



**COMMUNITY  
DEVELOPMENT**

December 30, 2025

GEVIK GHAZARIAN  
225 E. BROADWAY, STE 100  
GLENDALE, CA 91205

**VIA EMAIL:** [gevik@updevelopments.com](mailto:gevik@updevelopments.com)

**RE: Project No. 24-0004612 (Hillside Development Permit) – Approved  
Located at 1719 Rudell Road**

Dear Mr. Ghazarian,

This letter is to notify you that the Community Development Director has approved your application for a Hillside Development Permit (HDP) at the Project site referenced above. Enclosed is the HDP approval with the Project's conditions of approval.

Please be advised that the decision of the Community Development Director will become final after fifteen (15) days from the decision date unless the decision is appealed to the Planning Commission within those 15 days. Any appeal application of the Director's decision must be submitted to the Planning Division with the applicable filing fee, in accordance with the adopted Citywide 2025-26 Fee Schedule, prior to the expiration of the fifteen- (15) day appeal period, or 5:00 p.m. on January 14, 2026.

If you have any questions concerning this letter, please contact the Planning Division by phone at (818) 238-5250 to speak with Senior Planner, David Kim, or by email [DKim@burbankca.gov](mailto:DKim@burbankca.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read "David Kim".

DAVID KIM  
Senior Planner  
Community Development Department

Attachments:

View Study  
Approved Plans

Cc: Property Owner – Chris Kistorian, 1719 Rudell Road, Burbank CA 91501

## **Community Development Department Director's Decision**

**DATE:** December 30, 2025

**PROJECT TITLE:** Project No. 24-0004612 – Hillside Development Permit

**PROJECT ADDRESS:** 1719 Rudell Road

**APPLICANT:** Gevik Ghazarian

**PROJECT DESCRIPTION:** The Project proposes the following: (1) retain an unpermitted new pool and spa in the backyard area; (2) remodel the existing front yard retaining wall including removing approximately 70 square feet of raised yard area, infilling 109 square feet of terraced yard area, and increasing the height of the east side of the front yard retaining wall to a maximum height of 8'-6"; (3) retain an unpermitted 42'-8" wide and 13'-0" deep addition to the north end of the existing rear raised deck; (4) remodel and add 18 square feet to the existing south side second story balcony, and; (5) remove approximately 57 square feet from the southeastern side of the existing rear raised deck.

**ZONING:** R-1

**GENERAL PLAN:** Low Density Residential

**MUNICIPAL CODE CONFORMANCE:** The Project was reviewed by Staff and determined to be conforming with the Burbank Municipal Code (BMC). Per BMC Section 10-1-606(l), exceptions have been granted to allow the retaining wall to exceed the maximum retaining wall height of 4'-0" and a reduced side yard setback for a raised deck from 10'-0" to 1'-6".

**ENVIRONMENTAL REVIEW:** The Project is categorically exempt from the California Environmental Quality Act (CEQA) in accordance with CEQA Guidelines Section 15303(e) pertaining to the construction of accessory structures, including walls, swimming pools, and patios.

**DATE SIGN POSTED ON-SITE:** December 8, 2025

**DATE PUBLIC NOTICE MAILED:** December 8, 2025

**DATE OF DIRECTOR'S DECISION:** December 30, 2025

**END OF APPEAL PERIOD:** January 14, 2026

David Kim, Senior Planner  
Planning Division (818) 238-5250

 FOR  
\_\_\_\_\_  
Patrick Prescott, Community Development Director

**HILLSIDE DEVELOPMENT PERMIT NO. 24-0004612  
(1719 Rudell Road – Gevik Ghazarian, Applicant,  
and Chris Kistorian, Property Owner )**

**Findings for Granting a Hillside Development Permit**

The Community Development Director finds the proposed Project satisfies the requisite findings contained in the Burbank Municipal Code Section 10-1-607(D)(3) necessary for approval of the Hillside Development Permit, subject to the attached conditions of approval.

*a) The vehicle and pedestrian access to the house and other structures do not detrimentally impact traffic circulation and safety or pedestrian circulation and safety and are compatible with existing traffic circulation patterns in the surrounding neighborhood. This includes but is not limited to: driveways and private roadways, access to public streets, safety features such as guardrails and other barriers, garages and other parking areas, and sidewalks and pedestrian paths.*

The Project site is located within an existing residential neighborhood, southeast of the existing cul-de-sac of Rudell Road. The residence fronts onto a private driveway that is shared with two adjacent residences that connects to the Rudell Road cul-de-sac. Rudell Road is designated a local street per the Burbank 2035 General Plan, which is appropriate for residential land uses. The existing vehicle and pedestrian access to the house and other structures will not be modified or impacted by the Project and the proposed improvements will not detrimentally impact traffic or pedestrian circulation and safety. Additionally, the improvements do not encroach within shared vehicular driveway and will not impede emergency vehicle access. The proposed removal of approximately 70 square feet of the raised northeast front yard and associated remodeling of the front and side retaining wall will widen the emergency vehicle access to the adjacent property to the south. The proposed improvements are compatible with existing traffic circulation patterns in the neighborhood and will not disturb any existing sidewalks, guardrails, or street access. Access to the existing parking garage would remain unaltered from existing conditions and the primary access to the Project site will continue to utilize the private common driveway which connects to Rudell Road within the private cul-de-sac area. Therefore, this finding can be made.

*b) The house and other structures are reasonably consistent with the natural topography of the surrounding hillside.*

The Project Site is situated in the northeastern portion of the designated R-1 Hillside area on the south side of the Rudell Road cul-de-sac. The subject lot is an irregularly shaped parcel and is considered a downslope lot. The new swimming pool and spa area would be constructed on flat area of the existing rear yard. The proposed alteration of the front yard retaining wall, including reducing the existing raised front yard area at the northeast

corner of the property and infill of a 109 square-foot terraced area of the front yard and associated modification of the existing retaining wall along the eastern side will remain consistent with the natural site topography.

The rear deck extension is proposed on a sloped area of the site on the northwestern portion of the existing deck; however, the improvements have been designed such that the sloped area beneath the raised decking will remain unaltered. The deck extension has been constructed at a lower height than the existing, permitted raised deck, which reduces the visual impact of the new deck area. As all improvements that are proposed are reasonably consistent with the natural topography of the surrounding hillside. Therefore, this finding can be made.

*c) The house and other structures are designed to reasonably incorporate or avoid altering natural topographic features.*

The proposed site improvements have been designed to avoid altering the site topography. The new swimming pool has been constructed in the same flat location as a previously approved in-ground pool thus the new pool and spa will not alter any natural topographic features. The Project additionally proposes to retain an addition to the existing rear deck which will not impact the sloped area of the backyard. The Project also includes removal of previously constructed improvements that were built over property lines by a previous owner, specifically the removal of 70 square feet of raised front yard and relocation of the retaining wall at the northeast corner of the parcel to realign the front yard retaining wall with the legal property lines, and removal of approximately 57 square foot at the southeast corner of the rear raised deck so that it is also within property lines; neither of these will impact the natural topography of the site. While these improvements result in minimal grading, they will not significantly alter the nature of the front, rear, or side yard areas, as the improvements have been designed to avoid alteration of the natural topography of the site. All other work is consistent with and will not impact or alter the topography of the surrounding hillside. Based on the analysis above, this finding can be made.

*d) The house and other structures will not unnecessarily or unreasonably encroach upon the scenic views from neighboring properties, including both downslope and upslope views.*

The Project site is considered a downslope property. As identified in the View Study prepared for the Project, the proposed site improvements, including the existing uncovered deck extension and front yard work, would not unnecessarily or unreasonable encroach on the scenic views from the neighboring properties as no primary view, as defined by the Burbank Municipal Code Section 10-1-606(E), will be impacted. Therefore, this finding can be made.

*e) For the purpose of evaluating required finding (d) above, a view study must be submitted with all Hillside Development Permit applications documenting the impacts of the proposed structure(s) on views from adjacent properties. The view study must be prepared in a manner approved by the Director or their designee and contain all information and documentation deemed necessary by the Director for the purpose of analyzing view impacts and establishing setback lines for view determination pursuant to Section [10-1-606\(E\)](#). This study is separate from the Ridgeline setback analysis required by Section [10-1-606\(D\)](#).*

A View Study was prepared for the Project. City staff conducted a site visit at the Project Site on May 16, 2025. City staff mailed view study notification letters to the neighbors immediately adjacent to the Project Site: 1715, 1717, 1720, 1723, and 1724 Rudell Road, and 1310 East Tujunga Avenue notifying them of the pending Hillside Development Permit application and requesting correspondence if the improvements impacted their views. One response was received inquiring about the height of a proposed rear deck planter; however, no site visit was requested. As analyzed in the View Study, the downslope primary view of the adjacent properties would not be impacted by the Project. Therefore, this finding can be made.

*f) The view impacts of the proposed project must be considered by the Director, or Planning Commission if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required findings.*

A View Study conducted by City staff illustrates that the proposed improvements will not significantly affect downslope views from the adjacent properties. The potential view impacts of the proposed project have been analyzed by staff using photographs taken during site visits conducted on May 16, 2025, and September 25, 2025. The proposed Project has been determined to have negligible impacts to the neighboring properties with respect to views as the height of the proposed structures are not visible from the front and are lower than the existing improvements seen from the west and south of the subject property. Therefore, this finding can be made.

### **Exceptions to the Development Standards**

In accordance with BMC Section 10-1-606(I), exception to the development standards in BMC Section 10-1-603 can be requested through the HDP and is subject to making the required four (4) findings below.

In summary, the Applicant is requesting approval of the following exceptions for the Project:

- An exception to allow an exposed retaining wall with maximum height of 8'-6". Section 10-1-603(H)(3)(c) limits the maximum height of retaining walls outside the front yard area to 4'-0" from abutting natural grade.

- An exception to allow the expansion of an existing uncovered deck above ground level, supported from the ground, with side yard setbacks of 1'-6" and 5'-0". BMC Table 10-1-1-603(G) Footnote 6 requires a 10'-0" side yard setback for raised decks.
- An exception to allow the expansion of an existing uncovered balcony above ground level, attached to a structure and not supported from the ground, with a side yard setback between 1'-0" and 7'-11". BMC Table 101-1-603(G) Footnote 6 requires a 10'-0" side yard setback for raised balconies.

The analysis of the required findings for approval of an exception are as follows:

1. *The exception is not detrimental to the public health, safety, or general welfare.*

Applicant is requesting an 8'-6" high retaining wall as part of leveling a southeast portion of the existing yard area southeast of the existing house. Adjacent to the south of the new retaining wall would be the existing private shared driveway. The proposed higher retaining wall would still comply with the City's corner cut-off requirements as the retaining wall is located outside of the required 5'-0" by 5'-0" corner cut-off area created by the intersection of the street and driveway. The proposed retaining wall would have to be reviewed for code compliance with Building and Safety Division to ensure the retaining wall is built to code standard.

