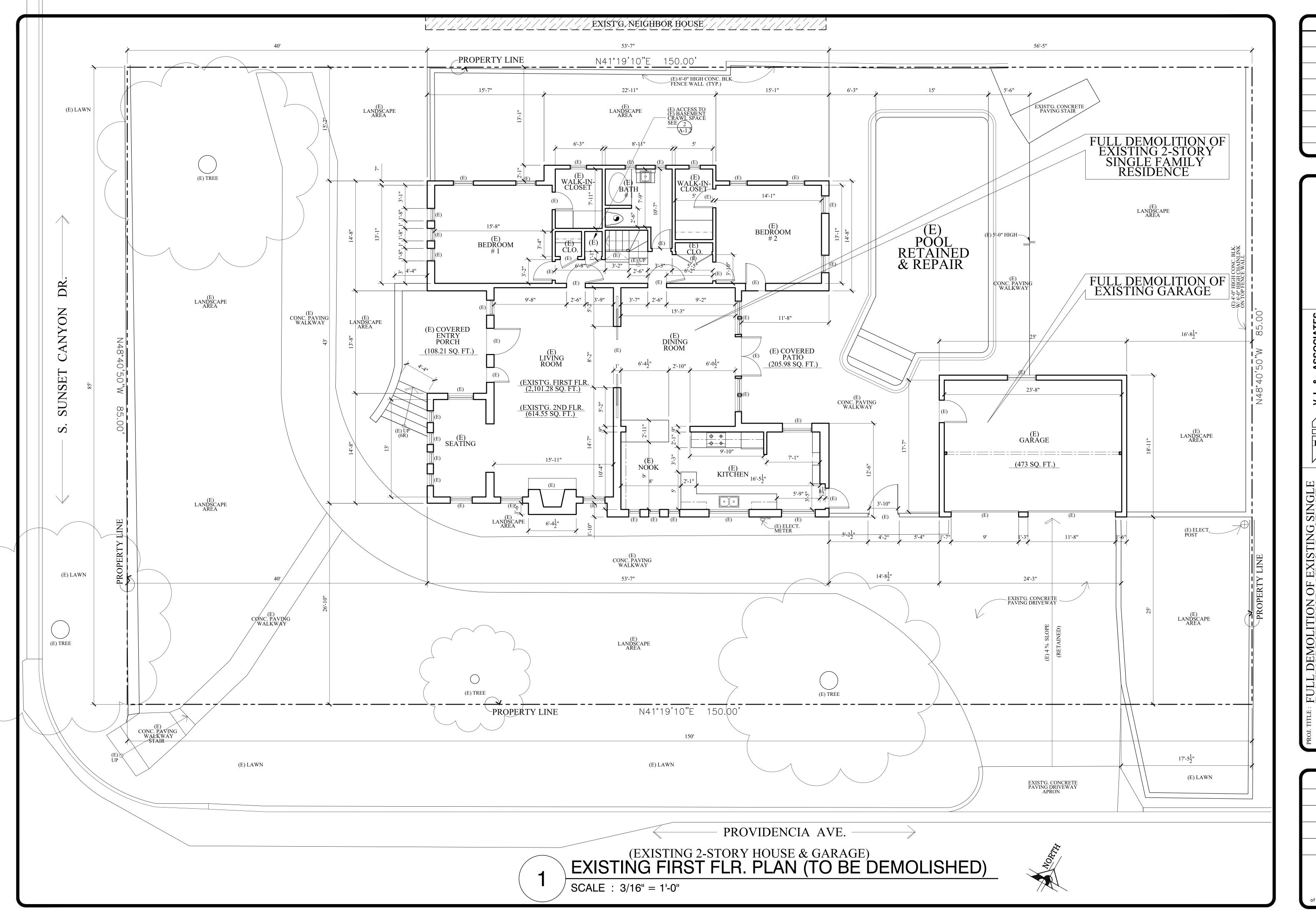
SEPT. 13, 2023

Scale

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Job No.

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VJ & ASSOCIATES

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FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

526 S. SUNSET CYN., DR., BURBANK, CA. 91501

MARINA ISOUNT

526 S. SUNSET CYN., BURBANK, CA. 91501

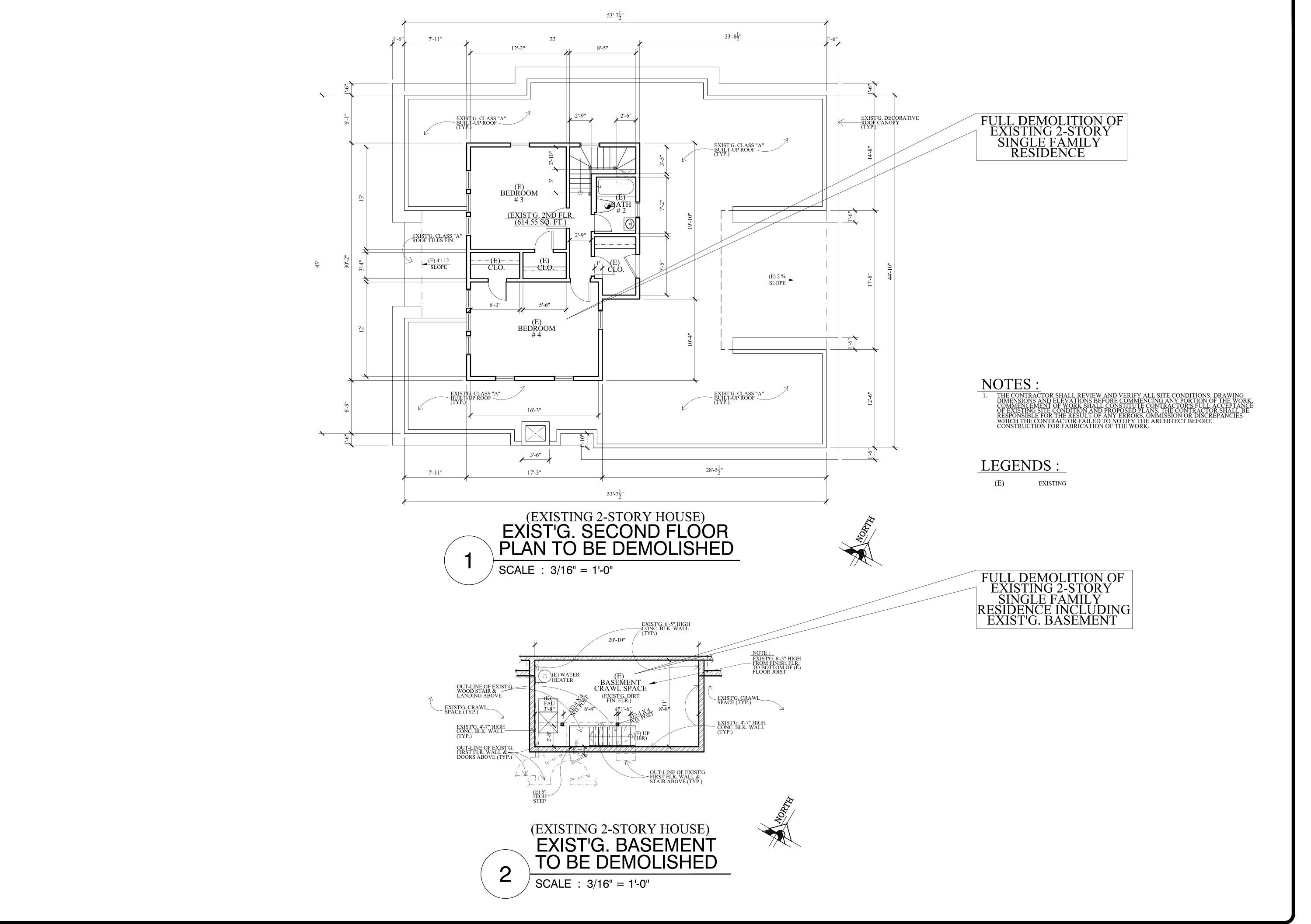
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Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 13, 2023
Scale
3/16" = 1'-0"

Job No.

Sheet No.

**D-1** 



Revisions By

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V J & ASSOCIATES

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FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

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NEIL A.
Checked by
V. J.

