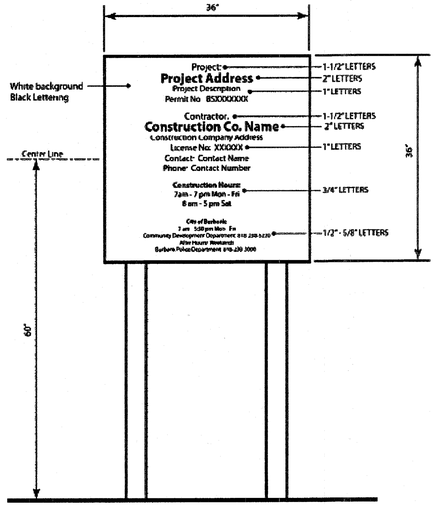
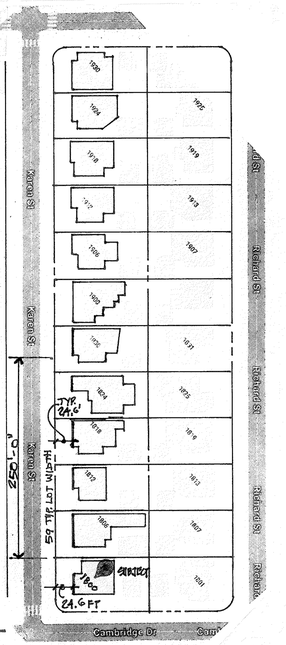




DEMOLITION NOTES & NOTE BLOCKS

Residential

☑ DIVERSION OF C&D DEBRIS: A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. An administrative fee and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012)

☑ **DEMOLITION NOTE:**
All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site. If a Single-Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure This may also be required for a flat lot as determined by the Building Official. Documents indicating rodent and insect abatement has been performed must be presented to the building inspector prior to start of demolition

☑ **RESIDENTIAL DEMOLITION NOTE:**
Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with **Burbank Municipal Code Sec. 10-1-1810** if more than 50% of the structure is demolished

Residential and Commercial Demolition

☑ Per BMC 9-1-11-1012 the following information is required

The completed WMP must be signed by the Applicant and shall indicate all of the following:

1. The site address;
2. The names, addresses, and phone numbers of the property owner and the general contractor;
3. The existing square footage, the proposed square footage, the percentage of increase in project size, or the square footage of the structure to be demolished;
4. The estimated volume or weight of construction and demolition debris, by material type, to be generated on the project site;
5. The estimated volume or weight of construction and demolition debris, by material type, to be diverted to recycling, reuse or salvage,
6. The vendor or facility that the applicant proposes to use to collect or receive that material;
7. The estimated volume or weight of the construction and demolition materials that will be landfilled,
8. Certification that the minimum Diversion Requirement will be met;
9. Such other data and information as may be required by the Building Official;
10. Other information Applicant believes is relevant to determining its efforts to comply with this Division

GENERAL NOTES & NOTE BLOCKS

☑ **GENERAL NOTES:**

1. All construction shall comply with the 2022 edition of the CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.
2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition
3. All property lines, easements, and existing buildings have been indicated on this site plan.
4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3302.4)
5. Water shall be provided on the site and used to control dust.
6. Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1)
7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4,
8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2% (CBC 1808.7.4,

☑ Provide on the cover of the plans a note identifying which building code is being used for this project, either:

- **The 2022 California Building Code (CBC)**

Section 1.1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, but not both, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.

☑ On the **COVER SHEET** list only, the specific applicable codes used for this project.

- **2022 California Building Code (CBC)**
- **2022 California Mechanical Code (CMC)**
- **2022 California Electrical Code (CEC)**
- **2022 California Plumbing Code (CPC)**
- **2022 California Green Building Code (CALGreen)**
- **2022 California Energy Code**

☐ SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-107).

BUILDING DIVISION
Community Development Department
City of Burbank

WATER-CONSERVING PLUMBING FIXTURES CERTIFICATE OF COMPLIANCE

(For buildings built on or before Jan. 1, 1994)

Project Address: 1800 KAREN ST. Permit No: BS 240 7628

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: JOHN DENSMORE Date 7-18-2024
Owner's Signature:

SINGLE-FAMILY RESIDENTIAL

Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet	1.2 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60 psi

MULTI-FAMILY RESIDENTIAL

Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet (within units)	1.2 gals/min at 60 psi
Lavatory Faucet (common areas)	0.5 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60psi

☑ THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) – INCORPORATE THESE MANDATORY ITEMS IN THE DESIGN AND CONSTRUCTION OF THE PROJECT AND ADD NOTES TO PLANS AS APPLICABLE OF THE SUBMITTED DRAWINGS

2022 CalGREEN Residential Mandatory Measure Notes

SECTION	MEASURE	REQUIREMENTS
PLANNING AND DESIGN		
4.106.2	Storm Water Drainage and Retention During Construction	A plan is developed and implemented to manage storm water drainage during construction
4.106.3	Grading and Paving	Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings
4.106.4.1	Electric Vehicle Charging	Provide capability for electric vehicle charging for one and two-family dwellings; townhouses with attached private garages in accordance with Section 4.106.4.1.
4.106.4.2	Electric Vehicle Charging	Provide capability for electric vehicle charging for multifamily dwellings and hotels/motels in accordance with Sections 4.106.4.2.1 or 4.106.4.2.2, as applicable.
4.106.4.3	Electric Vehicle Charging	Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing residential buildings in accordance with Section 4.106.4.3, as applicable
ENERGY EFFICIENCY		
4.201.1	General	Building meets or exceeds the requirements of the *California Building Energy Efficiency Standards.*
WATER EFFICIENCY AND CONSERVATION (Indoor Water Use)		
4.303.1	Water Conserving Plumbing Fixtures and Fittings	Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4 **Plumbing fixtures & fittings — Maximum** Water closets — 1.28 gallons/flush Urinals — 0.125 gallons/flush for wall-mounted type and 0.5 gallons/flush for floor-mounted type or other type Showerheads — 1.8 gpm @ 80 psi Residential lavatory faucets — 1.2 gpm @ 60 psi max.; 0.8 gpm @ 20 psi min. Lavatory faucets in common & public use areas — 0.5 gpm @ 60 psi Metering faucets — 0.2 gallons/cycle Kitchen faucets — 1.8 gpm @ 60 psi
4.303.3	Standards for Plumbing Fixtures and Fittings	Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable referenced standards
4.303.1.4.3	Metering faucets	Metering faucets in residential building shall not deliver more than 0.2 gallons per cycle
WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)		
4.304.1	Outdoor potable water use in landscape areas	Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2 MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Enhanced Durability & Reduced Maintenance)		
4.406.1	Rodent proofing	Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling)		
4.408.1	Construction Waste Management	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section4.408.3, or 4. The waste stream reduction alternative, per Section 4.408.4
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Building Maintenance & Operation)		
4.410.1	Operation and Maintenance Manual	An operation and maintenance manual shall be provided to the building occupant or owner.
4.410.2	Recycling by Occupants	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq will also be exempt from the organic waste portion of this section

2022 CalGREEN Residential Mandatory Measure Notes

SECTION	MEASURE	REQUIREMENTS
ENVIRONMENTAL QUALITY (Fireplaces)		
4.503.1	Fireplaces	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances
ENVIRONMENTAL QUALITY (Pollutant Control)		
4.504.1	Covering of Duct Openings & Protection of Mech. Equipment During Construction	Duct openings and other related air distribution component openings shall be covered during construction.
4.504.2.1	Adhesives, Sealants and Caulks	Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
4.504.2.2	Paints and Coatings	Paints, stains and other coatings shall be compliant with VOC limits
4.504.2.3	Aerosol Paints and Coatings	Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds
4.504.2.4	Verification	Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
4.504.3	Carpet Systems	Carpet and carpet systems shall be compliant with VOC limits
4.504.4	Resilient Flooring Systems	80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria
4.504.5	Composite Wood Products	Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low formaldehyde emission standards
ENVIRONMENTAL QUALITY (Interior Moisture Control)		
4.505.2	Concrete Slab Foundations	Vapor retarder and capillary break is installed at slab-on-grade foundations.
4.505.3	Moisture Content of Building Materials	Moisture content of building materials used in wall and floor framing is checked before enclosure
ENVIRONMENTAL QUALITY (Indoor Air Quality & Exhaust)		
4.506.1	Bathroom Exhaust Fans	Each bathroom shall be mechanically ventilated and shall comply with the following 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in), OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent
ENVIRONMENTAL QUALITY (Environmental Comfort)		
4.507.2	Heating and Air Conditioning System Design	Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent 2. Size duct systems according to ANSI/ACCA 1 Manual D- 2016 or equivalent 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS (Qualifications, Verifications)		
702.1	Installer Training	HVAC system installers are trained and certified in the proper installation of HVAC systems
702.2	Special Inspection	Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting
703.1	Documentation	Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance

Note:
This check list is intended only as an aid to the user and may not contain complete code language Refer to 2022 CALGreen Chapter 4 for complete code language

CPC/BWP WATER DIV. CONDITIONS OF APPROVAL

1. EXISTING 5/8" x 3/4" WATER METER TO BE REPLACED WITH A 3/4" x 3/4" WATER METER BY CITY.

2. OWNER OR CONTRACTOR SHALL INSTALL CUSTOMER SHUTOFF VALVE AT THE WATER METER OUTLET COUPLING IN THE WATER METER BOX IN ACCORDANCE WITH BWP STANDARD DWG. BWP-625

3. OWNER OR CONTRACTOR SHALL INSTALL 3/4" MIN. BUILDING SUPPLY LINE. FROM THE CUSTOMER SHUTOFF VALVE TO THE BUILDING

SINGLE FAMILY DEVELOPMENT PROJECTS IN R-1 & R-1-H ZONES PUBLIC NOTICE SIGN REQUIREMENTS

All applicants proposing additions and remodels that alter the exterior facades of a single-family dwelling as well as construction of new single-family dwellings in R-1 and R-1-H single-family residential zones are required to post a sign on the project site providing public notice of the pending development application.

Requirements for the design, construction, and placement of the sign are as detailed below.

1 The sign is to be erected on the project site within 30 days of applying for a plan check (i.e., payment of plan check fees). The sign shall be maintained for the entire duration of the plan check process and is to be removed after the issuance of the building permit.

2 Sign specifications and design:

a. Size: 3 feet long by 3 feet tall

b. Height: See Figure below

c. Location: Front of project site facing the street. Sign cannot encroach into the public right of way (sidewalk and parkway).

d. The sign must be constructed on a weatherproof material and mounted onto a wood backing structure. Paper or cardboard is not acceptable. The sign must be supported by two posts with a minimum size of 4 inches by 4 inches, with a proper footing if required.

e. The background of the sign must be white with black lettering.

f. In the example the lettering shown in bold (including Project Address, Permit no., Project Description, and Proposed Dwelling) must use a 2" letter font size and other lettering must use a 1" font size.

g. Project sign is subject to approval by the City Planner after installation.

PROJECT SIGN

1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
2. Sign may be mounted independently or on the construction fence.

HERS VERIFICATION REQUIREMENT______________________
Firm or individual responsible for the verification:
Name: License No.:

BURBANK PUBLIC WORKS NOTES

Backwater valve to be installed on private building sewer per BMC 8-1-313 and requirements of the City's CDD-Building Department. It is noted and acknowledged that City staff will not sign off on the Final Building Permit Approval and/or Certificate of Occupancy until the owner/developer provides proof that the backwater valve(s) have been installed.

Per BMC 9-3-407, Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy. (SEE SHT# B11 FOR B.M.P. NOTES)

PREVAILING SETBACK:

STRUCTURAL DESIGN LOADS/CRITERIA

a. [§1603.1.2 CBC] Roof Live Load = 20 PSF
(No Live Load Reduction)

b. [§1603.1.4 CBC] Wind Design data:
Basic Wind Speed (3-mile gust) =110 MPH
Wind Importance Factor I = 1.0
Wind Exposure(s) = C
The Applicable Internal Pressure Coefficient =
1.21 (HT=15 FT); 1.29 (HT=20 FT);
1.35 (HT=25 FT); 1.40 (HT=30 FT).
Design Wind Pressure(s) for Components
And Cladding =
15.9 PSF (ZONE A); -4.2 PSF (ZONE B);
10.6 PSF (ZONE C); -2.3 PSF (ZONE D).

c. [§1603.1.5 CBC] Earthquake Design Data:
Seismic Importance factor I = 1.0
Occupancy Category = II
Mapped Spectral Response Accelerations,
S_S = 1.984 & S_1 = 0.725
Site Class = D
Spectral Response Coefficients,
S_{DS} = 1.587 & S_{D1} = 0.00
Basic Seismic - Force Resisting System(s) = D
Design Base Shear = 0.317W
Seismic Response Coefficient(s), Cs = 0.244
Response Modifications Factor(s), R = 6.5
Analysis Procedure used: Equivalent Lateral Force Procedure

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
by: Sara Durghalli, Assistant Planner
Date: 8/26/2025
Project No.: 25-0003099

DENSMORE RESIDENCE
1800 Karen Street
Burbank, CA, 91504

C-25559
Douglas S. Humphries
3 31 2027

DADA DESIGN & GRAPHICS
Licensed Architect
DOUGLAS S. HUMPHRIES
12122 Hartsook Street
Valley Village, California 91607
Office (818) 506-4919
Fax (818) 506-3252
DADAdesign@netzero.net

DRAWN WM
CHECKED DH
DATE APRIL/2024
SCALE NOTED
JOB NO 777B
SHEET NO 0
OF SHEETS

DOOR SCHEDULE

SEE DOOR & WINDOW NOTES ON SHT. # 2, ALL GLASS DOORS TO BE TEMPERED OR LAMINATED AND TO BE S.B.O.

MK	SIZE: WIDTH	SIZE: HEIGHT	SIZE: CORE	TYPE	MATERIAL: WOOD	MATERIAL: MASONITE	MATERIAL: GLASS	MATERIAL: QUANTY	REMARKS
1	3'-0"	8'0"	SC 1 3/4	SWINGING	/		TEMP'D	1	ENTRY DOOR (OBSCURE GLASS)
2	2'-8"	6'-8"	SC 1 3/8		/			1	TYP. INTERIOR
3	5'-0"	6'-8"	—	BI-PASS			TEMP'D	2	MIRRORED WARDROBE @ BEDRM # 1
4	6'-0"	6'-8"	—	"			TEMP'D	1	" " " # 4
5									
6									
7									

Safety glazing (tempered glazing) is required for the following:

1. Fixed and operable panels of swinging, sliding, and bi-fold doors
2. Where the glazing is within 24" of either side of the door in the plane of the door in a closed position and where the bottom edge of the glazing is less than 60" above the floor. (CRC R308.4.2 item 1)
3. Where the glazing is on a wall less than 180 degrees from the door in a closed position and within 24" of the hinge side of an in-swinging door. (CRC R308.4.2 item 2)
4. Glazing in an individual fixed or operable panel with an exposed area in the individual pane larger than 9 sq. ft., the bottom edge of the glazing is 18 in. above the floor, the top edge of the glazing is more than 36 in. above the floor, and has one or more walking surfaces within 36 in. of the glazing. (CRC R308.4.3, CBC 2406.4.3)
5. Glazing less than 60" above a shower or tub floor. (CRC R308.4.5, CBC 2406.5)
6. Glazing where the bottom edge is less than 36" above the stairways, landings, and ramps. (CRC R308.4.6, CBC 2406.4.6)
7. Glazing adjacent to the stairway bottom landing where the glazing is less than 36" above the landing and within 60" horizontal arc less than 180 degrees from the bottom tread nosing shall be safety glazing. (CRC R308.4.7, CBC 2406.4.7)
8. Glazing in guards and railings. (CRC R308.4.4, CBC 2406.4.4)

WINDOW SCHEDULE

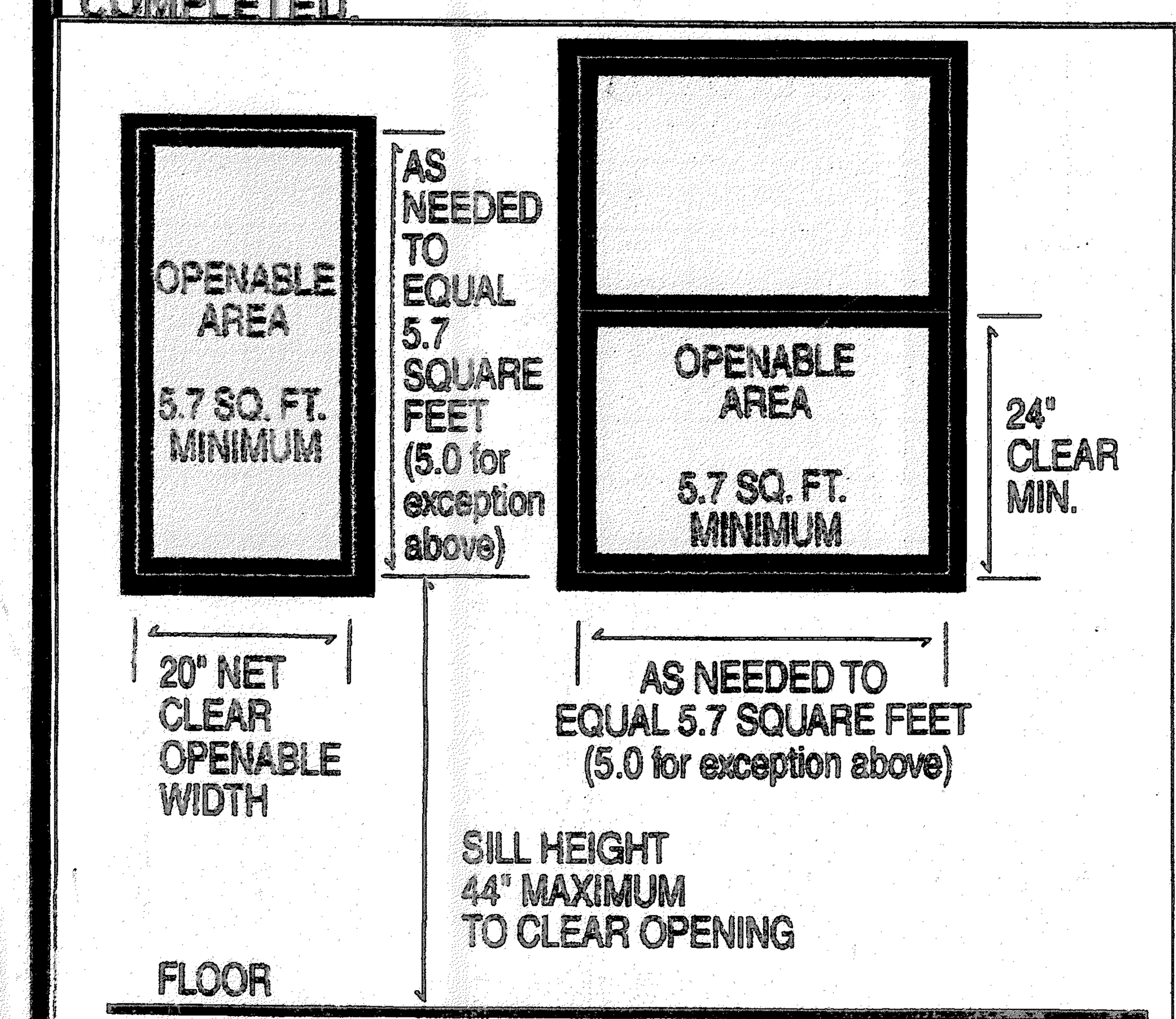
(*) ASTERISK DENOTES TEMPERED GLASS AT SPECIFIC LOCATIONS (SEE PLANS)

SEE DOOR & WINDOW NOTES ON SHT. # 2 ALL WINDOWS WITHIN 18" OF FLOOR TO BE TEMPERED OR LAM. WINDOW MANUF. (S.B.O.)

MK	SIZE: WIDTH	SIZE: HEIGHT	TYPE	MATERIAL	DBL	SGL	SCREEN	QUANTY	REMARKS
A	6'-0"	4'-0"	SLIDER	VINYL	/		50%	3	MILGARD BLACK VINYL (EGRESS)
B									
C									
D									
E									
F									
G									

ALL EXISTING WINDOWS and EXTERIOR GLASS DOORS TO BE REPLACED W/ NEW UNITS HAVING A MAX. U-FACTOR = 0.3 and SHGC = 0.23 RATING

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.