Furthermore, the Applicant is requesting the following exceptions; 1) exception to allow for a setback of 1'-6" from the south side yard property line and 5'-0" from the north side property line for a proposed expansion of an existing uncovered rear deck located in the rear yard.; and 2) an exception to a setback between 1'-0" and 7'-11" from the south side property line for a proposed uncovered balcony attached to and accessible from the second floor of the existing residence. These structures areas located in existing yard areas west and south of the existing house. The reduced setbacks would allow for extended deck and balcony areas without having the need for grading in the yard areas that extend out southwesterly into the sloped portions of the property. Therefore, the granting of these two exceptions would not be detrimental to public health, safety, or general welfare; and this finding can be made.

2. *Granting of the exception does not constitute a grant of special privilege inconsistent with the limitations upon other projects and/or properties in the vicinity.*

The Project site is currently characterized by unique property conditions. The existing lot has a unique topography where it slopes steeply down towards the southwest. The relatively flat grade of the property is therefore limited due to this topography. The irregular shape lot also presents unique situations when constructing or expanding structures such as an uncovered deck, balcony, or retaining wall, which can be difficult due to property lines positioned in different directions and lengths and for existing yards to be expanded where allowed. The granting of the requested exceptions requested would not constitute a special privilege since there are other adjacent hillside properties that may have similar

limitations due to similar unique topographic and lot-shape conditions and would require similar exceptions in order to use their property to the same level as a property that is not irregularly shaped or excessively sloped. Therefore, this finding can be made.

3. *The exception does not permit or encourage development inconsistent with the character of existing development in the neighborhood.*

Granting of the requested exceptions will not encourage development inconsistent with the existing development character in the neighborhood. and will allow the owner to expand existing yard areas of the property. Due to the unique property topography and irregular shape, the reduced setback for the deck and balcony; and the new higher retaining wall allowance would allow the owner to improve the property without affecting views from adjacent neighbors, while still able to enjoy the property. Therefore, this finding can be made.

4. *There are special conditions or unique characteristics applicable to the subject property and/or the surrounding neighborhood due to the location in the hillside area that justify granting of the exception. Such conditions or characteristics may be related to topography, location, orientation, or other issues that do not generally apply to properties or neighborhoods located outside of the hillside area.*

The Project site has unique characteristics due to the location in the hillside area, including the slope, topography, and irregular lot shape. The location of the property can only be accessed via a privately shared driveway. The Project site is considered a downslope property that slopes steeply towards the back of the property. Due to the irregular lot shape and limited existing building pad to expand existing yard areas, these special site conditions, that do not generally apply to properties or neighborhoods located outside of the hillside area, can make it difficult for owners to improve the property. The requested exceptions can be granted while having negligible impacts to neighboring properties and the existing hillside topography.

**HILLSIDE DEVELOPMENT PERMIT NO. 24-0004612  
(1719 Rudell Road –Gevik Ghazarian, Applicant,  
and Chris Kistorian, Property Owner)**

**CONDITIONS OF APPROVAL**

**PLANNING DIVISION**

1. Project No. 24-0004612, Hillside Development Permit that includes the following scope of work: (1) retain an unpermitted new pool and spa in the backyard area, (2) remodel the existing front yard retaining wall including removing approximately 70 square feet of raised yard area and increasing the height of the east side of the front yard retaining wall to a maximum height of 8'-6", (3) retain an unpermitted 42'-8" wide and 13'-0" deep addition to the north end of the existing rear raised deck, (4) remodel and add 18 square feet to the existing south side second story balcony, and (5) remove approximately 57 square feet from the southeastern side of the existing rear raised deck. All structures and improvement as recommended to be approved shall be located within the Project's property lines. The subject property is located in the R-1, Single Family Residential, zone in the Hillside area.
2. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (expires on December 30, 2026), unless the Property Owner has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements.
3. The operation/construction on the site shall remain in substantial conformance with the request and with the application materials submitted by the applicant and project plans stamped approved on December 30, 2025, and placed on file in the office of the Planning Division.
4. The applicant shall comply with all federal, state, and local laws. Violation or conviction of any of those laws in connection with the use will be cause for revocation of this permit.
5. This permit may be modified or revoked by the City should the determination be made that the structure or conditions under which it was permitted present detrimental impacts on neighboring properties.
6. The applicant shall list these conditions of approval in all construction plans submitted to the Building Division for a building permit. The applicant shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the building permit plan set for all City

Division/Department conditions enclosed and provide the same number of copies as building plan sets submitted for Building Plan Check.

7. By signing and/or using this Hillside Development Permit, the permittee acknowledges all of the conditions imposed and accepts this permit subject to those conditions and with full awareness of the provisions of the Burbank Municipal Code. Failure of the permittee or property owners to sign these conditions does not affect their enforceability by the City or other responsible entity. These conditions are binding upon all future property owners and occupants of the subject property.
8. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Applicant, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside, void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the applicant fails or refuses to enter into the indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.
9. The applicant will be responsible for repairing any damage to the shared private driveway during grading and construction of the site. This shall be completed prior to issuance final building permit inspection.
10. The shared private driveway shall be maintained in good condition at all times. The material for the required driveway area shall be improved with cement concrete, asphalt, brick, pavers, or another similar permanent surface approved by the City Traffic Engineer. The driveway must be kept clear and unobstructed at all times to allow ingress and egress.
11. The proposed planter adjacent to the proposed rear deck extension must remain permanently affixed to the western portion of the rear raised deck such that no congregating can take place within ten (10) feet of the western property line.

## **BUILDING AND SAFETY DIVISION**

12. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the **2025 edition** of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.
13. Plans and reports submitted for Plan Check Review are to be submitted electronically. For more information about the online submittal process, please contact the Building Division at 818-238-5220 or via email at [eplancheck@burbankca.gov](mailto:eplancheck@burbankca.gov).
14. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
15. All Departments that have provide Conditions of Approval are to review drawings and provide final approval via online electronic review, prior to issuance of Building Permit.
16. Separate Permits will be required for the following:
  - a. Demolition
  - b. Grading & Shoring
  - c. Architectural & Structural
  - d. Pool, Spa, & Equipment
  - e. Accessory Dwelling Unit
  - f. Mechanical
  - g. Plumbing
  - h. Electrical
17. Project lies within the City of Burbank Mountain Fire Zone.
  - a. All construction is required to meet Burbank Municipal Code 9-1-1-701A.1.1
18. Grading and drainage plans may be required, and a separate Grading & Shoring Permit may be required. Geotechnical report to be submitted along with Grading & Shoring Permit Application.
19. The foundation shall comply with California Building Code Section 1808.7, for foundations on or adjacent to slopes. A soils report will be required.
20. A stamped setback certification by a Licensed Surveyor will be required to certify the location of the new construction in relation to the setbacks prior to the first foundation inspection.

21. New or Addition/Alteration construction projects within the City of Burbank are subject to MWELo review.
  - Full structure demolition and new construction are required to provide a full MWELo plan check set for review.
  - New or replacement landscape areas for residential and non-residential projects between 500 (new) and 2,500 (replacement) square feet requiring a building or landscape permit, plan check, or design review will be required to complete, either a Performance or Prescriptive Compliance Method. Full house demolition will require MWELo review, either prescriptive or performance, no exceptions.
22. A CF1R energy report will be required, and design team is required to review and coordinate all values with those shown on Plans, Elevations, Sections, and Window Schedules.
23. The California Division of Mines and Geology Active Fault Near-Source Zones Map for Burbank indicates the city is within 2 km - 5 km of the Verdugo and Hollywood Faults. Structural design of construction projects must address the impact of the Near-Fault Zones.
24. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit. **(BMC 9-3-414)**
25. The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 65% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work. **(BMC 9-1-11-1012)**
26. Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC **(BMC 9-1-2R-R301.1.3.2)**
  - Wood-framed, single-family dwellings not more than two stories in height;
  - Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
  - Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
  - Non-structural or non-seismic storefronts, interior alterations or additions.
27. A Building Permit may be issued to the Property Owner provided that the work is limited to:

- A single-family dwelling of wood frame construction not more than two stories and a basement in height.
  - Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
  - Nonstructural or non-seismic alterations or additions.
2. Approved hours of construction are (**BMC 9-1-1-105.10**):
- |                 |                    |
|-----------------|--------------------|
| Monday – Friday | 7:00 am to 7:00 pm |
| Saturday        | 8:00 am to 5:00 pm |

No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.

## **PUBLIC WORKS DEPARTMENT**

### **General Requirements**

28. Show width and location of all existing and proposed easements [BMC 9-1-2-3203].
29. No permanent structure is permitted in any public right-of-way or any public utility easements/pole line easements [BMC 7-3-701.1, BMC 9-1-1-3203].
30. No building appurtenances for utility or fire service connections shall encroach or project into public right-of-way (i.e. streets and alleys). Locations of these appurtenances shall be shown on the building site plan and the off-site improvement plans [BMC 7-3-701.1].
31. On-site drainage shall not flow across the public parkway (sidewalk) or onto adjacent private property. It should be conveyed by underwalk drains to the gutter through the curb face or connected to a storm drain facility [BMC 7-1-117, BMC 7-3-102].
32. Applicant shall protect in place all survey monuments (City, County, State, Federal, and private). Pursuant to California Business and Professions Code Section 8771, when monuments exist that may be affected by the work, the monuments shall be located and referenced by or under the direction of a licensed land surveyor or licensed civil engineer legally authorized to practice land surveying, prior to construction, and a corner record or record of survey of the references shall be filed with the county surveyor. A permanent monument shall be reset, or a witness monument or monuments set to perpetuate the location if any monument that could be affected, and a corner record or record of survey shall be filed with the county surveyor prior to the recording of a certificate of completion for the project.

33. Any work within the public right-of-way must be permitted and approved by the Public Works Department before construction can commence. All construction work in the public right-of-way must comply with Burbank Standard Plans and must be constructed to the satisfaction of the City Engineer. A Public Works EXCAVATION PERMIT is required. The excavation permit requires a deposit acceptable to the Public Works Director to guarantee timely construction of all off-site improvements. Burbank Standard Plans can be accessed at:  
<http://file.burbankca.gov/publicworks/OnlineCounter/main/index.htm>
34. The following must be approved prior to Building Permit issuance: Public Works Permit Division to verify and sign off that the existing "V" ditch swales providing drainage control at the rear of the property is not damaged, modified and cleared of any existing and/or proposed permanent structures.
35. No construction material shall be placed within the public right-of-way without a "Street Use" Permit issued by the Public Works Department.
36. Plans should include easements, elevations, right-of-way/property lines, dedication, location of existing/proposed utilities and any encroachments.

#### **Water Reclamation and Sewer**

37. Pollutants, including construction debris, soil, and other discharges, are prohibited from entering the City's sewer collection system [BMC 8-1-501.1]. Discharges that exceed the local limits per BMC 8-1-501.4 are prohibited. In addition, the applicant shall not obstruct or damage any part of the City sewer system and shall reimburse the City for sanitary sewer overflows and the reasonable costs of necessary maintenance and/or repair of the sewer system [BMC 8-1-311]. As such, it is required that all existing private sewer laterals are capped prior to any demolition activities.

