

**DIVERSION OF CONSTRUCTION & DEMOLITION DEBRIS NOTE:**

1. A MINIMUM OF 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE LANDFILL. A \$60.05 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-1-1101.2).

**SEBACK CERTIFICATION REQUIREMENT:**

1. A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE OB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-1103.3.1.)

**GENERAL NOTES :**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF THE CBC, CRC, CMC, CPC AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1-3392.3)
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE (BMC 9-1-1-3305)
7. THE FINISH GRADE SHALL SLOPE A MIN OF 5% OR 6" TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC R401.3)
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 1'2" PLUS 2% (CRC R403.1.7.3)

**CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN):**

1. STORM WATER DRAINAGE AND RETENTION SEC. 4.106.2. SHOW HOW THE PROJECT WILL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION THROUGH USE OF RETENTION BASINS, FILTERING BY A BARRIER SYSTEM, OR COMPLIANCE WITH THE STORM WATER MANAGEMENT ORDINANCES.
2. SURFACE DRAINAGE SEC. 4.106.3. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINING SYSTEM WILL MANAGE WATER FLOWS AND KEEP SURFACE WATER FROM ENTERING BUILDINGS THROUGH THE USE OF SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, OR WATER RETENTION GARDENS.
3. OUTDOOR WATER USE SEC. 4.304. WEATHER OR SOIL MOISTURE BASED AUTOMATIC IRRIGATION CONTROLLERS FOR LANDSCAPE IRRIGATION SYSTEMS SHALL AUTOMATICALLY ADJUST IN RESPONSE TO WEATHER CONDITIONS. WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH COMMUNICATES WITH THE CONTROLLER.
4. JOINTS AND OPENINGS SEC. 4.406.1. OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SHALL BE SEALED IN ACCORDANCE WITH CALIFORNIA ENERGY CODE REQUIREMENTS. ANNULAR SPACES OR OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A MLAR APPROVED METHOD TO PREVENT THE PASSAGE OF RODENTS.
5. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS. (4.406.1)
6. BUILDING MAINTENANCE AND OPERATION SEC. 4.410. BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC OR OTHER APPROVED MEDIA SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC. 4.410.
7. COVERING DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT SEC. 4.504.1. COVERING OF OPENINGS DURING CONSTRUCTION: ALL DUCTS AND AIR DISTRIBUTION OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL DURING STORAGE ON THE SITE AND BY THE TIME OF ROUGH INSTALLATION THROUGH FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.
8. FINISH MATERIAL POLLUTANT CONTROL, VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF FINAL INSPECTION AND SHALL BE DOCUMENTED ON THE BUILDING OPERATIONS AND MAINTENANCE MANUAL.
  - a. ADHESIVES, SEALANTS, AND CAULKS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.1 AND COMPLY WITH THE VOC LIMITS IN TABLES 4.504.1 AND 4.504.2 AS APPLICABLE.
  - b. PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2 AND COMPLY WITH THE VOC LIMITS IN TABLE 4.504.3.
  - c. AEROSOL PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.3
  - d. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
    - i. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM OR
    - ii. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS (SPEC 01350) OR
    - iii. NSF/ANSI 140 AT THE GOLD LEVEL OR
    - iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
  - e. ALL CARPET CURCHON INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. CARPET ADHESIVES SHALL NOT EXCEED A VOC LIMIT OF 50g/L.
  - f. A MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOOR SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
    - i. VOC EMISSIONS LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE OR
    - ii. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM OR
    - iii. CERTIFICATION UNDER THE RFCI FLOORSCORE PROGRAM OR
    - iv. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS.
  - g. COMPOSITE WOOD PRODUCTS (HARDWOOD PLYWOOD, PARTICLE BOARD, AND MDF) INSTALLED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN TABLE 4.504.5. VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF INSPECTION.
9. MOISTURE CONTROL OF CONCRETE SLAB FOUNDATIONS SEC. 4.504.2. SHOW THE CAPILARY BREAK INSTALLED FOR CONCRETE SLAB FOUNDATIONS.
10. MOISTURE CONTENT OF BUILDING MATERIALS SEC. 4.505.3. MOISTURE CONTENT OF MATERIALS REQUIREMENT: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION WHICH IS VISIBLY WET OR HAS HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
11. WHOLE HOUSE EXHAUST FAN SEC. 4.507.1. WHOLE HOUSE FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF THAT HAVE A MIN. INSULATION VALUE OF R-4.2
12. HEATING AND AIR CONDITION DESIGN SEC. 4.507.2. SYSTEMS SHALL BE SIZED, DESIGNED, AND SPECIFIED ACCORDING TO ACCA, ASHRAE OR EQUIVALENT DESIGN SOFTWARE OR METHODS.
13. USE CITY CERTIFIED HAULER FOR HAULING CONSTRUCTION WASTE OR SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN FOR APPROVAL. IF CITY CERTIFIED HAULER IS NOT USED, PROVIDE DOCUMENTATION SHOWING THAT A MINIMUM OF 65% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS WILL BE SALVAGED, RECYCLED, AND/OR REUSED. (4.408.1 AND 4.408.2)
14. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM. (4.504.1)
15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. (R.505.3)
16. ALL MECHANICAL EXHAUST FANS IN ROOMS WITH A BATHTUB OR SHOWER SHALL COMPLY WITH THE FOLLOWING:
  - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
  - ii. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL, CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. (4.506.1)

**STORM WATER MANAGEMENT:**

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON ITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE RACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
8. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
10. SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

**RESIDENTIAL DEMOLITION NOTE:**

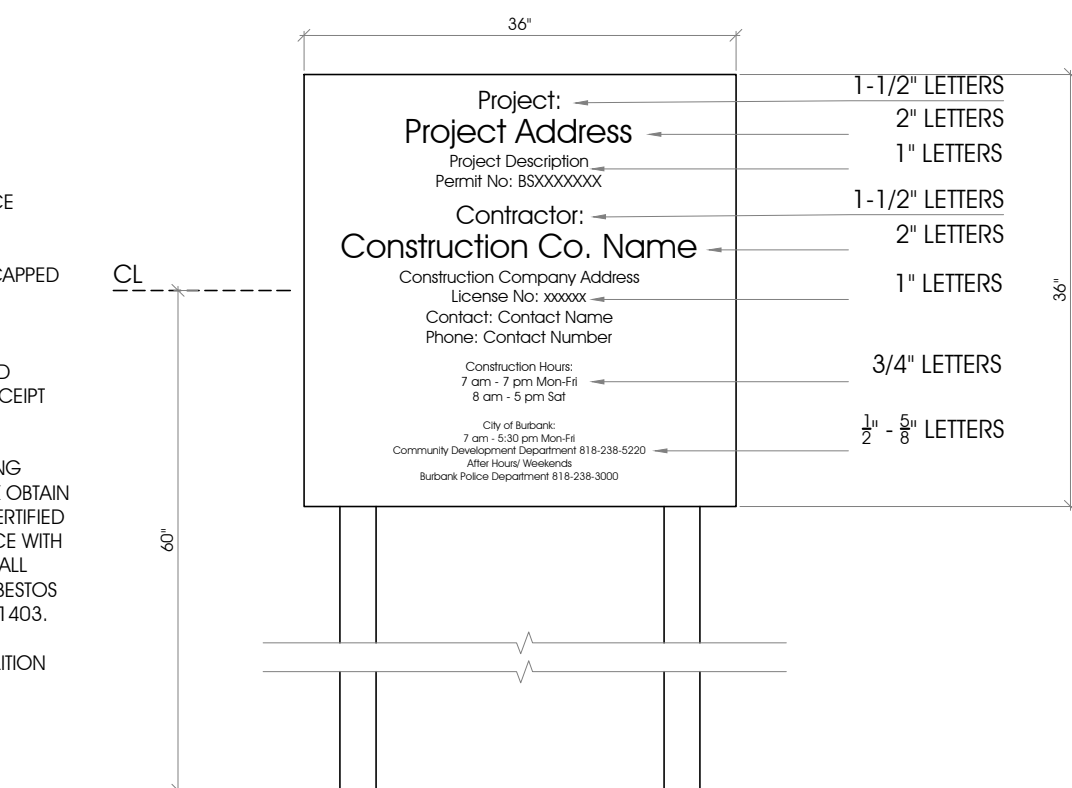
1. PARTIAL DEMOLITION OF A RESIDENTIAL STRUCTURE IN ASSOCIATION WITH A CONSTRUCTION PROJECT IS ONLY PERMITTED WHERE INDICATED ON THE APPROVED PLANS. ANY DEMOLITION WORK BEYOND THAT SHOWN ON THE APPROVED PLANS MAY RESULT IN A STOP WORK ORDER (CSC APPENDIX CHAPTER 1 SEC. 113.2) AND/OR REVOCATION OF THE PERMIT (CSC APPENDIX CHAPTER 1 SEC. 105.6). ADDITIONAL DEMOLITION WORK MAY ALSO REQUIRE COMPLIANCE WITH BURBANK MUNICIPAL CODE SEC. 10-1-1810 IF MORE THAN 50% OF THE STRUCTURE IS DEMOLISHED.