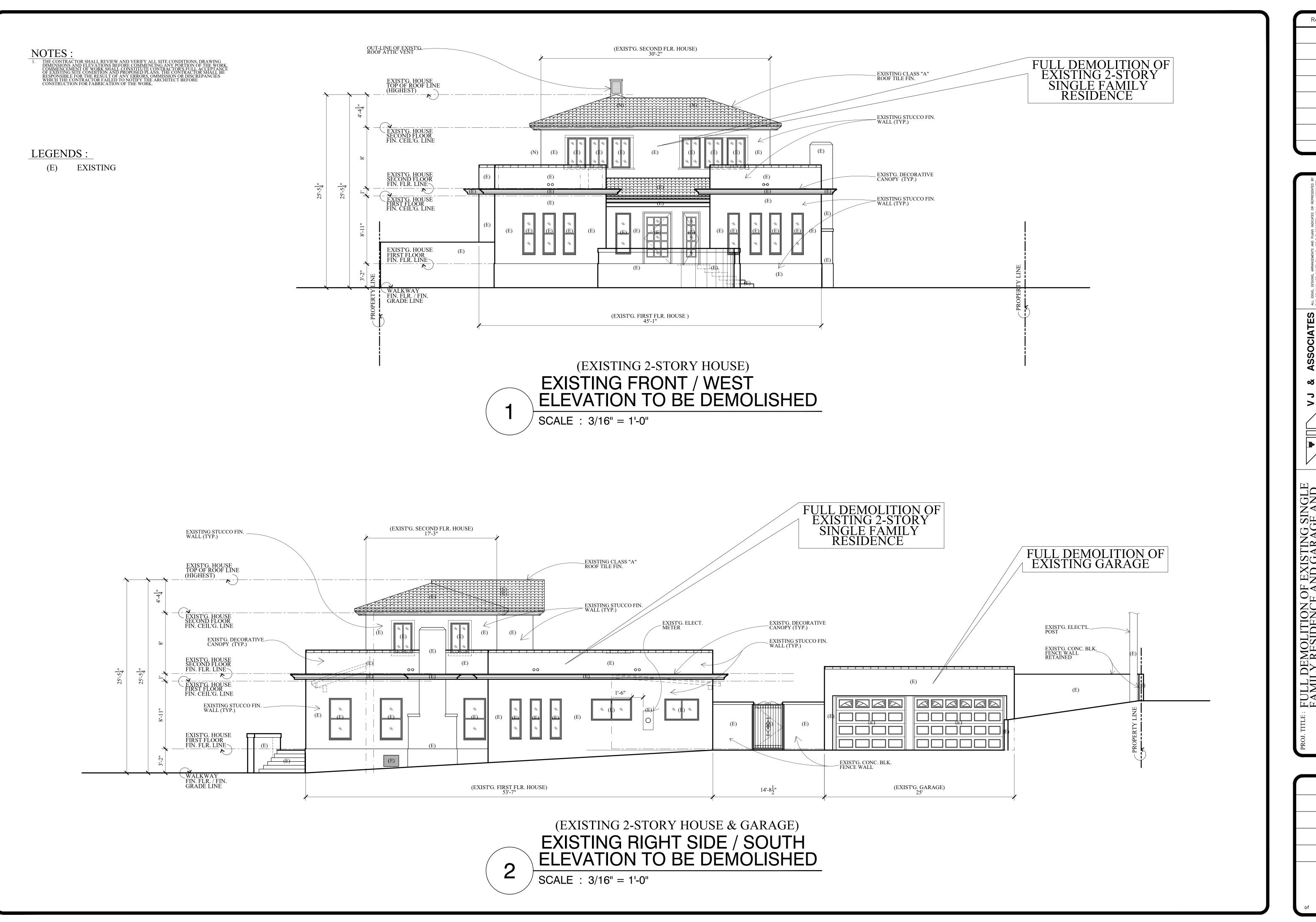
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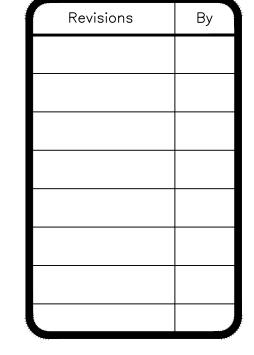
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Sheets





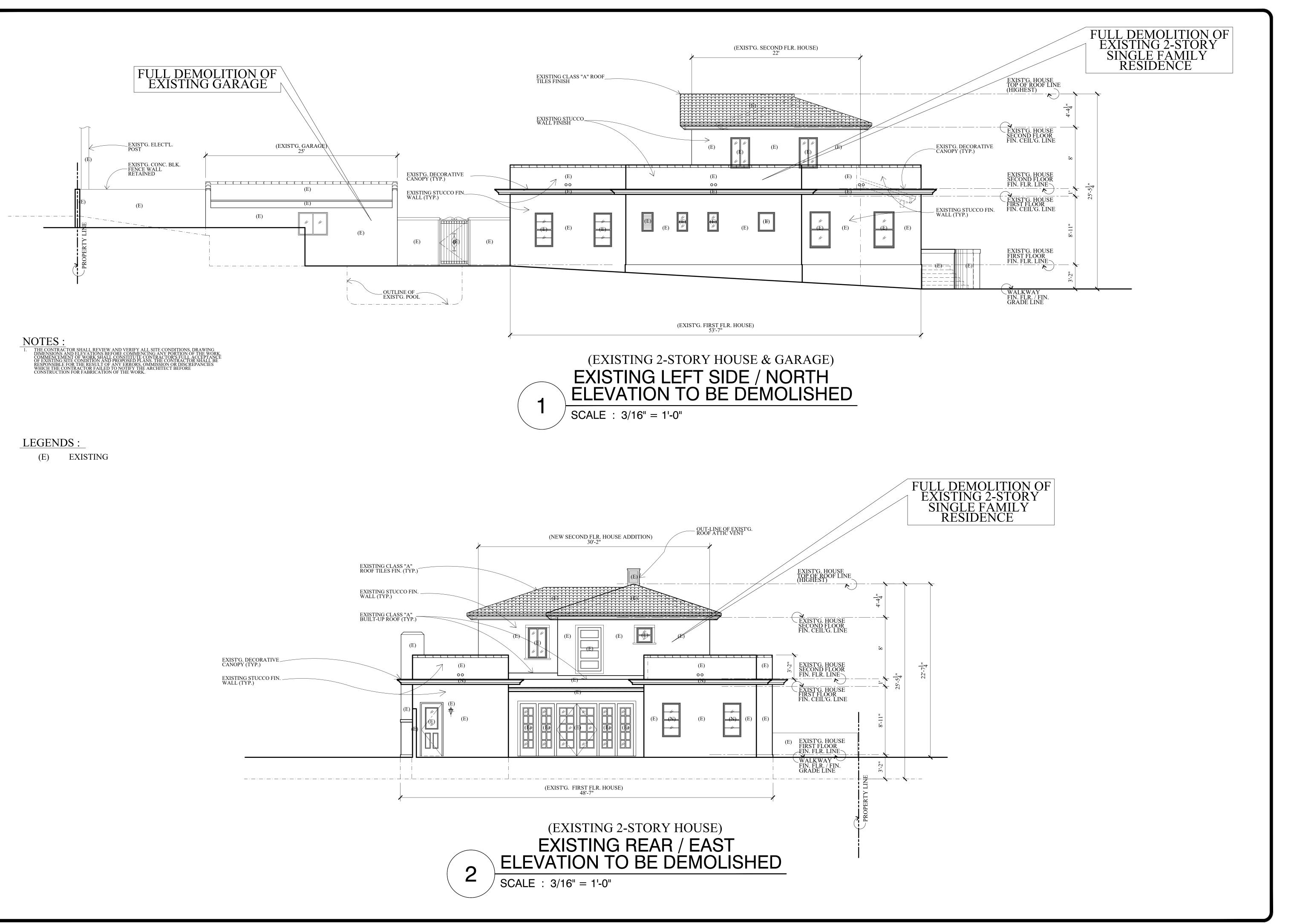
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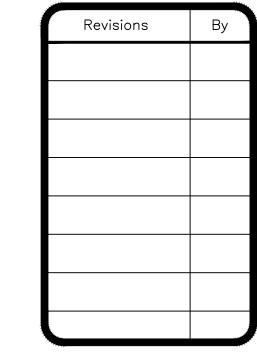
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NEIL A.
Checked by
V. J.
Date
SEPT. 13, 2023
Scale