#### **Stormwater Discharge**

38. A Pool Discharge Permit is required each time a single-family residential pool is emptied [BMC 8-1-1004.8(3)]. The permit may be obtained at the Public Works Permits counter and is subject to a fee per the currently adopted Citywide Fee Schedule and the enclosed pool discharge brochure. If the proposed pool/spa contains salt water, please note that saltwater pool/spa discharges are currently conditionally allowed to discharge into the storm drain system, subject to meeting (and not exceeding) the following water quality objectives, in addition to other BMP requirements: TDS = 950 mg/l, Sulfate = 300 mg/l, Chloride = 190 mg/l. This conditional allowance and the limits may be changed by the Regional Water

Quality Control Board in the future. The City strongly discourages the use of saltwater pools.

39. Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy [BMC 9-3-407).

### **Traffic Engineering**

40. No visual obstructions shall be erected or maintained in the 5' by 5' visibility cutoff above 3' high or below 10' high at the intersection of street and driveway. [BMC 10-1-1303 (C)]

### **PARKS AND RECREATION DEPARTMENT**

41. Submit landscape and irrigation plans prepared by a licensed architect. Must comply with Municipal Water Efficiency Landscape Ordinance (MWELO) requirements if over 500 feet of landscape.
- Do not remove any street/parkway trees
  - Protect Tree Protection one of Existing Parkway Trees
  - Provide an Arborist/Landscape Architect valuation of any landscape removed for project
  - Trees on property need to be protected in place
42. Street trees must remain and replacement will be required if removed.
43. Must comply with Art in Public Places Ordinance if building costs are over \$500,000.

### **FIRE DEPARTMENT**

44. Project shall not limit Emergency vehicle or Emergency operations access to the property.
45. Per 503.4 Obstruction of Fire Apparatus Access Roads: Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.
46. All items reviewed are based on information provided at time of review. The comments provided do not limit or relieve the owner and the owner's architect and/or contractor from the responsibility of ensuring compliance with all applicable provisions of fire/life safety codes. Such compliances may include but are not

limited to fire department access for firefighting, including fire department vehicle access, fire water supplies and appurtenances. Further reviews may require additional requirements or limitations as the project develops and is not limited to the requirements provided in these comments.

Fire sprinkler, fire alarm, emergency vehicle access, yard hydrant, underground fire water and emergency radio communication system plans shall be hard copy delivered to the Burbank fire department 311 E. Orange Grove Ave. Burbank California 91502.

### **POLICE DEPARTMENT**

47. All outside lighting shall comply with the requirements of Burbank Municipal Code 5-3-505 - *Outside Lighting*.
48. Buildings/structures shall display a street number in accordance with Burbank Municipal Code 9-2-505.1(A) – *Residential Building Identification* and/or Burbank Municipal Code 9-2-505.1(B) – *Commercial Building Identification*.
49. Pursuant to Burbank Municipal Code 9-2-505.1.1 - approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property and from the alley or rear accessway to the property. Numbers and addresses on residential structures shall be at least four (4) inches (101.6 mm) in height with three-fourths (3/4) inch (19.1 mm) stroke. All other occupancies shall have numbers/addresses a minimum of six (6) inches (152.4 mm) in height with three-fourths (3/4) inches (19.1) stroke. All numbers/address shall contrast with their background.

# **VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)**

## **Objective and Analysis**

A view study is required as a part of the Hillside Development Permit process to analyze the potential impacts of the proposed Project on downslope and upslope scenic views from adjacent properties.

On July 25, 2025, property owners of neighboring properties located within the immediate vicinity of the Project site (shown on Figure 1) were contacted by mail and informed of the proposed Project, as well as of their opportunity to participate in the City's preparation of a view study. The adjacent properties included 1715, 1717, 1720, 1723, and 1724 Rudell Road; and 1310 East Tujunga Avenue. Staff received one response from a surrounding neighbor regarding this project. The comment was about the height of the proposed deck planter. Staff addressed the comment, and no site visit was requested.



*Figure 1: Identified in blue is the subject property. The parcels highlighted in red are the neighboring properties that were contacted as part of the City's View Study.*

# **VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)**

## **Impact to 1715 Rudell Road**



*Figure 1: View of east side of Project site as seen from the front property line of 1715 Rudell Road.*

1715 Rudell Road has a primary downslope view with the first level of the residential structure at 5'-0" above grade level. The downslope view is uninterrupted to the south and southeast. The downslope view will not be impacted by the proposed site improvement work to the Project site.

## **VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)**

### **Impact to 1717 Rudell Road**



*Figure 2: View looking up from the driveway of 1717 Rudell Rd.*

## **VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)**



*Figure 3: View of 1717 Rudell Road from the existing rear deck at the east side of the Project site.*

The primary view from 1717 Rudell Road is downslope to the southeast, south, and southwest, away from the Project Site. As shown in Figure 2, however, the secondary upslope view from 1717 Rudell Road is also not impacted. Figure 2 also shows the increased height of the retaining wall along the east side of the Project site, requested through an exception to the development standards per BMC Section 10-1-606(I), would not impact the view. The applicant has also requested an exception to BMC Table 10-1-603(G) Footnote 6 pertaining to a minimum 10'-0" side yard setback for decks and balconies over seven inches above grade in order to maintain the rear deck at 1'-6" side yard setback. As part of the Hillside Development Permit process, the Applicant would be reducing the existing east end of the raised deck by 57 square feet and thereby increasing the existing side yard setback. Figure 3 shows the view from the existing rear deck toward 1717 Rudell and illustrates that the remodeling of the rear deck would not impact the secondary upslope view of 1717 Rudell Road. Furthermore, the applicant is proposing to enlarge an existing second floor balcony, shown in Figure 1, by 18 square feet. Figure 1 shows that the balcony will not impact downslope or upslope views of the subject property nor the neighboring properties.

# **VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)**

## **Impact to 1723 Rudell Road**



*Figure 4: View from the shared property line between the Project site and 1723 Rudell Road showing the rear deck extension.*

The primary view from 1723 Rudell Road is downslope southward from the rear yard. While the western portion of the unpermitted deck on the Project site does reduce the immediate downslope view of 1723 Rudell Road as viewed from east corner of the rear patio, the property owner did not raise concern. A condition of approval has been included to construct a permanent planter that must always remain at the western portion of the raised rear deck such that no congregating activity can occur within 10'-0" of the west property line.

## VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)

### Impact to 1310 Tujunga Avenue



*Figure 5: View from Project site southward toward 1310 East Tujunga Avenue.*

The downslope abutting property, 1310 East Tujunga Ave, has a primary downslope view in the opposite direction from the Project site. As shown in Figure 5, the secondary view upslope view is occluded by steep and irregular terrain and vegetation, and the proposed work does not extend beyond the height of the existing onsite improvements. Therefore, the secondary upslope view of 1310 East Tujunga Avenue will not be impacted by the proposed improvements.

# **VIEW STUDY FOR HILLSIDE PROJECT (1719 Rudell Road)**

## **Impact to 1723 Rudell Road**



*Figure 6: View from the front property line of 1723 Rudell Road toward the project Site.*

1723 Rudell Road has primary downslope views from the rear yard and the proposed site improvements would not impact their downslope view.

### **Conclusion**

The View Study required City staff to conduct site visits to the residential neighborhood where the Project site is located. In addition, staff notified neighboring properties about the Project and their ability to participate in the Study. No public comments were received in regard to concerns about view impact from the neighbors that were given notification about the Project and View Study.

It is City staff's assessment that the proposed Project at 1719 Rudell Road would not result in view impacts of neighboring properties.

- (1) A new 20' – 6" long, 4' high retaining wall above existing retaining wall at the southeast side property.
- (2) Demolish existing pool, excavation and construction of new expanded pool and spa adjacent to existing raised rear deck.
- (3) New 42' – 8" long and 13' – 0" deep raised rear deck adjacent and attached to existing rear deck.
- (4) Improvements to the existing rear deck (unspecified, includes at minimum alteration of existing openings, excavation around supports, replacement or alteration of decking joists).
- (5) Remove stairs to existing southeast side 2nd story balcony and expand balcony area.
- (6) Remove portion of west corner of front retaining wall that was constructed over property lines, highlighted on the site plan below.
- (7) Remove portion of southwest corner of rear deck that was constructed over property lines, highlighted on the site plan below.

PROPERTY ADDRESS	1719 RUDELL RD, BURBANK
ONE	BUR1*
OCCUPANCY GROUP	R-3
PN	5608-027-019
ARCEL AREA	21,538 (sq ft)
UILDING AREA	4,081 SQ FT
YPE OF CONSTRUCTION	V-B
UMBER OF STORIES	2
UILDING HEIGHT	25'-8"
UMBER OF DWELLING UNITS	1
EXISTING NUMBER OF BEDROOMS AND BATHROOMS	4 BEDROOM & 4 BATHROOMS
PROPOSED NUMBER OF BEDROOMS AND BATHROOMS	4 BEDROOM & 3 BATHROOMS
FIRE SPRINKLERS	YES
NUMBER OF PARKING SPACES	2
FIRE ZONE	YES
LEGAL DESCRIPTION	TR=40026 FOR LEGAL DESC SEE DOC 0397322, 870318 POR OF LOTS 4 AND 5

**DESIGNER:** GEVIK GHAZARIAN / UP DEVELOPMENTS INC.  
225 E. BROADWAY #100 GLENDALE CA 91205  
(818) 660-6596

**STRUCTURAL ENGINEER:** ARDASHES KAZARIAN / KAZARIANS ENGINEERING SERVICES, INC  
1528 CANADA BLVD SUITE 206 GLENDALE CA 91208  
(818) 240-8763

**GRADING ENGINEER:** HAYK MARTIROSIAN / TECHNICAL LAND CO. INC.  
1545 N. VERDUGO RD. SUITE #2 GLENDALE, CA 91208

CHRIS KISTORIAN  
1719 RUDELL RD BURBANK 91501

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:	
<b>GENERAL NOTES &amp; NOTE BLOCKS</b>	
<input checked="" type="checkbox"/>	<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>1. All construction shall comply with the 2022 edition of the CRC, <b>OR</b> CBC, CMC, CPC, and CEC as adopted, and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.</li> <li>2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition</li> <li>3. All property lines, easements, and existing buildings have been indicated on this site plan.</li> <li>4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. <b>(BMC 9-1-2-3302.4)</b></li> <li>5. Water shall be provided on the site and used to control dust.</li> <li>6. Temporary toilet facilities shall be provided on site. <b>(BMC 9-1-2-3305.1)</b></li> <li>7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%, <b>(CBC 1804.4, CRC R401.3)</b></li> <li>8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%, <b>(CBC 1808.7.4, CRC R403.1.7.3)</b></li> </ol>
<input checked="" type="checkbox"/>	<p>Provide on the cover of the plans a note identifying which building code is being used for this project, either:</p> <ul style="list-style-type: none"> <li>• <b>The 2022 California Residential Code (CBC) OR</b></li> <li>• <b>The 2022 California Building Code (CBC)</b></li> </ul> <p><i>Section 1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, <b>but not both</b>, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.</i></p>
<input type="checkbox"/>	<p>On the COVER SHEET list only, the specific applicable codes used for this project.</p> <ul style="list-style-type: none"> <li>• 2022 California Building Code (CBC)</li> <li>• 2022 California Residential Code (CRC)</li> <li>• 2022 California Mechanical Code (CMC)</li> <li>• 2022 California Electrical Code (CEC)</li> <li>• 2022 California Plumbing Code (CPO)</li> <li>• 2022 California Green Building Code (CALGreen)</li> <li>• 2022 California Energy Code</li> </ul>
<input checked="" type="checkbox"/>	<p><b>SETBACK CERTIFICATION REQUIREMENT:</b> A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. <b>(BMC 9-1-1-107).</b></p>

2022 California Residential Code (CRC)  
2022 California Electrical Code (CEC)  
2022 California Mechanical Code (CMC)  
2022 California Plumbing Code (CPC)  
2022 California Green Building Standards Code (CALGreen)  
2022 California Energy Code

Sheet Index	
Sheet Name	Sheet Number
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BUILDING FLOOR PLAN	A-0.6
BUILDING BOTTOM FLOOR PLAN	A-0.7
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ROOF PLAN	A-0.9
SECTION	A-0.10
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CAL GREEN MANDATORY MEASURES	A-3
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Plan approval is conditional that a separate Main Electrical Service Panel relocation/upgrade permit is obtained and completed by the applicant prior to the issuance of a building permit final.