ABBREVIATIONS

A.B.	ANCHOR BOLT	I.D.	INSIDE DIAMETER
A.C.	AIR CONDITIONER	INSUL.	INSULATION
A.C.	ASPHALT CONCRETE	INT.	INTERIOR
A/C	AIR CONDITIONER		
ADJ.	ADJUSTABLE	JST.	JOIST
AGG.	AGGREGATE		
ALUM	ALUMINUM	LAM	LAMINATED
ALT.	ALTERNATE	LAV	LAVATORY
BN	BOUNDARY NAIL	MAT	MATERIAL
BD	BOARD	MAX	MAXIMUM
BITUM	BITUMINOUS	M.B.	MACHINE BOLT
BLDG	BUILDING	M/C	MEDICINE CABINET
BLK	BLOCK	MECH	MECHANICAL
BLK'G	BLOCKING	MED	MEDIUM
BM	BEAM	MFG'R	MANUFACTURER
BOT	BOTTOM	MIN.	MINIMUM
BRG	BEARING	MISC	MISCELLANEOUS
BTWN	BETWEEN	M.O.J.	MEASURE ON JOB
		(N.)	NEW
CAB	CABINET	N	NORTH
C.B.	CATCH BASIN	NAT.	NATURAL
CEL	CEILING	NAT.GR.	NATURAL GRADE
CL'G.	CEILING	NOM	NOMINAL
CEM	CEMENT	N.I.C.	NOT IN CONTRACT
CER	CERAMIC	N.T.S.	NOT TO SCALE
C.I.	CAST IRON		
C.J.	CEILING JOIST		
CL	CENTER LINE	O/	OVER
CLR	CLEAR	O/C	ON CENTER
C.MU.	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
COL.	COLUMN		
COMP	COMPOSITION	P.B.O.	PROVIDED BY OWNER
CONC	CONCRETE	PL	PLATE
CONT	CONTINUOUS	PLAS	PLASTER
		PLF	LBS/LINEAR FOOT
DET	DETAIL	PLYWD	PLYWOOD
D.H.	DOUBLE HUNG	PR	PAIR
DIA	DIAMETER	PROP.	PROPERTY
DIAG	DIAGONAL	PSF	LBS/SQUARE FOOT
DIM	DIMENSION	PSI	LBS/SQUARE INCH
DN	DOWN	PT	POINT
DR	DOOR	PTDF	PRESSURE TREATED
D.S.	DOWNSPOUT		DOUGLASS FIR
D.T.	DRAIN TITLE		
D/W	DISH WASHER	R.	RADIUS
DWR	DRAWER	R.D.	ROOF DRAIN
		RDWD	RED WOOD
EA	EACH	REINF	REINFORCE
EL.	ELEVATION GRADE	RES	RESAWN
ELECT	ELECTRICAL	ROS	ROUGH SAWN
ELEV.	ELEVATION	R.R.	ROOF RAFTER
ENCL	ENCLOSURE		
E.S.	EACH SIDE	S.B.O.	SELECTED BY OWNER
E.W.	EACH WAY	S.C.	SOLID CORE
EXT.	EXTERIOR	S.H.	SINGLE HUNG
(E.)/EXIST'G	EXISTING	SHWR	SHOWER
		SHT'G	SHEATHING
FAU	FORCED AIR UNIT	SIM	SIMILAR
F.B.O.	FURNISHED BY OTHERS	SL	SLIDING
F.D.	FLOOR DRAIN	S.P.	SOUND PROOF
FDN	FOUNDATION	SPEC	SPECIFICATION
F.F.	FINISH FLOOR	SQ	SQUARE
F.G.	FINISH GRADE	SQ. FT.	SQUARE FOOT
FIN	FINISH	STD	STANDARD
FIXT	FIXTURE	STOR	STORAGE
F.L.	FLOOR LINE	STRUCT.	STRUCTURAL
FL	FLUSH		
FLSH'G	FLASHING	TBR	TO BE REMOVED
FLR.	FLOOR	TBRD	TO BE REPLACED
FOB	FACE OF BEAM	T & B	TOP AND BOTTOM
FOC	FACE OF CONCRETE	TME	TO MATCH EXISTING
FOM	FACE OF MASONRY	TOS	TOP OF SLAB
FOS	FACE OF STUD	TOW	TOP OF WALL
FOW	FACE OF WALL	TP	TOILET PAPER DISPENSER
FTG	FOOTING	TYP	TYPICAL
GA	GAUGE	V.I.F.	VERIFY IN FIELD
GALV	GALVANIZED		
G.I.	GALVANIZED IRON	W/	WITH
GL	GLASS	W/O	WITHOUT
G.L.B.	GLUE LAMINATED BEAM	W.C.	WATER CLOSET
GLU-LAM	GLUE LAMINATED BEAM	WD	WOOD
GRD	GROUND	W/H	WATER HEATER
GYP. BD.	GYPSUM BOARD	W.P.	WATER PROOF
H.B.	HOSE BIB	YD	YARD
H.C.	HOLLOW CORE		
HDR	HEADER		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HGT	HEIGHT		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		

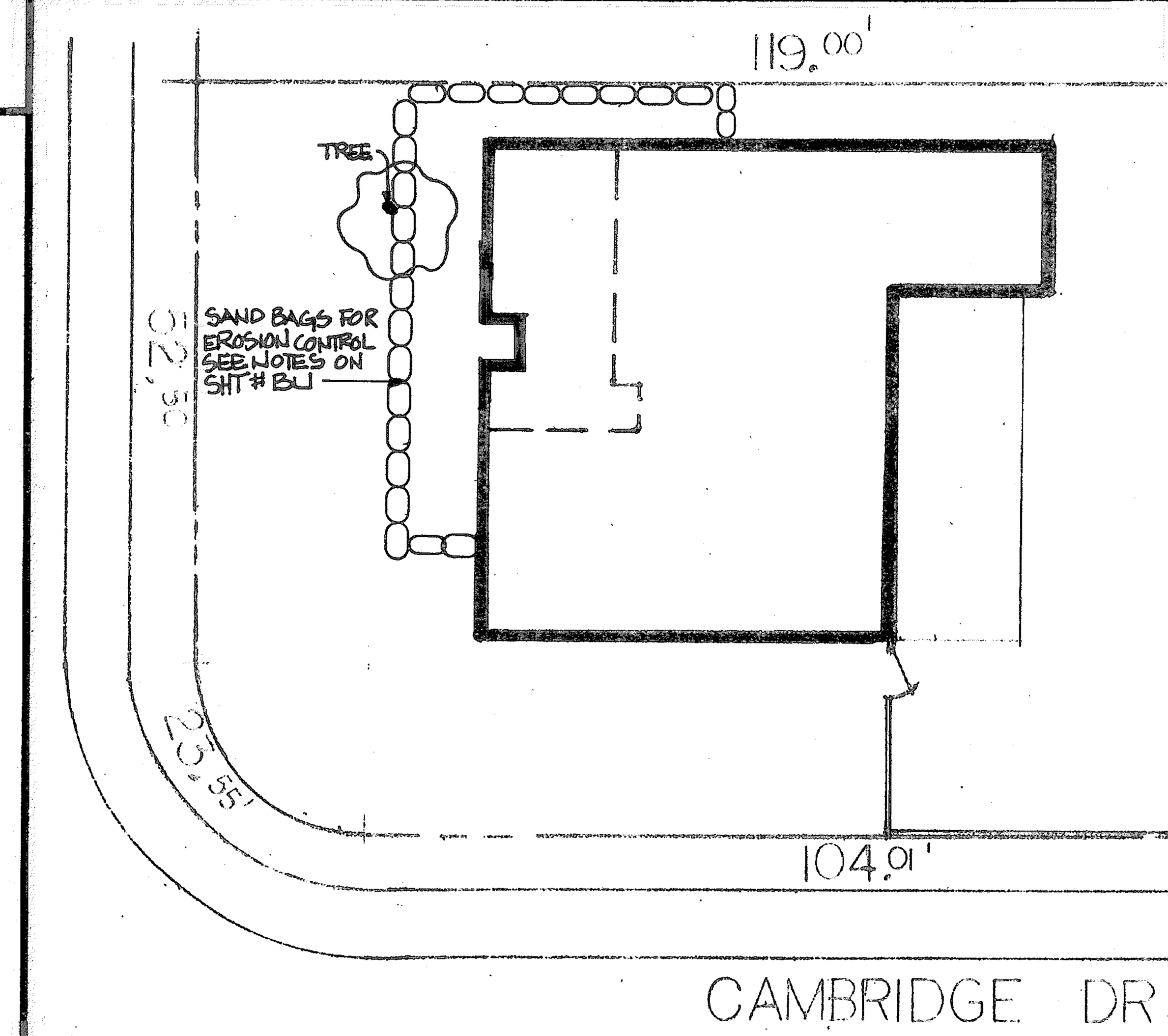
SETBACK HARDSCAPE / LANDSCAPE AREA

FRONT SETBACK AREA = 1742 SF. x 45% = 784 SF. MAX PAVED

CONC. PORCH & WALKWAY = 130 SF. < 784 SF. MAX. ALLOWED

NOTE TO THE CONTRACTOR

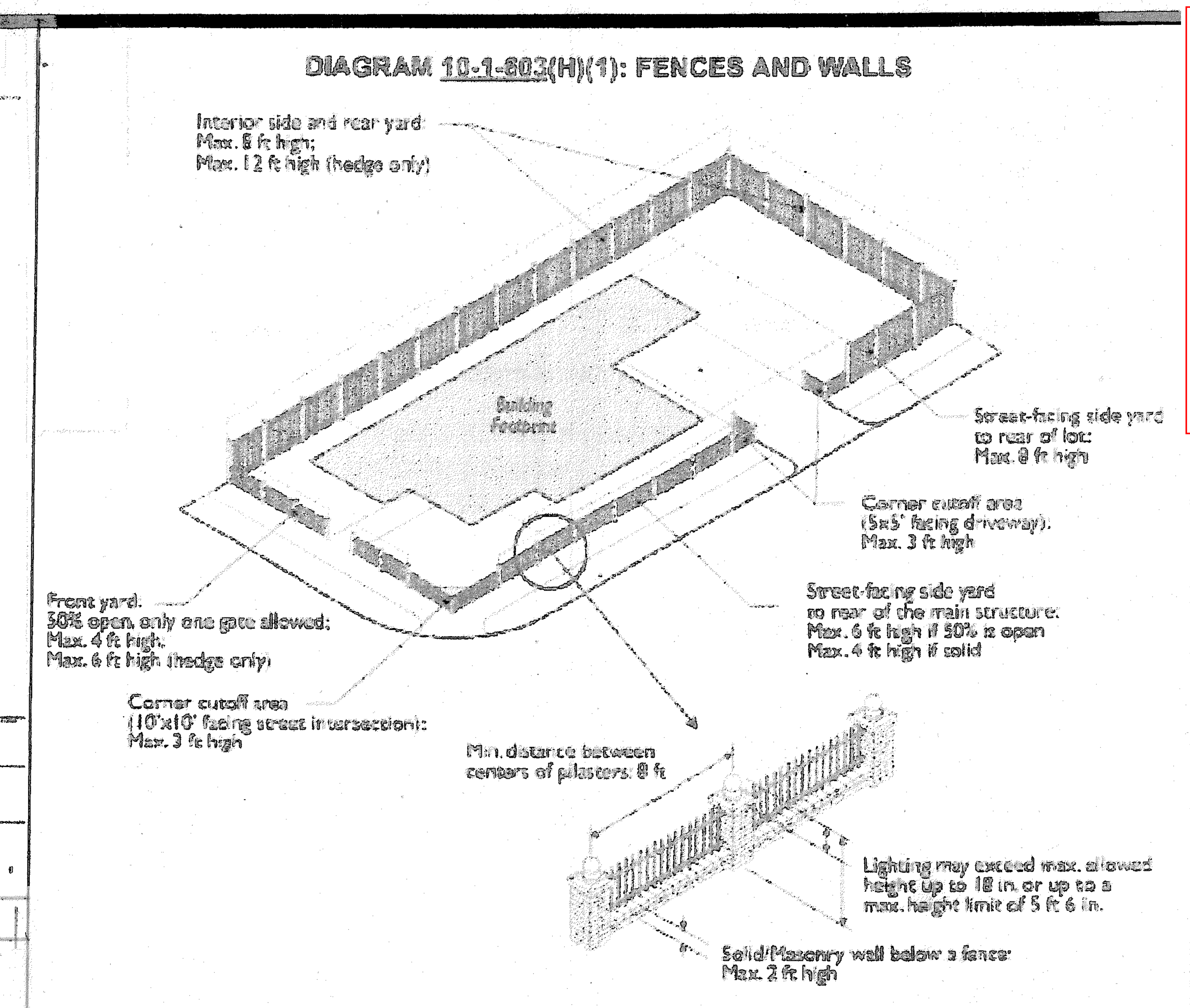
The Contractor is to verify all field conditions, existing and proposed dimensions in the field prior to and during demolition., Any discrepancies will be brought to the attention of the Architect prior to forming foundations or any framing of walls. Any apparent inconsistancies, contradictions or unclarified conditions represented on the plans will be brought to the attention of the Architect prior to the construction of the questionable area.



CONSTRUCTION STORMWATER MITIGATION

code analysis

- Applicable codes SEE SHT # 0
- Type of Construction V B
- Use and Occupancy (both existing and proposed) GROUP R. USE / R3 OCCUPANCY
- Number of stories ONE
- Building height(s) 16'-6" (EXIST'G)
- Building areas (both existing and proposed) SEE STATS SHT # 1
- Number of dwelling units: ONE S.F.D.
- Number of bedrooms and bathrooms (both existing and proposed) SEE SCOPE OF WORK
- Fire sprinklers installed or not. (CRC R106.1.1) NONE EXIST'G OR PROPOSED
- Number of parking spaces: 2-CAR GARAGE
- Provide complete and correct legal description (i.e., Tract, Lot, Block, APN, metes and bounds, etc.). SEE LEGAL SHT # 1 BELOW
- Fire Zone: Yes / No

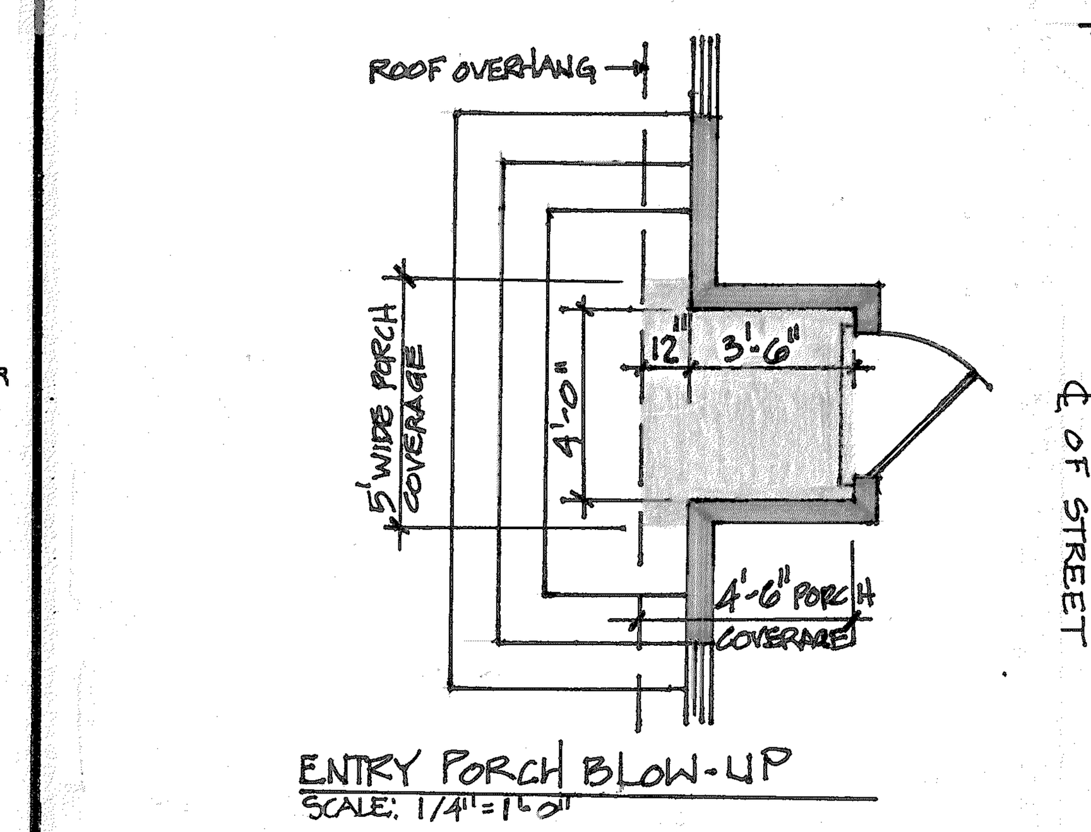


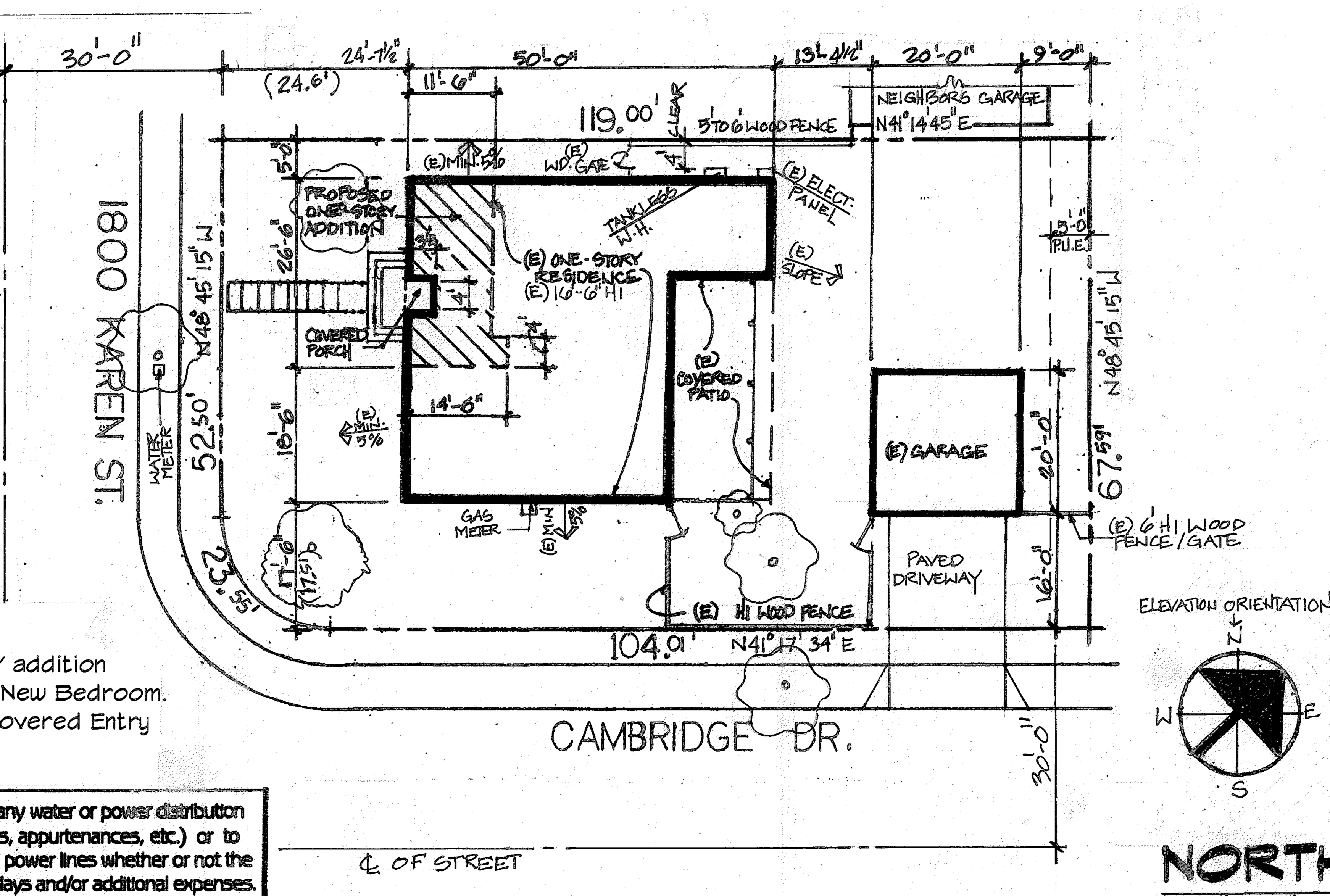
FENCE DETAILS

LOT COVERAGE CALCULATION

Lot Area = 8,092 Sq. Ft.

Lot Coverage is 2,583 Sq. Ft = 31.9 % < 60 % allowed in R-1





SITE PLAN 1/16"

SCOPE OF WORK

Existing 3 Bedroom, 2 Bath Residence remodel / addition
Relocate Entry, enlarge / remodel Kitchen & add New Bedroom.
New Habitable Area = 290.75 Sq. Ft. + 12 Sq. Ft. Covered Entry Porch for 302.75 Sq. Ft. Total Addition

The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

All portions of required front yard not used for necessary driveways and walkways, including decorative walkways shall be used for planting and shall not be paved. (12.21C10(a)(5))

STATISTICS

FLOOR AREA RATIO TABULATION

Lot Area = 8092 Sq. Ft. = 3177.6 Sq. Ft. Allowable RFA for R-1 Zone
(7500 SF x 40% = 3000 SF + 592 SF x 30% = 177.6 SF) = 3177.6 Sq. Ft.