**SEWER CONNECTION NOTE:**

1. BACKWATER VALVE REQUIRED ON BUILDING SEWER PER BMC8-1-313.

**MISCELLANEOUS NOTE:**

1. NO NEW WALLFENCE PROPOSED ALONG FRONT YARD. EXISTING WALLFENCE COMPLIES WITH BMC SECTION 1. 10-1-603.
2. ANY EXISTING FIXTURE OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE BUILDING DEMOLITION ACTIVITIES OCCUR.
3. PER BMC 9-3-407, BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING, DEMOLITION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.
4. ASBESTOS, WHERE CONSTRUCTION, DEMOLITION, OR ALTERATIONS TO EXISTING STRUCTURES ARE PROPOSED, PRIOR TO THE COMMENCEMENT OF THE WORK OBTAIN AN ASBESTOS ASSESSMENT REPORT PREPARED BY A "COMPETENT PERSON" CERTIFIED IN THE STATE OF CALIFORNIA TO DO SO AS REQUIRED BY AND IN COMPLIANCE WITH CCR TITLE 8, 1529 BASED UPON AN ONSITE SURVEY AND WHEN REQUIRED SHALL PROVIDE RECOMMENDATIONS FOR THE ABATEMENT OF ASBESTOS. WHEN ASBESTOS WORK IS REQUIRED, THE CONTRACTOR SHALL COMPLY WITH SCAGM/D RULE 1403. SCAGM/D RULE 1403 REQUIRES THE CONTRACTOR TO FILE A DEMOLITION NOTIFICATION WITH THE SCAGM/D 10 DAYS PRIOR TO ISSUANCE OF A DEMOLITION PERMIT.



- PROJECT SIGN**
1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parking).
  2. Sign may be mounted independently or on the construction fence.

DRAWING INDEX	
A-0	INDEX, INFORMATION, NOTES
A-1.1	EXISTING PLOT PLAN
A-1.2	NEW PLOT PLAN
A-1.3	PRELIMINARY GRADING PLAN
A-2.1	(E) 1ST FLOOR PLAN
A-2.2	(N) 1ST FLOOR PLAN, DOOR & WINDOW SCHEDULE
A-2.3	(E) 2ND FLOOR PLAN, (N) 2ND FLOOR PLAN
A-3	(E) PARTIAL ROOF PLAN, (N) PARTIAL ROOF PLAN
A-4.1 - A-4.3	EXISTING AND NEW ELEVATIONS
A-5	BUILDING SECTIONS, RETAINING WALL ELEVATIONS AND SECTIONS

## LEGAL DESCRIPTION

ASSESSORS ID NO: 2471-001-034  
 TRACT : 35035  
 LOT: 56  
 ZONE: R-1

## SCOPE OF WORK

123.1 SQ. FT. 1ST STORY ADDITION TO (E) 2 STORY SFD. REFRAMING REAR PORTION TO ADD A 2ND STORY BALCONY ADJACENT TO MASTER BEDROOM. HILLSIDE DEVELOPMENT REVIEW FOR NEW RETAINING WALLS AND BACKYARD IMPROVEMENTS. CONVERTING 314.2 SQ. FT. PORTION OF (E) GARAGE TO A JUNIOR ADU

## BUILDING INFO

TYPE: V-B  
 NUMBER OF STORIES: 2  
 BUILDING HEIGHT: 25'-8"  
 FIRE SPRINKLER: NO  
 BEDROOMS: 5 BATHROOMS: 3.5  
 PARKING SPACES: 3  
 OCCUPANCY: SINGLE FAMILY RESIDENTIAL R-3, GARAGE U

## FAR CALCULATION

PROPERTY	11,600 SF
(E) HOUSE	4,054 SF
(E) 3 CAR GARAGE	688 SF
(N) ADDITION	123.1 SF
(E) PORTION OF (E) GARAGE TO BE JADU	314.2 SF

MAX FAR ALLOWABLE:  
 (7500X0.4) + (4100X0.3) = 4230 SF

4054 + 123.1 = 4177.1 SF  
 REMAINING GARAGE SQUARE FOOTAGE NOT COUNTED IN FAR AS IT'S LESS THAN 400 SQ. FT.

## APPLICABLE CODES

- . 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- . 2022 CALIFORNIA MECHANICAL CODE (CMC)
- . 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- . 2022 CALIFORNIA PLUMBING CODE (CPC)
- . 2022 CALIFORNIA GREEN BUILDING CODE (CALGREEN)

## PROJECT CONTACTS

DESIGNER  
 ARCHdesign & CONSTRUCTION  
 409 IRVING DR. BURBANK, CA 91504  
 CONTACT: ARAM MNATSAKANIAN  
 ARAM@STUDIOAMINC.COM (818) 517-5224

STRUCTURAL ENGINEER  
 MLB CONSULTING & ENGINEERING  
 7621 LOUISE AVE. NORTHRIDGE, CA 91325  
 CONTACT: GEGAM BURNAZAYAN, P.E. (C76761)  
 GEGAM@MLBENGINEERING.ORG (818) 521-6342

SHEET NUMBER 01102

# ARCH-DESIGN

& CONSTRUCTION CO., INC.

TEL (818) 517-5224

409 IRVING DR.  
BURBANK, CA 91504

OWNER <b>SHARIS MARDIROSSIAN</b>	PROJECT <b>NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR</b>	LOCATION <b>3526 CASTLEMAN LANE BURBANK, CA 91504</b>
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AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS		
NO.	ISSUE	BY

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:

# A-0

OWNER  
SHARIS MARDIROSSIAN

PROJECT  
NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO  
(E) SFD, NEW ROOF FRAMING IN REAR

LOCATION  
3526 CASTLEMAN LANE BURBANK, CA 91504

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REVISIONS

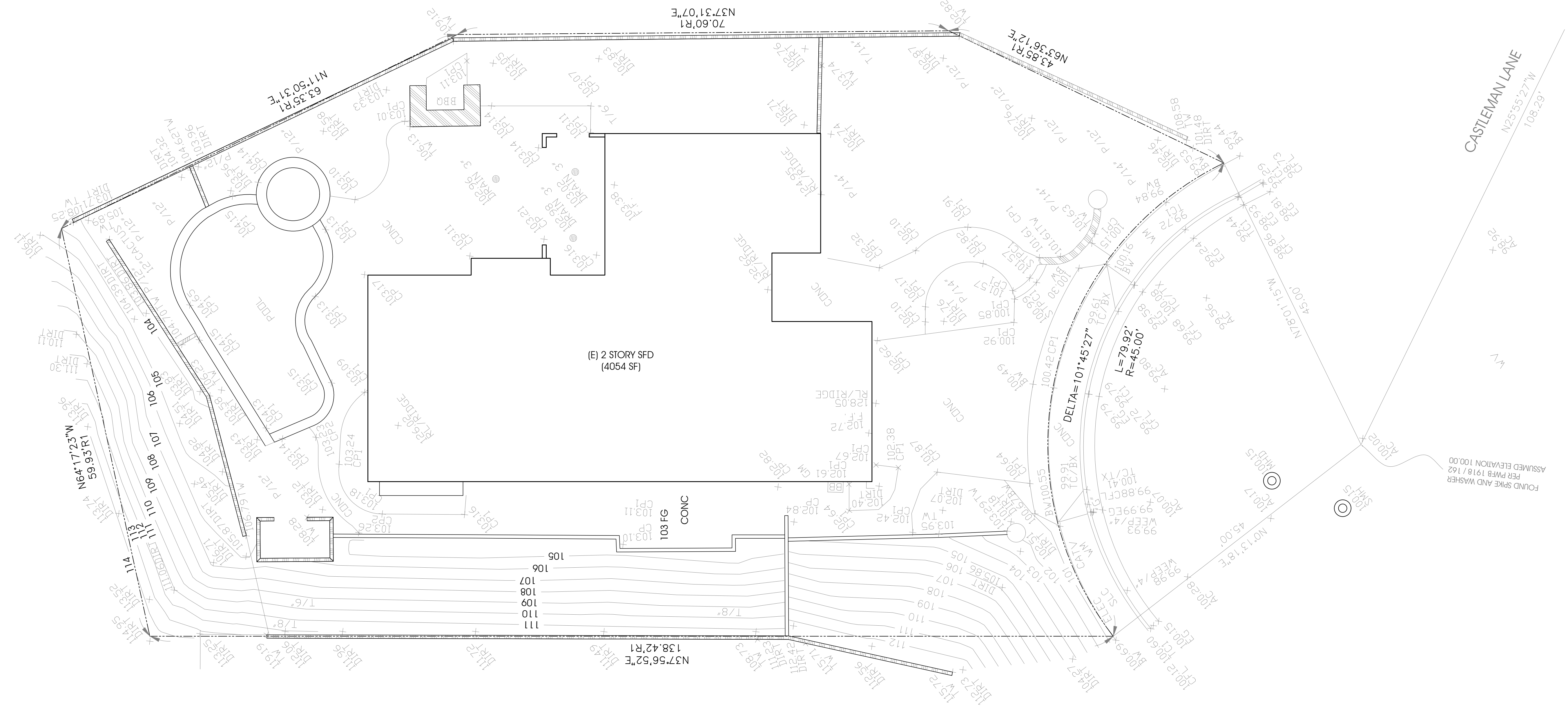
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DRAWN BY: A.A.  
CHECKED BY: ARAM M.  
DESIGN BY: ARAM M.  
SCALE:  
DATE:  
JOB NO.:

SHEET NUMBER:

A-1.1

OF SHEETS



1 (E) PLOT PLAN  
Scale: 1/8"=1'-0"

OWNER: SHARIS MARDIROSSIAN  
PROJECT: NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR  
LOCATION: 3526 CASTLEMAN LANE BURBANK, CA 91504

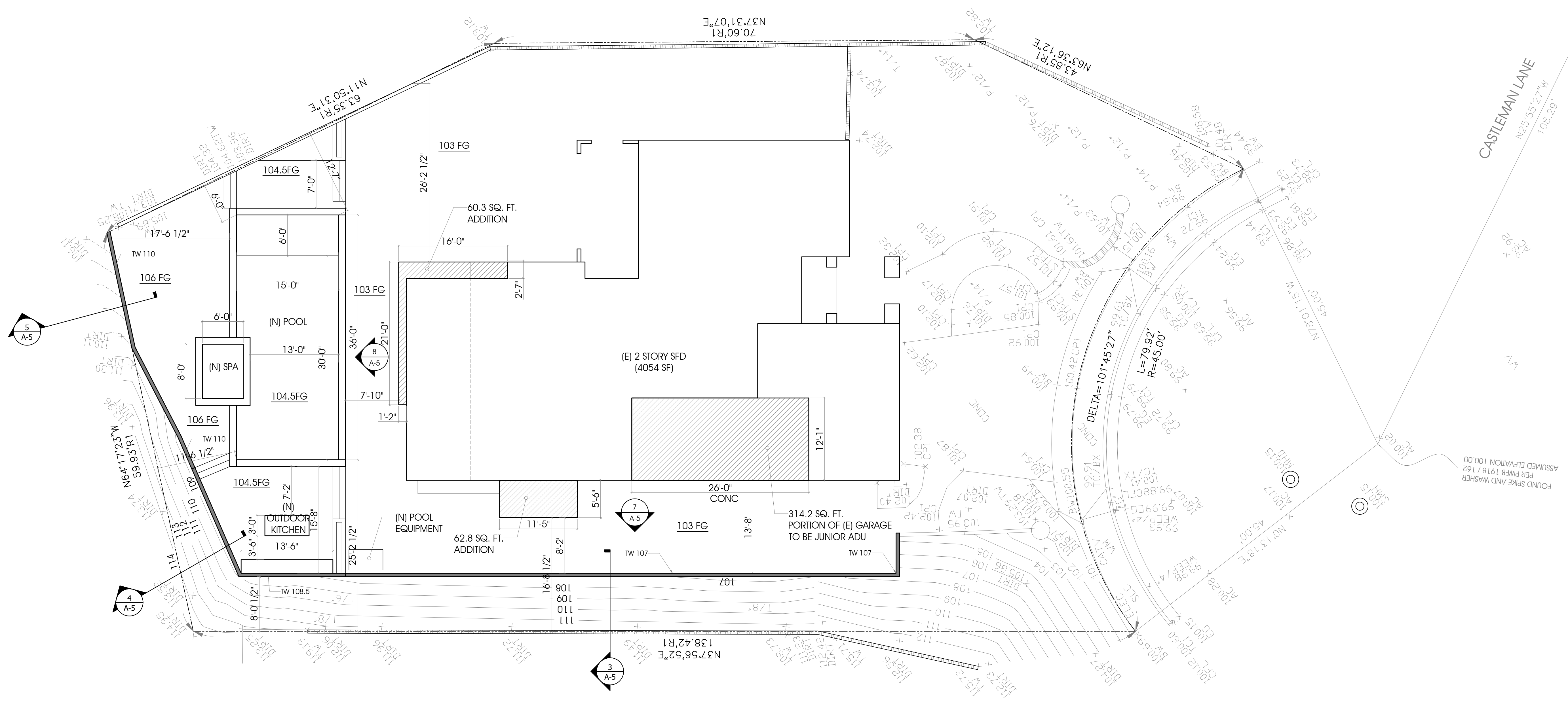
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REVISIONS		
NO.	ISSUE	BY