**Exit Alarms:**  
Install exit alarms on all doors of the private single-family residence that provide direct access to the swimming pool or spa. These alarms must either emit an audible alert or provide a verbal warning, such as a repeated message stating, "The door to the pool is open."

**Self-Closing, Self-Latching Devices:**  
Equip all doors providing direct access to the swimming pool or spa with a self-closing, self-latching device. The release mechanism must be installed at least 54 inches above the floor.

**Pool Entry Alarm:**  
Install a pool or spa alarm that activates upon detecting accidental or unauthorized entry into the water. The alarm must comply with and be independently certified to ASTM Standard F2208, "Standard Safety Specification for Residential Pool Alarms." This includes alarms that use surface motion, pressure, sonar, laser, or infrared detection. Personal immersion alarms worn by individuals (e.g., child-worn devices that sound when submerged or moved beyond a set distance) do not meet this requirement.

VICINITY MAP		LEGEND	
		<p>WATER FLOW DIRECTION</p>	

4	AND	FLOOR	FLOURESCENT	QT	QUARRY TILE	
5	ANGLE	FOC	FACE OF CONC	R	RISER	
6	AT	FOP	FACE OF FIN	RA	RADIUS	
7	CL	CENTERLINE	FOS	FACE OF STUBS	REIN	REINFORCED
8	CL	OR ROUND	FRF	FIREPROOF	REQ	REQUIRED
9	POUND OR NO.	FTG	FOOTING	RESIL	RESILIENT	
10	ACOUS ACUSTICAL	FUR	FURRING	ROU	ROUGH OPENING	
ADJ	ADJUSTABLE	G	GAUGE	RWD	REDWOOD	
APC	AIR CONDITIONING	GALV	GALVANIZED	S	SOUTH	
AL	ALUMINUM	GB	GRAB BAR	SC	SOLID CORE	
APX	APPROXIMATE	GL	GLASS	SCD	SEAT COVER DISPENSER	
ED	BOARD	GR	GRADE (GROUND)	SD	SOAP DISPENSER	
BLK	BLOCK	GYP	GYPSPUM	SHT	SHEET	
BD	BOTTOM	HC	HOLLOW CORE	SH	SIMILAR	
CAB	CABINET	HD	HANDICAPPED	SNDR	SANITARY NAPKIN	
CA	CASPICT	HDC	HARDWOOD	DISPENSER	RECEPTACLE	
CEM	CEMENT	HW	HARDWOOD	SPEC	SPECIFICATION	
CER	CERAMIC	HW	HARDWARE	(S)STL	(STAINLESS) STEEL	
CI	CAST IRON	HM	HOLLOW METAL	SSK	SERVICE SINK	
CLG	CEILING	HOR	HORIZONTAL	STD	STANDARD	
CLGK	CAULKING	HGT	HIGHT	SUSP	SUSPENDED	
CLR	CLEAR	ID	INSIDE DIA	SYM	SYMMETRICAL	
CONC	CONCRETE	I	INSULATION	TREAD		
CONSTR	CONSTRUCTION	INT	INTERIOR	TB	TOWEL BAR	
CONT	CONTINUOUS	J	JOINT	TEL	TELEPHONE	
CTR	CENTER	LAM	LAM (LAMINATED)	T&G	TONGUE & GROOVE	
DB	DOUBLE	LAV	LAVATORY	THK	THICK	
DF	DRINKING FOUNTAIN	L	LIGHT	TPD	TOILET PAPER DISPENSER	
DA	DAMETER	MC	MEDICINE CAB	TYP	TYPICAL	
DM	DIMENSION	MECH	MECHANICAL	UNF	UNFINISHED	
DN	DOWN	MEMB	MEMBRANE	UN	UNLESS OTHERWISE	
DR	DOOR	MTL	METAL	NOTED		
DWG	DRAWING	MIR	MIRROR	UR	URINAL	
E	EAST	MNT	MOUNTED	VERT	VERTICAL	
EACH	EACH	N	NORTH	W	WEST	
ELEV	ELEVATION	N	NOT IN CONTRACT	WID	WINDOW	
ELEC	ELECTRICAL	NOM	NOMINAL	WI	WITH	
EMER	EMERGENCY	NTS	NOT TO SCALE	WC	WATER CLOSET	
ENCL	ENCLOSURE	OB	OBSCURE	WO	WOOD	
EQ	EQUAL	OC	ON CENTER	WID	WITHOUT	
EQPT	EQUIPMENT	OD	OUTSIDE DIA	WR	WATERPROOF	
EX	EXISTING	OPNG	OPENING	WR	WATER RESISTANT	
EXP	EXPOSED	OPP	OPPOSITE	WGT	WEIGHT	
EXP	EXPANSION	PRCST	PRECAST			
EXT	EXTERIOR	PL	PLATE			
FA	FIRE ALARM	P	PLASTIC			
FDN	FOUNDATION	PLAS	PLASTER			
FEIC	FIRE EXTINGUISHER CABINET	PLYWD	PLYWOOD			
FL	FIRE HOSE CAB	PAR	PAR			
FN	FINISH	PNT	PAINTED			
FH	FLOOR (LINE) FLASH FLASHING	PTDR	PAPER TOWEL DISPENSER RECEPTACLE			
		PTN	PARTITION			

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:

**BUILDING DIVISION**  
**Community Development Department**  
**City of Burbank**

**WATER-CONSERVING PLUMBING FIXTURES**  
**CERTIFICATE OF COMPLIANCE**  
 (For buildings built on or before Jan. 1, 1994)

Project Address: \_\_\_\_\_ Permit No.: \_\_\_\_\_

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Owner's Signature: \_\_\_\_\_

SINGLE-FAMILY RESIDENTIAL	
Fixture	CAJ Green/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet	1.2 gals/min
Kitchen Faucet	1.8 gals/min

MULTI-FAMILY RESIDENTIAL	
Fixture	CAJ Green/ CPC
Water Closet	1.28 gals/flush
Urinal	0.5 gals/flush
Showerhead	1.8 gals/min
Multiple Showerheads	1.8 gals/min combined
Lavatory Faucet (within units)	1.2 gals/min
Lavatory Faucet (common areas)	0.5 gals/min
Kitchen Faucet	1.8 gals/min

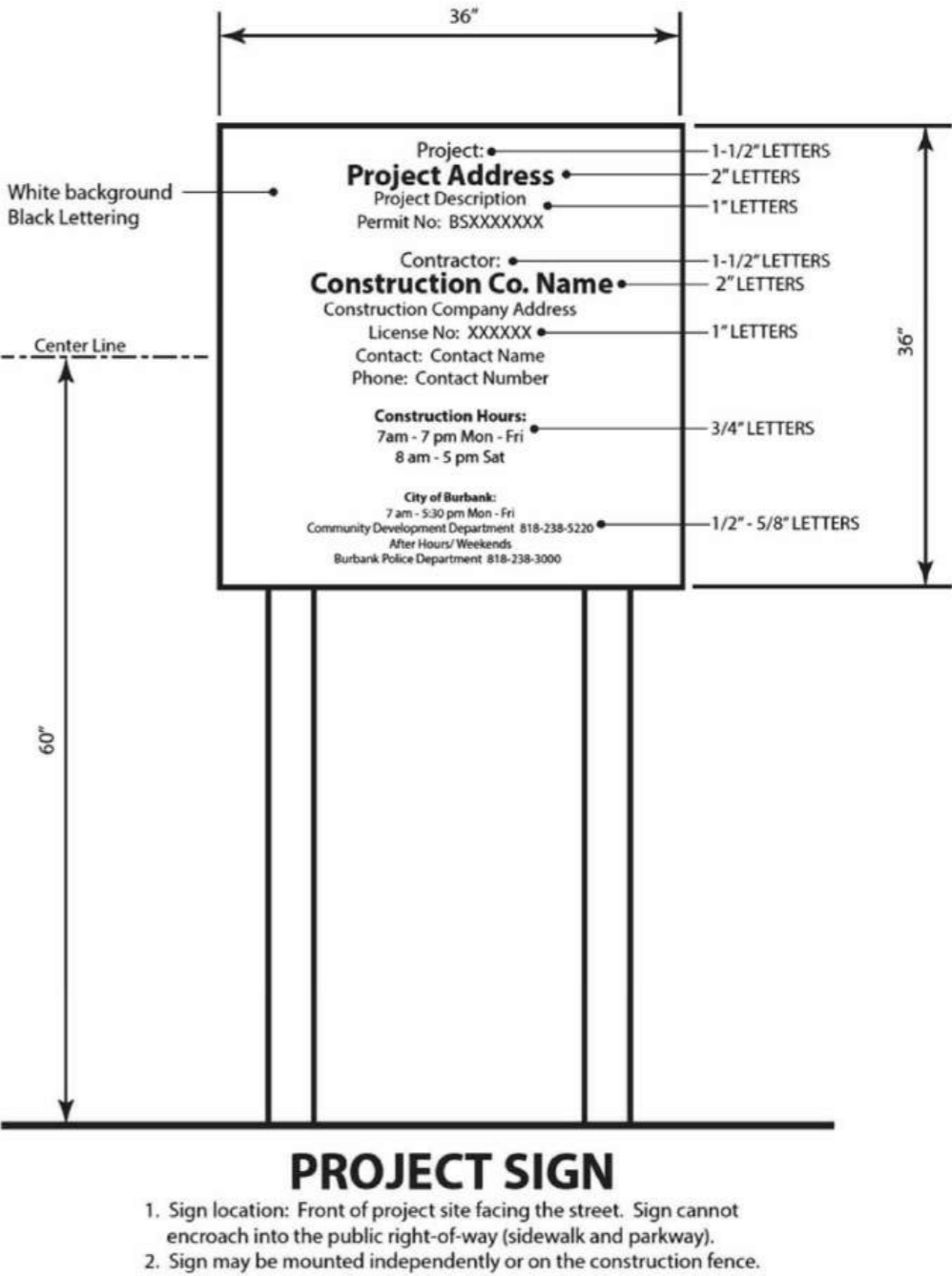
**SETBACK CERTIFICATION REQUIREMENT:** A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-109.3.1.1)

Plan approval is conditional that a separate fire relocation/upgrade permit is obtained and complete issuance of a building permit final.