Existing Habitable Area to be demolished	=	0.00 Sq. Ft.
Existing Habitable Floor Area	=	1,507.50 Sq. Ft.
Proposed New Habitable Floor Area	=	290.75 Sq. Ft.
Proposed Covered Front Porch	=	12.00 Sq. Ft.
Existing Covered Rear Patio	=	373.00 Sq. Ft.
Existing Detached Garage	=	400.00 Sq. Ft.
Total Proposed Residential Floor Area	=	2,583.25 Sq. Ft.

Proposed RFA of 2,583.25 Sq. Ft. < 3,177.6 Sq. Ft. RFA Allowed

OWNER / APPLICANT

John & Rebecca Densmore
1800 Karen St. Burbank, CA. 91504
(410) 627-3425

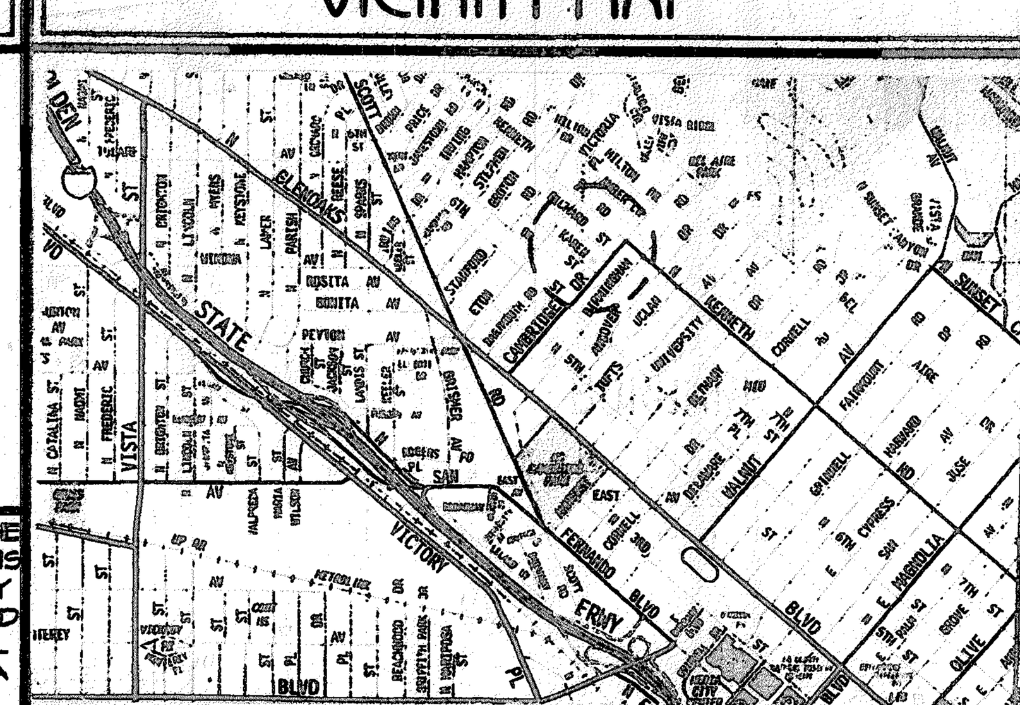
LEGAL

Address / Legal Information

P I N Number:	N/A
Area (Calculated):	8092 (sq. ft.)
Thomas Brothers Grid:	PAGE 533 GRID G-5
Assessor Parcel Number:	2469-002-012
Tract:	TR. 17034
Map Reference:	MB
Block:	—
Lot:	197
Arb. (Lot Cut Reference):	N/A
Map Sheet	N/A

TYPE VB CONSTRUCTION (NON RATED)
Zone: R-1 R3 OCCUPANCY

VICINITY MAP



CONSULTANTS

SHEET INDEX

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
by: Sara Durghalli, Assistant Planner
Date: 8/26/2025
Project No. 25-0001099

DENSMORE RESIDENCE

1800 Karen Street Burbank, CA. 91504

LICENSED ARCHITECT Douglas S. Humphries C-25559 Renewal date 3.31.2025 STATE OF CALIFORNIA

DADA DESIGN & GRAPHICS
DOUGLAS S. HUMPHRIES #C-25559 Licensed Architect
12122 Hartsook Street Valley Village, California 91607
Office (818) 506-4919 Fax (818) 506-3252 DADAdesign@netzero.net

SCALE NOTED
JOB NO 1778
SHEET 1

BUILDING DEPARTMENT REQUIRED GENERAL NOTES

1. Smoke detectors shall receive their primary power source from building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke detectors are to be inter-connected. In existing construction smoke detectors may be battery operated, installed in location as specified above.
2. An approved Carbon Monoxide detector / alarm shall be installed in dwelling units and in sleeping units which fuel-burning appliances are installed and in dwelling units that have attached Garages. CM alarm shall be provided outside of each separated dwelling unit sleeping area in the immediate vicinity of the Bedroom(s) and on every level of a dwelling unit including basements.
3. A heater capable of maintaining a minimum room temperature of 68° F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature
4. Exhaust Fans shall be Energy Star Compliant and be ducted to terminate to the outside of the building. Exhaust Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.
5. Provide an approved spark arrester for chimney of a fireplace, stove, or barbecue
6. An approved Seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
7. Water heater must be strapped to wall.
8. Outswinging doors must open over a landing not more than 1" below the threshold. Exception: Providing the door does not swing over the landing, landing shall be not more than 8" below the threshold. All interior and exterior stairways shall be illuminated.
9. Provide min 72 inch non-absorbent wall adjacent to shower and approved shatter resistant (a) materials for shower enclosure., All shower compartments, regardless of shape, shall have a min. finished interior of 1,024 Sq. In., and shall be capable of encompassing a 30" ϕ circle.
   (b) Provide individual Control Valves of the Pressure Balance or Thermostatic Mixing Valve Type for showers and tub / Showers.
   (c) Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposable system.
   (d) Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs, and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply.
   (e) Water Closets shall have an average consumption of not more than 1.28 gallons water per flush. Shower Heads shall be designed and installed so that they will not exceed a water supply flow rate of 1.8 gallons per minute measured at 80 psi. Faucets shall be designed and manufactured so that they will not exceed a water supply flow rate of 1.2 gallons per measure at 60 psi.
   (f) All new plumbing fixtures shall comply with the current plumbing Code.
10. Every sleeping room shall have one approved opening for emergency escape. All emergency escape windows shall have a min. net clear opening of 5.7 sq. ft. The min. net clear opening dimensions shall be 24 inches high and 20 inches wide. The finished sill height shall not be more more than 44 inches above the floor.
11. Every space intended for human occupancy shall be provided with natural light by means of extdorior glazed openings in accordance. Or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot candles over the area of the room at height of 30" above floor level.
12. When work requires a building permit having a valuation in excess of $500.00 the owner shall equip all showers with low flow showerheads and all water closets with flush o meter - valves which flush water closets with maximum of 1.28 gallons or water closet flush reduction devices.
13. Buildings shall have approved address numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
14. Provide anti-Graffiti finish within the first 9 feet, measured from the grade. at exterior walls and doors.
15. Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. 30 seconds when door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 sec. max.) for a single opening. The deactivation switch shall be at least 54" aboved the floor.

    Provide anti-Entrapment Drain cover meeting the current ASTM or ASME for the suction outlets of the Swimming Pool, Toddler Pool and Spa for single & multi family dwellings per the Assembly Bill (AB) # 2977
16. Code states, in part, that the noise level from pool equipment or reservoir cannot exceed the ambient noise level of any other occupied property (Or adjoining unit in multi-dwelling structure) by more than five (5) decibels.
17. Provide energy compliant appliances where applicable.

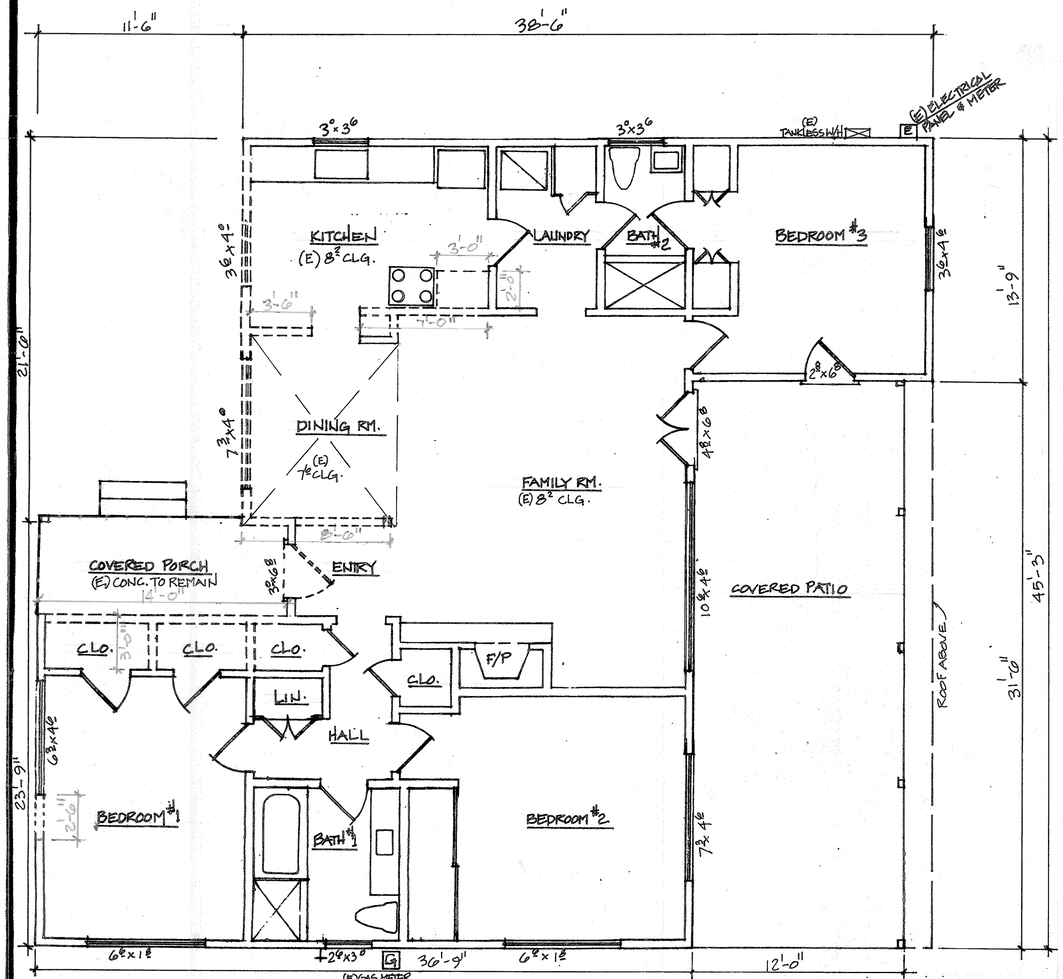
HERS VERIFICATION REQUIREMENT
Firm or individual responsible for the verification:
Name: License No.:

LEGEND OF SYMBOLS

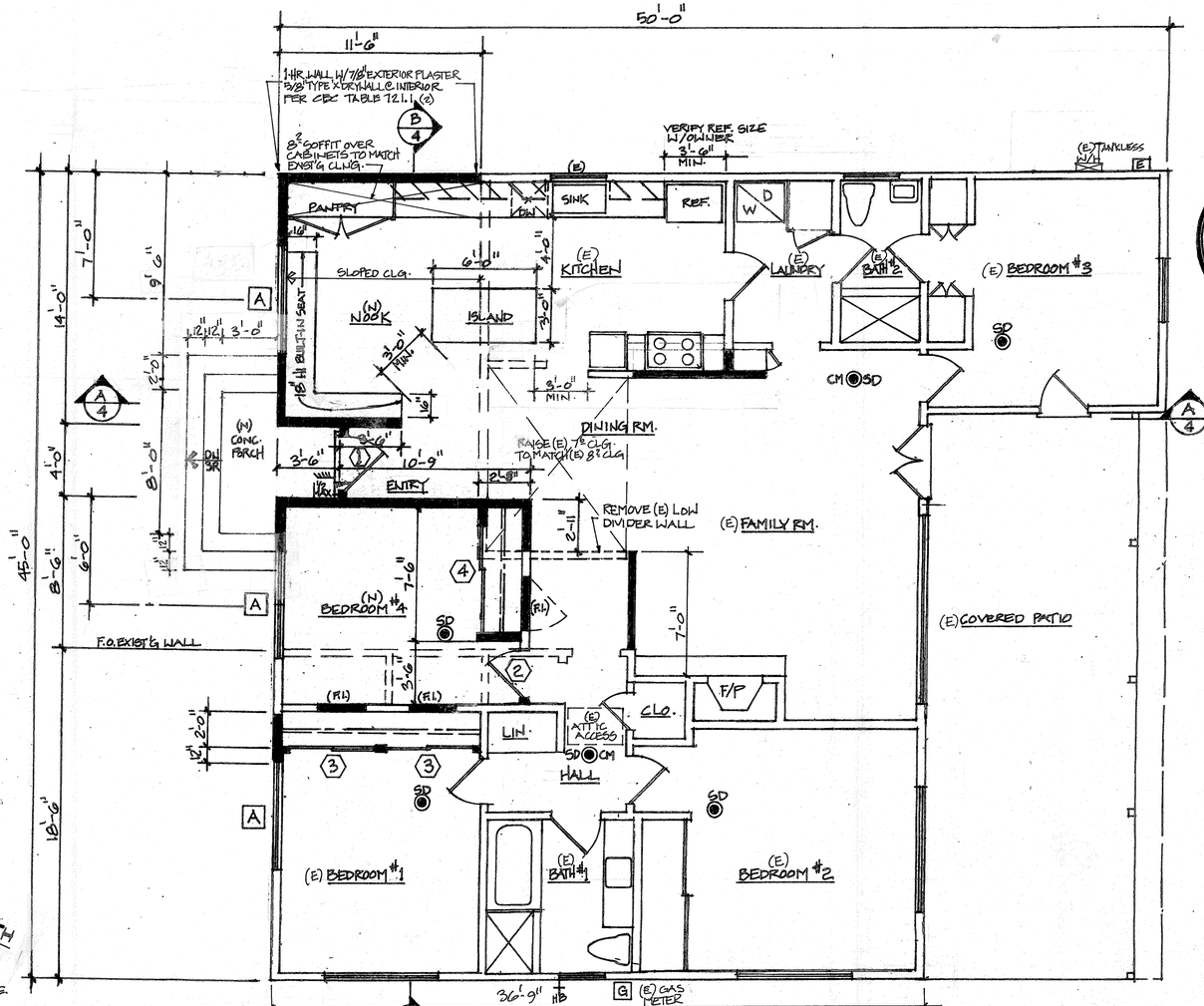
(E)	= EXISTING (F.I.) = FILL-IN (E) OPENING
((RE))	= REMOVE EXISTING DOOR OR WINDOW
S.B.O.	= SELECTED BY OWNER
T.M.E.	= TO MATCH EXISTING
D.S.	= DOWNSPOUT
	= EXISTING WALLS
	= NEW WALLS
	= DOOR OR WINDOW OPENING TO BE ENCLOSED
	= WALLS TO BE REMOVED., ARCHED OR CASED OPENING AS NOTED.
	= RETAINING WALLS
	= SOUND WALLS

NOTE: ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE (U.N.O.)

1. PROVIDE R-15 INSULATION @ ALL NEW EXTERIOR WALLS
2. EXIST'G AND (N) STUDS ARE 2x4 @ 16" O.C. U.N.O.



EXISTING FLOOR PLAN 1/4"



FLOOR PLAN 1/4"

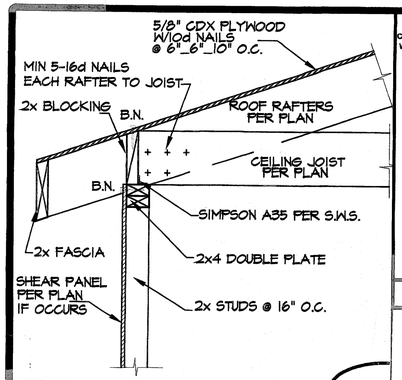
CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
by: Sara Darpinian, Assistant Planner
Project No.: 25-0001099
Date: 9/26/2025

DENSMORE RESIDENCE
1800 Karen Street Burbank, CA. 91504

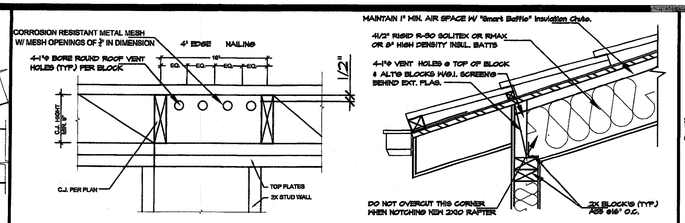
LICENSED ARCHITECT Douglas S. Humphries C-25559 3.31.2027 RENEWAL DATE STATE OF CALIFORNIA

DADA DESIGN & GRAPHICS
DOUGLAS S. HUMPHRIES #C-25559 Licensed Architect 91607
12122 Hartsook Street . . . Valley Village, California Fax (818) 506-5232
Office (818) 506-4919 DADdesign@netzero.net

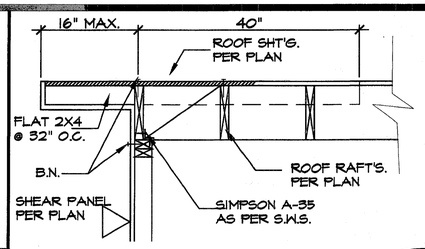
PLANS
CHECKED
DATE
SCALE NOTED
JOB NO. 777B
SHEET NO. 2
OF SHEETS



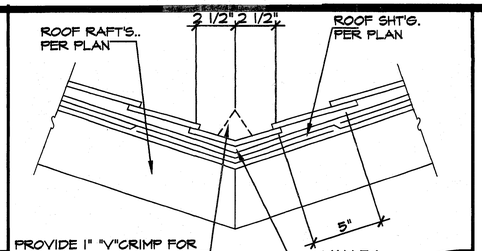
ROOF CONN. DETAIL RC



EAVE VENTILATION DETAIL EV



RAKE DETAIL RD



VALLEY FLASH DETAIL VF

ROOF SHEATHING NOTE

5/8" cdx T&G plywood w/8d nails @ 6" o.c. and 12" o.c. PI 32/16
Provide 'MFM' ALUMINUM FACED - SELF STICKING BITUTHENE MEMB.
Specified underlayment UNDER
a synthetic cross reinforced membrane.
Min. Class 'A' 30 year rated composition shingles to match existing
Certified Cool Roof by Rating Council SRI ≥ 16
CRC R902, R905, CBC 1505, 1507
Certainteed "Landmark Solaris" Shingle Roofing Selected by owner
ICC ES-ESR 1389 CRRC Product ID #_0668-0155 'GRAPHITE'
INITIAL SR=.21 /TE=.91/SRI=21
Installation Shall be in Accordance with Manufacturer's Specifications

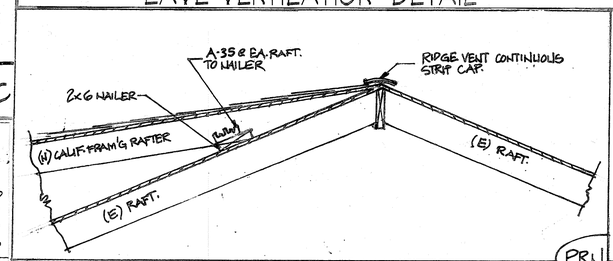
ATTIC VENTING CALCULATIONS

NFPA CALC'D FOR VENTS

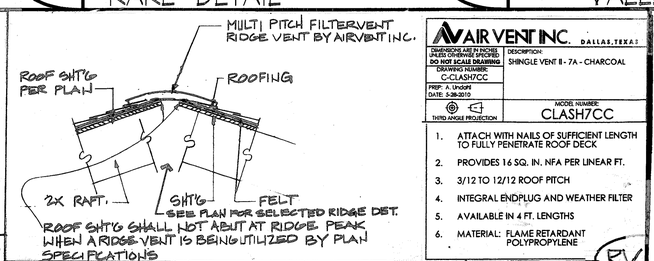
ATTIC AREA = 198 SF. ÷ 1:300 SF. VENT AREA REQUIRED

=16 SLOPED CLG. VENTS @ 0.1 SF. each = 1.6 SF. PROVIDED
= GABLE VENTS = SF. PROVIDED
= - ROOF VENT @ SF. EACH = SF. PROVIDED
= EAVE VENTS @ SF. EACH = SF. PROVIDED