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:  
**A-1.2**  
OF SHEETS



**1 (N) PLOT PLAN**  
Scale: 1/8"=1'-0"

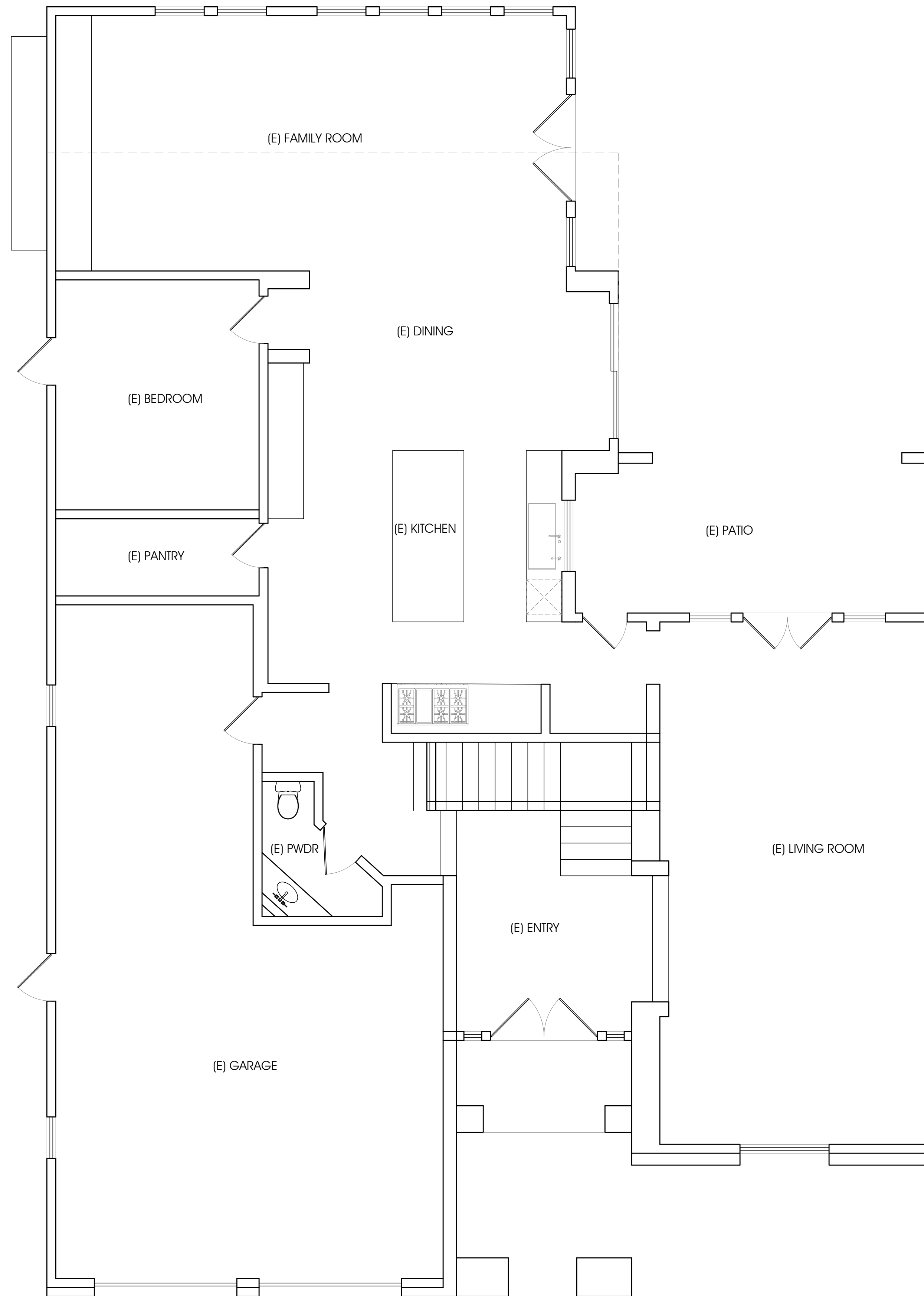
**AVERAGE SLOPE:**

$S = (I \times L \times 100) / A$ , WHERE:

- S = AVERAGE GROUND SLOPE IN PERCENT, CALCULATED FOR THE ENTIRE LOT
- I = CONTOUR INTERVAL IN FEET. THE CONTOUR INTERVAL SHALL BE 10 FEET OR LESS.
- L = THE COMBINED LENGTH IN FEET OF ALL CONTOUR LINES ON THE LOT
- A = GROSS AREA FOR THE LOT IN SQUARE FEET

$S = (1 \times 1195.86 \times 100) / 11600 = 10.3\%$





1 (E) 1ST FLOOR PLAN  
Scale: 1/4":1'-0"

OWNER SHARIS MARDIROSSIAN	PROJECT NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR	LOCATION 3526 CASTLEMAN LANE BURBANK, CA 91504
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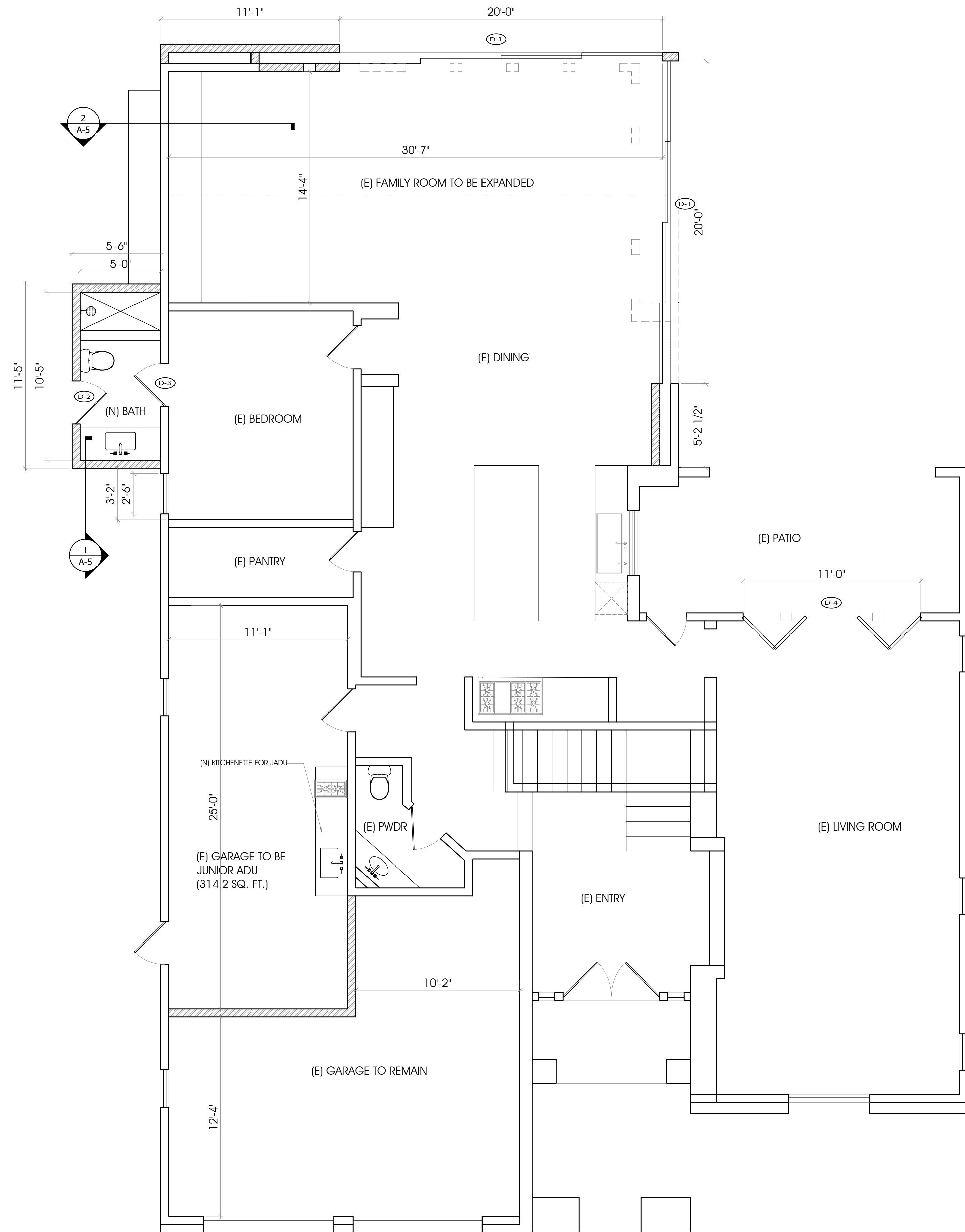
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REVISIONS		
NO.	ISSUE	BY

DRAWN BY	A.A.
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DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:  
**A-2.1**  
OF SHEETS



**1 (N) 1ST FLOOR PLAN**  
 Scale: 1/4":1'-0"

**LEGEND:**

- NEW STUD WALL 2 X 4 @ 16 O.C.
- (E) WALL TO BE DEMO
- (E) WALL TO REMAIN
- DOOR SCHEDULE SYMBOL
- WINDOW SCHEDULE SYMBOL

NEW DOOR SCHEDULE					
DOOR NUMBER	WIDTH X HEIGHT	MATERIAL	TYPE	GLAZING	REMARKS
D-1	20'-0" X 8'-6"	FIBERGLASS	MULTI SLIDE	DUAL	TEMPERED
D-2	2'-8" X 6'-8"	SOLID CORE	SWING	NO	
D-3	2'-8" X 6'-8"	HOLLOW CORE	SWING	NO	
D-4	11'-0" X 6'-8"	FIBERGLASS	ACCORDION	DUAL	TEMPERED
D-5	10'-0" X 6'-8"	FIBERGLASS	ACCORDION	DUAL	TEMPERED
D-6					

**ARCH-DESIGN**  
 & CONSTRUCTION CO., INC.  
 TEL (818) 517-5224  
 409 IRVING DR.  
 BURBANK, CA 91504

OWNER: SHARIS MARDIROSSIAN  
 PROJECT: NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR  
 LOCATION: 3526 CASTLEMAN LANE BURBANK, CA 91504

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REVISIONS		
NO.	ISSUE	BY

DRAWN BY: A.A.  
 CHECKED BY: ARAM M.  
 DESIGN BY: ARAM M.  
 SCALE:                        
 DATE:                        
 JOB NO.:

SHEET NUMBER:  
**A-2.2**  
 OF SHEETS

OWNER: SHARIS MARDIROSSIAN  
PROJECT: NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR  
LOCATION: 3526 CASTLEMAN LANE BURBANK, CA 91504

AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



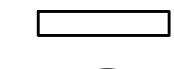
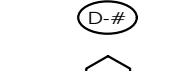
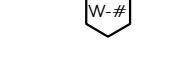
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK, AT THE SITE BEFORE PROCEEDING WITH WORK.