**NOTES:**

**SCAQMD Rule 1403** requires the contractor to obtain issuance of a Demolition Permit.

M. FIRE HAZARD SEVERITY ZONE REQUIREMENTS (BMC 9-1-2-701A.1.1):	
<b>SHOW ON PLANS</b>	
<input checked="" type="checkbox"/>	<b>ROOFS:</b> Roof coverings on buildings or structures shall be a Class A roof covering or a Class A roof assembly. (BMC 9-1-1-105A.2.1) Wood shake or shingle roofing is not permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1001.1.1).
<input checked="" type="checkbox"/>	<b>GUTTERS AND DOWNSPOUTS:</b> Noncombustible gutters and downspouts.
<input checked="" type="checkbox"/>	<b>EAVES:</b> Eaves and soffits shall be protected on the exposed underside as required for exterior one-hour-rated fire-resistive construction, 2-inch nominal dimension lumber, or 1-inch fire-retardant-treated lumber, or 3/4-inch nominal fire-retardant-treated plywood. Fascia's are required shall be of 2-inch nominal dimension lumber minimum or protected on the backside by materials approved for a minimum of 1-hour fire-resistance-rated construction. Provide assembly detail.
<input checked="" type="checkbox"/>	<b>EXTERIOR WALLS:</b> Constructed of one-hour-rated fire-resistive construction on the exterior side or constructed with approved noncombustible materials. Such material shall extend from the top of the foundation to the underside of the roof sheathing. Provide assembly detail. <b>EXCEPTION:</b> Vinyl over 1/2" Type "X" Gypsum Board, or Aluminum over 1/2" type "X" Gyp. Bd. Wood Siding, hardboard siding or plywood siding are not permitted in the Fire Hazard Severity Zone.
<input type="checkbox"/>	<b>SHAKE AND SHINGLE SIDING:</b> No wood shake or shingle siding is permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1404.3.3.1).
<input type="checkbox"/>	<b>UNENCLOSED UNDERFLOOR AREAS:</b> Buildings or structures shall have all under floor areas enclosed to the ground, with exterior walls. <b>EXCEPTION:</b> Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour-rated fire-resistive construction or heavy timber construction.
<input checked="" type="checkbox"/>	<b>PROJECTION FROM BUILDINGS:</b> Architectural projections shall be protected on exposed surfaces as required for one-hour fire-resistive construction.
<input checked="" type="checkbox"/>	<b>BALCONIES, DECKS, PORCHES AND PATIOS:</b> Unenclosed accessory structures attached to building with habitable spaces shall be a minimum one-hour fire-resistive construction, heavy timber construction, approved non-combustible materials, or fire-retardant-treated wood. Provide assembly detail. Unenclosed balconies, decks, porches may be constructed of: 1. Columns: 6 x 6 inches minimum. 2. Beams and Girders: 6 x 6 inches minimum. 3. Joists: 4 x 6 inches minimum. 4. Roof and Floor Decking: 2-inch tongue and groove planks or 1-1/8-inch tongue and groove plywood minimum.
<input checked="" type="checkbox"/>	<b>GLAZING:</b> Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multi-layered glass panels, glass block, or have a fire-protection rating of not less than 20 minutes. <b>EXCEPTION:</b> Stained-glass panels may be installed provided a back panel of tempered glass is installed behind the stained-glass panel.
<input checked="" type="checkbox"/>	<b>DOORS:</b> Noncombustible exterior doors, solid core wood complying with R337.8.3, or have a fire-protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with CRC R337.8.2.1. <b>EXCEPTION:</b> Garage doors and vehicle access doors.



**SETBACK CERTIFICATION REQUIREMENT:** A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-109.3.1.1).

Plan approval is conditional that a separate Main Electrical Service Panel relocation/upgrade permit is obtained and completed by the applicant prior to the issuance of a building permit final.

**SCAQMD Rule 1403** requires the contractor to submit the SCAQMD 10 days prior to issuance of a Demolition Permit.

M.	FIRE HAZARD SEVERITY ZONE REQUIREMENTS (BMC 9-1-2-701A.1.1.)
	<p><b>SHOW ON PLANS</b></p> <p><input checked="" type="checkbox"/> <b>ROOFS:</b>  Roof coverings on buildings or structures shall be a Class A roof covering or a Class A roof assembly. (BMC 9-1-1-705A.2.1) Wood shingle or shingle roofing is not permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1601.1.1).</p> <p><input checked="" type="checkbox"/> <b>GUTTERS AND DOWNSPOUTS:</b>  Noncombustible gutters and downspouts.</p>
	<p><input checked="" type="checkbox"/> <b>EAVES:</b>  Eaves and soffits shall be protected on the exposed underside as required for exterior one-hour rated fire resistive construction, 2-inch nominal dimension lumber, or 1-inch fire-retardant-treated lumber, or 3/4-inch nominal fire-retardant-treated plywood. Fascia's are required shall be of 2-inch nominal dimension lumber minimum or protected on the backside by materials approved for a minimum of 1-hour fire-resistance-rated construction. Provide assembly detail.</p>
	<p><input checked="" type="checkbox"/> <b>EXTERIOR WALLS:</b>  Constructed of one-hour rated fire-resistive construction on the exterior side or constructed with approved noncombustible materials. Such material shall extend from the top of the foundation to the underside of the roof sheathing. Provide assembly detail.</p> <p><b>EXCEPTION:</b>  Vinyl over 1/2" Type "X" Gypsum Board, or Aluminum over 1/2" type "X" Gyp. Bd. Wood Siding, hardboard and shingle siding are not permitted in the Fire Hazard Severity Zone.</p>
	<p><input type="checkbox"/> <b>SHAKE AND SHINGLE SLIDING:</b>  No wood shake or shingle sliding is permitted in the Fire Hazard Severity Zone (BMC 9-1-1-1404.3.3.1).</p>
	<p><input type="checkbox"/> <b>UNENCLOSED UNDERFLOOR AREAS:</b>  Buildings or structures shall have all under floor areas enclosed to the ground, with exterior walls.</p> <p><b>EXCEPTION:</b>  Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour rated fire-resistive construction or heavy timber construction.</p>
	<p><input checked="" type="checkbox"/> <b>PROTECTION FROM BUILDINGS:</b>  Architectural projections shall be protected on exposed surfaces as required for one-hour fire-resistive construction.</p>
	<p><input checked="" type="checkbox"/> <b>BALCONIES, DECKS, PORCHES AND PATIOS:</b>  Unenclosed accessory structures attached to building with habitable spaces shall be a minimum one-hour fire-resistive construction, heavy timber construction, approved non-combustible materials, or fire-retardant-treated wood. Provide assembly detail.</p> <p>Unenclosed balconies, decks, porches may be constructed of:</p> <ol style="list-style-type: none"> <li>1. Columns: 6 x 6 inches minimum.</li> <li>2. Beams and Girders: 6 x 6 inches minimum.</li> <li>3. Joists: 4 x 6 inches minimum.</li> <li>4. Roof and Floor Decking: 2-inch tongue and groove planks or 1-1/8-inch tongue and groove plywood minimum.</li> </ol>
	<p><input checked="" type="checkbox"/> <b>GLAZING:</b>  Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multi-layered glass panels, glass block, or have a fire-protection rating of not less than 20 minutes.</p> <p><b>EXCEPTION:</b>  Stained-glass panels may be installed provided a back panel of tempered glass is installed behind the stained-glass panel.</p>
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CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**



by: DAVID KIM , SENIOR PLANNER

Project No. 24-0004612 Date: 12/30/25

(818) 588-0856  
www.updevelopments.net

1719 RUDELL RD.  
BURBANK CA

The drawings and specifications and designs represented hereby are and shall remain the property of the UP DEVELOPMENTS inc., and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the UP DEVELOPMENTS inc.

Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to UP DEVELOPMENTS inc.

The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

[illegible]

Project number	
Date	MARCH 2024
Drawn by	GEVIK G.
Checked by	Checker
A-0	
Scale	1/4" = 1'-0"

<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:</p>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p><b>GENERAL NOTES &amp; NOTE BLOCKS</b></p>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p><b><u>GENERAL NOTES:</u></b></p> <ol style="list-style-type: none"> <li>1. All construction shall comply with the 2022 edition of the CRC, <b>OR</b> CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.</li> <li>2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition</li> <li>3. All property lines, easements, and existing buildings have been indicated on this site plan.</li> <li>4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. <b>(BMC 9-1-2-3302.4)</b></li> <li>5. Water shall be provided on the site and used to control dust.</li> <li>6. Temporary toilet facilities shall be provided on site. <b>(BMC 9-1-2-3305.1)</b></li> <li>7. The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. <b>(CBC 1804.4, CRC R401.3)</b></li> <li>8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. <b>(CBC 1808.7.4, CRC R403.1.7.3)</b></li> </ol>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>Provide on the cover of the plans a note identifying which building code is being used for this project, either:</p> <ul style="list-style-type: none"> <li>• <b>The 2022 California Residential Code (CRC) OR</b></li> <li>• <b>The 2022 California Building Code (CBC)</b></li> </ul> <p><i>Section 1.1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, <b>but not both</b>, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.</i></p>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p>On the <b>COVER SHEET</b> list only, the specific applicable codes used for this project.</p> <ul style="list-style-type: none"> <li>• <b>2022 California Building Code (CBC)</b></li> <li>• <b>2022 California Residential Code (CRC)</b></li> <li>• <b>2022 California Mechanical Code (CMC)</b></li> <li>• <b>2022 California Electrical Code (CEC)</b></li> <li>• <b>2022 California Plumbing Code (CPC)</b></li> <li>• <b>2022 California Green Building Code (CALGreen)</b></li> <li>• <b>2022 California Energy Code</b></li> </ul>
<div style="border: 1px solid black; width: 30px; height: 30px; margin: 5px auto;"></div>	<p><b>SETBACK CERTIFICATION REQUIREMENT:</b> A 2022 California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. <b>(BMC 9-1-1-107).</b></p>