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Sheets





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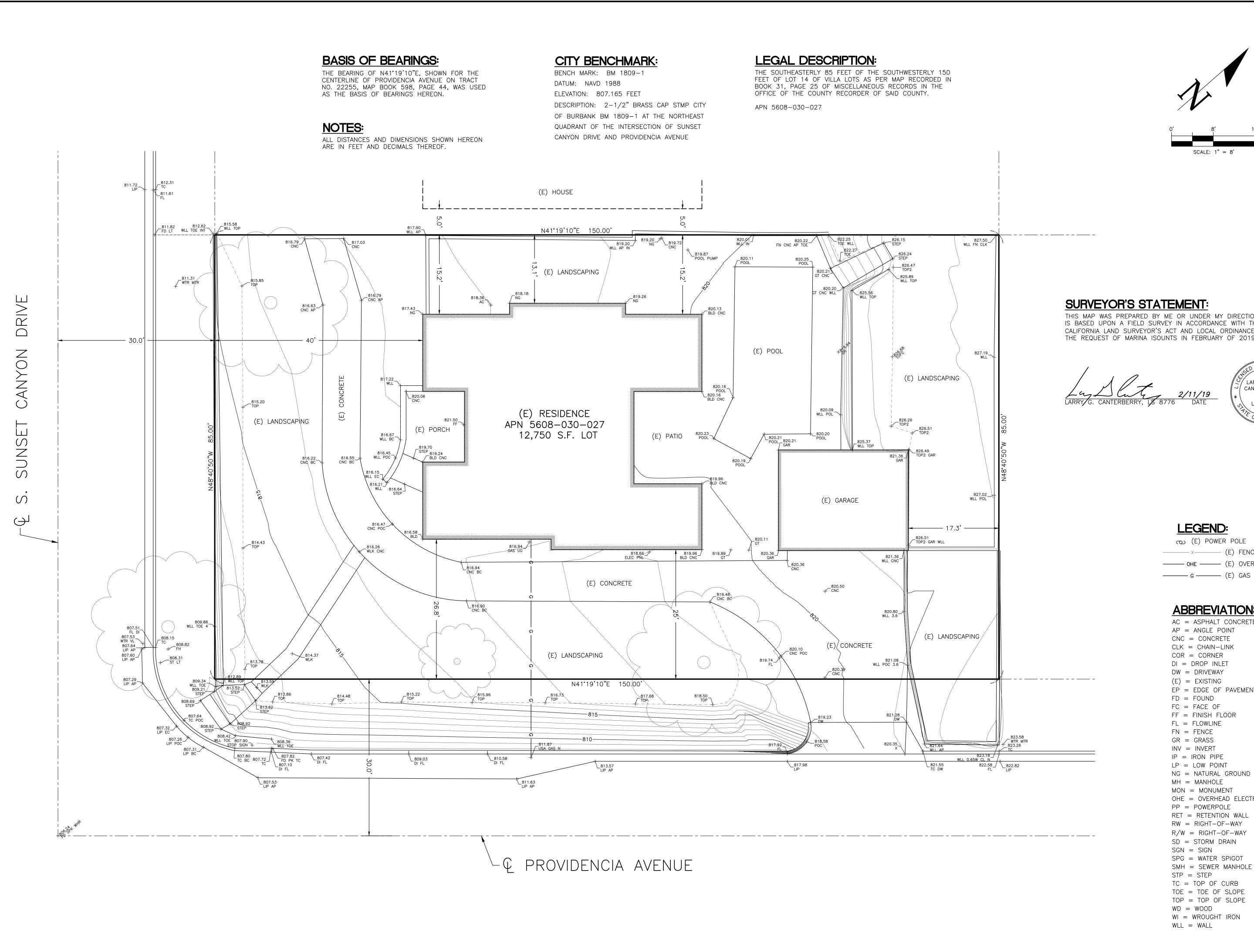
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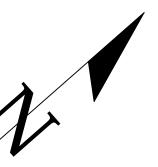
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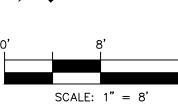
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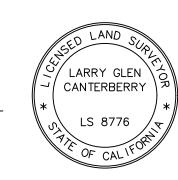






THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF MARINA ISOUNTS IN FEBRUARY OF 2019.





LEGEND:

യ (E) POWER POLE

\_\_\_\_\_x\_\_\_\_(E) FENCE ----- OHE ----- (E) OVERHEAD POWER

## ABBREVIATIONS:

AC = ASPHALT CONCRETE AP = ANGLE POINT

CLK = CHAIN-LINKCOR = CORNERDI = DROP INLET

(E) = EXISTINGEP = EDGE OF PAVEMENT

FD = FOUND

FC = FACE OF

FF = FINISH FLOOR

FL = FLOWLINE

GR = GRASS

IP = IRON PIPE

NG = NATURAL GROUND

MH = MANHOLE

MON = MONUMENTOHE = OVERHEAD ELECTRIC LINE

PP = POWERPOLE

RET = RETENTION WALL

RW = RIGHT-OF-WAYR/W = RIGHT-OF-WAY

SD = STORM DRAINSGN = SIGN

SPG = WATER SPIGOT SMH = SEWER MANHOLE

STP = STEPTC = TOP OF CURB

TOE = TOE OF SLOPE TOP = TOP OF SLOPE

WI = WROUGHT IRON

SURVEYING ILD, CA 93308 PREPARED E

ENGINEERING

ISE COURT, BAKERS

) 809-7377 CALIFORNIA 5210 MOL (661

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# CALGREEN REQUIREMENTS / NOTES :

# RESIDENTIAL MANDATORY MEASURES CHECKLIST

NEW, ADDITION AND ALTERATION (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Use this worksheet to identify where on the construction documents the following <u>mandatory CALGreen</u> <u>requirements</u> are provided.

Project Address: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

Residential Mandatory Checklist

Residential Mandatory Checklist

Note: Code sections in bold are City of Burban Kadditional mandatory CALGreen amendments.

TEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
(Ch	apter 1 . A	DMINISTRATION		
	101.3.1	Scope Applies to ALL newly constructed residential buildings: low-rise, high-	rise, and hotels	/motels.
Ch	apter3 c	RHENENIEN :		
	301.1.1	Addition and Alterations     Applies to additions or alterations of residential buildings where the the building's conditioned area, volume, or size.     Requirements only apply within the specific area of the addition or a		ration increases
		Note: On and after 1/1/2014, residential building undergoing permittimprovement shall replace non-compliant plumbing fixtures with wat Plumbing fixture replacement is required prior to issuance of a certificated of occupancy or final permit approval by the local building.	er conserving p	
		Plumbing fixture replacement is required prior to issuance of a certificated of occupancy or final permit approval by the local building RANNING AND/DESIGN	er conserving p	
	4.106.2	Plumbing fixture replacement is required prior to issuance of a certificated of occupancy or final permit approval by the local building	er conserving p	

Page 1 of 11

		ITEN	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or det #)
i) nandati	ory CALGreen		4.106.4.2.2	Electric vehicle charging space (EV space) dimensions.  The EV spaces shall be designed to comply with the following:	CG-1	-ITEM 3
Date endmer	e:			<ol> <li>The minimum length of each EV spaces shall be 18 feet.</li> <li>The minimum width of each EV spaces shall be 9 feet.</li> <li>One of every 25 EV spaces, but not less than one, shall also have any 8-foot wide minimum aisle. A 5-foot wide minimum ailse shall be permitted provided the minimum width of the EV space is 12 feet.</li> </ol>	- A-2	4.106,4,2; PROP. FIRST FLA. PLAN (E) GARAGE
RENCE	COMMENTS (e.g. note # or detail			a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical to 48 units horizontal in any direction.		W/NEW ADDITI
	#) /motels.		4.106.4.2.3	Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location on an EV space. Construction documents shall identify the raceway termination point. The service panel and or subpanel shall provide capacity to install a 40-ampère minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent project device.	- ca-1	- ITEM3 4.106,4,2,3
n. rations, erving p	additions or plumbing fixtures. mpletion,		4.106.4.2.4	Multiple EV space required. Construction documents shall indicate the raceway termination point and proposed location of future EV space and EV chargers. Construction documents shall also provide information on amperages of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV space at the full rated amperage of the EVSE. Plan design shall be based upon a 40-aqmpere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.	- N.A.	N.A.
-1	ITEMI		4.106.4.2.5	Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.	- N.A.	N.A.
	6196 bevj. pyan -116M2	4	4.106.5 (GBSC)	Water permeable surface. Provide calculation on site plan to show proposed water permeable surfaces shall not to be less than 20 percent of the total on-grade, residential uncovered parking, walking or patio surfaces. The primary driveway, the primary entry walkway and entry porch or landing and required accessible routes for persons with disability as required by Chapter 11A and / or 11B of CBC shall not be included when calculating the area required to be a permeable surface.	-N, A	A, U
Upd	ated: 06/09/2017	leside	ntial Manda	tory Checklist	Upda	ted: 06/09/2017

TEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
	4.303.1.4.3	Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.	-CG-1	176M7 14 20211
	4.303.1.4.4	Kitchen faucets. The maximum flow rate shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow	- 66-1	(4.303.1.4.)  TEM7 (4.303.1.4.)
		rate of 1.8 gallons per minute at 60 psi.		(4.303.1.A.
8	4.303.2	Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with California Plumbing Code, and shall meet the applicable standards reference in Table 1701.1 of California Plumbing Code.	-cg-1	ITEMS
		Outdoor Water Use		
9	4.304.1	Outdoor potable water use in landscape areas. After December 1, 2015 new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options:	- CG-	ITEM 9
-		A local water efficiency landscape ordinance or the current California Department of Water Resources' Model Water Efficiency Landscape Ordinance (MWELO), whichever is more stringent: or		
		Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option.	CG-1	175M9 NOTE (102
		Notes:  1. The Model Water Efficient Landscape Ordinance (MWELO) and supporting documents are available at:  http://www.water.ca.gov/wateruseefficiency/landscapeordinance/		W 1 - 1
		A water budget calculator is available at: <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordinance/">http://www.water.ca.gov/wateruseefficiency/landscapeordinance/</a>		
		MATERIAL CONSERVATION & RESOURCE EFFICIENCY		
		Enhanced Durability and Reduced Maintenance		
10	4.406.1	Rodent proofing. Annular spaces around pipes, electrical cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or a similar	-CG-1	ITEM 10
		method acceptable to the enforcing agency.		

Page 5 of 11

CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or	COMMENTS (e.g. note # or deta
		N/A)	#)
4.106.4	Electric vehicle (EV) charging for New construction. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.	N.A.	N.A.
4106.4.1	New one- and two-family dwellings and townhouses with attached private garages. For each dwelling units, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location on an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas or spaces. The service panel and or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	-A-2	PROP.FIRS PLA:PUAN (E)GARAGE W/NOW ABDITION
4106.4.1.1		−A-2 .	- Prop. Mast FLR. Plad (B)GALAGE WHEW ADDMO
4.106.4.2	New multifamily dwellings. Where 17 or more multifamily dwelling units are constructed on a building site, 3 percent of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging stations (EVCS) capable of supporting future EVSE and shall be identified on construction documents. Calculations for the number of EV spaces shall be rounded up to the nearest whole number.	-N-A	N.A.
	Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.		
4.106.4.2.1	Electric vehicle charging station (EV spaces) location. Construction documents shall indicate the location of proposed EV spaces. At least one EV spaces shall be located in common use areas and available for use by all residents.	- N. A ·	Ŋ, Ă.
	When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, Item 3, shall comply with at least one of the following options:		
	The EVCS shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code; Chapter 11A, to allow use of the EV charger from the accessible parking space.		
	The EVCS shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.		

Updated: 06/09/2017

EM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detai #)
		ENERGYCEFFICIENCY		
		Bullding Envelope		
33	4.201,1	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	CG-1	ITEM 5
		Renewable Energy		
	4.204 (GBSC)	Solar Ready Buildings. See California Energy Code Section 110.10 – Mandatory Requirements for Solar Ready Buildings.	- (G-) - 11/A-4	-ITEM 6 -ROOPPLAN
		WAVIER ETRICIENCY & CONSERVATION	101	
		bidou#Vki(dal859		
	4.303.1	Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and Fittings(faucets and showerheads) shall comply with the following;	CG-1	17EM 7
	4.303.1.1	Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for tank-type Toilets.	- CG-1	ITEM 7 (4.303.1.1)
	4.303.1.2	Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.	- N.A.	N.A.
	4.303.1.3	Showerheads.		
	4.303.1.3.1	Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for showerheads.	- 66-1	MEM 7 (4.303.1.3.1)
	4.303.1.3.2	Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons a minute at 80 psi, or the shower shall be designed to only allow one showerhead to be in operation at a time.	·CG-1	ITEM 7 (4.303.13.2)
	4.303.1.4	Faucets.		
	4.303.1.4.1	Residential lavatory faucets. The maximum flow rate shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate shall not be less than 0.8 gallons per minute at 20 psi.	-ca-1	MEM7 (4.303.1.4.1
	4.303,1,4.2	Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.		4.363.1.4.1 17EM 7 4303.1.4.2

Updated: 06/09/2017

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or deta #)
		Construction Waste Reduction, Disposal and Recycling		
11	4.408.1	Construction waste management. Reduce construction waste by recycling or salvaging for re-use a minimum of 65 percent of the non hazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3 or 4.408.4; or meet the local City of Glendale Construction & Demolition Waste Reduction and Recycling Plan, Ordinance No. 5895 whichever is more stringent.	- CG-1	TEM 11
		Building Maintenance and Operation		
12	4.410.1	Operation and maintenance manual. An operation and maintenance manual shall be provided to the occupant or owner at the time of final inspection in a form of media acceptable to the enforcing agency which includes all of the following placed/installed in the building:	- CG-1	175M12
		Direction to the owner or occupant that the manual shall remain with the building throughout the lifecycle of the structure.		
		Operation and maintenance instruction for the following:         a. Equipment and appliances, including water saving devices and systems, HVAC systems photovoltaic system, electrical vehicle charger, water-heating-systems and other major appliances and equipment.         b. Roof and yard drainage, including gutters and downspouts.		
		c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuses system.  3. Information from local utility, water and waste recovery.		
		providers on methods to further reduce resource consumption, including recycling programs and locations.		
		Public Transportation and/or carpool options available in the area.      Education motorials on the positive inspects of an interior.		
		Education materials on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.		
		Information about water-conserving landscape irrigation design and controllers which conserve water.      Instruction for maintaining gutters and downspouts and the		
		importance of diverting water at least 5 feet away from the foundation.		

Revisions By

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THE DRAWING ARE OWNED BY, AND ARE THE PROPERTY OF V J & ASSOCIATES AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO OTHER PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITH-OUT THE WITHEN PERMISSION OF VARTAN JANGOZIAN & ASSOCIATES. WRITTEN PREMISSION OF VARTAN JANGOZIAN & ASSOCIATES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTFIED IN WRITING OF ANYVARIATIONS FROM THE DIMMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. FULL SIZE SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION.

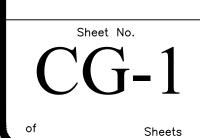
E. BROADWAY, SUITE 105,

AND JE TO 1224 E. BR

FAMILY RESIDENCE AND GARAGE LIKE - FOR - LIKE REPLACEMENT STRUCTURAL DEFICIENCY

DD: 526 S. SUNSET CYN., DR., BURBANK, CA. 9150

Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 10, 2023
Scale
NOT TO SCALE



# CALGREEN REQUIREMENTS / NOTES :

TEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or deta #)
		Information or required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.		ITEM 12
·		Information about state solar energy and incentive programs available.	CG-2	175M 12 No. 1870 9
		A copy of all special inspection verifications required by the enforcing agency or this code.		
13	4.410.2	Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.	- N (v)	N. A.
		ENVIRUMENTALATION		
14	4.503.1	Fireplaces  General. Any installed gas fireplaces shall be direct-vent sealed combustion type.		
		Note: Reference SCAQMD Rule 445 – Permanent indoor and outdoor wood-burning devices of any kind (such as fireplaces and stoves) shalf not be installed in new or existing homes or buildings being constructed in Glendale.	- N.A. Existá. Petained	M.A; exists. retained
		(Polluiamesonitol)		
15	4.504.1	equipment during construction. At the time of rough installation or during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet-metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris which may enter the system.	-CG-2	MEM 15
	4.504.2.1	Adhesives, sealants, caulks. Adhesives, sealants and caulks shall be compliant with VOC and other compound limits specified in Table 4.504.1 or Table 4.504.2.	The state of the s	HEM 15 4.504.2.1
		Note: Incorporate Table 4.504.1 onto plans.		
- 14	4.504.2.2	Paints and coatings. Architectural paints, stains and other coatings shall be compliant with VOC limits specified in Table 4.504.3.	CG-2	HEM 15