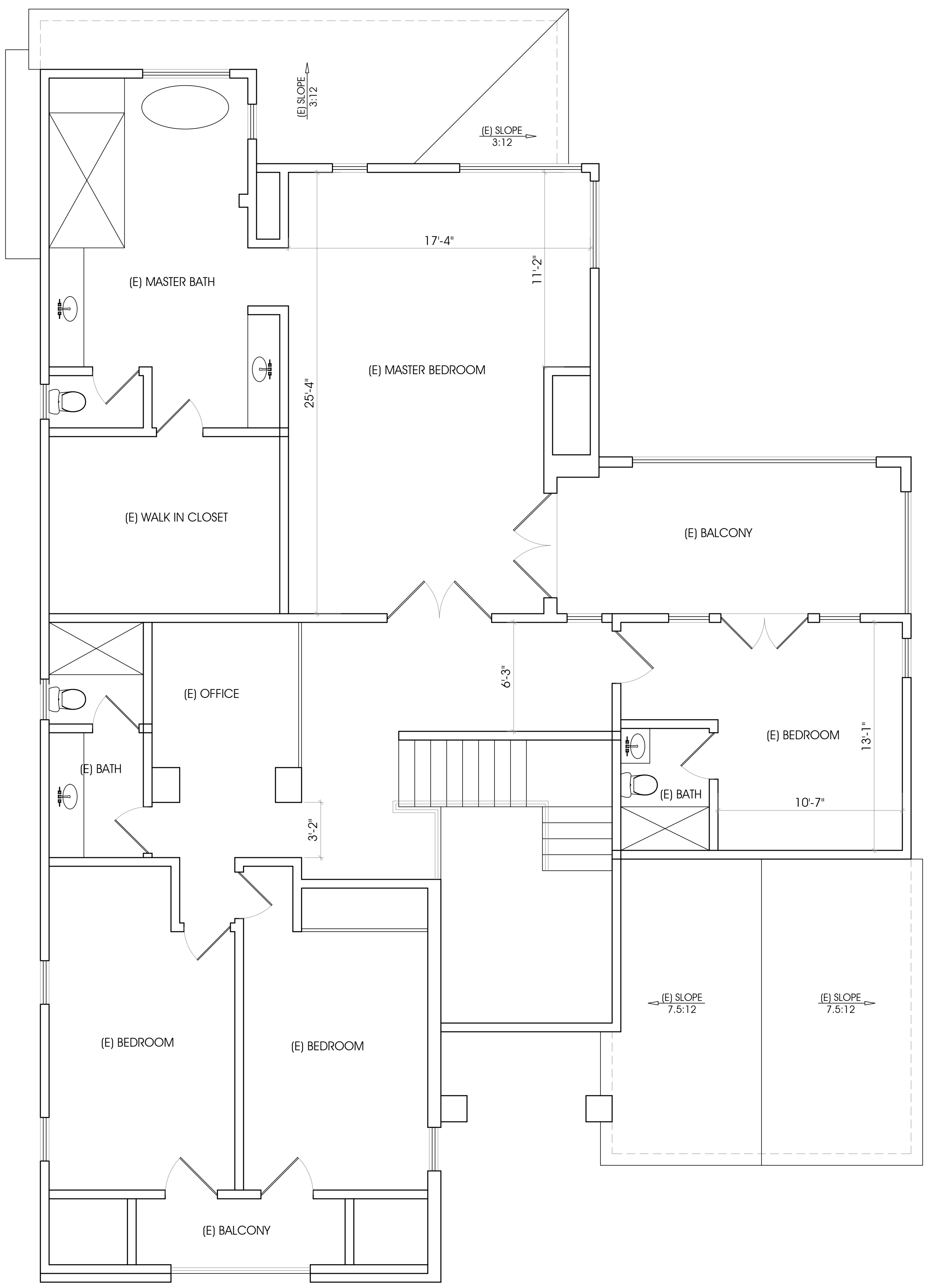
REVISIONS		
NO.	ISSUE	BY

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CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
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JOB NO.	

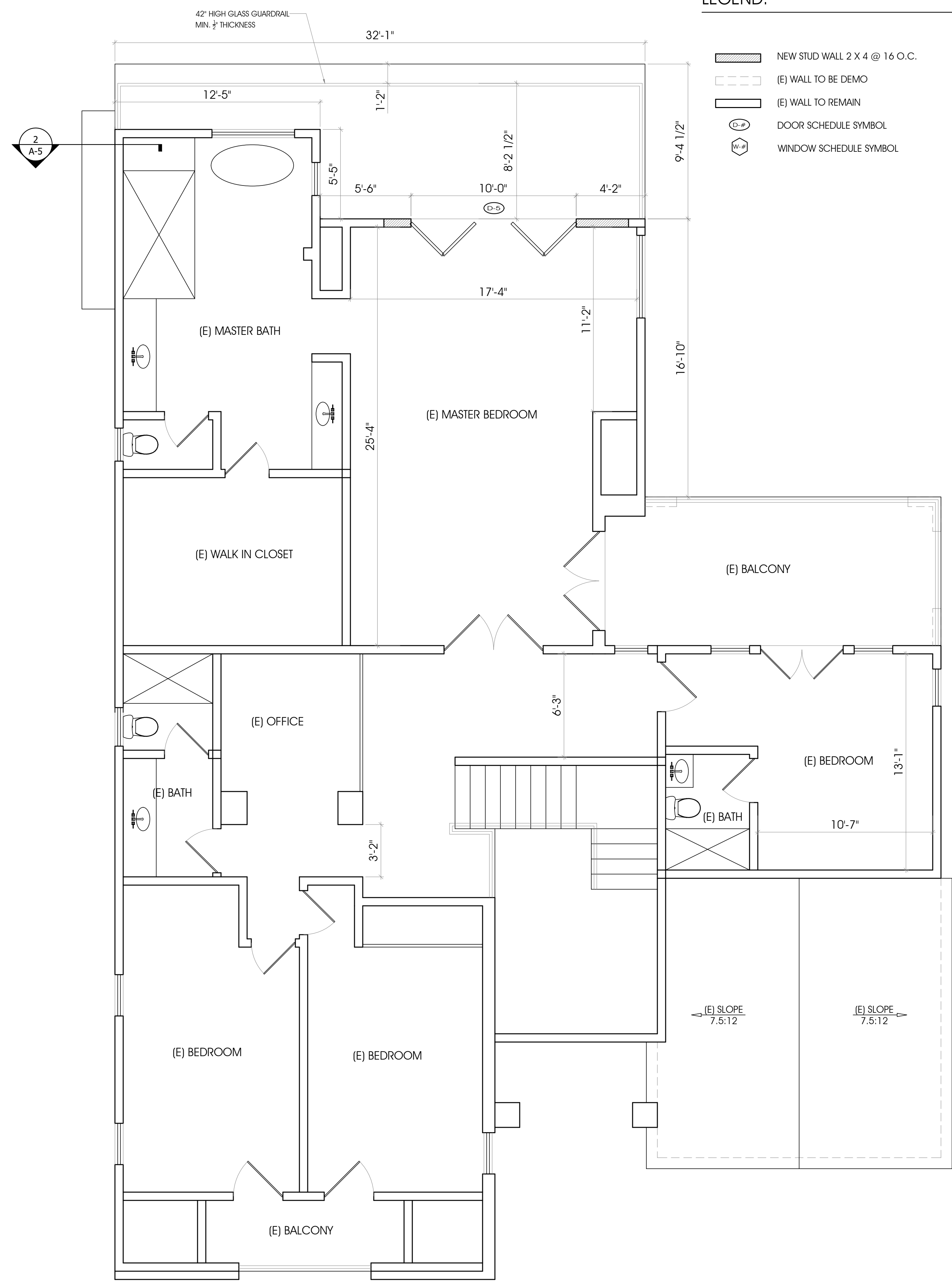
SHEET NUMBER:  
**A-2.3**  
OF SHEETS

LEGEND:

-  NEW STUD WALL 2 X 4 @ 16 O.C.
-  (E) WALL TO BE DEMO
-  (E) WALL TO REMAIN
-  DOOR SCHEDULE SYMBOL
-  WINDOW SCHEDULE SYMBOL



1 (E) 2ND FLOOR PLAN  
Scale: 1/4":1'-0"



2 (N) 2ND FLOOR PLAN  
Scale: 1/4":1'-0"