TOTAL ATTIC VENTING = REQUIRED 1:52 SF. < 1.6 SF. PEOVIDED



PARALLEL RAFT. NAILER DET. PRN

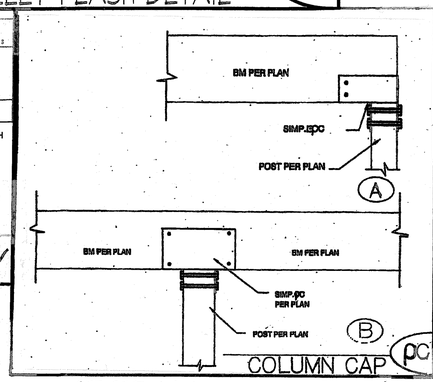


AIR VENT INC. DALLAS, TEXAS

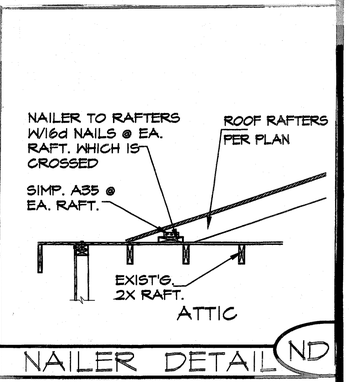
DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED DO NOT SCALE DRAWING	DESCRIPTION: SHINGLE VENT II - 7A - CHARCOAL
DRAWING NUMBER: C-CLASH7CC	
PREP: A. Lindahl DATE: 5-28-2010	
THIRD ANGLE PROJECTION	MODEL NUMBER: CLASH7CC

1. ATTACH WITH NAILS OF SUFFICIENT LENGTH TO FULLY PENETRATE ROOF DECK
2. PROVIDES 16 SQ. IN. NFA PER LINEAR FT.
3. 3/12 TO 12/12 ROOF PITCH
4. INTEGRAL ENDPLUG AND WEATHER FILTER
5. AVAILABLE IN 4 FT. LENGTHS
6. MATERIAL: FLAME RETARDANT POLYPROPYLENE

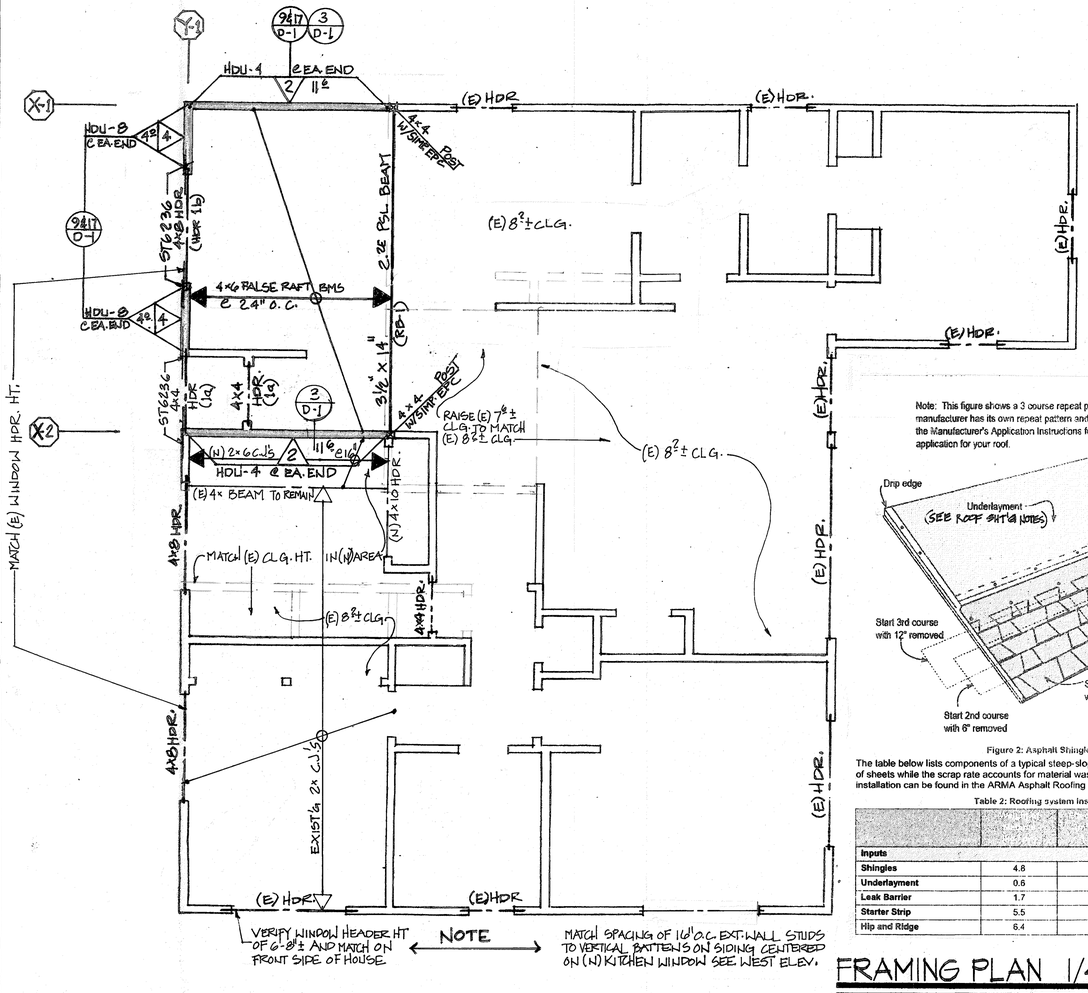
RV



COLUMN CAP PC

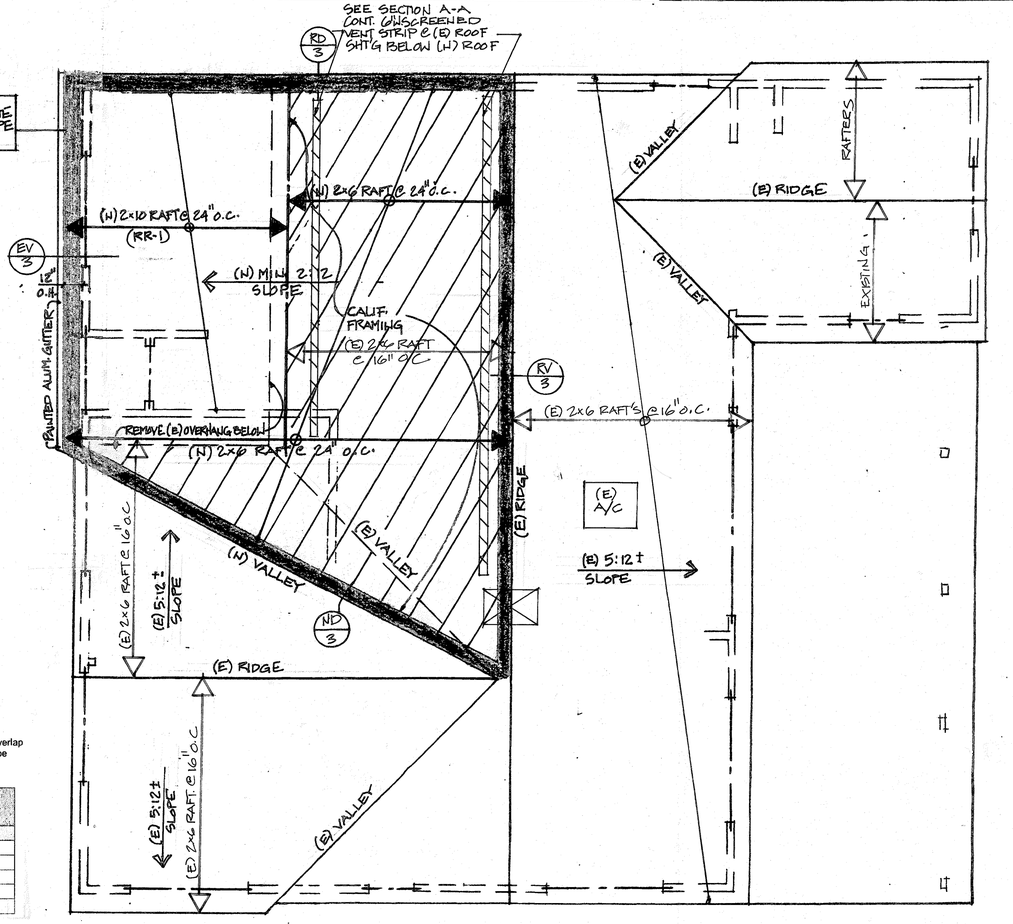


NAILER DETAIL ND



FRAMING PLAN 1/4"

NOTE: LOWER 9'-0" PLATE IF 2:12 MIN SLOPE CAN'T BE MET



ROOF PLAN 1/4"

Note: This figure shows a 3 course repeat pattern and offset. Each manufacturer has its own repeat pattern and offsets. Refer to the Manufacturer's Application Instructions for the correct application for your roof.

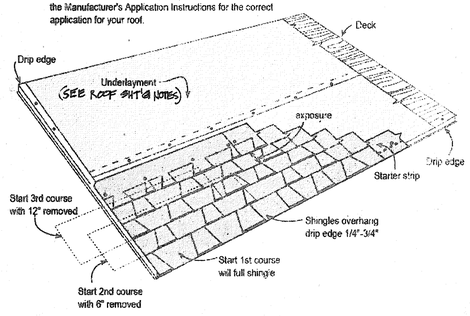


Figure 2: Asphalt Shingle roofing system installation detail

The table below lists components of a typical steep-slope system. The effective coverage includes the required overlap of sheets while the scrap rate accounts for material wasted during installation. More details on general steep-slope installation can be found in the ARMA Asphalt Roofing Residential Manual.

Table 2: Roofing system installation inputs and outputs, per 1 m²

Inputs				
Shingles	4.8	2.35	2%	11.5
Underlayment	0.6	1.08	0.25%	0.65
Leak Barrier	1.7	0.10	1%	0.17
Starter Strip	5.5	0.03	1%	0.17
Hip and Ridge	6.4	0.03	1%	0.19

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
by: Sara Durgahli, Assistant Planner
Date: 9/26/2025
Project No. 25-0001099

DENSMORE RESIDENCE
1800 Karen Street Burbank, CA. 91504

LICENSED ARCHITECT Douglas S. Humphries C-25559 3.31.2027 renewal date STATE OF CALIFORNIA DADA

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DOUGLAS S. HUMPHRIES #C-25559 Licensed Architect 91607
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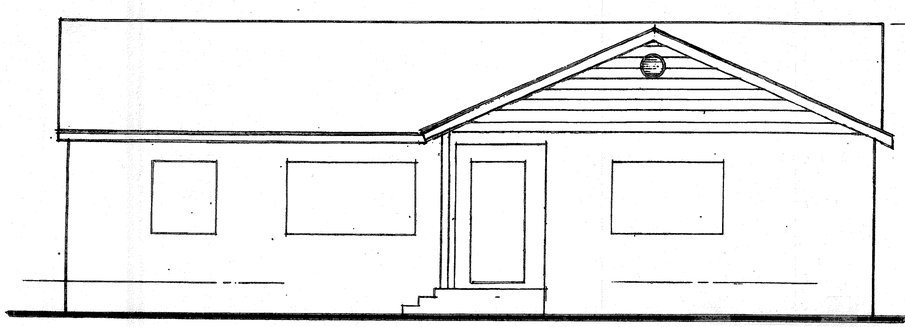
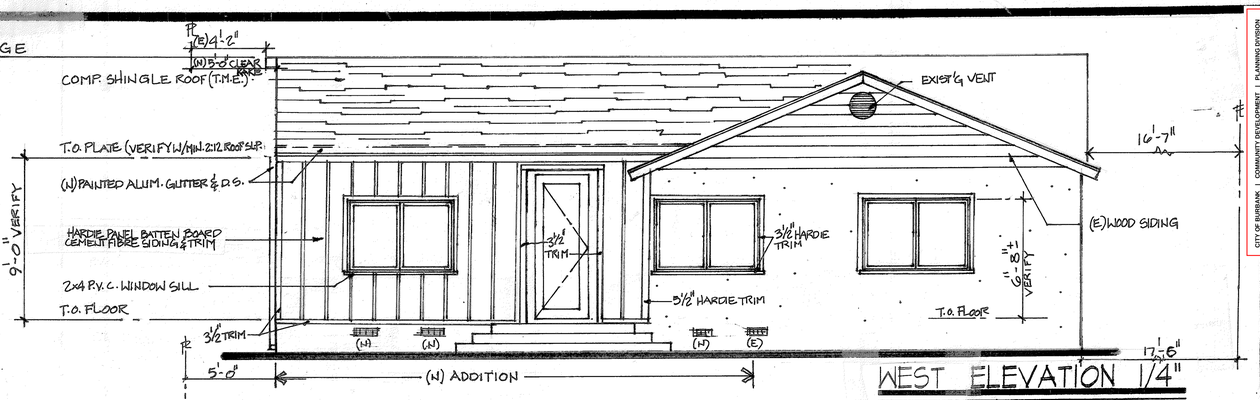
Office (818) 506-4919 DADAdesign@netzero.net Fax (818) 506-3232

DRAWN
CHECKED
DATE
SCALE NOTED
JOB NO 771 B
SHEET NO. 3
OF SHEETS

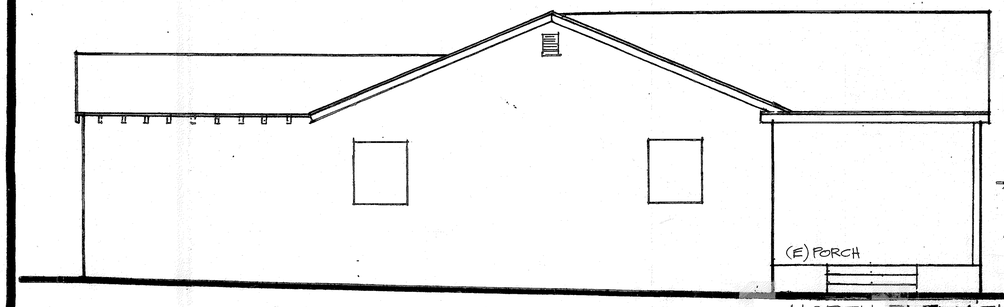


WEST ELEVATION 1/4"



WEST ELEVATION 1/4"

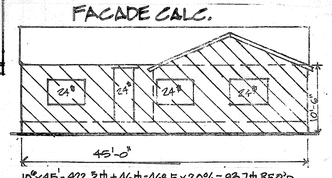
Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.



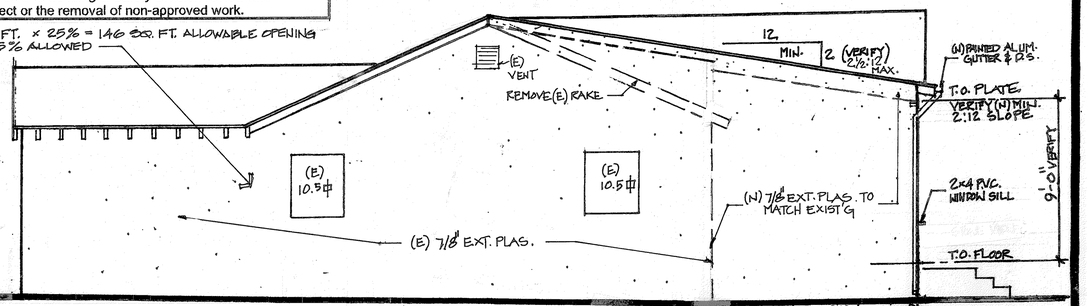
NORTH ELEVATION 1/4"

TOTAL NORTH WALL AREA = 584 SQ.FT. x 25% = 146 SQ. FT. ALLOWABLE OPENING
21 SQ. FT. OPENING = 3.6 % < 25% ALLOWED

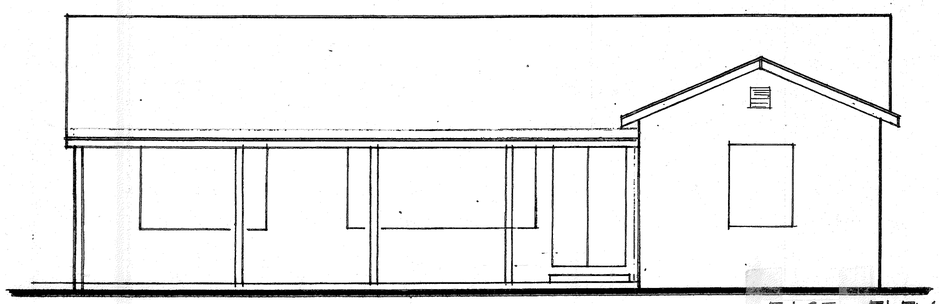
FACADE CALC.



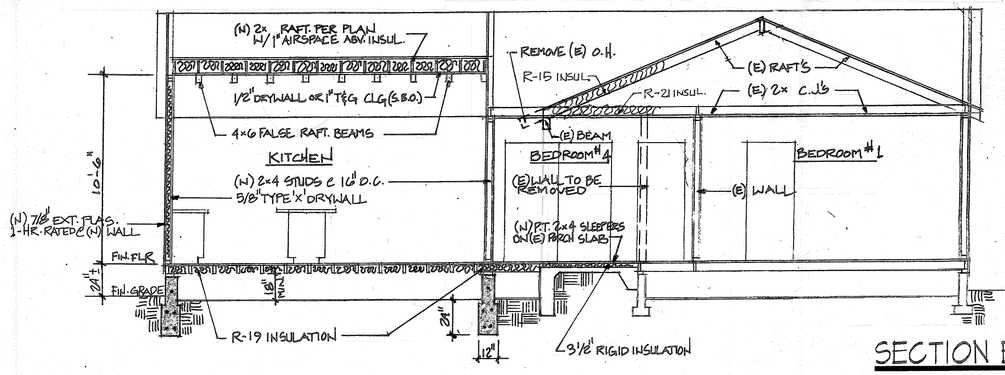
10'x45' = 422.5 ϕ + 46 ϕ = 468.5 x 20% = 93.7 ϕ REQ'D
4 x 24" = 96 ϕ > 93.7 REQ'D



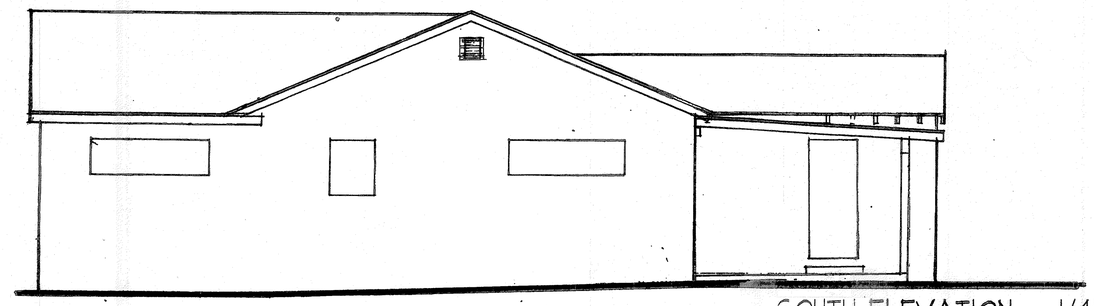
NORTH ELEVATION 1/4"



EAST ELEVATION 1/4"

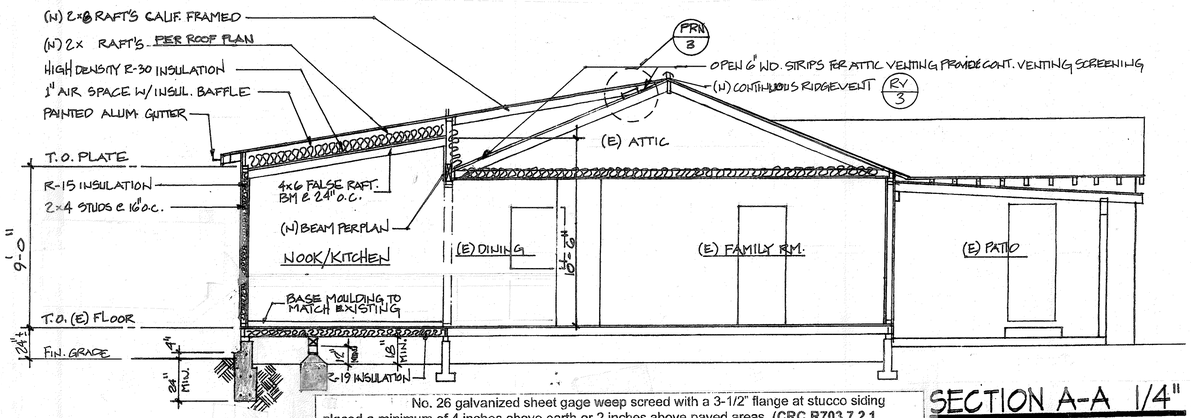


SECTION B-B 1/4"



SOUTH ELEVATION 1/4"

EXISTING ELEVATIONS



SECTION A-A 1/4"

No. 26 galvanized sheet gage weep screed with a 3-1/2" flange at stucco siding placed a minimum of 4 inches above earth or 2 inches above paved areas. (CRC R703.7.2.1, CBC 2512.12)

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
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Date: 9/26/2025
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DADA LICENSED ARCHITECT Douglas S. Humphries C-25559 5-31-27 RENEWAL DATE STATE OF CALIF.