EM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or deta #)
		4. California Department of Public Health "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350.)	-CG-2	176W 17 No.4
8	4.504.5	Composite wood products. Particleboard, medium density fiberboard MDF, and hardwood plywood used in interior or exterior of the building shall comply with low formaldehyde emission standards as specified in ARB's Air Toxics Control Measures for Composite Wood as shown in Table 4.504.5.  Note: Incorporate Table 4.504.5 onto plans. Design professional shall complete attached worksheet WS-4 and submit to building official prior to requesting a building final.	CG-2	ITEM 18
	4.504.5.1	Documentation: Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.504.5.1	-CG-2	(18 (4.504.5.1
		luteror (tolstere égnig)		
	4,505.2 & 4.505.2.1	Concrete slab foundation. Concrete slab foundation required to have a vapor retarder by the California Building Code, Chapter 19 or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall be required to provide a capillary break in compliance with at least one of the following:  1. A 4-inch thick base of ½-inch or larger clean aggregate with a vapor barrier in direct contact with concrete, and a concrete mix design which will address bleeding, shrinkage, and curling. Reference ACI302.2R-06.  2. Other equivalent methods approved by the enforcing agency.  3. A slab design specified by a licensed design professional.	Ca-2 -A-10	Item 19 -Detail 13
	4.505.3	Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:  1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8 of this code.  2. Moisture reading shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.	CG-2	(76 m 20

TEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
	4.504.2.3	Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with products-weighted MIR limits for ROC and other toxic compounds.	CG-2	176 W 15 (4.504.2.3
	4.504.2.4	Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	-66-2	(4.504,2.7)
		Note: Design professional shall complete attached worksheet WS-3 and submit to building official prior to requesting a building final.	i i	A,504.2.4)
16	4.504.3	Carpet systems. All installed carpets shall be compliant with VOC limits and shall meet the testing and products requirements of one of the following.	-06-2	ITEM 14
		Carpet and Rug Institute's Green Label Plus Program.		
		California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350.)		
		3. NSF/ANSI 140 at the Gold level.		
		Scientific Certifications Systems Indoor Advantage.		عرو بر مؤملاته سد و
	4.504.3.1	Carpet cushion. Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program.	-CG-2	(4.504.7.1)
	4.504.3.2	Carpet adhesives. Carpet adhesives shall meet the requirements of Table 4.504.1.	-CG-2	ITEM 16 (4.544.3.2)
17	4.504.4	Resilient flooring systems. A minimum 80 percent of floor area receiving resilient flooring shall comply with one or more of the following;	1	
		Product compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions for Indoor Source Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 011350), certified as CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.	7CG-2	175M 17
		Products compliant with UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).	٠	
		Certification under the Resilient Floor Covering Institute (RFCI)     FloorScore program.		

Page 8 of 11

ЕМ #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
		At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.	-CG-2	176m 20 No.3
		Indoor Alle Quality and Exhaust ex		
		Environmental comforts and services		
21	4.506.1	Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:		
		Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.      Unless functioning as a component of a whole house ventilation.	- A-2	-leaends
		Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.	<i> </i> −A-3	-lægends
		Humidity controls shall be capable of adjustment between a relative humidity range of less than equal to 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment.	766-2	HEM 21
		b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).	)	
22	4.507.2	Heating and air-conditioning system design. Heating and air-conditioning system design shall be sized, designed and have their equipment selected using the following methods:	<u> </u>	
		Heat loss and heat gain is established according to ANSI/ACCA     Manual J-2011 (Residential Local Calculation), ASHRAE handbooks or other equivalent design software or methods.	704-2	Item 22
		Duct systems are sized according to ANSI/ACCA 1 Manual D, 2014 (Residential Duct System), ASHRAE handbooks or other equivalent design software or methods.		
		Select heating and cooling equipment according to ANSI/ACCA     Manual S-2014 (Residential Equipment Selection) or other equivalent design software or methods.		
		Cutdoor Air Quality		
		Innovative Concepts and Local Environmental Conditions		
23	4.509.1 (GBSC)	Natural light. Natural light. The minimum net glazed area shall not ) be less than 10 percent of the floor area of the room served.	-CG-2 -A-28	17EM23 -PROP. 155%

ITEN #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or det #)
	4.509.2	Natural ventilation. Natural ventilation. The minimum openable area to the outdoors shall be 5 percent of the floor area being ventilated.	-CG-2-	(4.504.2)
		Installer and Special Inspector Qualifications		
		Qualifications		
24	702.1	Installer and training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program.	-CG-2	Mem 25
		<ol> <li>State certified apprenticeship programs.</li> <li>Public utility training programs.</li> <li>Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.</li> <li>Programs sponsored by manufacturing organizations.</li> <li>Other programs acceptable to the enforcing agency.</li> </ol>		
25	702.2	Special inspections. Special inspectors employed by the owner or owner's agent shall be qualified and able to demonstrate competence to the enforcing agency in the discipline which they are inspecting.	-C6-2	TEM 25
		Verifications		
26 7	703.1	Documentation. Verification of compliance with CALGreen may include construction documents, plans, specifications, builder or installer certification, inspection reports or other methods acceptable to the enforcing agency which show substantial conformance.	C4-2	item 24

Residential Mandatory Checklist

#### BUILDING AND SAFETY DIVISION VOC CONTENT VERIFICATION CHECKLIST

Page 11 of 11

WORKSHEET WS-3 VOC content verification of paints, coatings, carpets, cushions, resilient flooring, adhesives, sealants, and caulks shall be identified on this checklist. VOC limits shall meet the limits specified in the 2016 Edition of the CALGreen Code. Attach product specification sheets and other supporting documents. Use additional sheets, if necessary.

item#	Product/Category/Fe	Lionalion producijana vita	Product Madura - to or	Protect specification	Say VOC/Gontent Ingramsme or Standard Secretain catellings	Allowable VOC Content (ingransities)
					destablishment (State ) (State	
:						
			•			
	een VOC Content Verification		Page 1 of 2			Updated: 01/01/2017

#### BUILDING AND SAFETY DIVISION VOC CONTENT VERIFICATION CHECKLIST WORKSHEET WS-3

The following section shall be completed by a person with overall responsibility for the planning and design portion of the project. DECLARATION STATEMENT

- I certify under penalty of perjury, under the laws of the State of California, the information provided is true and correct.
- I certify that the installed measures, materials, components, or manufactured devices identified on this certificate conform to all applicable codes and regulations, and the installation is consistent with the plans and specifications approved by the enforcing

Responsible Person's Name:	Responsible Person's Signature:
	Position/Title:
Notes:	

NOTE: This form should be completed, signed and submitted prior to request for final building inspection as required by the enforcing agency.

CALGreen VOC Content Verification Checklist Updated: 01/01/2017



#### BUILDING AND SAFETY DIVISION FORMALDEHYDE EMISSIONS VERFICATION CHECKLIST

LARUCE

WORKSHEET WS-4 Formaldehyde emissions verification of non-structural engineered wood, hardwood plywood, particleboard, and medium density fiberboard composite wood shall be identified on this checklist. Formaldehyde limits shall meet the limits specified in the 2016 Edition of the CALGreen Code. Attach product specification sheets and other supporting documents. Use additional sheets, if necessary.

ltem#	pywood etc/1 (c.l.)	Ewcation Combedeoorakidata	AProductimanuracraners	Productspecification	Formaldehyde Content (i) pats permillon)	Formaldehyde Limit (in parts per million)
			•			

Updated: 06/09/2017

(LARUCP)

CALGreen Formaldehyde Emissions Verification Checklist

### BUILDING AND SAFETY DIVISION FORMALDEHYDE EMISSIONS VERFICATION CHECKLIST

**WORKSHEET WS-4** 

Page 1 of 2

(LARUCP)

Updated: 01/01/2017

The following section shall be completed by a person with overall responsibility for the planning and design portion of the project. DECLARATION STATEMENT

- I certify under penalty of perjury, under the laws of the State of California, the information provided is true and correct.
- I certify that the installed measures, materials, components, or manufactured devices identified on this certificate conform to all applicable codes and regulations, and the installation is consistent with the plans and specifications approved by the enforcing

5/09/2017	Responsible Person's Name:	Responsible Person's Signature:
	Date Signed:	Position/Title:
LARUCP	Notes:	
oduct specification	NOTE: This form should be completed, signed and submitted prior to request for fine	Il building inspection as required by the enforcing agency.