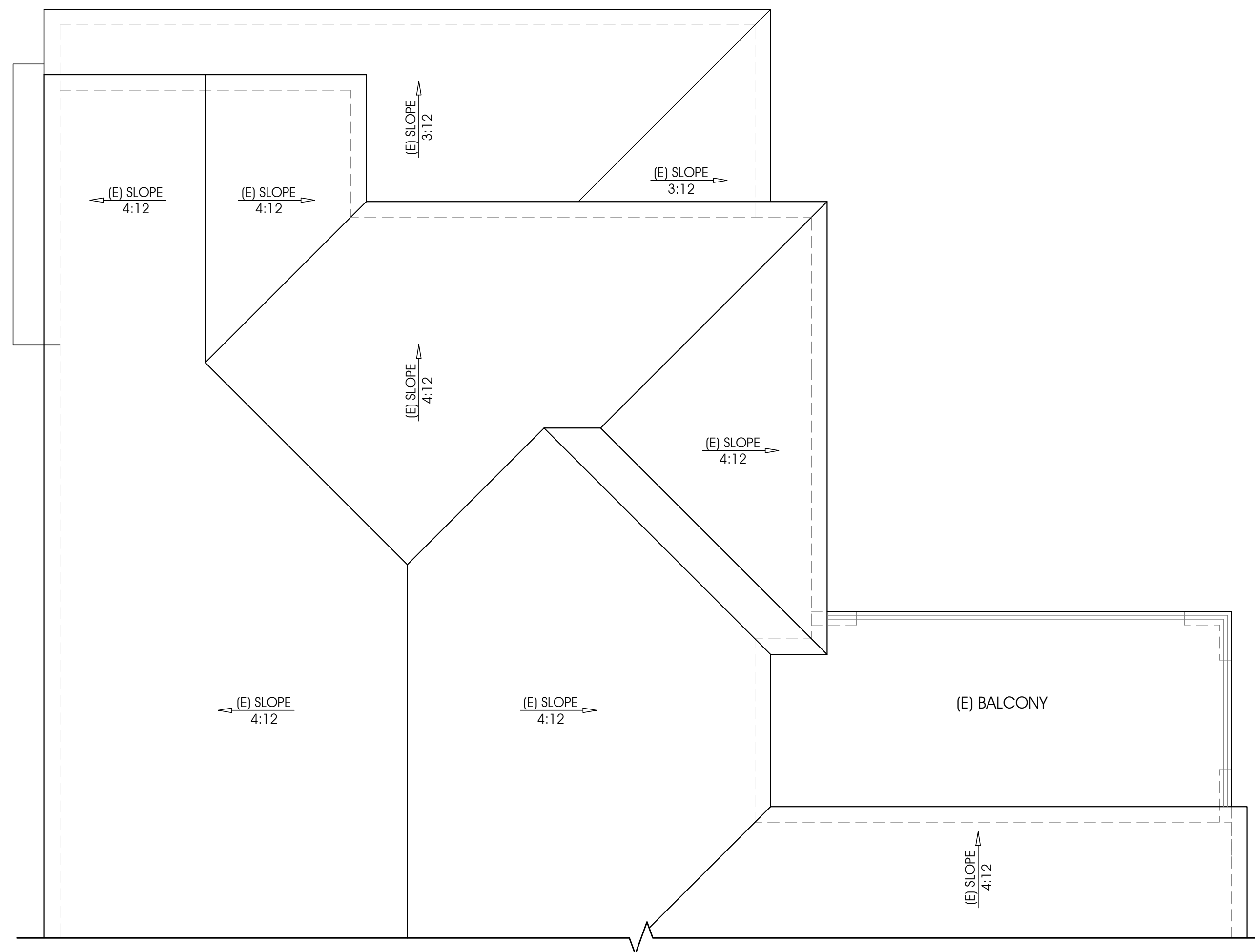
ROOFING NOTES:

BALCONY WEATHERPROOFING: DECK FLEX  
PRODUCT ICC-ESR: 3672  
NOTE: INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

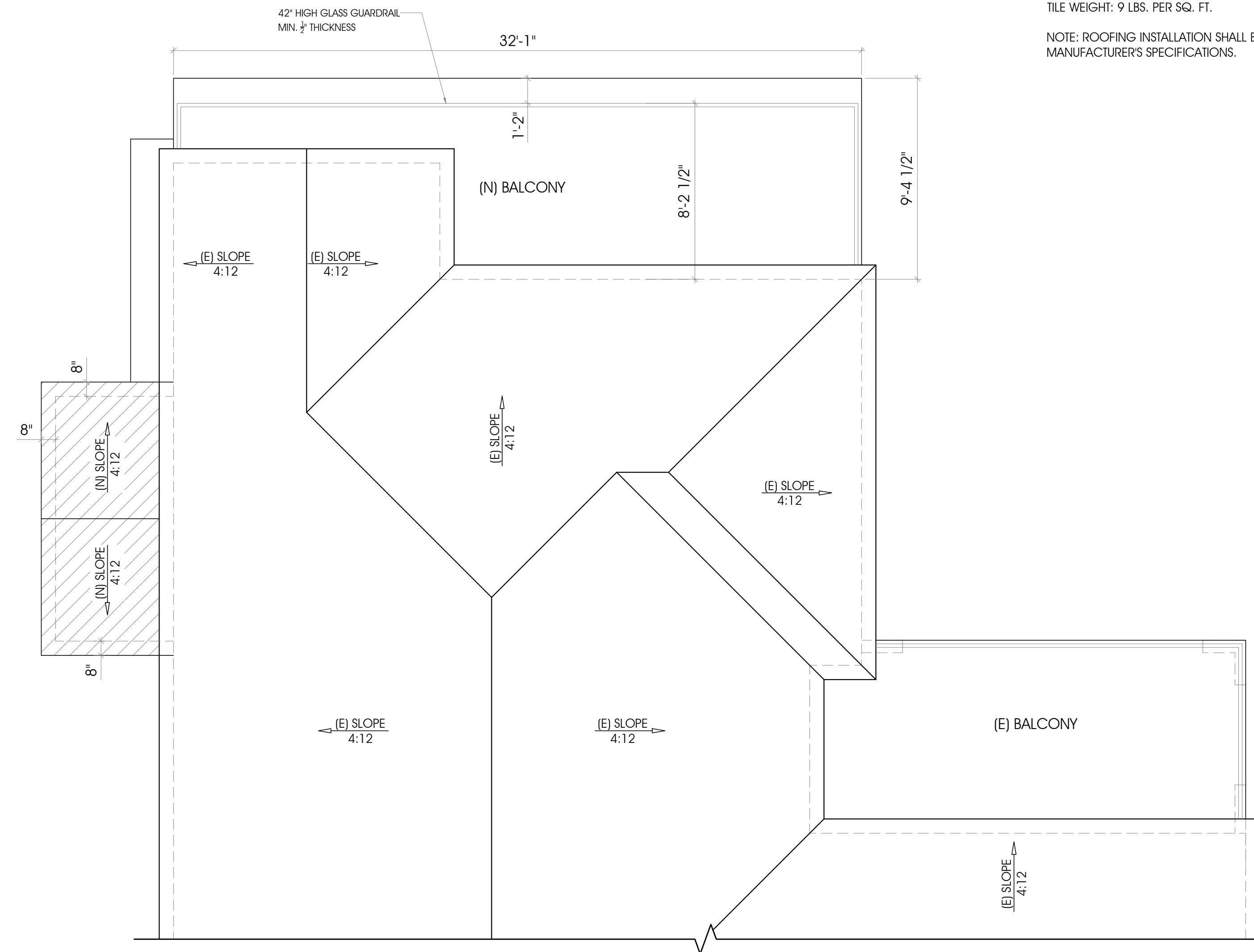
NOTE:  
ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED.  
(CRC R109.1.5.3, CBC 110.3.6)

ROOFING MATERIAL: CLASS 'A' CONC. TILE ROOF  
(EAGLE ROOFING- ARCADIA CANYON BROWN)  
PRODUCT CRRC: 0918-0043  
3YR. REF.: 0.17  
3YR. EMIT.: 0.92  
3YR. SRI: 16  
CERTIFICATION: UES ER-412  
TILE WEIGHT: 9 LBS. PER SQ. FT.

NOTE: ROOFING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



1 (E) ROOF PLAN  
Scale: 1/4"=1'-0"



2 (N) ROOF PLAN  
Scale: 1/4"=1'-0"

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CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

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NO.	ISSUE	BY

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JOB NO.	