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE EXISTING FLOOR PLAN OR DEMOLITION PLAN OF THE SUBMITTED DRAWINGS:	
<b>DEMOLITION NOTES &amp; NOTE BLOCKS</b>	
<b>Residential</b>	
<input checked="" type="checkbox"/>	<b>DIVERSION OF C&amp;D DEBRIS:</b> A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. An administrative and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012).
<input type="checkbox"/>	<b>DEMOLITION NOTE:</b> All demolition and grading permits will require a preconstruction meeting prior to commencement of any demolition work and a project sign must be posted on site. If a Single-Family Dwelling is being demolished that is located on a sloped lot a topographic survey is required to be performed prior to the demolition of the structure. This may also be required for a flat lot as determined by the Building Official. Documents indicating rodent and insect abatement has been performed must be presented to the building inspector prior to start of demolition.
<input checked="" type="checkbox"/>	<b>RESIDENTIAL DEMOLITION NOTE:</b> Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.
<b>Residential and Commercial Demolition</b>	
<input type="checkbox"/>	Per BMC 9-1-11-1012 the following information is required: The completed WMP must be signed by the Applicant and shall indicate all of the following: <ol style="list-style-type: none"> <li>1. The site address;</li> <li>2. The names, addresses, and phone numbers of the property owner and the general contractor;</li> <li>3. The existing area footprints, the proposed square footage, the percentage of increase in project size, or the square footage of the structure to be demolished;</li> <li>4. The estimated volume or weight of construction and demolition debris, by material type, to be generated on the project site;</li> <li>5. The estimated volume or weight of construction and demolition debris, by material type, to be diverted to recycling, reuse or salvage;</li> <li>6. The vendor or facility that the applicant proposes to use to collect or receive that material;</li> <li>7. The estimated volume or weight of the construction and demolition materials that will be landfilled;</li> <li>8. Certification that the minimum Diversion Requirement will be met;</li> <li>9. Such other data and information as may be required by the Building Official;</li> <li>10. Other information Applicant believes is relevant to determining its efforts to comply with this Division.</li> </ol>

THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE STRUCTURAL PLAN SHEET OF THE SUBMITTED DRAWINGS:				
<b>STRUCTURAL NOTES &amp; NOTE BLOCKS</b>				
<input checked="" type="checkbox"/>	<b>FOUNDATION NOTES:</b> <ol style="list-style-type: none"> <li>1. Concrete strength for foundations shall be 2,500 psi min.</li> <li>2. Minimum footing reinforcement shall be two #4 bar top and bottom.</li> <li>3. Minimum anchor bolt size and spacing shall be 5/8" dia. AB @ 72" oc., with 7" embedment, and 3" x 3" x 1/2" plate washers. Anchor bolts shall be located a maximum of 12" and 4 1/2" minimum from the end of the plate.</li> </ol>			
<input type="checkbox"/>	<b>STRUCTURAL OBSERVATION</b> Firm or individual responsible for the structural observation: Name: _____ Calif. Reg. # _____			
	<b>FOUNDATION</b>	<b>WALLS &amp; WALL FRAMING</b>	<b>OTHER STRUCTURAL MEMBERS</b>	<b>ROOF AND FLOOR DIAPHRAGM</b>
	Footings, Stem Walls, Piers	Concrete Wall	Steel Moment Frame	Concrete
	Pad Footings	Masonry Wall	Steel Braced Frame	Steel Deck
	Slab	Wood Wall & Shear Wall	Concrete Moment Frame	Wood
	Caisson, Piles, Grade Beams	Wood Structural Beams & Members	Masonry Wall Frame	Other
	Stepped Footing, Hillside	Other	Other	Other
<input type="checkbox"/>	<b>SPECIAL INSPECTION</b>			
	<b>ITEMS</b>			
	Concrete over 2,500 psi			
	Bolts installed in Concrete			
	Special Moment -Resisting Concrete Frame			
	Reinforcing Steel and Steel Tendons			
	Structural Welding			
	High-strength Bolting			
	Structural Masonry			
	Reinforced Gypsum Concrete			
	Insulating Concrete Fill			
	Spray-Applied Fire Resistive Materials			
	Piling, Piers, and Caissons			
	Shotcrete			
	Special Grading, Excavation, and Fill			
	Structural Wood			
	Smoke-Control System			
	Other			

NOTE ON PLAN:	
A. Luminare Efficacy: All installed luminaires must meet the requirements in Table 150.0-A.	
Table 150.0-A Classification of High Luminous Efficacy Light Sources	
Automatically considered high luminous efficacy (does NOT require JA8 certification)	Must be JA8 certified/marked
1. LED light sources installed outdoors	7. All light sources installed in ceiling recessed downlight luminaires: Note that ceiling-recessed downlight luminaires must not have screw base sockets regardless of lamp type, as specified in §150.0(k)1C.
2. Inseparable solid state lighting (SSL) luminaires containing colored light sources that are installed to provide decorative lighting	8. Anything not listed in this table
3. Pin-based linear fluorescent or compact fluorescents with electronic ballasts	
4. High-intensity discharge (HID) light sources including pulse start metal halide and high-pressure sodium light sources	
5. Luminaires with a hardwired, high-frequency generator and induction lamp	
6. Ceiling fan lights kits subject to federal appliance regulations	
EXCEPTIONS:	
1. Integrated Device Lighting: Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers	
2. Navigation Lighting: Lighting such as night lights, step lights and path lights less than 5 watts	
3. Cabinet Lighting: Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater	
B. Screw-based Luminaires: Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8	
C. Recessed Downlight Luminaires in Ceilings: There is a new exception to the airtight labeling and installation requirements for recessed luminaires that are either marked for use in fire-rated installations or are installed in non-insulated ceilings.	
D. Light Sources in Enclosed or Recessed Luminaires: No change, although this section has been reorganized.	
E. Blank Electrical Boxes: Language is added about how the blank electrical boxes must be served for dimmer, vacancy sensor control, low voltage wiring or fan speed control.	
INDOOR LIGHTING CONTROLS	
E. Automatic-off Controls: Walk-in closets have been added in addition to bathrooms, garages, laundry room and bedrooms. The new language requires an occupancy/vacancy sensor with automatic-off functionality. It was clarified that lighting in opaque-fronted drawers and cabinetry must be controlled with automatic-off when a drawer or door is closed.	
F. Dimming Controls: Dimmers that are required for lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens and bedrooms) must have readily accessible dimming controls. Forward phase-cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.	
EXCEPTIONS:	
1. Ceiling fans with integrated lighting may use remote control.	
2. Luminaires connected to a circuit in which the controlled lighting power is <20 watts OR controlled by an occupancy/vacancy sensor providing automatic-off functionality.	
3. Lighting is under <5 watts for navigation (e.g., night lights, step lights and path lights), or lighting is internal to opaque-fronted drawers and cabinetry (which may alternatively use automatic-off controls).	
G. Independent Controls: The following must be controlled independently:	
<ul style="list-style-type: none"> <li>Integrated lighting of exhaust fans from the fan function</li> <li>Undercabinet lighting</li> <li>Undershelf lighting</li> <li>Interior lighting of display cabinets</li> <li>Switched outlets</li> </ul>	

ELECTRICAL NOTES per 2022 California Electrical Code	
A. PANEL LOCATIONS	<p>Panel shall not be located in the vicinity of easily ignitable material, such as paint cans [CEC 240.24(D)], or in bathrooms [CEC 240.24(E)].</p>
	<p><b>B. NON-METALLIC SHEATHED CABLE [CEC 335]</b></p> <p>Non-metallic sheathed cable shall be:</p> <ol style="list-style-type: none"> <li>Protected by rigid metal conduit, intermediate metal conduit, electrical metallic tubing, schedule 80 PVC conduit, type RCM marked with the suffix -W, or other means, when cable is exposed or subject to physical damage. [CEC 334.15(B)]</li> <li>Protected by a 1/16-inch steel plate or sleeve or be not less than 1/4 inch from the nearest edge of the framing member, when installed through framing members. Steel plates or sleeves are required on all double shear walls when cable is routed either through or parallel to framing members. [CEC 334.17, 300.4]</li> <li>Protected by guard strips within 6 ft of an attic access when no permanent stairs or ladders are provided [CEC 334.23, 320.23]</li> <li>Protected by guard strips in the entire attic when permanent stairs or ladders are provided. Access panels or doors from the second floor into the attic are considered permanent access and guard strips are required in the entire attic [CEC 300.4]</li> </ol>
C. CIRCUIT AND RECEPTACLES	<ol style="list-style-type: none"> <li>Have a bending radius not less than 5 times the diameter of the cable [CEC 334.24]</li> <li>Separated at intervals not exceeding 4 1/2 feet and within 12" of every outlet box, junction box, cabinet, or fitting [CEC 300.30]</li> </ol> <p><b>1. TAMPER-RESISTANT RECEPTACLES</b> shall be installed as specified in dwelling units in all areas specified in 210.52 and 550.13.</p> <p>2. Receptacles shall be installed so that no point along the floor line in any wall space is more than 8 ft. from an outlet, including any wall space in a room that is not a habitable room. A panel of a sliding glass door is considered wall space. [CEC 210.52(A)]</p> <p>3. In kitchens, breakfast rooms, pantries and dining rooms a minimum of 20-20A circuits shall be provided [CEC 210.11(C)].</p> <p>4. (1) Counter space receptacles shall be GFCI [CEC 210.8(A)] and installed:</p> <ul style="list-style-type: none"> <li>At each wall counter space that is 12 in. or greater [CEC 210.52(C)].</li> <li>Maximum 24 in. from the end of the counter [CEC 210.52 (D)].</li> <li>Maximum 20 in. above counter surface [CEC 210.52 (C)(1)].</li> <li>Below countertop or works surface (one receptacle min.) not more than 12 in. below counter surface [CEC 210.52 (C)(3)].</li> </ul> <p>5. Bathrooms shall have a separate 20A circuit [CEC 210.11(C)] with at least one GFCI wall receptacle within 36 in. of each basin [CEC 210.8(A)(1); IEC 210.52(D)].</p> <p>6. Each bedroom shall have a separate 20A circuit with at least one receptacle shall be provided [CEC 210.11(C)(2)]. All receptacles within 6 ft. of the sink shall be GFCI [CEC 210.8(A)(1); IEC 210.52(D)].</p> <p>7. In garages, at least one GFCI receptacle shall be provided [CEC 210.52(G)]. All other garage receptacles except those that are not subject to an appliance that are not readily accessible shall be GFCI. [CEC 210.8(A)(2)].</p> <p>8. In hallways of 10 ft. or more in length, at least one receptacle shall be provided [CEC 210.52(H)].</p>
D. LIGHTING [CEC 210.70]	<ol style="list-style-type: none"> <li>Outdoor outlets shall be GFCI [CEC 210.8(A)(3)]. One outlet shall be installed at the front of the dwelling and one at the rear of the dwelling. Balconies, decks, and porches that are attached to the dwelling unit and are accessible from inside the dwelling unit shall have at least one outlet. Receptacles shall be accessible at grade or no more than 6 ft. above grade or walking surface [CEC 210.52(E)].</li> <li>All crawl space receptacles shall be GFCI [CEC 210.8(A)(4)].</li> <li>All prohibited basement receptacles shall be GFCI unless they are not readily accessible or are service a dedicated appliance [CEC 210.8(A)(5)].</li> <li>All receptacles within 6 ft. of a wet bar shall be GFCI [CEC 210.8(A)(7)].</li> <li>All receptacles on 15A or 20A branch circuits that supply kitchen, family room, dining rooms, living rooms, porches, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways laundry areas or similar rooms or areas shall be protected by combination residual current circuit interrupters (AFCI), including switched outlets [CEC 210.12(A)].</li> <li>All receptacles serving appliances or motors with a rating of 1/8 hp or less shall be GFCI [CEC 210.8(A)].</li> <li>For HVAC equipment, a separate 15A or 20A circuit with an accessible receptacle at the equipment shall be provided [CEC 410.16].</li> <li>For equipment located in an attic, the receptacle shall be an under-floor area, the receptacle shall be GFCI [CEC 210.8(A)(4)].</li> </ol> <p>Basements, Garages and Accessory Buildings. For a one-family dwelling, at least one receptacle outlet shall be installed in the areas specified in 210.52(G)(1) through (3). These receptacles shall be in addition to receptacles required for specific equipment [CEC 210.52(G)].</p> <ol style="list-style-type: none"> <li>Garages. In each attached garage and in each detached garage with electrical power. The branch circuit supplying the receptacles shall be protected by AFCI in the garage. At least one receptacle outlet shall be installed for each car space.</li> <li>Accessory Buildings. In each accessory building with electric power.</li> <li>Basement. In each separate unfinished portion of a basement.</li> </ol>
	<p><b>2. LIGHTING [CEC 210.70]</b></p> <p>Switched lighting shall be installed in:</p> <ul style="list-style-type: none"> <li>Every habitable room. Kitchen, and bathroom hallways, and stairways at each level.</li> <li>Garages.</li> <li>All at all outdoor entrances and exits.</li> <li>Attics, under floor areas, utility rooms and basements used for storage</li> <li>Near HVAC equipment in attic, under floor areas, rooms or basements, with a readily accessible point of control.</li> </ul> <p>2. Lighting installed in a closet shall be a surface mounted or recessed fluorescent fixture or a surface mounted fluorescent fixture with a readily accessible point of control. Surface incandescent lighting shall be installed a minimum of 4 ft. from the nearest point of a storage space. Surface fluorescent lighting and recessed lighting shall be installed a minimum of 6 in. from the nearest point of a storage space. [CEC 210.416(C)]</p>
E. FANS	<p>Each bathroom containing a bathtub, shower, or bathtub/shower shall be protected by a GFCI [CEC 210.8(A)(1)].</p> <p>Each bathroom shall be protected by a GFCI for humidity control in accordance with the California Mechanical Code and the California Green Building Standards Code.</p>
	<p><b>F. SMOKE ALARMS</b></p> <p>In new construction, smoke alarms shall receive their primary power from the building wiring. The wiring shall be a permanent wiring installed without a disconnecting means other than those required for overcurrent protection [CEC R313.4, CEC 907.2, 10.5].</p>