	보통물론 하루 바로 바로 보다 있다.			
	CALGreen Formaldehyde Emissions Verification Checklist	Page 2 of 2	•	Updated: 01/01/2017

ASSOCIATES

Checked by SEPT. 10, 2023

NOT TO SCALE

# CALGREEN REQUIREMENTS / NOTES :

#### TABLE 4.504.1 ADHESIVE VOC LIMITS 1,2 Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50 50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	in the septiment
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be

For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

CALGreen Residential Tables

CALGreen Residential Tables

Page 1 of 4

Updated: 01/01/2017

Updated: 01/01/2017

#### TABLE 4.504.2 SEALANT VOC LIMITS Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway "	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural Nonporous Porous	250 775
Modified bituminous	500
Marine deck	760
Other	750

Page 2 of 4

#### TABLE 4,504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS 2,3 Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	
Flat coatings	50
Nonflat coatings	100
Nonflat-hìgh gloss coatings	150
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solid coatings 1	120
Magnesite cement coatings	450
Mastic texture coatings	180
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Rust preventative coatings	250
Shellac Clear Opaque	730 550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone Consolidation	450
Swimming pool coatings	340

CALGreen Residential Tables

Page 3 of 4

Updated: 01/01/2017

## TABLE 4.504,3 (CONT'D) VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS 2.3 Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

Traffic marking coatings	100
Tub and Tile refinish coating	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives '	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.

2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table. 3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings

Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

TABLE 4.504.5 FORMALDEHYDE LIMITS 1
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard <sup>2</sup>	0.13

Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of 8 millimeters.

CALGreen Residential Tables Page 4 of 4 Updated: 01/01/2017

TABLE 4.302.2 FIXTURE FLOW RATES

FIXTURE TYPE	BASELINE FLOW RATE	MAXIMUM FLOW RATE AT ≥ 20 percent REDUCTION
Showerheads	2.5 gpm @ 80 psi	2 gpm @ 80 psi
Lavatory faucets, residential	2.2 gpm @ 60 psi	1.5 gpm @ 60 psi <sup>1</sup>
Lavatory faucets, nonresidential	0.5 gpm @ 60 psi	0.4 gpm @ 60 psi <sup>2</sup>
Kitchen faucets	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi <sup>3</sup>
Gravity tank-type water closets	1.6 gallons/flush	1.28 gallons/flush ⁴
Flushometer tank water closets	1.6 gallons/flush	1:28 gallons/flush ⁴
Flushometer valve water closets	1.6 gallons/flush	1.28 gallons/flush ⁴
Electromechanical hydraulic water closets	1.6 gallons/flush	1.28 gallons/flush <sup>4</sup>
Urinals	1.0 gallon/flush	.5 gallon/flush

1. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

- 2. Where complying faucets are unavailable, aerators rated at .35 gpm or other means may be used to achieve reduction.
- 3. Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2 gpm @ 60 psi and must default to a maximum flow rate of 1.8 gpm @ 0 psi.
- 4. Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.
- Single flush tollets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.
- Dual flush toilets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

#### **TABLE 4.303.3** STANDARDS FOR PLUMBING FIXTURES AND FIXTURE FITTINGS

REQUIRED	STANDARDS
Water closets (toilets)—flushometer valve-type single flush, maximum flush volume	ASME A 112.19.2/CSA B45.1 - 1.28 gal (4.8 L)
Water closets (toilets)—flushometer valve-type dual flush, maximum flush volume	ASME A 112.19.14 and U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification – 1.28 gal (4.8 L)
Water closets (toilets)—tank type	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Urinals, maximum flush volume	ASME A 112.19.2/CSA B45.1 - 0.5 gal (1.9 L)
Urinals, nonwater urinals	ASME A 112.19.19 (vitreous china) ANSI Z124.9-2004 or IAPMO Z124.9 (plastic)
Public lavatory faucets:  Maximum flow rate - 0.5 gpm (1.9 L/min)	ASME A 112.18.1/CSA B125.1
Public metering self-closing faucets:  Maximum water use – 0.25 gal (1.0 L) per metering cycle	ASME A 112.18.1/CSA B125.1
Residential bathroom lavatory sink faucets:  Maximum flow rate – 1.5 gpm (5.7 L/min)	ASME A 112.18.1/CSA B125.1
Showerheads: maximum flow rate - 2.5 gal (9.5 L)	ASME A 112.18.1/CSA B125.1

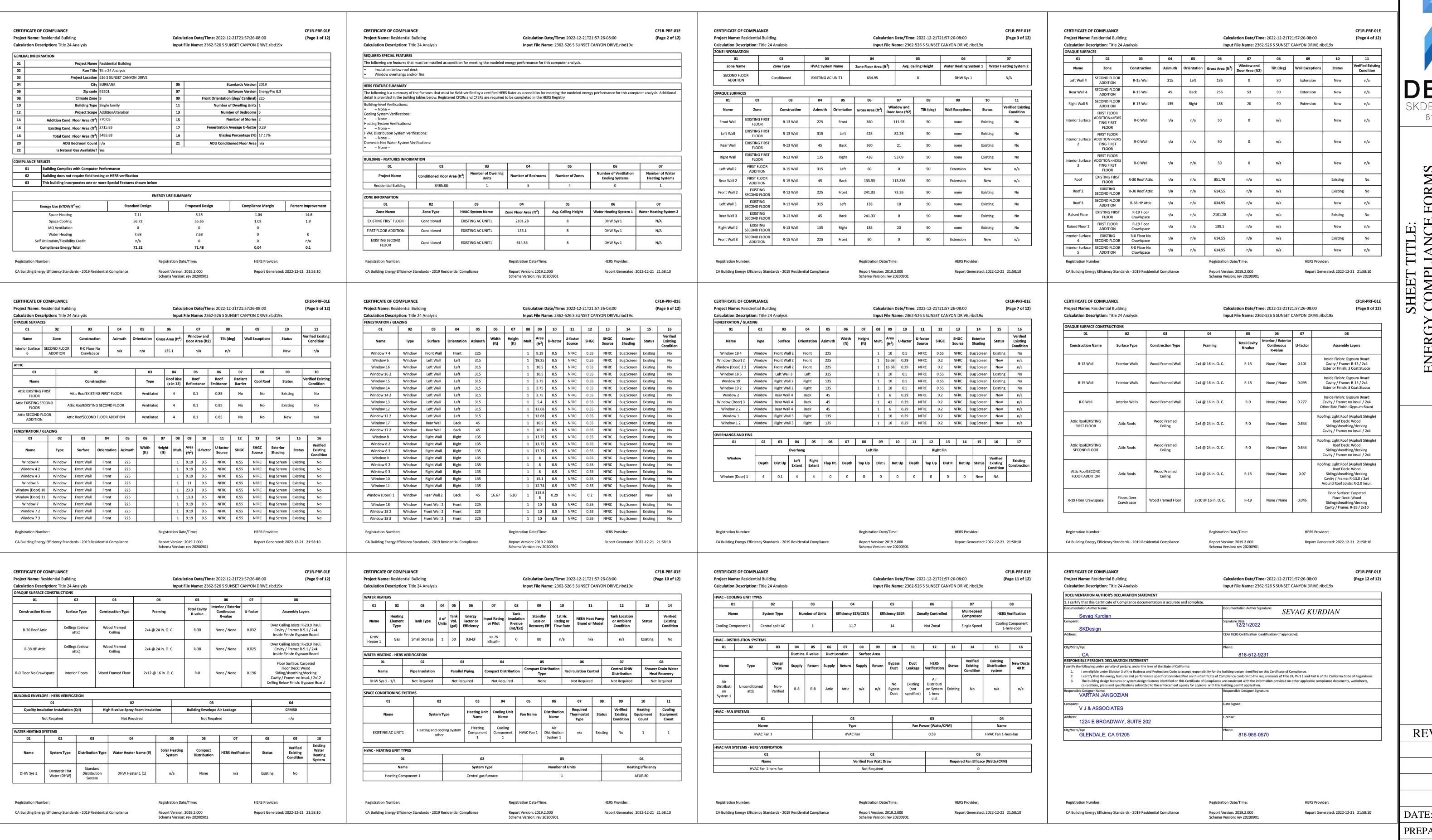
EXISTING 2-STORY SINGLE
EXISTING 2-STORY SINGLE
FAMILY HOUSE

MARINA ISOUNT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

MARINA ISOUNT
526 S. SUNSET CYN. DR., BURBANK, CA. 91501

Checked by SEPT. 10, 2023

NOT TO SCALE



DESIGN SKDESIGNLA.COM 818-512-9231

ENERGY COMPLIANCE FORMS
PROJECT ADDRESS:
526 S SUNSET CANYON DRIVE
BURBANK, CA 91501

REVISIONS:

DATE: 04/07/2022 PREPARED BY: SK

JOB NUMBER: 2362 SHEET NUMBER

T24-A

RESID	<u>DENTIA</u>	AL MEAS	SURES SU	MM/	<b>ARY</b>					RMS-1
Project Nai 526 S S		CANYON D	PRIVE	Build	ing Type	☑ Single Fam □ Multi Famil		dition Alone sting+ Addition	/Alteration	Date 12/21/2022
Project Add						rgy Climate Zone		nd. Floor Area	Addition	# of Units
		CANYON E	DRIVE BURE	34 C/	4 Clima	ate Zone 09	3	3,486	770	1
INSUL/ Constr	ATION ruction	Туре		Cav	ity	Area $(ft^2)$ S	Special	Features		Status
Floor	Wood Frai	med w/Crawl Sp	pace	R 19		2,101				Existing
Wall	Wood Frai	med		R 13		248				Existing
Wall	Wood Frai	med		R 13		346				Existing
Wall	Wood Frai	med		R 13		339				Existing
Wall	Wood Frai	med		R 13		335				Existing
Roof	Wood Frai	med Attic		R 30		852				Existing
Floor		med w/Crawl S <sub>l</sub>	pace	R 19		135				New
Wall	Wood Frai	-		R 15		60				New
	TRATIC		Total Area:	598	Glozina		17.2% Ne	w/Altered Averag	no II Eoctor	0.29
Orienta		Area( <i>ft</i> ²)		IGC	Overh	r oroontago.	110	w/Altered Averag		Status
Front (SW)		151.9	0.500	0.55			IIIIS EX		iuc3	Existing
. ,		92.3	0.500	0.55	none	none	N.			
Left (NW) Rear (NE)					none	none				Existing
, ,		21.0	0.500	0.55	none	none	N.			Existing
Right (SE)			0.500	0.55	none	none	N			Existing
Rear (NE)		113.8	0.290	0.20	4.0	none	N.			New
Front (SW)		33.4	0.290	0.20	none	none		/A		New
Rear (NE)		53.0 20.0	0.290	0.20	none	none	N	/A		New
HVAC :	SYSTEI	MS								
	Heating		Min. Eff	Co	oling	Mir	n. Eff	Theri	mostat	Status
	Central Furn	ace	80% AFUE		Air Cond	litioner 14.0	) SEER	Setback		Existing
HVAC Location		BUTION Hea	ating	Co	oling	Duct Loc	ation		uct -Value	Status
EXISTING		Ducted		Ducte		Attic	audii	8.		Existing
	R HEAT			Ducte	<i>5</i> u	Auto		0.	v	Exioung
Qty. 7	Гуре		Gallo	ns	Min.	Eff Distr	ibution			Status
EnergyPro	o 8.3 by Ene	rgySoft Use	r Number: 40017					D: 2362		Page 15 of 21

RESID											
Project Na 526 S S	<sup>me</sup> <i>UNSET CA</i>	NYON L	DRIVE	Bu	iilding Type		ile Famil i Family		lition Alone sting+ Addition	n/Alteration	Date 12/21/202
Project Add					alifornia Ene				d. Floor Area	Addition	# of Units
	UNSET CA	NYON	DRIVE B	URB/	CA Clim	ate Zon	e 09	3	,486	770	1
INSUL/				_		Area					_
Constr	uction T	ype		Са	vity	$(ft^2)$	Sı	pecial I	<u>Features</u>		Status
Vall	Wood Framed	1		R 15		20					New
Demising	Wood Framed				insulation	150					New
Vall	Wood Framed			R 13		168					Existing
Vall	Wood Framed	-		R 13		128					Existing
Vall	Wood Framed	-		R 13		241					Existing
Vall	Wood Framed			R 13		118					Existing
Roof Demising	Wood Framed Wood Framed		Snaco	R 30	insulation	615					Existing
	TRATION					615	4	7 20/	/Alba		Existing 0.29
	ation Ar	_	Total Area U-Fac	SHGC	98 Glazing <b>Overi</b>		<sub>le: 1</sub> Sidefi		w/Altered Avera		Status
Juenta	ation Ai	ea(n)	О-гас	эпис	Overi	nang	Sidell	115 =>	cterior 311	aues	Status
	SYSTEMS Heating		Min. E	≡ff C	ooling		Min	. Eff	The	rmostat	Status
Qty. I	Heating DISTRIBU	ITION	Min. E		ooling	Duc	Min t Loca			rmostat Duct R-Value	Status
Qty. I	DISTRIBU on	ITION He	ating				t Loca			Ouct	

	DENTIAL MEASU							RMS-1
Project Na	<sup>ame</sup> SUNSET CANYON DRI	VF.	Building Type	☑ Single Far □ Multi Fam		dition Alone sting+ Addition	n/Alteration	Date 12/21/2022
Project Ad	ddress			ergy Climate Zone	-	nd. Floor Area	Addition	# of Units
526 S S	SUNSET CANYON DR	VE BURB	A CA Clima	ate Zone 09	3	3,486	770	1
INSUL	.ATION			Area				
Const	ruction Type		Cavity	$(ft^2)$	Special	Features		Status
Wall	Wood Framed	I	R 15	60				New
Wall	Wood Framed	ı	R 15	186				New
Wall	Wood Framed	ı	R 15	203				New
Wall	Wood Framed	ı	R 15	166				New
Roof	Wood Framed Attic		R 38	635 Add=	R-15.0			New
Demising	Wood Framed wlo Crawl Spa	ce -	no insulation	770				New
	_	otal Area:	598 Glazing			w/Altered Avera		0.29
Orient	tation Area( <i>ft</i> <sup>2</sup> ) U	-Fac SHO	GC Overl	hang Side	fins E	xterior Sha	ades	Status
	SYSTEMS Heating	Min. Eff	Cooling	Mi	n. Eff	Ther	mostat	Status
Qty.	Heating  DISTRIBUTION		Cooling	Mi Duct Loc		D	emostat Duct R-Value	Status
Qty. HVAC Locati	Heating  DISTRIBUTION ion Heati		Cooling	Duct Loc		D R	uct	



## 2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. \*Exceptions may apply.

Building Envelop	e Measures:
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*
§ 110.7:	<b>Air Leakage.</b> All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	<b>Wall Insulation.</b> Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.*
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
Fireplaces, Decor	ative Gas Appliances, and Gas Log Measures:
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*
	ng, Water Heating, and Plumbing System Measures:
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.*
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.*
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)4:	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.
§ 110.3(c)6:	<b>Isolation Valves.</b> Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.*
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.



## 2019 Low-Rise Residential Mandatory Measures Summary

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§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must hav a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.*
§ 150.0(j)3:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, an wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour
§ 150.0(n)2:	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	<b>Solar Water-heating Systems.</b> Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans	Measures:
§ 110.8(d)3:	<b>Ducts.</b> Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts an plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.*
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	<b>Gravity Ventilation Dampers.</b> Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation expose to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.
§ 150.0(m)12:	Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*
§ 150.0(m)13:	Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*



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Requirements f	or Ventilation and Indoor Air Quality:
§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1C:	Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 150.0(o)1E:	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 I (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8
§ 150.0(o)1F:	Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provid ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 150.0(o)1G:	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa S	ystems and Equipment Measures:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*
§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch the will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, fl rate, piping, filters, and valves.*
Lighting Measu	res:
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirement of § 110.9.*
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)1B:	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire of other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, fan speed control.
§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(k)1D:	Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(k)1E:	Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevate temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is close
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.*
§ 150.0(k)2C:	Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.*
§ 150.0(k)2D:	Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)2E:	Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed comply with \$ 150 0/k)

§ 150.0(k)2F: Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.