OWNER: SHARIS MARDIROSSIAN  
PROJECT: NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR  
LOCATION: 3526 CASTLEMAN LANE BURBANK, CA 91504

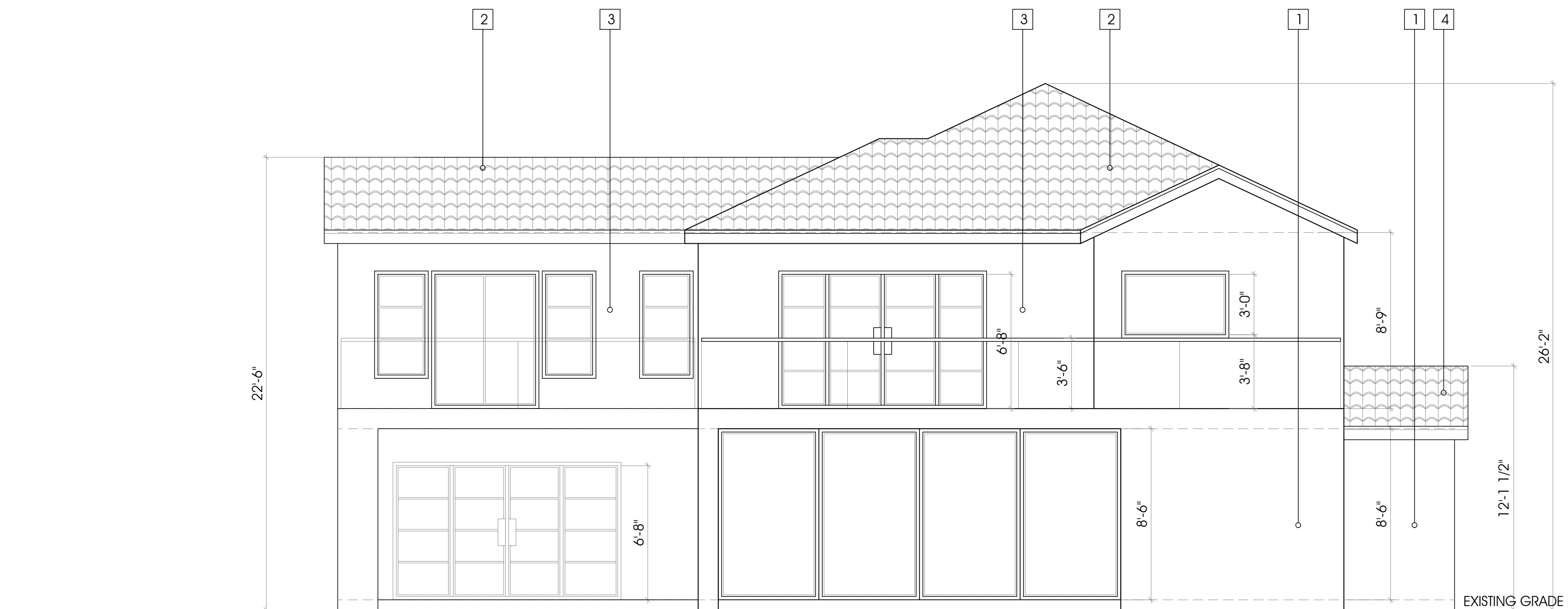
EXTERIOR FINISHES:

- 1 (N) 7/8" STUCCO TO MATCH EXISTING
- 2 (E) CLASS "A" TILE ROOFING
- 3 (E) STUCCO
- 4 (N) CLASS "A" TILE ROOFING TO MATCH EXISTING

NOTE:  
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR REMOVAL OF NON-APPROVED WORK.



1 (E) NORTH ELEVATION  
Scale: 1/4":1'-0"



2 (N) NORTH ELEVATION  
Scale: 1/4":1'-0"

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JOB NO.	

SHEET NUMBER:  
**A-4.1**  
OF SHEETS

OWNER: SHARIS MARDIROSSIAN  
PROJECT: NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR  
LOCATION: 3526 CASTLEMAN LANE BURBANK, CA 91504

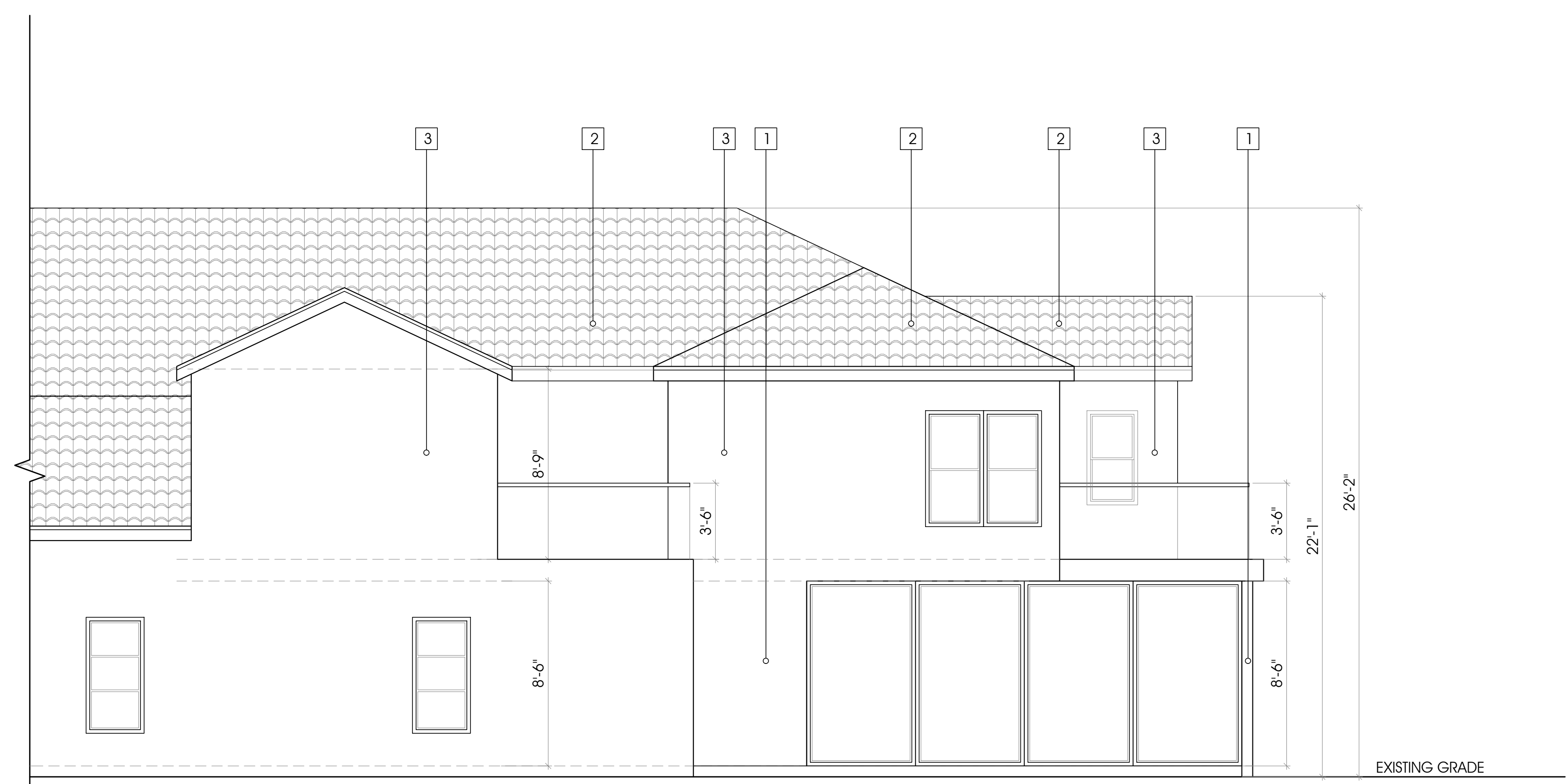
EXTERIOR FINISHES:

- 1 (N) 7/8" STUCCO TO MATCH EXISTING
- 2 (E) CLASS "A" TILE ROOFING
- 3 (E) STUCCO
- 4 (N) CLASS "A" TILE ROOFING TO MATCH EXISTING

NOTE:  
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1 (E) EAST ELEVATION  
Scale: 1/4":1'-0"



2 (N) EAST ELEVATION  
Scale: 1/4":1'-0"