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DRAWN
CHECKED
DATE
SCALE
JOB NO. 777 D
SHEET NO. 4
OF SHEETS

BUILDING DEPARTMENT REQUIRED STRUCTURAL NOTES

1. Plate washers are required for all hold downs
2. Hold-downs shall be re-tightened just prior to covering the wall-framing.
3. Foundation sills shall be pressure treated, or foundation grade Redwood.
4. If design includes reduced edge distance. Deputy inspection is required.
5. For buildings over 2-stories use 2 x 6 or 3 x 4 minimum size studs at 16" O.C. min. required for first story bearing walls.
6. Provide full height studs at gable end wallsfor vaulted ceiling room(s).
   - Walls with 12' studs or greater use min. 2 x 6 @ 16" O.C.
   - Walls with 20' studs or greater use min. 2 x 8 @ 16" O.C.
7. Bearing wall studs cannot be notched more than 25% of their width. Bored holes cannot have a diameter greater than 40% of the stud width.
8. Cripple walls exceeding 4' in height shall be framed of studs having the size required for an additional story.
9. The following applies to all shear walls with a shear value greater than 300 plf. These walls shall be clearly identified on the plans.

   Provide the following:
   a) 3x foundation still plates.
   b) 3x studs and blocks between adjacent panels.
   c) 1/2" edge distance for plywood boundary nailing..
   d) Stagger nails if nails spacing is less than 3" O.C.
   e) Square plate washers shall be used with all anchor bolts.
      5/8" bolt - 3" x 3" x 1/4 "
      3/4" bolt - 3" x 3" x 5/16"
      7/8" bolt - 3" x 3" x 5/16"
      1" bolt - 3.5" x 3.5" x 3/8"
10. All diaphragm and shear wall nailing shall utilize common nails or galvanized box type.
11. Stucco shear walls that utilize furring shall use galvanized nails (having a minimum 11 ga., 1-1/2" long, 7/16" diameter head, and furred out a min 1/4") to attach the lath of the studs. Staples shall not be used.
12. All bolt holes shall be drilled 1/32 to 1/16" oversized.
13. Lag Bolts and Wood Screws: Provide lead hole 40% to 70% of threaded shank dia. and full dia. for smooth shank portion. Soap, paraffin, or other approved lubrication shall be used on threads installation shall be by screwing not hammering. Care shall be taken to avoid over torquing bolt and screw.
14. Provide double joists under parallel bearing partitions.
15. Solid blocking shall be provided at all horizontal joints occurring in braced wall panels.
16. Material Specifications:
   - Soil: Type of soil and bearing value Per Table 1806.2
   - Plywood diaphragms: Product Standard PS 1-95, Douglas fir-Larch, Structural I (or CDX).
   - Particle Board: ANSI A208.1-1989. Moisture protection is required.
   - Wood Framing members: Grade and species of all lumber must be grade marked.
   - Glue Lam Beams: GLB must be fabricated in a licensed shop. Identify grade. Symbol and lamination species per CBC 2303.1.3
17. Field welding to be done by welders must be certified by the Building Department for (structural steel) (reinforcing steel) (light guage steel). Continuous inspection by deputy inspector is required.
18. Shop welds must be performed by a Bldg. Dept. licensed fabricator's shop.
19. Continuous inspection by deputy inspector is required for all concrete designed with fc greater than 2500 psi.
20. Welding of reinforced steel shall comply with RGA 3-77.
21. A Bldg. Dept. licensed fabricator is required for ____________ ________ on the plan.
22. Continuous inspection by deputy inspector is required for ________________ on the plan.
23. When half stresses are used and f'm is no more than 1500 psi for concrete masonry (2600 psi for clay masonry), a letter of certification from the supplier shall be required at the time of, or prior to, delivery of the materials to the job site to assure the materials comply.
24. Special inspection shall be provided for the following
   - Structural concrete;
   - Bolts installed in concrete;
   - Ductile moment-resisting concrete frame;
   - Reinforcing steel and prestressing steel;
   - Structural welding except where performed by approved fabricator.
25. Special inspection shall be provided for the following
   a) High Strength bolt installations and tightening operations;
   b) Structural masonry;
   c) Reinforced gypsum concrete;
   d) Insullating concrete fill.
26. No Ducts or Electrical Conduits shall be embedded in the concrete slab of fire rated floor or roof systems using steel deck with structural concrete fill.

Roof diaphragm nailing to be inspected before covering. Face grain of plywd shall be perpendicular to supports. Floor shall have tongue and groove or blocked panel edges. Plywood spans shall conform with the Code Table. 1/8" Gap at all Plywood Panel Edges Required.

Contractors responsible for the construction of a wind or seismic force resisting system/component listed in the "Statement of Special Inspection" shall submit a written statement of responsibility to the BS Inspectors and the owner prior to the commencement of work on such system or component.

Continuous Special Inspection by a registered deputy inspector is required for field welding, concrete strength fc > 2500 psi., high strength bolting, sprayed-on fireproofing, engineered masonry, high-lift grouting, pre-stressed concrete, high load diaphragms and special moment-resisting concrete frames.

Periodic Special Inspection is required for wood shear walls, shear panels, and diaphragms. Including nailing, bolting, anchoring and other fastening to components of the seismic force resisting system where the fastener spacing is < 4 inches on center.

Fasteners for preservative-treated or fire-retardant-treated wood shall be of hot dipped zinc-coated galvanized steel in accordance with ASTM A 153.

GENERAL FOUNDATION NOTES

1.) The concrete stem wall is not to be included in holdown anchor bolt embedment depth.
2.) Verify locations of all hardware to be placed in footings prior to pouring of concrete.
3.) Provide 5/8" Ø x 12" A.B.'s w/9"min. embedment in footing beginning within 12' of sill ends. as required by shear wall schedule on sheet # ◯ or at 48" o.c. max if not required to be less by schedule.
4.) Verify if expansive soil exists prior to to completion of footing excavations and placing of forms and reinforcing bars.
5.) Saturate the soil prior to pouring the new footings and/or slabs.
6.) Non-structural concrete slabs on grade to be 5" thick conc. w/6"x 6"- # 6x6 E.W.W.M. and #4 bars @ 16" O.C. EA. WAY over 15 mil.Vapor barrier membrane over 4" gravel.
7.) See notes on sheet # ◯ for more extensive specifications of concrete and steel reinforcing bar requirements.
8.) Details drawn specific to this project take precedence over general details which may be included in this set of drawings.
9.) CONCRETE SLAB CAPILLARY BREAK NOTE: A Vapor Barrier shall be provided in direct contact with Concrete for proposed Concrete Slab on grade construction & between wood sleepers applied on top of existing slabs where it occurs. (Min. 15 mil. Polyethylene memb.)
10.) New Interior Concrete Slabs shall have a 4" thick base of 1/2" or larger clean aggregate under min. 15 mil.Polyethylene Membrane. See Concrete Slab details.
11.) Hold-down connector bolts into wood framing require approved plate washers; and hold-downs shall be finger tight and ? wrench turn tightened just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers Hold-down hardware must be secured in place prior to Foundation Inspection.
12.) Protection of wood and wood based products from decay shall be provided in the locations specified per code by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product. preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.

GENERAL FRAMING NOTES

1.) ▽ = Required Shear paneled walls (see sheet # ◯ for shear wall schedule)
2.) All framing hardware callouts (connectors., hangers,straps, anchors,. etc...) Are to be "Simpson strong-tie" or equal equivalent approved alternate.
3.) All holdowns at new applications are to have a min. 4x4 post where manufacturer's. requirements may be only 2x4.
4.) All holdowns at existing applications are to have a min. 4x4 post where possible without unreasonable installation difficulty, but may not be less than 2x4 and not less than 4x4 in any case for HDU-8 or greater. For holdowns anchored to postslarger than 4x4 see plan.
5.) All beams, headers, and girders 4x10 or larger to be min. Douglas fir # 1 noted otherwise.
6.) See notes on sheet # ◯ for more extensive specifications of framing lumber and structural steel requirements.
7.) Abbreviations: MODIF. = modified connector hardware. ABV. = above. SIM. =similar to specified detail (plans supercede general details) (E.) =existing. PST. = post. BOTT. = bottom of referenced member. CONT. = continuous. TO. = top of.
8.) For shear walls 300lb. or greater on a concrete slab use 3x treated sill plate.
9.) Provide 1/2" cdx plywood w/8d nails @ 6" o.c. and 12" o.c. at all exterior walls where no shear panel is required.
10.) All beams to have min. 4x4 post with at least one dimension equal to beam width where no "call-out" is indicated on the plan.
11.) All post to beam connections shall have Simp. 'CC' or 'ECC' caps as appropriate at top or bottom (when used as king post) and Simp.128T (if no CB., HD or strap specified) at bottom plate connection if not indicated at "call-out" or keyed to detail reference.
12.) Draft stops shall be provided within a concealed floor ceiling assembly formed of combustible construction.

STRUCTURAL NOTES & NOTE BLOCKS

☐ **FOUNDATION NOTES:**
1. Concrete strength for foundations shall be 2,500 psi min.
2. Minimum footing reinforcement shall be two #4 bar top and bottom.
3. Minimum anchor bolt size and spacing shall be 5/8" dia. AB @ 72" oc., with 7" embedment, and 3" x 3" x ¼" plate washers. Anchor bolts shall be located a maximum of 12" and 4 1/2" minimum from the end of the plate.

☐ **STRUCTURAL OBSERVATION**
Firm or individual responsible for the structural observation:
Name: ____________ Calif. Reg: ____________

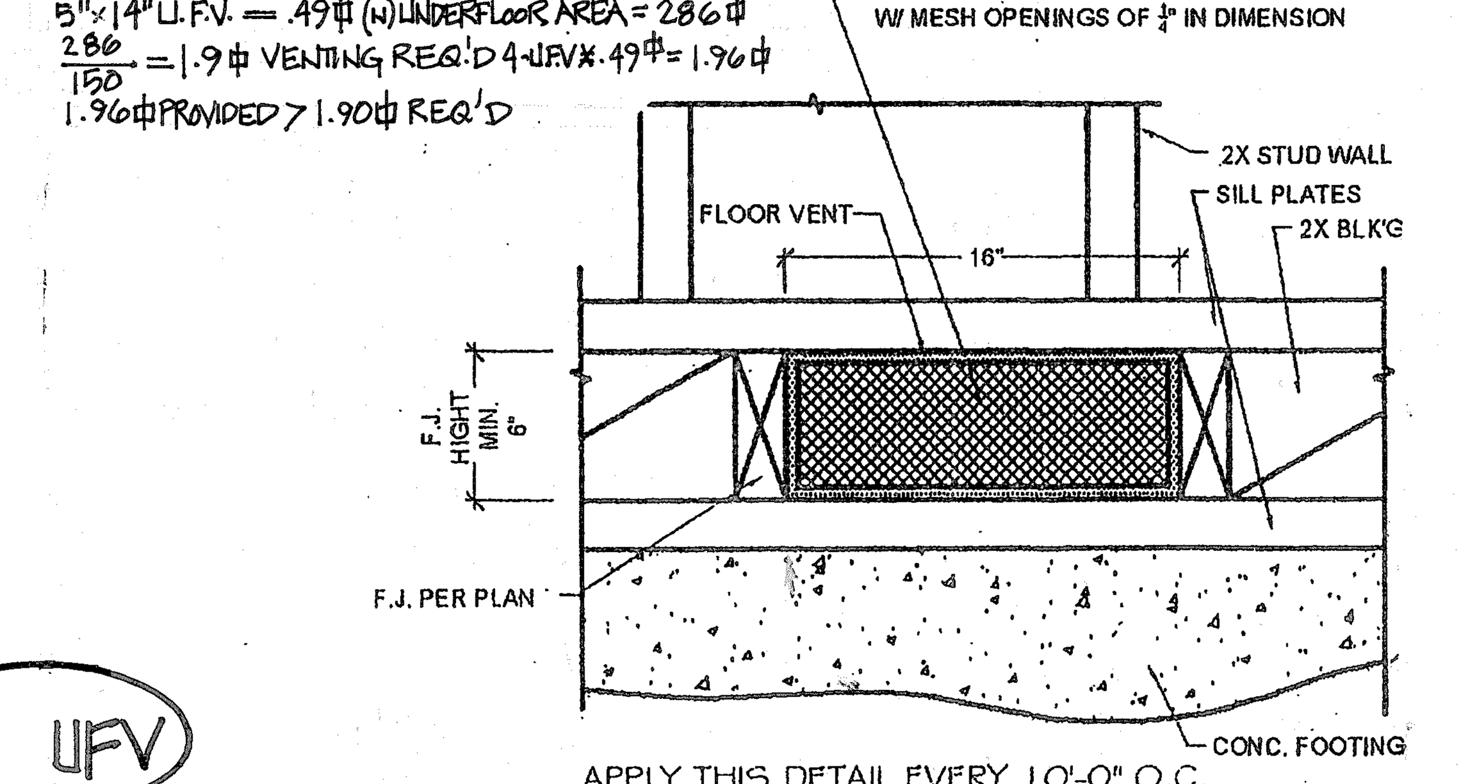
	FOUNDATION		WALLS & WALL FRAMING		OTHER STRUCTURAL MEMBERS		ROOF AND FLOOR DIAPHRAGM
	Footings, Stem Walls, Piers		Concrete Wall		Steel Moment Frame		Concrete
	Pad Footings		Masonry Wall		Steel Braced Frame		Steel Deck
	Slab		Wood Wall & Shear Wall		Concrete Moment Frame		Wood
	Caisson, Piles, Grade Beams		Wood Structural Beams & Members		Masonry Wall Frame		Other
	Stepped Footing, Hillside		Other		Other		Other

☐ SPECIAL INSPECTION

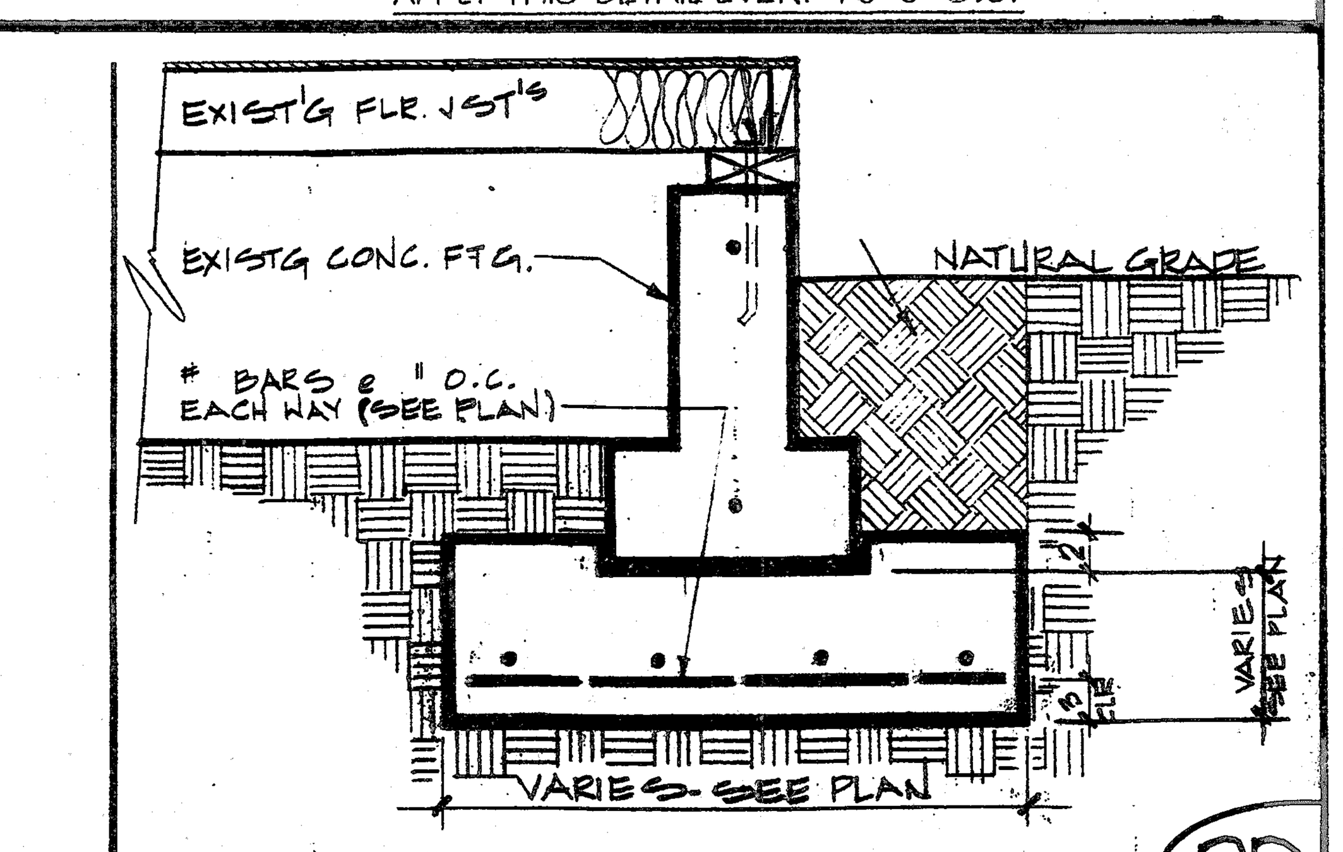
	ITEMS	
	Concrete over 2,500 psi	
	Bolts installed in Concrete	
	Special Moment -Resisting Concrete Frame	
	Reinforcing Steel and Steel Tendons	
	Structural Welding	
	High-strength Bolting	
	Structural Masonry	
	Reinforced Gypsum Concrete	
	Insulating Concrete Fill	
	Spray-Applied Fire Resistive Materials	
	Piling, Piers, and Caissons	
	Shotcrete	
	Special Grading, Excavation, and Fill	
	Smoke-Control System	
	Other	

UNDER FLOOR VENT (U.F.V.) CALC'S

5"x14" U.F.V. = .49 ⊄ (N) UNDERFLOOR AREA = 286 ⊄
286/150 = 1.9 ⊄ VENTING REQ'D 4-U.F.V. x .49 ⊄ = 1.96 ⊄
1.96 ⊄ PROVIDED > 1.90 ⊄ REQ'D



APPLY THIS DETAIL EVERY 10'-0" O.C.



CONC. PAD UNDERPIN'G AT RAISED FLR.