# 2019 Low-Rise Residential Mandatory Measures Summary

Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*  Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.  Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*  Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.  Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents must indicate: a location reserved for inve		
s 150.0(k)21:  Interior Switches and Controls in betarrooms, garages, turnor from comparison to the controlled by an occupant sensor or a vacancy sensor providing automatic off functionality. If an occupant sensor or a vacancy sensor providing automatic off functionality. If an occupant sensor is installed, it must be interior Switches and Controls in betarrooms, and the sensor for a vacancy sensor providing automatic off functionality. If an occupant sensor is installed, it must be interior Switches and Controls to your coupant or record of the control required under demand controls. In the coupant of the control required under demand or controls and the control required under demand controls. In the coupant of the control of the	§ 150.0(k)2G:	provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the
be controlled by an occupant sensor or a vecancy sensor providing automatic off functionality. If an occupant sensor is installed, it must be initially configured to manuation operation using the manual control required under Section 1500,(K)2. Installed Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JAP requirements for dimming, and that are not controlled by occupancy or vesaory, sensor, must have dimming controls: \$150,01(K)2. Installed Lighting, For significantly residential undistings, outdoor lighting permanently mounted to a residential Dutdoor Lighting. For long-lighting must be controlled separately from celling-installed Lighting systems. \$150,01(K)3. (SD, K)3.	§ 150.0(k)2H:	provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.
\$ 150.0(k)22. dimming, and hat are not controlled by occupancy or vacancy sensors, must have dimming controls.  150.0(k)24. Interior Switches and Controls. Unforce cable (lighting unsteement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the proposed of 150.0(k)24. (Near dOFF) which yet in the requirement in terms of 150.0(k)24. (Near dOFF) which yet in the proposed of 150.0(k)25. (Near dOFF) which yet in the proposed of 150.0(k)25. (Near dOFF) which is applicable requirement in the resolution of 150.0(k)25. (Near dOFF) with the applicable requirement in the Scholan 1109.1300.1302.1304.140. and 114.0. (Near dOFF) with the applicable requirement in Scholan 1109.1300.1302.1304.140. and 114.0. (Near dOFF) with the applicable requirement for normaliterating greapes in Sections 1109.1300.1304.1304.1406. and 141.0. (Near dOFF) which yet is applicable requirement for normaliterating greapes in Sections 1109.1300.1304.1304.1406. and 141.0. (Near dOFF) with the applicable requirement for normaliterating greapes in Sections 1109.1300.1304.1304.1406. and 141.0. (Near dOFF) with the proposed of 150.0(k)25. (Near dOFF) with the proposed of	§ 150.0(k)2I:	be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
Residential Outdoor Lighting, For isnigle-family residential buildings, outdoor lighting permanently mounted to a residential building, or the same lot, must ment the requirement in line \$150,0(8),040,040 and CFF evaluation and the requirement in line \$150,0(8),040,040 and CFF evaluation and the requirement in line \$150,0(8),040,040 and CFF evaluation and the same lot, must ment the requirement in line \$150,040,040 and CFF evaluation and the same lot, must ment be considered to the same lot, must ment the same lot, must ment the same lot, must ment the same lot, must be considered to the same lot, must ment the same lot, and the same lot, must ment the same lot, and the	§ 150.0(k)2J:	
\$150.0(k)3A: buildings on the same lof, must meet the requirement in lems §150.0(k)3Ai (ON and OFF switch) and the requirements in either \$150.0(k)3Ai (ox ox o	§ 150.0(k)2K:	Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
balconies, and porches; and residential parking lots and cargoros with less than eight vehicles per site must comply with either § 150.0(k)3A with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.  Residential Outdoor Lighting, For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight romore vehicles per site and noy outdoor lighting not required by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.  Internally Illuminated address signs, Internally Illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(k).  Residential Garages for Eight or More Vehicle. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for more selected garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.  Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-4 and be controlled by an occupant sensors that reduce the lighting for the interior common areas in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must be comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and i. Lighting installed in conditions and stainvells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of lingress and egress.  Slate Ready Buildings:  Single Family Re		buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aii (astronomical time clock), or an EMCS.
or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)38 or § 150.0(k)38 must comply with the applicable requirements in Sections 11.09, 130.0, 130.2, 130.4, 140.7 and 141.0.  Internally Illuminated address signs. Internally Illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 13.00 (c).  Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.  Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building operation of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must.  Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily provides the total interior common areas in that building must.  Interior Common Areas of Low-rise Multifamily Residences and the complex of the significant of the	§ 150.0(k)3B:	balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
s (150.0(k)4: power as determined according to § 130.0(c). Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.  Interior Common Areas of Lover-les Multifamily Residentials Buildings. In a low-rise multifamily scientials building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must:  1. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and in. Lighting installated in condors and stainwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.  Solar Ready Buildings:  Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltalic system installed must comply with the requirements of § 110.10(b).  § 110.10(a):  Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with a cess, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in a representation. The sola	§ 150.0(k)3C:	or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
splicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.  Interior Common Areas of Low-rise Multiframity Residentials Buildings. In a low-rise multiframity residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common area in a single building equals are not read to the floor area, permanently installed lighting for the interior common area in a single building equals are not read to the floor area, permanently installed lighting for the interior common areas in that building must:  1. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and  1i. Lighting installed in confloors and stainwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.  Solar Ready Buildings:  Solar Parage Barnity Residences, Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovollaic system installed, must comply with the requirements of \$110.10(b) through \$110.10(c).  Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke vertilation, and spacing requirements as specified in Title 24 for in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 160 square feet each for building with roof areas greater than 10,000 square feet. For single family residences, the solar	§ 150.0(k)4:	power as determined according to § 130.0(c).
common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.04 and be controlled by an occupant sensor.  Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must:  i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in confidors and stainwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.  Solar Ready Buildings:  Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(e). Though § 110.10(e).  Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(b) through § 110.10(b) through § 110.10(b). Through § 110.10(b) thr	§ 150.0(k)5:	applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must:  i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stainwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.  Solar Ready Buildings:  Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(b).  Low-rise Multifamily Buildings, Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(b) through § 110.10(b) through § 110.10(b).  Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 160 square feet. For single family residences, the solar zone must be located on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 150 square feet. For isingle family residences, the solar zone must be located on the roo	§ 150.0(k)6A:	common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that
\$ 110.10(a)1:  \$ 110.10(a)1:  \$ 110.10(a)2:  \$ 110.10(a)2:  \$ 110.10(a)3:  \$ 110.10(a)4:  \$ 110.10(a)5:  \$ 110.10(a)5:  \$ 110.10(a)6:  \$ 110.10(a)6:  \$ 110.10(a)7:  \$ 110.10(a)7:  \$ 110.10(a)8:  \$ 110.10(a)8:  \$ 110.10(b) 1:  \$ 110.10(a)8:  \$ 110.10(a)8:  \$ 110.10(a)8:  \$ 110.10(b) 1:  \$ 110.10(a)8:  \$ 110.10(b) 1:  \$ 110.10(b) 2:  \$ 110.10(b) 3:  \$ 110.10(b)	§ 150.0(k)6B:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must:  i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and  ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least
application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).  Low-rise Multifamity Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).  Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone for a dreas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.  Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.  Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.  Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the di	Solar Ready Bui	dings:
mequirements of § 110.10(b) through § 110.10(d).  Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For isingle family residences, the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.'  Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.  Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.  Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.  Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents mus	§ 110.10(a)1:	application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which
pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 porcent of the total roof area of the building any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.  Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.  Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chirmneys, architectural features, and roof mounted equipment.  Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.  Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electr	§ 110.10(a)2:	
Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*  Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*  Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.  Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.  § 110.10(e):  Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.  Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(b)1:	pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone
\$110.10(b)3A: mounted equipment.*  Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*  Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.  Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.  Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.  Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*  Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.  Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.  Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.  Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(b)3A:	mounted equipment.*
Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.  Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.  Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.  Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.  Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(b)3B:	distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of
\$ 110.10(c): pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.  Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.  \$ 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.  Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(d): § 110.10(c) must be provided to the occupant.  § 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.  Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(c):	pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit	§ 110.10(d):	
	§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
	§ 110.10(e)2:	

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**REVISIONS:** 

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