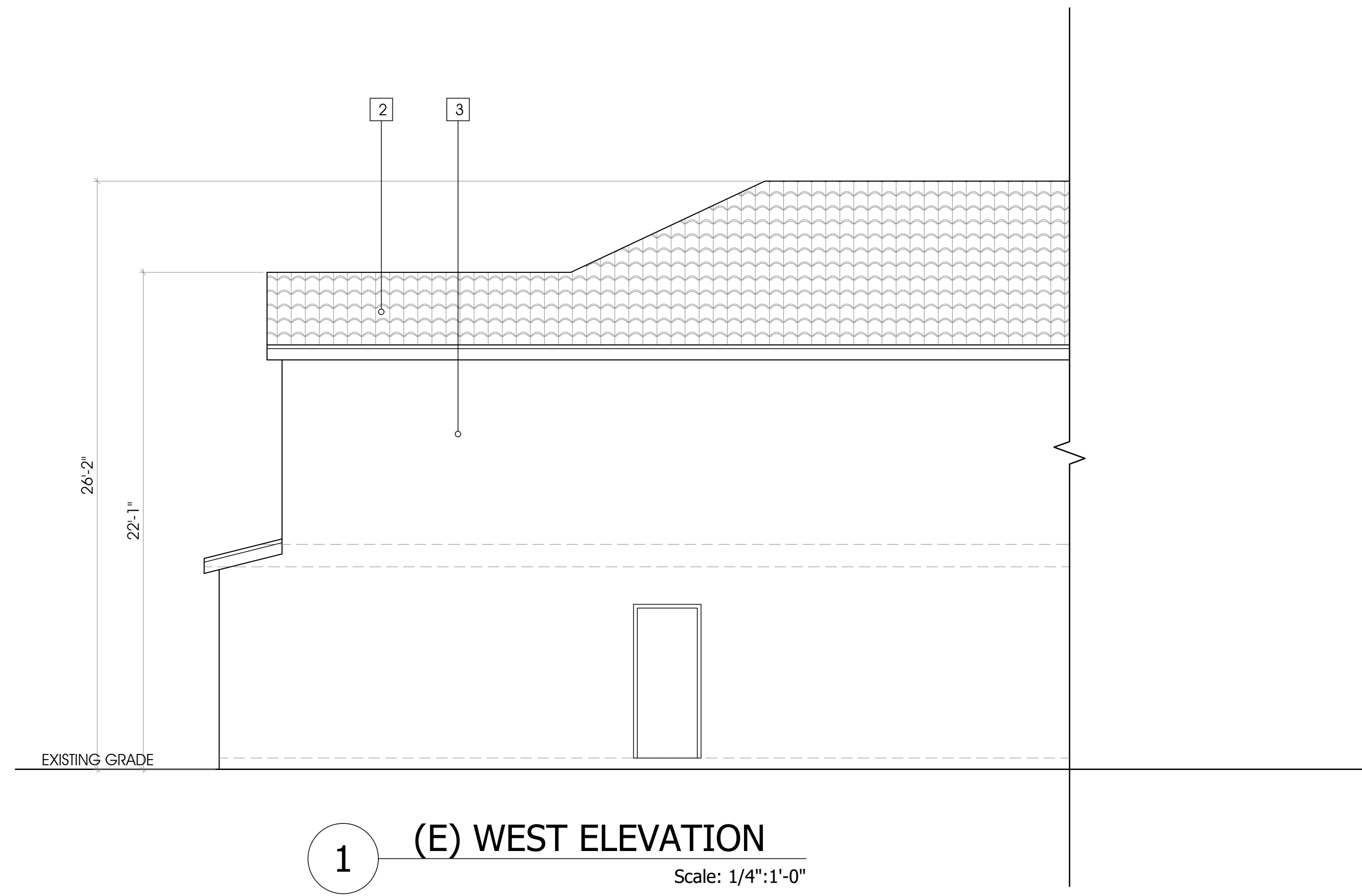
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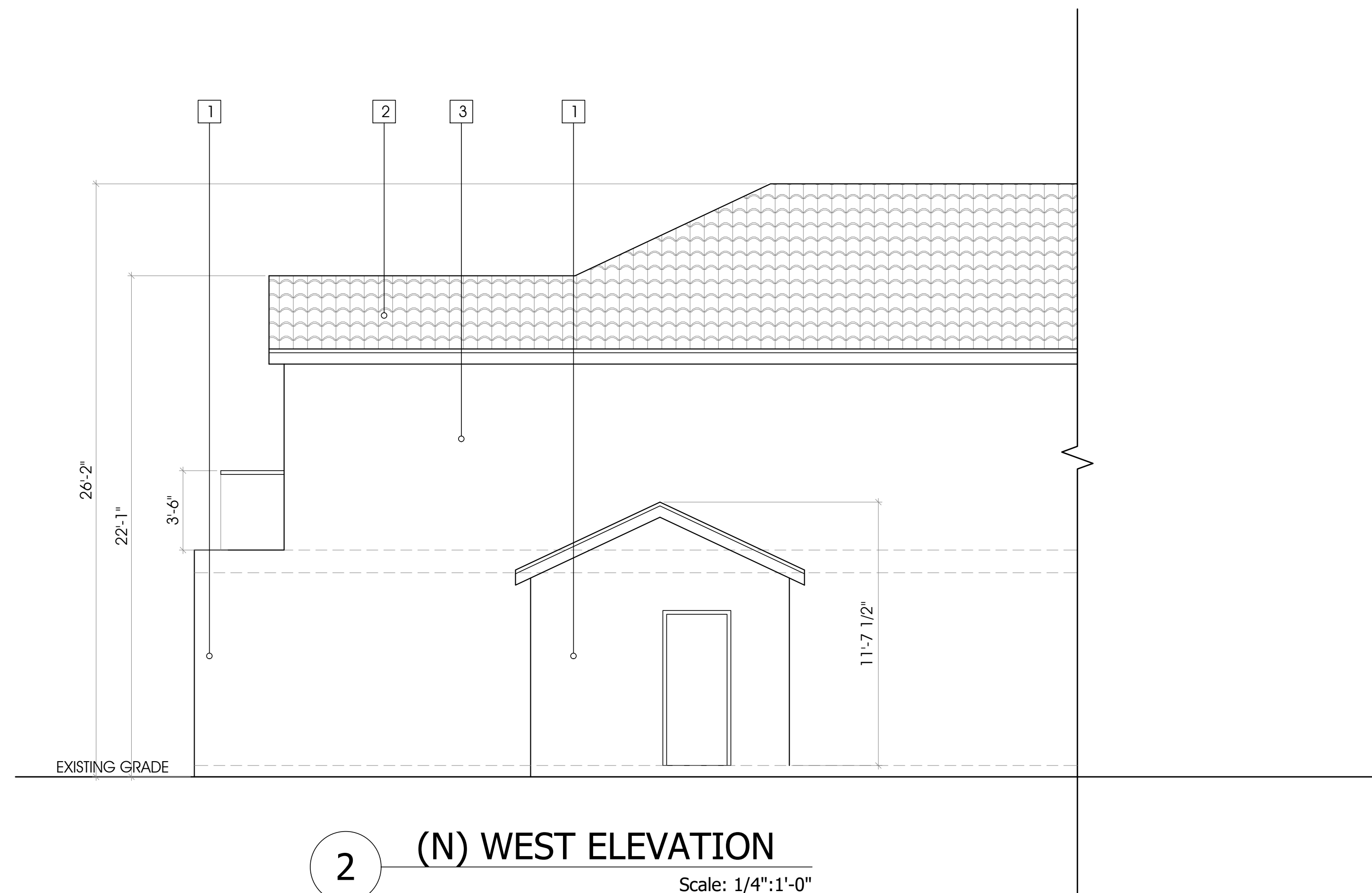
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SHEET NUMBER:  
**A-4.2**  
OF SHEETS



**1 (E) WEST ELEVATION**  
Scale: 1/4":1'-0"



**2 (N) WEST ELEVATION**  
Scale: 1/4":1'-0"

**EXTERIOR FINISHES:**

- 1 (N) 7/8" STUCCO TO MATCH EXISTING
- 2 (E) CLASS "A" TILE ROOFING
- 3 (E) STUCCO
- 4 (N) CLASS "A" TILE ROOFING TO MATCH EXISTING

NOTE:  
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR REMOVAL OF NON-APPROVED WORK.

OWNER <b>SHARIS MARDIROSSIAN</b>	PROJECT <b>NEW RETAINING WALL, NEW POOL/SPA, ADDITION TO (E) SFD, NEW ROOF FRAMING IN REAR</b>	LOCATION <b>3526 CASTLEMAN LANE BURBANK, CA 91504</b>
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OWNER: SHARIS MARDIROSSIAN  
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SHEET NUMBER:  
**A-5**  
OF SHEETS