<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="border: 1px solid black; width: 30px; height: 30px; margin-bottom: 5px;"></div> <div> <p style="margin: 0;">THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:</p> </div> </div>	
<div style="display: flex; justify-content: center; align-items: center; margin-bottom: 20px;"> <div> <p style="margin: 0;">BUILDING DIVISION</p> <p style="margin: 0; font-weight: bold;">Community Development Department</p> <p style="margin: 0; font-weight: bold;">City of Burbank</p> </div> </div> <div style="text-align: center;"> <p style="margin: 0; font-weight: bold; font-size: 1.2em;">WATER-CONSERVING PLUMBING FIXTURES</p> <p style="margin: 0; font-weight: bold; font-size: 1.2em;">CERTIFICATE OF COMPLIANCE</p> <p style="margin: 0; font-weight: bold;">(For buildings built on or before Jan. 1, 1994)</p> </div>	
Project Address: _____	Permit No.: _____
<p>I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.</p>	
Owner's Name: _____	Date: _____
Owner's Signature: _____	
<p><b>SINGLE-FAMILY RESIDENTIAL</b></p>	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet	1.2 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60 psi
<p><b>MULTI-FAMILY RESIDENTIAL</b></p>	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet (within units)	1.2 gals/min at 60 psi
Lavatory Faucet (common areas)	0.5 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60psi



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The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

[illegible]

## NOTES

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker
A-0.0	
Scale	

Slope Calculation Formula:

S = (L × I × 100) / A, where:

S = Average ground slope (%) over the area where the proposed pool will be located

I = Contour interval (feet), must be 5 feet or less

L = Total length (feet) of all contour lines within the area of the proposed pool

A = Total area (square feet) of the lot section that would contain the proposed pool

DECK

(I): 5'-0"

(L): 1'-0"

(A): 556 sq ft

Slope (S): (1 × 5 × 100) / 556 = 0.9%

POOL

(I): 1'-0"

(L): 26'-0"

(A): 800 sq ft

Slope (S): (1 × 26 × 100) / 800 = 3.25%

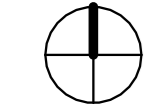
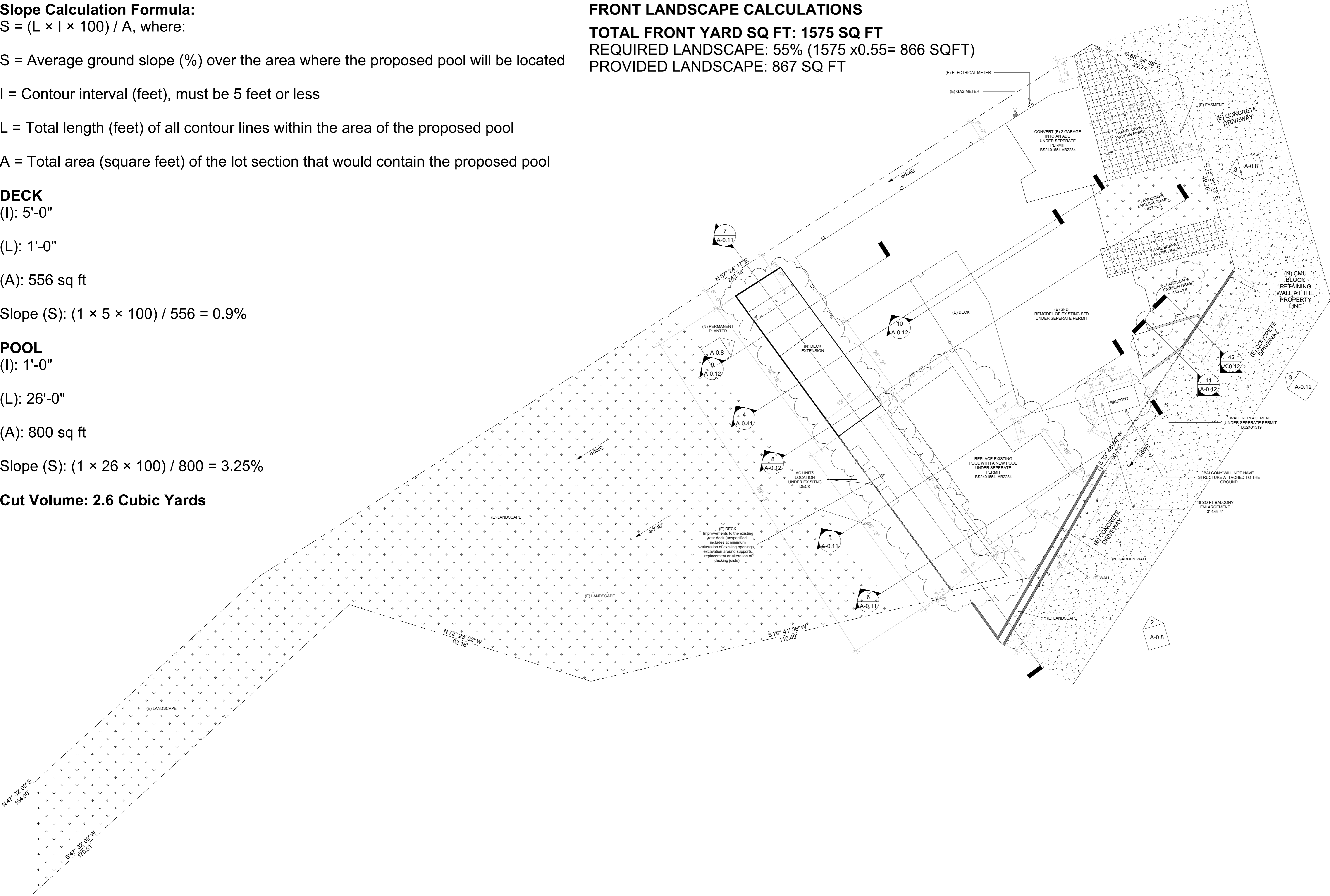
Cut Volume: 2.6 Cubic Yards

FRONT LANDSCAPE CALCULATIONS

TOTAL FRONT YARD SQ FT: 1575 SQ FT

REQUIRED LANDSCAPE: 55% (1575 x0.55= 866 SQFT)

PROVIDED LANDSCAPE: 867 SQ FT



1 SITE PLAN  
3/32" = 1'-0"



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No.	Description	Date
1	Revision 1	Date 1

PROPOSED SITE  
PLAN

Project number

Date

Drawn by

Checked by

MARCH 2024

Author

Checker

A-0.1

Scale

3/32" = 1'-0"



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No.	Description	Date

EXISTING SITE PLAN

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.2

Scale 1/16" = 1'-0"



(E) Rear deck

Demolish existing pool,  
excavation and  
construction of new  
expanded pool and spa  
adjacent to existing raised  
rear deck