SHEARWALL SCHEDULE

X — LENGTH OF SHEAR WALL IN FEET
X — TYPE OF SHEAR WALL PER TABLE BELOW

(PLEASE READ ALL NOTES BELOW)

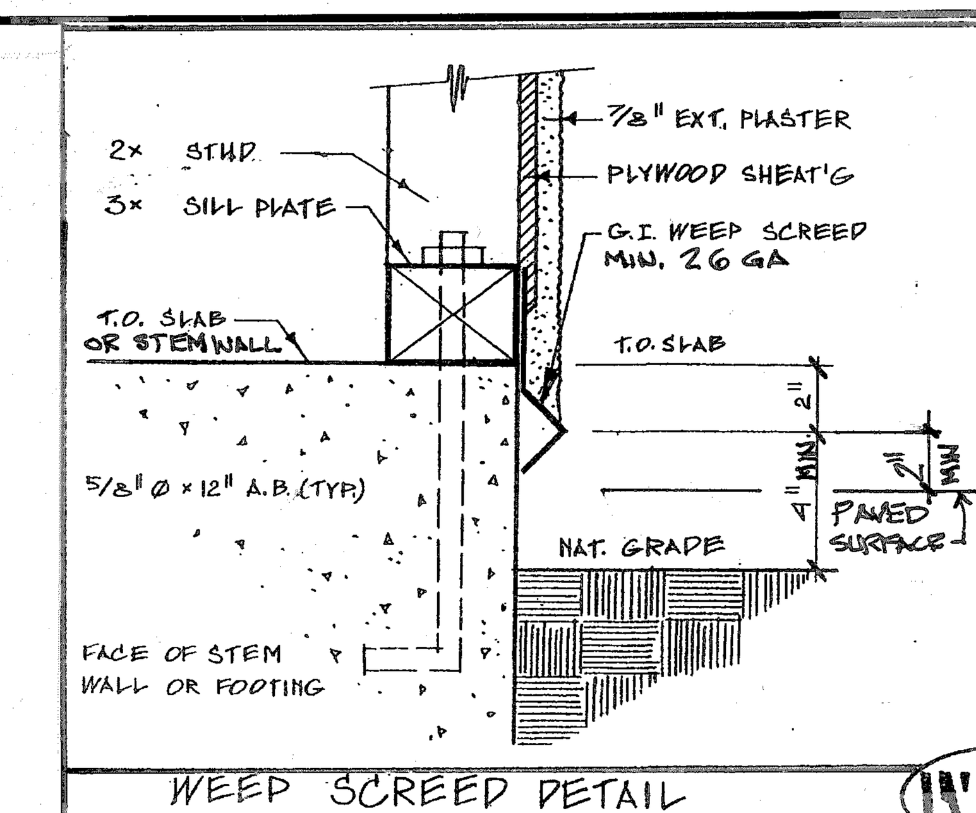
TYPE	PLYWOOD (4-PLY) SEE NOTE: (1)	PLYWOOD NAILING SEE NOTE: (2)	ANCHOR BOLT & SILL PLATE TO FTG SEE NOTE: (3)	LAG BOLT & SILL PLATE 2ND FLR. & RAISED FTG. SEE NOTE:(4)	FLOOR PLATE NAILING, LAG BOLTS	VERTICAL HOLDDOWNS @ FLR. & RAISED FTG. OR AT CONC. LEVEL	FRAMING ANCHORS @ FLR. & ROOF OR @ BLK'G.	CAPACITY: STRUCTURAL-I PLYWOOD SEE NOTES (5, 4)	CAPACITY: OSB PLYWOOD SEE NOTES (5, 4)	STRAPS (JOISTS STRAPS @ FLOOR AS AN ALTERNATE)	NOTES SEE BELOW
1	1/2" STRUC-I PLYWOOD ONE SIDE	10d COMMON @ 6" EDGE 12" FIELD	5/8" @ 48" 2XPL	16d NAIL @4" O.C. 2 X PL	⅝" Φ X 8" @ 24" O.C.	HDU2 W/ 4X4 MIN.	LTP5 OR A35 @ 24" O.C.	280 (#/LF)	230 (#/LF)	MST48	(8)
2	1/2" STRUC-I PLYWOOD ONE SIDE	10d COMMON @ 4" EDGE 12" FIELD	5/8" @36" 3XPL	⅝" L.B. X 6" LONG @12" 3X PL. PRE DRILLED	⅝" Φ X 8" @ 16" O.C.	HDU4 W/ 4X4 MIN.	LTP5 OR A35 @ 16" O.C.	430 (#/LF)	345 (#/LF)	MST72	(3),(9),(12),(7)
3	1/2" STRUC-I PLYWOOD ONE SIDE	10d COMMON @ 3" EDGE 12" FIELD	5/8" @30" 3XPL	⅝" L.B. X 6" LONG @12" 3 X PL. PRE DRILLED	⅝" Φ X 8" @ 12" O.C.	HDU5 W/ 4X4 MIN.	LTP5 OR A35 @ 12" O.C.	550 (#/LF)	450 (#/LF)	2-MST48	(3),(9),(12),(7)
4	1/2" STRUC-I PLYWOOD ONE SIDE	10d COMMON @ 2" EDGE 12" FIELD	5/8" @24" 3XPL	⅝" L.B. X 6" LONG @8" 3 X PL. PRE DRILLED	⅝" Φ X 8" @ 8" O.C. 3X BLK'G.	HDU8 W/ 4X8 MIN.	LTP5 OR A35 @ 8" O.C.	730 (#/LF)	580 (#/LF)	2-MST60	(3),(6),(7),(9)
5	1/2" STRUC-I PLYWOOD TWO SIDE	10d COMMON @ 4" EDGE 12" FIELD	5/8"@18" 3XPL	⅝" L.B. X 6" LONG @8" 3 X PL. PRE DRILLED	⅝" Φ X 8" @ 6" O.C. 3X BLK'G.	HDU8 W/ 4X8 MIN.	LTP5 OR A35 @ 8" O.C.	860 (#/LF)	690 (#/LF)	2-MST72	(3),(6),(7),(9)
6	1/2" STRUC-I PLYWOOD TWO SIDE	10d COMMON @ 3" EDGE 12" FIELD	5/8"@16" 3XPL	⅝" L.B. X 6" LONG @6" 3 X PL. PRE DRILLED	⅝" Φ X 8" @ 4" O.C. 3X BLK'G.	HDU11 W/ 4X8 MIN.	LTP5 OR A35 @ 6" O.C.	1100 (#/LF)	900 (#/LF)	3-MST60	(3),(6),(7),(9)
7	1/2" STRUC-I PLYWOOD TWO SIDE	10d COMMON @ 2" EDGE 12" FIELD	5/8" @12" 3XPL	⅝" L.B. X 6" LONG @4" 3 X PL. PRE DRILLED	⅝" Φ X 8" @ 3" O.C. 3X BLK'G.	HDU14 W/ 6X6 MIN.	LTP5 OR A35 @ 4" O.C.	1460 (#/LF)	160 (#/LF)	4-MST72	(3),(6),(7),(9)
CDX (3-PLY)											
0	1/2" OR 5/8" CDX PLYWD. ONE SIDE	10d COMMON @ 6" EDGE 12" FIELD	⅝" @48" 2XPL	16d NAIL @4" O.C. 2XPL			LTP5 OR A35 @ 16" O.C.	200 (#/LF)	200 (#/LF)		(8)

NOTE: SHEARWALL PANEL OSB STRUCTURAL ONE CAN BE USED IN LIEU OF ½" STRUCTURAL ONE BASE ON LOADING.

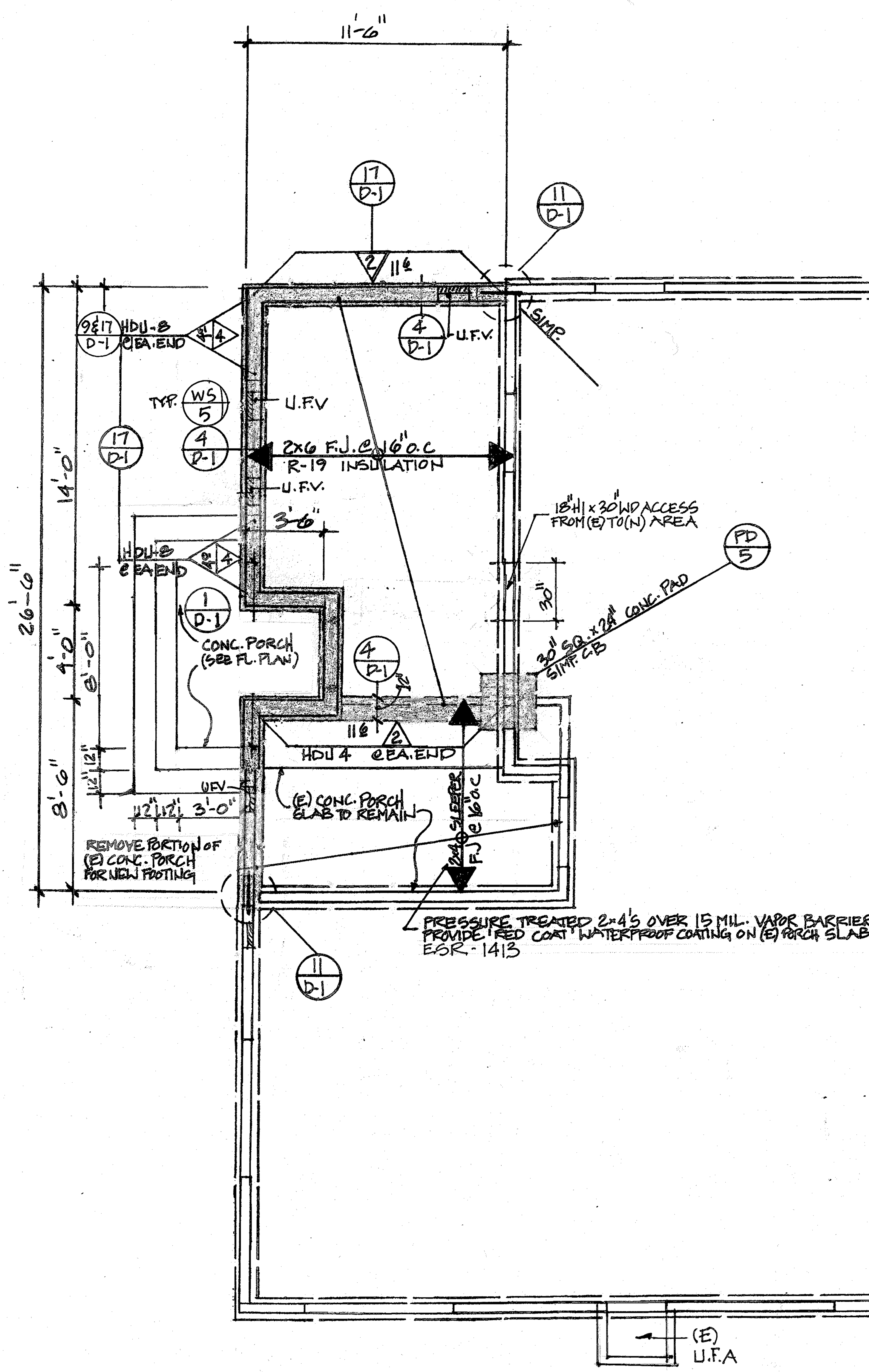
1- USE EXTERIOR GRADE PLYWOOD FOR EXTERIOR SHEAR WALLS.
2- INCHES ON CENTER @BOUNDARIES: EDGES: FIELD (½" EDGE DISTANCE FOR PLYWOOD BOUNDARY NAIL'G) & ½" FROM THE EDGE OF CONNECTING MEM.
3- 5/8"Φ A.B. 12" LONG W/10" EMBEDMENT OR 4" (MIN) INTO FIRST POUR OF TWO POUR FOUNDATION SLAB SYSTEM. (SEE NEXT LINE FOR PLATE WASHER) (A-5/8"Φ A.B. 1/4" X 3"X 3"); (B-3/4"Φ A.B. ⁵⁄₁₆" X 3"X 3"); (C-7/8"Φ A.B. ⁵⁄₁₆" X 3"X 3") (D- 1"Φ A.B. ⅜" X 3½" X 3½")
4- SILL TO WOOD FLOOR ASSEMBLY ON RAISED FTN. OR MULTISTORY COMMON NAILS OR ⅝"Φ LAG X 6" LONG @ INCHES ON CENTER. (PRE-DRILLED)
5- POUNDS PER LINEAR FOOT OF SHEAR WALL.
6- STUDS SHALL BE PLACED @16" O.C. MAXIMUM. USE 2X6 STUDS FOR WALLS OVER 10'-0". (BEARING WALLS)
7- STUDS, SILL AND TOP PLATE SHALL BE 3". (NOM.) OR WIDER AND NAILS SHALL BE STAGGERED. LAG SCREWS SHALL BE PRE-DRILLED. (FOR SHEAR WALL #2 TO #7)
8- 11 gd GALV. NAILS. 1.5L, ⁷⁄₁₆" DIAM. HEAD W/LATH FURRED ¼"
9- ALL SHEAR WALLS EXCEEDING 300 POUNDS PER LINEAR FOOT (PLF) REQUIRE 3 X SILLS AND STUDS AT THE PANEL EDGES & BLOCKS BETWEEN ADJ. PANELS OWNER SHALL EMPLOY ENGINEER OF RECORD OR (LICENSED REPRESENTATIVE) TO REVIEW THE CONSTRUCTION IN QUESTION FOR GENERAL CONFORMANCE TO THE PLANS PER NOTES 1-4 (ATTACHED IF APPLIES). FOR MAY BE SPLICED ON USING 16D NAILS, AND THE SAME SPACING AS THE SHEAR WALL PANEL EDGE. THE EDGE NAILING SHALL BE STAGGERED ACROSS THE 2-2X STUDS AND SILL.
10- ONLY COMMON NAILS W/FULL HEADS CAN BE USED ANY SUBSTITUTION REQUIRES A MODIFICATION FOR ALTERNATE METHOD OF CONSTRUCTION AND A STRUCTURAL ANALYSIS TO SUPPORT THE SUBSTITUTION (E.G. BOX/SINKER NAILS OR SCREWS).
11- THE MAXIMUM ALLOWABLE SHEAR FOR 3-PLY PLYWOOD IS 200 PLF.
12- PREDRILLED HOLE DIAM. SHALL NOT EXCEED 70% OF NAIL DIAM.
13- REDUCED DESIGN LOADS ARE USED FOR THIS SCHEDULE.

FLOOR SHEATHING NOTE

Subfloor to be ¾" T&G underlayment grade plywood w/ PL 400 or equiv. glue and use 10d ring shanked nails @ 6"o.c. and 10" o.c. Pl 48/24



WEEP SCREED DETAIL



FOUNDATION PLAN 1/4"

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
by: Sara Durghalli, Assistant Planner
Project No. 25-0001099 Date: 8/26/2025

DENSMORE RESIDENCE
1800 Karen Street Burbank, CA. 91504

LICENSED ARCHITECT Douglas S. Humphries C-25559 3.31.2027 renewal date STATE OF CALIFORNIA

DADA DESIGN & GRAPHICS
DOUGLAS S. HUMPHRIES Licensed Architect
12122 Hartsook Street Valley Village, California 91607
Office (818) 506-4919 DADAdesign@netzero.net Fax (818) 506-3232

DRAWN: W.M.
CHECKED: D.H.
DATE: APRIL/2024
SCALE: NOTED
JOB NO: 771 B
SHEET NO: 5

✓ ELECTRICAL NOTES per 2022 California Electrical Code

A. **PANEL LOCATIONS**
Panels shall not be located in the vicinity of easily ignitable material, such as clothes closets [CEC 240-24(D)], or in bathrooms [CEC 240-24(E)].

B. **NON-METTALIC SHEATHED CABLE [CEC 334]**
Non-metallic sheathed cable shall be:
1. Protected by rigid metal conduit, intermediate metal conduit, electrical metallic tubing, schedule 80 PVC conduit, type RTRC marked with the suffix -XW, or other means when cable is exposed or subject to physical damage. [CEC 334.15(B)]
2. Protected by a 1/16-inch steel plate or sleeve or be not less than 1-1/4 inch from the nearest edge of the framing member, when installed through framing members. Steel plates or sleeves are required on all double shear walls when cable is installed either through or parallel to framing members [CEC 334.17, 300.4].
3. Protected by guard strips within 6 feet of an attic access when no permanent stairs or ladders are provided [CEC 334.23, 320.23].
4. Protected by guard strips in the entire attic when permanent stairs or ladders are provided. Access panels or doors from the second floor into the attic are considered permanent access and guard strips are required in the entire attic [CEC 320.23].
5. Have a bending radius not less than 5 times the diameter of the cable [CEC 334.24]
6. Supported at intervals not exceeding 4-1/2 feet and within 12" of every outlet box, junction box, cabinet, or fitting [CEC 334.30].

C. **CIRCUITS AND RECEPTACLES**
1. Tamper-Resistant Receptacles shall be installed as specified in dwelling units in all areas specified in 210.52 and 550.13. [CEC 406.12]
2. Receptacles shall be installed so that no point along the floor line in any wall space is more than 6 ft. from an outlet, including any wall space 2 ft. wide or greater. Note: A fixed panel of a sliding glass door is considered wall space. [CEC 210.52(A)].
3. In kitchens, breakfast rooms, pantries and dining rooms a minimum of 2-20A circuits shall be provided [CEC 210.11(C)(1)]. Counter space receptacles shall be GFCI [CEC 210.8(A)] and installed:
   - At each wall counter space that is 12 in. or greater [CEC 210.52(C)] ;
   - Maximum 24 in. from the end of the counter [CEC 210.52 (C)(2(a)];
   - Maximum 20 in. above counter surface [CEC 210.52) (C)(3(1)];
   - Below countertop or works surfaces (one receptacle min.) not more than 12 in. below counter surface [CEC 210.52 (C)(3(3)];
4. Bathrooms shall have a separate 20A circuit [CEC 210.11(C)(3)] with at least one GFCI wall receptacle within 36 in. of each basin [CEC 210.8(A)(1); CEC 210.52(D)].
5. Laundry rooms shall have a separate 20A circuit with at least one receptacle shall be provided [CEC 210.11(C)(2)]. All receptacles within 6 ft. of the sink shall be GFCI [CEC 210.8(A)(7)].
6. In garages, at least one GFCI receptacle shall be provided [CEC 210.52(G)]. All other garage receptacles except those dedicated to an appliance or that are not readily accessible shall be GFCI. [CEC 210.8(A)(2)].
7. In hallways of 10 ft. or more in length, at least one receptacle shall be provided [CEC 210.52(H)]
8. Outdoor outlets shall be GFCI [CEC 210.8(A)(3)]. One outlet shall be installed at the front of the dwelling and one at the rear of the dwelling. Balconies, decks, and porches that are attached to the dwelling unit and are accessible from inside the dwelling unit shall have at least one outlet. Receptacles shall be accessible at grade level and not more than 6-1/2 ft. above grade or walking surface [CEC 210.52(E)].
9. All crawl space receptacles shall be GFCI [CEC 210.8(A)(4)].
10. All unfinished basement receptacles shall be GFCI unless they are not readily accessible or are service a dedicated appliance [CEC 210.8(A)(5)].
11. All receptacles within 6 ft. of a wet bar shall be GFCI [CEC 210.8(A)(7)].
12. All receptacles on 15A or 20A branch circuits that supply kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways laundry areas or similar rooms or areas shall be protected by combination-type Arc-Fault Circuit Interrupters (AFCI), including switched outlets [CEC 210.12(A)].
13. All receptacles serving appliances or motors with a rating of 1 HP or 6 Amps shall be on a separate circuit.
14. For HVAC equipment, a separate 15A or 20A circuit with an accessible receptacle at the equipment shall be provided within 25 ft. of the equipment [CEC 210.63]. If located in an under-floor area, the receptacle shall be GFCI [CEC 210.8(4)].
15. Basements, Garages and Accessory Buildings. For a one-family dwelling, at least one receptacle outlet shall be installed in the areas specified in 210.52(G)(1) through (3)' These receptacles shall be in addition to receptacles required for specific equipment. [CEC210.52]
    (1) Garages. In each attached garage and in each detached garage with electrical power. The branch circuit supplying this receptacle(s) shall not supply outlets outside of the garage. At least one receptacle outlet shall be installed for each car space.
    (2) Accessory Buildings. In each accessory building with electric power.
    (3) Basement. In each separate unfinished portion of a basement

D. **LIGHTING [CEC 210.70]**
1. Switched lighting shall be installed in:
   - Every habitable room, kitchen, and bathroom, hallways, and stairways at each level,
   - Garages,
   - At all outdoor entrances and exits,
   - In all attics, under floor areas, utility rooms and basements used for storage
   - Near HVAC equipment in attic, under floor areas, rooms or basements, with a switch at the access point.
2. Lighting installed in a closet shall be a surface mounted or recessed fluorescent fixture or a surface mounted incandescent fixture with completely enclosed lamps or recessed incandescent fixture with completely enclosed lamps. Surface incandescent lighting shall be installed a minimum of 12 in. from the nearest point of a storage space. Surface fluorescent lighting and recessed lighting shall be installed a minimum of 6 in. from the nearest point of a storage space. [CEC 410.16(C)]

E. **FANS**
Each bathroom containing a bathtub, shower, or bathtub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with the California Mechanical Code and the California Green Building Standards Code.

F. **SMOKE ALARMS**
In new construction, smoke alarms shall receive their primary power from the building wiring. The wiring shall be permanent and installed without a disconnecting switch other than those required for overcurrent protection [CRC R314.4, CBC 907.2.10.5].

ELECTRICAL SYMBOLS

- = ELECTRIC GARAGE DOOR OPENER W/LIGHT
- = ELECTRIC CEILING FAN (L) =W/LIGHT KIT
- = WALL MOUNTED LIGHT
- = CEIL'G. INCANDESCENT OR FLUORESCENT LIGHT
- = WALL BRAKET INCAND.
- = FLUSH CEIL'G INCAND.
- = FLUSH WALL WASHER
- = FLUSH EYEBALL
- = 2- TUBE FLUORESCENT
- = TRACK LIGHT
- = EXISTING LIGHT
- = DUPLEX OUTLET
- = QUADRAPLEX OUTLET
- = 1/2 HOT OUTLET
- = 220 VOLT OUTLET
- = FLOOR OUTLET
- = WEATHERPROOF OUTLET W/G.F.I. OUTLET
- = G.F.I. OUTLET
- = HIDDEN OUTLET
- = EXISTING OUTLET
- = SWITCH
- = SWITCH W/DIMMER
- = THREE WAY SWITCH.
- = EXISTING SWITCH
- = LOW- VOLTAGE SWITCH
- = TELEPHONE JACK
- = TELEVISION JACK
- = DOORBELL PUSHBUTTON
- = DOOR CHIMES
- = 5-MIN. AIR EXCH. FAN
- = JUNCTION BOX
- = HEATER, CEILING
- = COMBO FAN & HEATER
- = COMBO HEATER & LIGHT
- = COMBO FAN & LIGHT
- = COMBO FAN, LIGHT, & HEATER
- = SMOKE DETECTOR
- = COMMUNICATION PANEL
- = SECURITY PANEL
- = STEREO SPEAKER (FLUSH MOUNT / WALL MOUNT)

SPECIAL PURPOSE OUTLETS

TYPICAL SYMBOL WITH LETTER INDICATING EQUIPMENT AS NOTED BELOW

AC	AC/HEATER	M	MICROWAVE OVEN
C	COMPACTOR	O	OVEN
CM	COFFEE MAKER	P	PUMP
CT	COOK TOP	PO	POOL EQUIPMENT
D	DRYER	R	REFRIGERATOR
DIS	DISPOSER	R	RANGE
DW	DISHWASHER	SU	STEAM UNIT
HW	INSTANT HOT WATER	TD	TOWEL DRYER
I	IRON	W	WASHER
IM	ICE MAKER	WD	WARMING DRAWER
IR	INFRA-RED WARMER	WH	WATER HEATER
IW	ICE WATER UNIT	WP	WHIRPOOL JACUZZI

NOTE: VERIFY EQUIPMENT REQUIRING 220V.

NOTE ON PLAN:

☐ 100% of the luminaries in a kitchen must be high efficacy.

In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.

Bedrooms, living rooms, family rooms, and other rooms used for living and sleeping must have high efficacy lighting, and may require an occupant sensor with a manual-on/auto-off feature, or dimmers.

Exterior lighting must be high efficacy, a photocell and motion sensor may be installed.

TITLE 24 RESIDENTIAL LIGHTING STANDARDS

Permanently installed luminaires that have plug-in or hardwired connections for electric power must comply with the mandatory energy requirements summarized below:

ROOM	% HIGH EFFICACY 1,2	OPTIONS
KITCHEN	100%3	
CABINET LIGHTING	100%	Under-cabinet lighting shall be switched separately from other lighting.
BATHROOM	100%	Vacancy Sensor4
GARAGE	100%	Vacancy Sensor4
LAUNDRY ROOMS	100%	Vacancy Sensor4
UTILITY ROOMS	100%	Vacancy Sensor4
CLOSETS > 70 SF	100%	Vacancy Sensor4
ALL OTHER ROOMS5	100%	Vacancy Sensor4 or Dimmer
EXTERIOR6	100%	Controlled by manual on/off switch and one of the following: motion sensor, photo control and automatic time switch control, astronomical time clock, or EMCS7

1. High efficacy lighting contains pin-based sockets and includes fluorescent with electronic ballasts, metal halide, high pressure sodium, and certified LED lighting.
2. Luminaires recessed into insulated ceilings must be approved for zero clearance insulation contact (IC) and rated and labeled as air tight (AT).
3. 100% of the total lighting wattage (based on the max. lamp rating) in a kitchen is required to be high efficacy.
4. All Occupant Sensors Control Types shall be programmed to turn OFF all or part of the lighting no longer than 20 minutes after the space is vacated of occupants, except as specified by Section130.1(c)8.
5. Includes bedrooms, living, dining and family rooms, club houses, home offices, and enclosed patios. Closets that are less than 70 sf in area and hallways are exempt from this requirement.
6. Lights around pools and water features subject to California Electrical Code Article 680 are exempt.
7. Energy management control system.

A. Luminaire Efficacy: All installed luminaires must meet the requirements in Table 150.0-A.

Table 150.0-A Classification of High Luminous Efficacy Light Sources

Automatically considered high luminous efficacy (does NOT require JA8 certification)	Must be JA8 certified/marked
1. LED light sources installed outdoors	7. All light sources installed in ceiling recessed downlight luminaires: Note that ceiling-recessed downlight luminaires must not have screw base sockets regardless of lamp type, as specified in §150.0(k)1C.
2. Inseparable solid state lighting (SSL) luminaires containing colored light sources that are installed to provide decorative lighting	8. Anything not listed in this table
3. Pin-based linear fluorescent or compact fluorescents with electronic ballasts	
4. High-intensity discharge (HID) light sources including pulse start metal halide and high-pressure sodium light sources	
5. Luminaires with a hardwired, high-frequency generator and induction lamp	
6. Ceiling fan lights kits subject to federal appliance regulations	

EXCEPTIONS:
1. Integrated Device Lighting: Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers
2. Navigation Lighting: Lighting such as night lights, step lights and path lights less than 5 watts
3. Cabinet Lighting: Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater

B. Screw-based Luminaires: Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8.

C. Recessed Downlight Luminaires in Ceilings: There is a new exception to the airtight labeling and installation requirements for recessed luminaires that are either marked for use in fire-rated installations or are installed in non-insulated ceilings.

D. Light Sources in Enclosed or Recessed Luminaires: No change, although this section has been reorganized.

E. Blank Electrical Boxes: Language is added about how the blank electrical boxes must be served for dimmer, vacancy sensor control, low voltage wiring or fan speed control.

✓ INDOOR LIGHTING CONTROLS

E. Automatic-off Controls: Walk-in closets have been added in addition to bathrooms, garages, laundry room and utility rooms as spaces requiring an occupancy/vacancy sensor with automatic-off functionality. It was clarified that lighting in opaque-fronted drawers and cabinetry must be controlled with automatic-off when a drawer or door is closed.

F. Dimming Controls: Dimmers that are required for lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens and bedrooms) must have readily accessible dimming controls. Forward phase-cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
EXCEPTIONS:
1. Ceiling fans with integrated lighting may use remote control.
2. Luminaires connect to a circuit in which the controlled lighting power is <20 watts OR controlled by an occupancy/vacancy sensor providing automatic-off functionality.
1. 3. Lighting is under <5 watts for navigation (e.g., night lights, step lights and path lights), or lighting is internal to opaque-fronted drawers and cabinetry (which may alternatively use automatic-off controls).

G. Independent Controls: The following must be controlled independently:
- Integrated lighting of exhaust fans from the fan function
- Undercabinet lighting
- Undershelf lighting
- Interior lighting of display cabinets
- • Switched outlets

ELECTRICAL NOTES

CONTRACTOR TO VERYFY ALL LIGHT TRIMS SPECIFIED TO HAVE LAMPS PER DRAWINGS AND THAT ALL LIGHT TRIMS SPECIFIED SHALL BE INSTALLED WITH APPROPRIATE HOUSING FOR LIGHTS SPECIFIED AND FOR BUILDING CONDITIONS EXISTING OR CALLED OUT ON DRAWINGS

CONTRACTOR TO SIZE AND LOCATE MAIN PANEL AND LOCATE NEW SUBPANELS AS REQUIRED. PROVIDE THE CITY AUTHORITY WITH CALCULATIONS AND CIRCUITING INFORMATION.

ALL WORK AND MATERIAL TO BE PER N.E.C. AND ALL ADOPTED COUNTY CODES AND ORDINANCES.

ALL FIXTURES TO BE INSTALLED COMPLETE. FIXTURES " BY OWNER" SHALL BE INSTALLED COMPLE BY CONTRACTOR.

ALL OUTLETS IN GARAGE, LAUNDRY, KITCHEN, BATHROOMS, AND EXTERIOR TO BE ON GROUND FAULT CIRCUITS. ALL SWITCHES TOBE GROUPED WITH SINGLE COVER PLATES WHERE SHOWN ADJECENT ON PLANS., ALL SWITCHES TO BE SIZED PER REQUIRED WATTAGE.

CONTRACTOR TO SCHEDULE WITH ARCHITECT A WALK THROUGH FOR FINAL LOCATIONS OF ALL LIGHT FIXTURES AND OUTLETS.

THIS PLAN IS DIAGRAMMATIC IN NATURE AND INDICATES THE LOCATION OF OUTLETS AND EQUIPMENT. THE ARCHITECT AND / OR OWNER RESERVE THE RIGHT TO MAKE REASONABLE CHANGES IN OUTLET LOCATIONS BEFORE ROUGH IN WITHOUT ADDITIONAL EXPENSE.

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND EQUIPMENT ON THE JOB. CONTRACTOR TO VERIFY THAT ALL EXISTING ELECTRICAL FIXTURES, OUTLETS SWITCHES, ETC., THAT ARE TO REMAIN BE CLEAR OF THE NEW CONSTRUCTION OR RELOCATATE IN THE INMEDIATE AREA.

CONTRACTOR TO PROVIDE SWITCH AND PORCELAIN SOCKET IN ATTIC WITHIN IMMEDIATE AREA OF ACCESS PER CITY CODE.

PROVIDE FUEL/GAS AT WATER HEATERS AND A/C UNITS. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR LOCATIONS OF EQUIPMENT.

PROVIDE OPENINGS AND SUPPORTS, AS REQUIRED, FOR HEATER, MECHANICAL, ELECTRICAL, EQUIPMENT, VENT DUCTS, PIPING, ETC. ALL SUSPENDE MECHANICAL EQUIPMENT TO BE- PROVIDED WITH- APROVED SWAY OR LATERAL BRACING.

ICC-ES Evaluation Report

ESR-1413
Effective Date: March 2017
This report is subject to re-examination in one year

www.icc-es.org | (800) 423-6587 | (562) 699-0543 *A Subsidiary of the International Code Council®*

DIVISION: 09 00 00—FINISHES
Section: 09 30 00—Tiling

REPORT HOLDER:

CUSTOM BUILDING PRODUCTS, INC.
7711 Center Ave, Suite 500
Huntington Beach, CA 92647
(562) 598-8808
www.custombuildingproducts.com

EVALUATION SUBJECT:

REDGARD® WATERPROOFING AND CRACK PREVENTION MEMBRANE, C-CURE PRO-RED WATERPROOFING MEMBRANE 963, CBP 232 WATERPROOFING AND ANTI-FRACTURE MEMBRANE AND JAMO® WATERPROOFING MEMBRANE

1.0 EVALUATION SCOPE

Compliance with the following codes:
- 2015, 2012, 2009 and 2006 *International Building Code®* (IBC)
- 2015, 2012, 2009 and 2006 *International Residential Code®* (IRC)
- 2015, 2012, 2009 and 2006 *International Plumbing Code®* (IPC)

Property evaluated:
Water resistance

2.0 USES

RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane are used on concrete floors, as a barrier to liquid water migration, in bonded, thin-set installations of ceramic tile and dimensional stone under the IBC and IRC. The membranes are also used as a shower sub-pan lining material in accordance with the IPC.

3.0 DESCRIPTION

3.1 General:

RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane are liquid-applied, elastomeric waterproofing materials that cure to form a monolithic membrane.

3.2 Materials:

3.2.1 Membrane: RedGard®, C-Cure Pro-Red, CBP 232 and Jamo® waterproofing membranes are ready-to-use liquids. RedGard® is available in 1-gallon (3.78 L) and 3.5-gallon (13.2 L) pails. C-Cure Red is available in 2-gallon (7.56 L) and 5-gallon (18.9 L) pails. CBP 232 Waterproofing Membrane is available in 1-gallon (3.78 L), 3.5-gallon (13.2 L) and 5-gallon (18.9 L) pails. Jamo® Waterproofing Membrane is available in 1-gallon (3.78 L) and 5-gallon (18.9 L) pails. Shelf life is one year from date of manufacture when the material is stored indoors at room temperature and when the pail is unopened. The liquid material must not be allowed to freeze.

3.2.2 Fiberglass Mesh: The reinforcing mesh is an alkali-resistant fiberglass fabric that is provided in 2-inch-wide-by-50-, 100- and 300-foot-long (51 mm by 15.2, 30.5 and 91.4 m) or 6-inch-wide-by-50-yard-long (152 mm by 45.7 m) rolls for use as reinforcement in corners, change of plane, around drains and over minor substrate cracks.

4.0 INSTALLATION

Installation of RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane must comply with this report and the manufacturer's published installation instructions. The manufacturer's published installation instructions shall be available at the jobsite at all times during installation.

4.1 Surface Preparation:

All exterior and wet areas must be sloped for drainage, with all surfaces structurally sound, clean, dry and free from contaminants that would diminish the bond. Newly prepared concrete shall be cured a minimum of 28 days, and surfaces shall be troweled smooth then textured to a fine broom finish. All existing surfaces shall be flat or leveled when necessary and all defects repaired. All cracks in concrete up to 1/8 inch wide (3.2 mm) shall be prefilled with the liquid membrane and cured prior to application. The material shall extend beyond both sides of the crack a minimum of the diagonal measurement of the tile or stone. Cracks that are wider than 1/8 inch (3.2 mm) must be treated as expansion joints in accordance with Section 4.3.

4.2 Membrane Application:

All porous surfaces must be dampened, and a 3/4-inch-wide (19.1 mm), rough-textured synthetic roller, or a 1/4-inch-by-3/16-inch (6.4 mm by 4.8 mm) V-notch trowel, must be used to apply the membrane. On corners where floors and walls meet, a maximum precoating of 90 mils [0.090 inch (2.3 mm)] of wet-film thickness is required that will extend up the walls to 6 inches (152 mm) on either side. As an option, a 6-inch-wide (152 mm) section of fiberglass mesh, as described in Section 3.2.2., may be embedded into the membrane at corners or where floors and walls meet. In lieu of the roller or trowel, an airless sprayer may be used. The sprayer must be operated between 1900 and 2300 psi (13.10 and 15.33 MPa) to produce a flow rate of 1.0 to 1.5 gallons (3.78 to 5.68 liter) per minute; the sprayer must have a tip orifice size of 0.025 to 0.029 inch (0.63 to 0.73 mm). A continuous film with overlapping spray must be applied. No seams are permitted. The membrane appears pink when wet and dark red when dry. After the first coat has turned red, with no blushing or light pink showing (approximately 1½ to 2 hours), the film must be visually inspected for integrity, and all voids or pinholes must be filled with additional material. A second coat must be applied at right angles to the first. The film thickness must also be checked periodically with a wet-film gauge. The combined first and second coatings must be a minimum of 50 mils 0.050 inch (1.27 mm)] thick when wet and 25 mils [0.025 inch (0.64 mm)] thick when dry. A minimum of sixty minutes of curing time is required after application.

4.3 Application over Expansion Joints:

The membrane must not be used to bridge expansion joints. When applied over expansion joints, the joint must be cleaned, and an opened or closed-cell backer rod is installed to proper depth as specified by the designer. A sealant must be compressed into the joint, coating the sides and leaving the joint flush with the surface. After the sealant is dry, bond breaker tape specified by the manufacturer must be placed over the joint. Two coats of membrane must be applied at a minimum of 25 mils [0.025 inch (0.64 mm)] wet-film thickness per coat over the joint and substrate following the instructions in Section 4.2 of this report. The tiles or stones are then applied over the membrane, leaving a gap over the joint as specified by the designer. After the work is set, the joint must be filled as specified by the designer.

4.4 Method of Repair:

The membrane in the area requiring repair must be removed and the area cleaned, allowing for a minimum 2-inch (51 mm) overlap. Two coats of membrane must be applied as described in Section 4.2 of this report.

5.0 CONDITIONS OF USE

The RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

5.1 Application must comply with this report, the manufacturer's published installation instructions and the applicable code. In the event of a conflict between the installation instructions and this report, this report governs.

5.2 Application is limited to ceramic tile and dimension stone installations on floors and for use as shower sub-pans or linings.

5.3 The membrane must not be used to bridge substrate expansion joints.

5.4 The membrane recognized in this report is manufactured by Custom Building Products in Grand Prairie, Texas under a quality control program with annual inspection by ICC-ES.

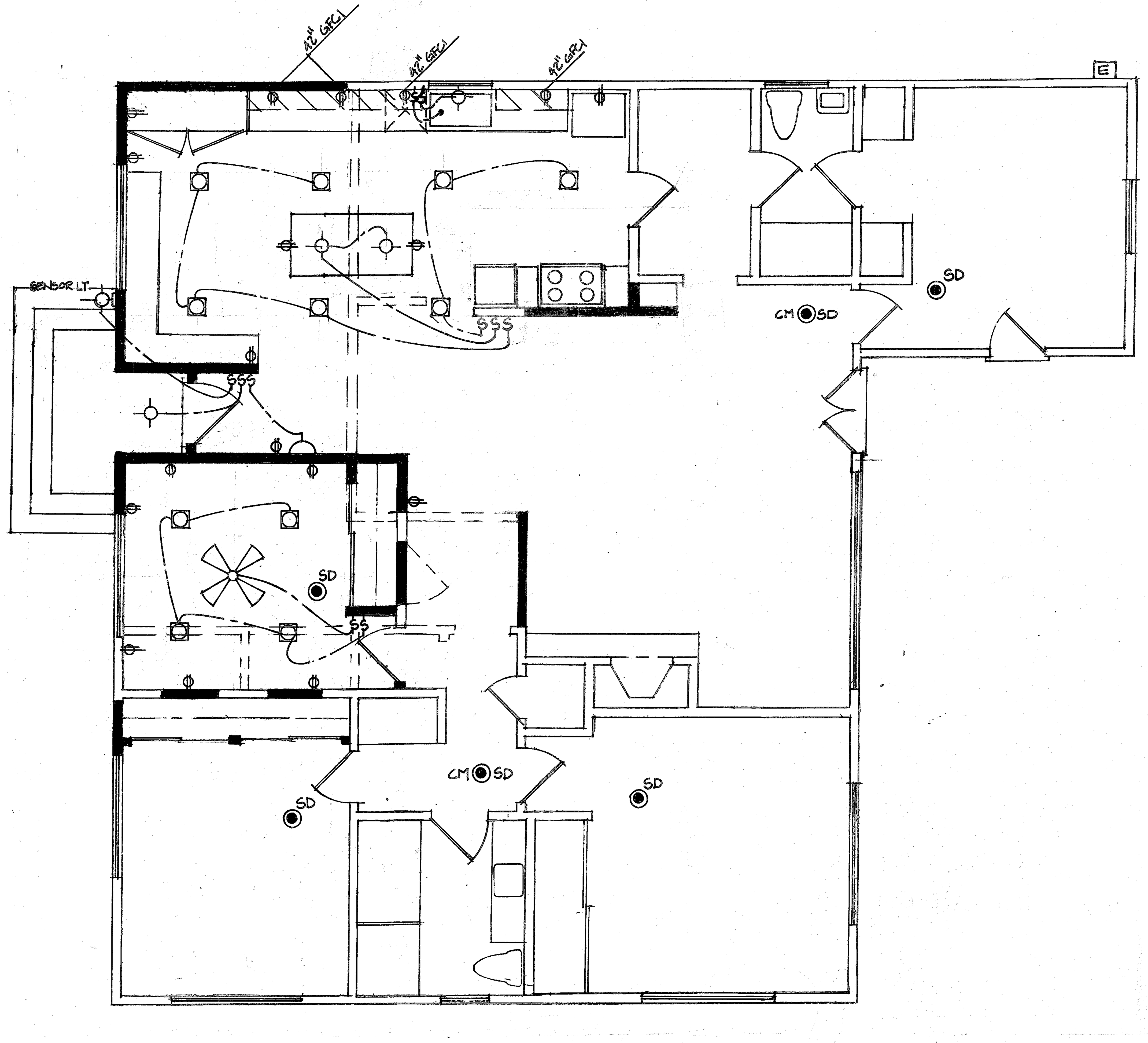
6.0 EVIDENCE SUBMITTED

Data in accordance with the ICC-ES Acceptance Criteria for Waterproof Membranes for Flooring and Shower Lining (AC115), dated June 2003 (editorially revised August 2013) and American National Standard Specification for Load Bearing, Bonded, Waterproof Membranes for Thin-Set Ceramic Tile and Dimension Stone Installation (A118.10), dated 2014.

7.0 IDENTIFICATION

Containers of the RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane described in this report are identified by a label bearing the manufacturer's name (Custom Building Products) and address, the product name, the date of manufacture and the evaluation report number (ESR-1413).

PER BMC. 10-1-603 (M) EXTERIOR LIGHTING SHALL BE DESIGNED AND INSTALLED SO AS TO AVOID GLARE AND LIGHT SPILL ONTO ADJOINING AND ADJACENT RESIDENCES AND PUBLIC RIGHT OF WAY.



ELECTRICAL FLOOR PLAN 1/4"

NOTE: SMOKE DETECTORS AND CARBON MONOXIDE DET. ARE REQUIRED ON THIS PROJECT PER NOTE #1 SHT.#1

DENSMORE RESIDENCE
1800 Karen Street Burbank, CA. 91504

LICENSED ARCHITECT
Douglas S. Humphries
C-25559
3.31.2027 renewal date
STATE OF CALIFORNIA

DADA DESIGN & GRAPHICS
DOUGLAS S. HUMPHRIES #C-25559 Licensed Architect
12122 Hartsook Street Valley Village, California 91607
Office (818) 506-4919 DADAdesign@netzero.net Fax (818) 506-3252

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D.H.
APRIL/2024
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6

Burbank Water and Power

PROCEDURES FOR NEW RESIDENTIAL *OVERHEAD* ELECTRICAL SERVICE AND/OR UPGRADES

Step 1.) - Meet with Residential Electrical Service Planner on-site with any proposed plans to spot the location of the new meter panel and obtain a **Confirmation of Electric Service**. Contact Burbank Water and Power Electrical Engineering at 818-238-3647 to set up a field appointment.

Step 2.) - Obtain an **Electrical Permit** from the Building Division, (150 N Third St). Call 818-238-5220 for service hours. Customer must have a valid Confirmation of Electric Service from Burbank Water and Power **and** a licensed (City & State) contractor.
An owner/builder can obtain the Residential Electrical Permit if the residence is owner occupied and a Workmen's Compensation waiver is signed.

For New Services Only: If the service is new, contact Public Works Department at 818-238-3590 for **address assignment**. Burbank Water and Power will only provide meters for legal addresses as recognized by the Public Works Department.

Note: To set up a **billing account** for new services, contact Burbank Water and Power Customer Service at 818-238-3700. There must be an active billing account for BWP to energize the service.

Multi-Unit Apartments/Residences Only: Aid-In-Construction charges apply to multi-unit apartments/residences. AIC charges are shown on the Confirmation of Electric Service. There are no Aid-In-Construction fees for single family dwellings. Any fees and/or deposits required by BWP must be paid prior to energizing the service. These fees are separate from permitting fees required by the Building Division. Please pay Aid-In-Construction charges at the Electric Engineering counter at BWP from 1:00pm until 3:00pm, Monday through Friday, (184 W Magnolia Blvd., Burbank CA 91502).

Step 3.) – Licensed Contractor/Owner Builder **completes work** in compliance with BWP's Confirmation of Electric Service and Burbank City's Building Codes. All service equipment must comply with Electric Utility Service Equipment Requirements Committee (EUSERC) standards. Contractor may maintain continuity of service until final connection by BWP. Temporary weather head connections should be made with split bolt connectors – no unapproved devices allowed. Contact the Residential Electrical Service Planner if temporary power is required. Any connections or devices of any kind which prevent metering of electricity consumption constitute diversion of electric energy and are subject to fines per Burbank Municipal Code 8-2-213. BWP reserves the right to install a limiter when electrical panel or service head conditions are left unsafe.

Step 4.) – Upon work completion, contact the Building Division for **final inspection** by calling 818-238-5220 between 8:00am to 5:00pm the day before the inspection is desired. If there is an access issue to the building, like dogs or locked gates, call the inspector between the hours of 7:00am to 8:00am or 3:00pm to 3:30pm to arrange for an AM or PM inspection.

Step 5.) – Upon approval of the Building Division's final electrical inspection, BWP will issue a Service Order to the field. Please allow up to 10 business days for field crews to **install the service**.

11/14

Burbank Water and Power
164 West Magnolia Boulevard, P.O. Box 631, Burbank CA 91503-0631

BURBANK WATER AND POWER

PROCEDURES FOR NEW RESIDENTIAL *UNDERGROUND* ELECTRICAL SERVICE AND/OR UPGRADES

Step 1.) - Meet with Residential Electrical Service Planner on-site with any proposed plans to spot the location of the new meter panel and obtain a **Confirmation of Electric Service**. Contact Burbank Water and Power Electrical Engineering at 818-238-3647 to set up a field appointment.

Step 2.) - Obtain an **Electrical Permit** from the Building Division, (150 N Third St). Call 818-238-5220 for service hours. Customer must have a valid Confirmation of Electric Service from Burbank Water and Power **and** a licensed (City & State) contractor.
An owner/builder can obtain the Residential Electrical Permit if the residence is owner occupied and a Workmen's Compensation waiver is signed.

Note: If the servicing pole is deteriorated, BWP will replace it before installing the underground service at that location. The Residential Electrical Service Planner will provide the location of the new pole. Underground service **must rise** at the location provided by BWP. BWP will **install standoffs** on the riser pole. Any substructure installed prior to BWP completing fieldwork may need to be moved at the owner's expense.

For New Services Only: If the service is new, contact Public Works Department at 818-238-3590 for **address assignment**. Burbank Water and Power will only provide meters for legal addresses as recognized by the Public Works Department.

Note: To set up a **billing account** for new services, contact Burbank Water and Power Customer Service at 818-238-3700. There must be an active billing account for BWP to energize the service.

Multi-Unit Apartments/Residences Only: Aid-In-Construction charges apply to multi-unit apartments/residences. AIC charges are shown on the Confirmation of Electric Service. There are no Aid-In-Construction fees for single family dwellings. Any fees and/or deposits required by BWP must be paid prior to energizing the service. These fees are separate from permitting fees required by the Building Division. Please pay Aid-In-Construction charges at the Electric Engineering counter at BWP from 1:00pm until 3:00pm, Monday through Friday, (164 W Magnolia Blvd., Burbank CA 91502).

Step 3.) – When the substructure has been installed per drawing S-707, contact BWP at 818 238-3847 for an **underground inspection**. This is separate from any required Building Division inspections.

Step 4.) - Licensed Contractor/Owner Builder **completes work** in compliance with BWP's Confirmation of Electric Service and Burbank City's Building Codes. All service equipment must comply with Electric Utility Service Equipment Requirements Committee (EUSERC) standards. Contractor may maintain continuity of service until final connection by BWP. Contact the Residential Electrical Service Planner if temporary power is required. Any connections or devices of any kind which prevent metering of electricity consumption constitutes diversion of electric energy and are subject to fines per Burbank Municipal Code 8-2-213. BWP reserves the right to install a limiter when electrical panel or service head conditions are left unsafe.

Step 5.) – Upon work completion, contact the Building Division for **final inspection** by calling 818-238-5220 between 8:00am to 5:00pm the day before the inspection is desired. If there is an access issue to the building, like dogs or locked gates, call the inspector between the hours of 7:00am to 8:00am or 3:00pm to 3:30pm to arrange for an AM or PM inspection.

Step 6.) – Upon approval of both BWP underground inspection and a Building Division final electrical inspection, BWP will issue a Service Order to the field. Please allow up to 10 business days for field crews to **install the service**.

Burbank Water and Power
164 West Magnolia Boulevard, P.O. Box 631, Burbank CA 91503-0631

TAMPERING OR DIVERTING ELECTRIC OR WATER SERVICE IS AGAINST THE LAW

If tampering is found by Burbank Water and Power (BWP), the account holder may be charged a $500 tampering fine per the City of Burbank's Fee Schedule. If BWP also determines the tampered service is unsafe or was connected illegally as described in BWP's Rules and Regulations, it may be disconnected by BWP personnel and the account holder charged an additional $100 fine. The account holder may be subject to back billing as well as for the costs to replace/repair any BWP property damaged, destroyed, or missing. Please note that multiple acts of tampering may result in higher penalties and could lead to legal action. Penalties will be included on the next municipal services bill; however they must be paid prior to being reconnected.

Meter locking rings must be removed and installed by BWP Electric Services Division exclusively. Requests must be made with at least 24-hour advance notice by calling **(818) 238-3575**.

BURBANK MUNICIPAL CODE

Electric
8-2-213 (D) Diversion: No owner, lessee, tenant, or other person in possession of or having charge and control of any premises connected to the City electrical system shall connect or maintain any electric consuming device to the line side of an electric meter installed on such premises; nor shall such person connect or maintain any connections or devices of any kind which would prevent the meter from registering the total amount of electricity consumed on the premises and supplied from the City's electrical system. The existence of electric energy consuming devices installed ahead of the meter or any tampering or interfering with wires, devices, or equipment connected to the City's electrical system or the damage to, alteration, or obstruction of any meter, including the breaking of meter seals, which will permit or make possible the use of electric energy without its proper registration on an electric meter shall constitute prima facie evidence of diversion of electric energy in violation of the provisions of this subsection by the customer in whose name service is being rendered or by the person benefitting from the use of such diverted energy. Prima facie evidence of diversion of electric energy in violation of the provisions of this subsection shall also exist whenever a check meter registers more electric energy in the same interval of time than does the meter installed at the customer's premises.

Water
8-2-113 (D) No person other than a duly authorized employee of the City shall connect any customer's water pipes and apparatus with the City's mains. No person other than a duly authorized employee of the City shall open or turn on any City water valve regulating the flow of water from the City water mains to any customer's premises after such valve shall have been turned off by the General Manager for nonpayment of charges for water or at the request of the present customer or a previous customer, or for any other reason.
8-2-113 (E) No owner, lessee, tenant or other person in possession of or having charge and control of any premises connected to the City water system shall use or permit to be used any water from such system through the customer's water pipes connected with such system, unless prior to such use, water service to such premises shall have been granted by the General Manager pursuant to application made by such person or the person under whom he holds such possession or charge and control, and such water service has not been discontinued in any manner set forth in subsection D of this section.
8-2-113 (F) A special charge in an amount designated in the Utility Rate Resolution shall be assessed against any person or persons violating any provision of this section. This special charge shall cover the expense to the City of checking such water main or connection and turning it off again after it has been turned on in violation of subsection D or E of this section. This charge shall be in addition to any other remedy, civil or penal, which may be available to the City to enforce the provisions hereof, and all such remedies shall be cumulative at the election of the City.

RULES & REGULATIONS

1.10 (d) Any unauthorized person found taking utility service from or through any of BWP's facilities will be assessed charges and/or prosecuted under the full extent of the law. Any unauthorized equipment or apparatus found connected to BWP's facilities will be removed by BWP personnel and stored at BWP. The equipment or apparatus may be redeemed upon full payment of all penalties, fees or charges due. After 30 days, unclaimed equipment or apparatus will be disposed of at BWP's discretion.
1.50 (b)(4) BWP may disconnect a service without notice if unsafe, nuisance, or hazardous conditions are found to exist on the Customer's premises. BWP will immediately notify the Customer of the reasons and the necessary corrections required before reconnection. Such unsafe, nuisance, or hazardous conditions may exist due to defective appliances or equipment that may be detrimental to either the Customer, BWP, or to BWP's other Customers.
1.50 (b)(5) A Customer's utility service may be discontinued for fraudulent use of service. When BWP determines that a Customer has obtained service by fraudulent means or has diverted utility service from another Customer without authorization from BWP, the service may be discontinued without notice. BWP will not restore service to such Customer until that Customer has complied with all rules and regulations and BWP has been reimbursed for the full amount of the service rendered and the actual cost to BWP, including administrative and overhead, incurred by reason of the fraudulent use.
4.10 (c) The Customer is advised that in order to protect public water supplies, certain acts are by state law misdemeanors and in some instances punishable by imprisonment in the county jail or state prison. State law in this regard includes, but is not limited to, the following:

Section 498 Penal Code: This section includes stealing water, as well as diverting other utilities illegally and taking water after service has been disconnected and the meter sealed, including unauthorized connection to fire hydrants.

4.30 (e) Only duly authorized employees of BWP are allowed to connect the Customer's service or to disconnect same from BWP's water mains.

CITY OF BURBANK FEE SCHEDULE

Article X. Section 10.A. Electric Miscellaneous Charges			
(3)	Disconnect after illegal connection	$100.00	Violation
(6)	Repairs and replacements due to illegal connections	At Cost	Each
(7)	Energy diversion	$500.00	Violation
Article XI. Section 7.A. Water Miscellaneous Charges			
(2)	Disconnection after illegal connection	$100.00	Violation
(6)	Repairs and replacements due to illegal water connections	At Cost	Each Occurrence
(9)	Penalty for unauthorized connection to department facilities	$500.00	Violation
(10)	Penalty for unauthorized use of water through a department facility	$500.00	Violation

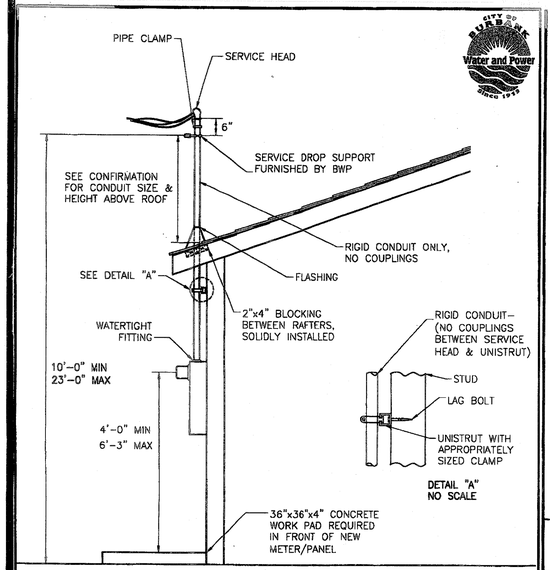
CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION
APPROVED
by: Sara Darpinian, Assistant Planner
Project No.: 25-0001099 Date: 9/26/2025

DENSMORE RESIDENCE
1800 Karen Street Burbank, CA. 91504

LICENSED ARCHITECT Douglas S. Humphries C-25559 Renewal date 08.31.2027 STATE OF CALIFORNIA

DADA DESIGN & GRAPHICS
DOUGLAS S. HUMPHRIES #C-25559 Licensed Architect 91607
12122 Hartsook Street Valley Village, California Fax (818) 506-5252
Office (818) 506-4919 DADAdesign@metzero.net

DRAWN
CHECKED
DATE
SCALE NOTED
JOB NO
SHEET NO.
OF SHEETS

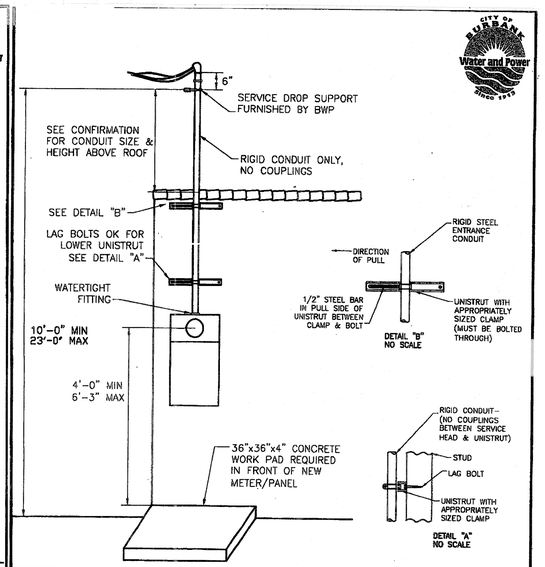


NOTES:
1. WHERE RISER DOES NOT PASS THROUGH A ROOF OVERHANG, A SECOND PIECE OF UNISTRUT MUST BE INSTALLED JUST BELOW ROOF LINE. SEE DRAWING NO. S–402.
2. BWP WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING CAUSED BY RAIN/STRUCTURAL FAILURE.
3. CONTRACTOR MUST LEAVE 3' OF WIRE OUT OF THE SERVICE HEAD.
4. ATTACHMENT POINT MUST BE ACCESSIBLE BY LADDER. SEE DRAWING NO. S–714
5. CONTRACTOR MUST NOTIFY BWP OF ANY CHANGES MADE AFTER CONFIRMATION OF SERVICE THAT WOULD AFFECT SERVICE ATTACHMENT (ROOFLINE, ROOFING MATERIAL, WORKSPACE, ETC.)
6. ELECTRICAL SERVICE EQUIPMENT MUST HAVE MINIMUM 3' LATERAL CLEARANCE FROM ANY GAS LINE.

No.	REVISIONS	BY	CHECK	APP'D	DATE
C	CHANGED MINIMUM CONDUIT SIZE	TZ	JC	DDB	7-24-95
D	ADDED CONCRETE WORK PAD	TZ	JC	PDF	10-30-95
E	UPDATED REQUIREMENTS	DSL	MJC	DDB	2-8-02

DRAWN WH | SCALE NONE | CHECK BK | APP'V'D AFB | DATE 7–1–75

ELECTRICAL SERVICES DIVISION
PERISCOPE SERVICE RESIDENTIAL
DRAWING No: S–401E



NOTES:
1. THE DEPARTMENT WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING CAUSED BY RAIN OR STRUCTURAL FAILURE.
2. CONTRACTOR MUST LEAVE 3' OF WIRE OUT OF THE SERVICE HEAD.
3. ATTACHMENT POINT MUST BE ACCESSIBLE BY LADDER. SEE DRAWING S–714.
4. CONTRACTOR MUST NOTIFY BWP OF ANY CHANGES MADE AFTER CONFIRMATION OF SERVICE THAT WOULD AFFECT SERVICE ATTACHMENT (ROOFLINE, ROOFING MATERIAL, WORKSPACE, ETC.)
5. ELECTRICAL SERVICE EQUIPMENT MUST HAVE MINIMUM 3' LATERAL CLEARANCE FROM ANY GAS LINE.

No.	REVISIONS	BY	CHECK	APP'V'D	DATE
C	CHANGED MINIMUM CONDUIT SIZE	TZ	JC	DDB	7-24-95
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E	UPDATED REQUIREMENTS	DSL	MJC	DDB	2-8-02

DRAWN WH | SCALE NONE | CHECK BK | APP'V'D AFB | DATE 7–1–75

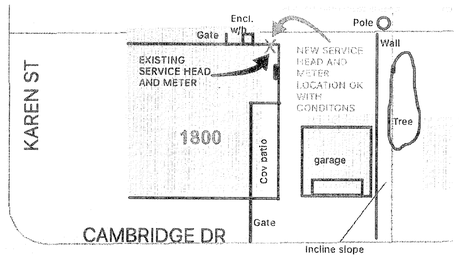
ELECTRICAL SERVICES DIVISION
PERISCOPE SERVICE RESIDENTIAL INSTALLATION WITHOUT EAVES
DRAWING No: S–402E

RESIDENTIAL - CONFIRMATION OF ELECTRIC SERVICE

Burbank Water and Power | 164 W. Magnolia Blvd. | 818-238-3575
(MUST BE PRESENTED AT BUILDING DEPARTMENT TO OBTAIN PERMIT)

Fault Current 10,000 AIC

Address: 1800 Karen Street
Service Type: Residential | Voltage Characteristics: 1PH - 120/240V | Confirmation No: 24-508R
Service Ampacity: 225A | Service Method: Overhead | Date: April 12, 2024
Qty of meters: 1 | Branch Circuit Rating: N/A | BWP Rep: Sal Z
Calculated Demand: N/A



Relocate any exposed gas line minimum 36" laterally clear from panel.

36"X36" CLEAR WORKING SPACE AND WORK PAD REQUIRED IN FRONT OF PANEL.

ANY CHANGES MUST BE APPROVED BY BWP PRIOR TO INSTALLATION

- ☑ An Aid-In-Construction fee of $ 0.00 and a Capacity Charge of $ EXEMPT , payable to BWP, is required before BWP will unlock the meter, if applicable, or before BWP will energize the metered electric panel. The Capacity Charge is based on the kVA demand of the new, upgraded, relocated, or replaced metered electric panel in accordance with BWP Rules and Regulations Section 3.26(g) and the City of Burbank Fee Resolution.
- ☑ Service head above roof 40 inches with minimum 1.5 inch rigid steel. Periscope per BWP Drawings S-401E & S-402E.
- ☑ Contractor must leave a minimum of 36 inches of wire out of the service head. Aluminum conductors are not accepted for residential services.
- ☑ Vertical Clearances: Residential – at house 10 feet, over driveway 12 feet; and over street and alley 18 feet.
- ☑ A radial clearance of 22.5 feet is required from any pool, spa, or body of water. Service may not cross directly over water.
- ☑ Maintain a minimum of 24 inches of clearance between electric service line and any telephone / cable TV lines, heating vents, or chimneys.
- ☑ Any interfering tree branches to be trimmed clear of service drop path / attachment / ladder access by owner PRIOR to final inspection.
- ☑ Meter height 48 inch minimum – 75 inch maximum to center of meter. (36 inch min. is acceptable if meters are enclosed). Ring-style socket.
- ☑ A 36 inch x 36 inch x 4 inch level concrete work pad & a 36 inch x 36 inch clear working space is required in front of the face of the new panel.
- ☑ Maintain 36 inch lateral clearance between electric service equipment and any gas lines / gas service equipment.
- ☑ Maintain a minimum of 4 inches from the edge of the panel to any obstruction or the corner of the building.
- ☑ Maintain power line envelope clearances from building per BWP Drawing S-708.
- ☑ To remove locking ring from electric meter call 818-238-3575, 24 hours prior to starting work.
- ☑ Provide sufficient ladder access for service connection per BWP Dwg. S-714.

NOTES ◦ New meter socket may not be jumpered. Bypassing the meter socket is considered diversion and fines will be assessed to the customer.
◦ A minimum 36 inch radial clearance is required from windows, balconies, roof access ladders, etc. from point of service attachment.
◦ All installations must conform to the requirements of EUSERC, NEC, and BWP Rules and Regulations for Electric Service.
◦ For combination underground/overhead residential meter panels, BWP will only accept EUSERC Dwg. No. 301. for an overhead feed.
◦ This service confirmation expires one year from date of issue.

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction –related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.