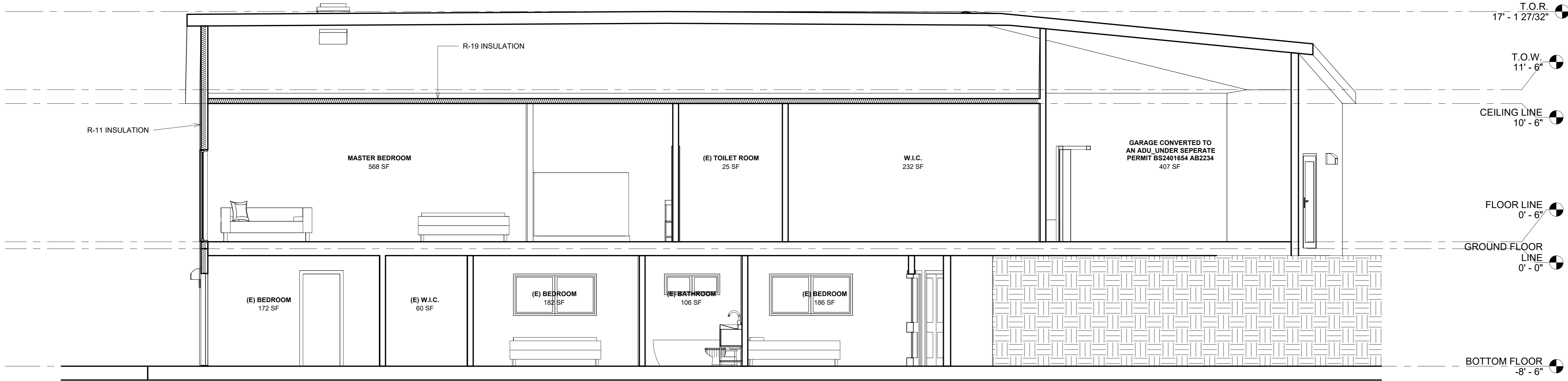
(E) Garden wall

(E) Balcony to be enlarged

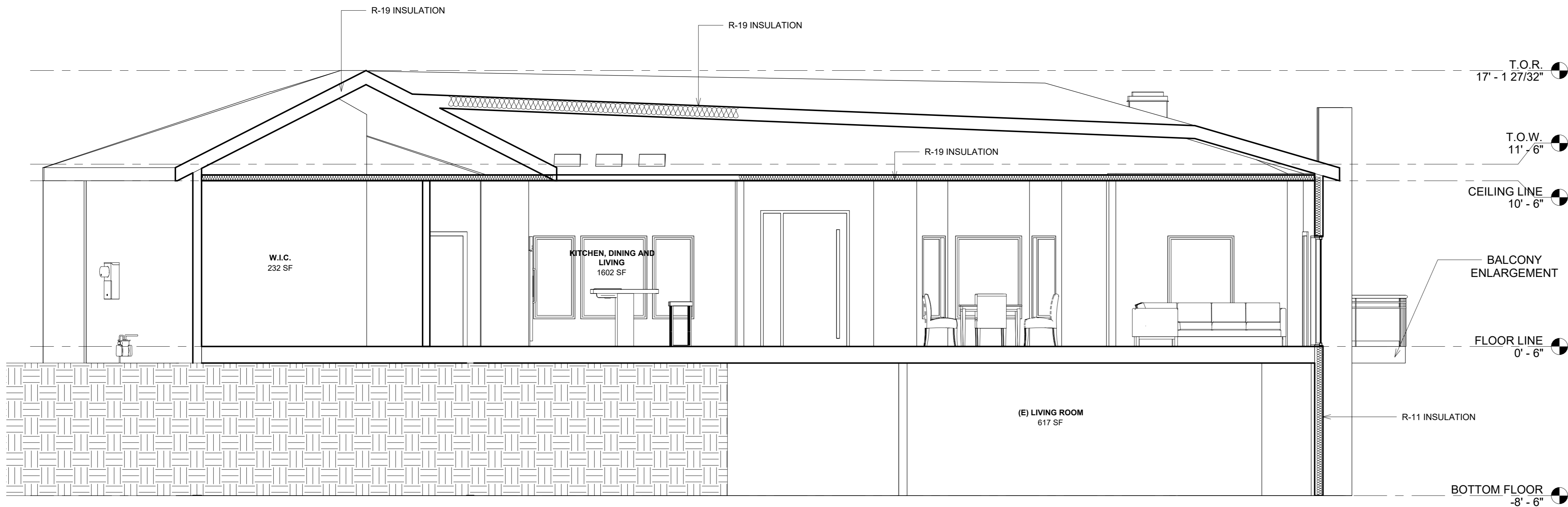
(E) Stairs to be demolished

Remove portion of existing west corner of front retaining wall

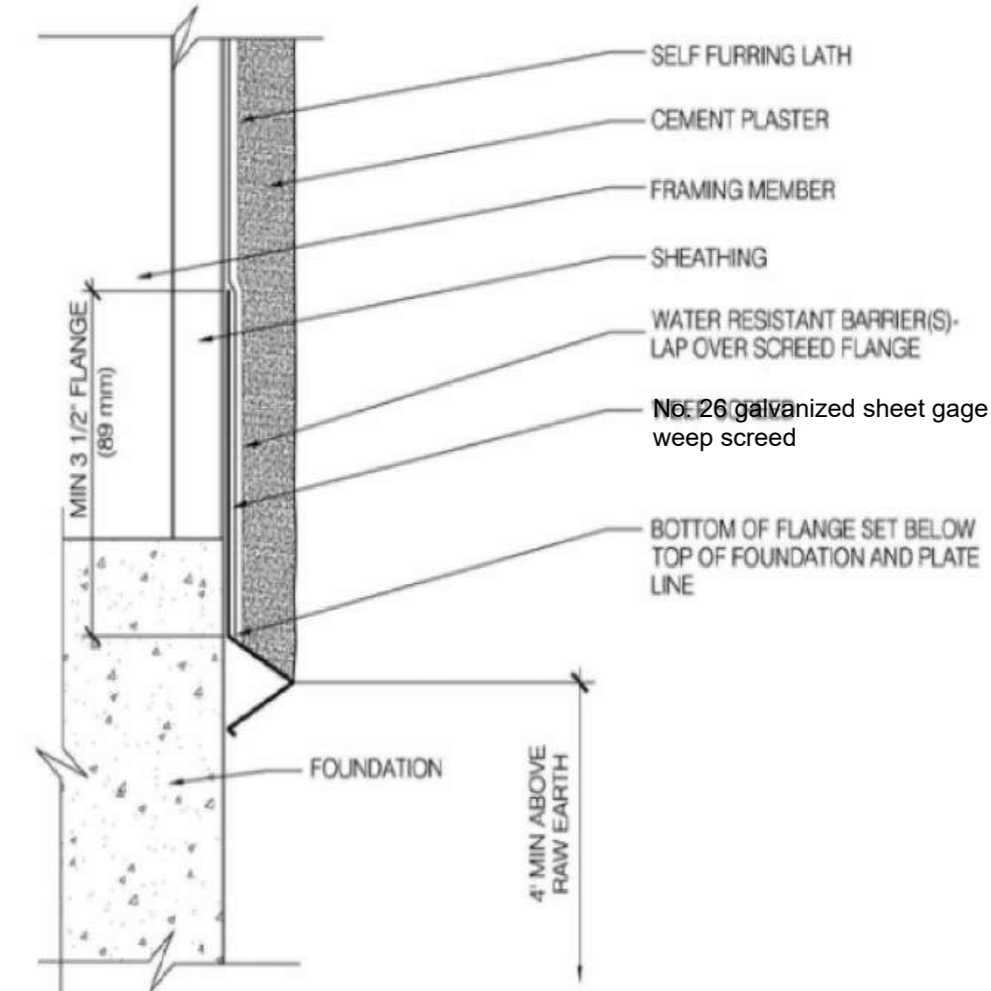
(E) Walls to remain



② Section 2  
1/4" = 1'-0"



③ Section 3  
1/4" = 1'-0"



WEEP SCREED DETAIL



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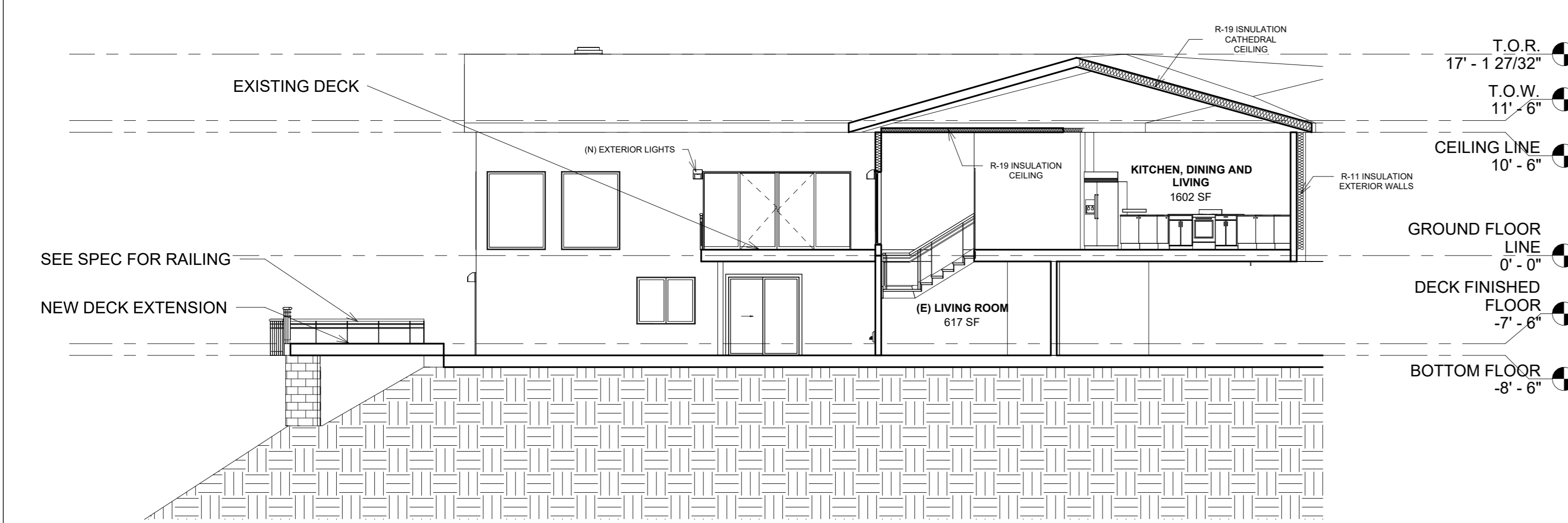
No.	Description	Date

## SECTION

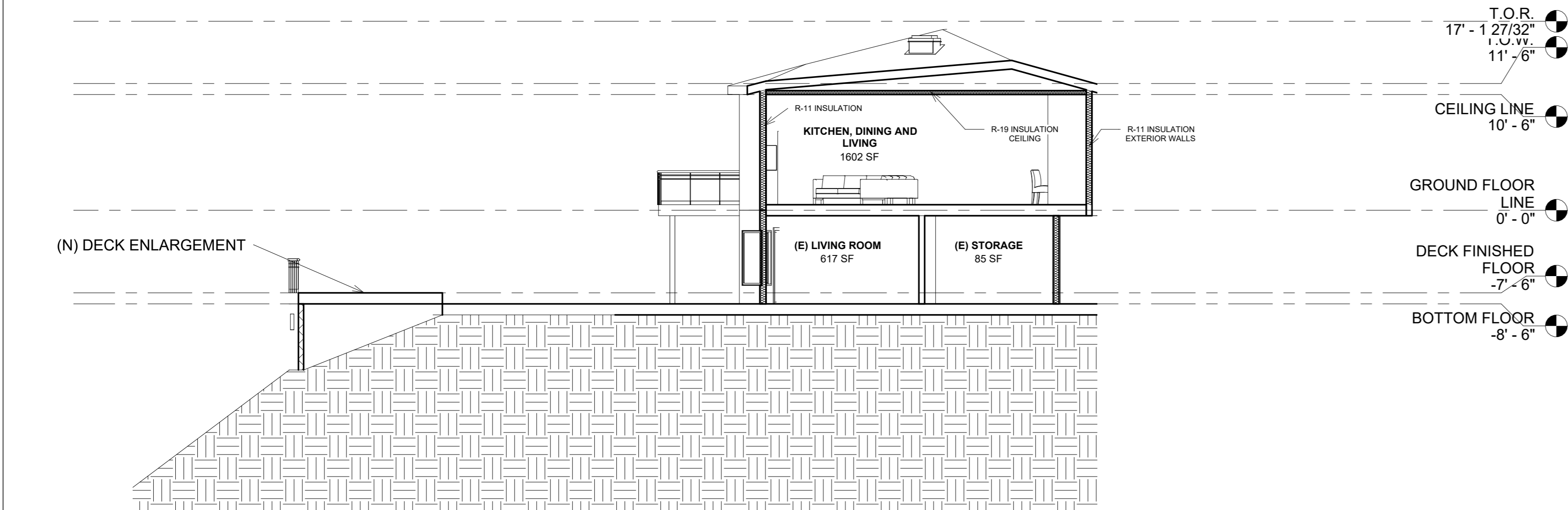
Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker

A-0.10

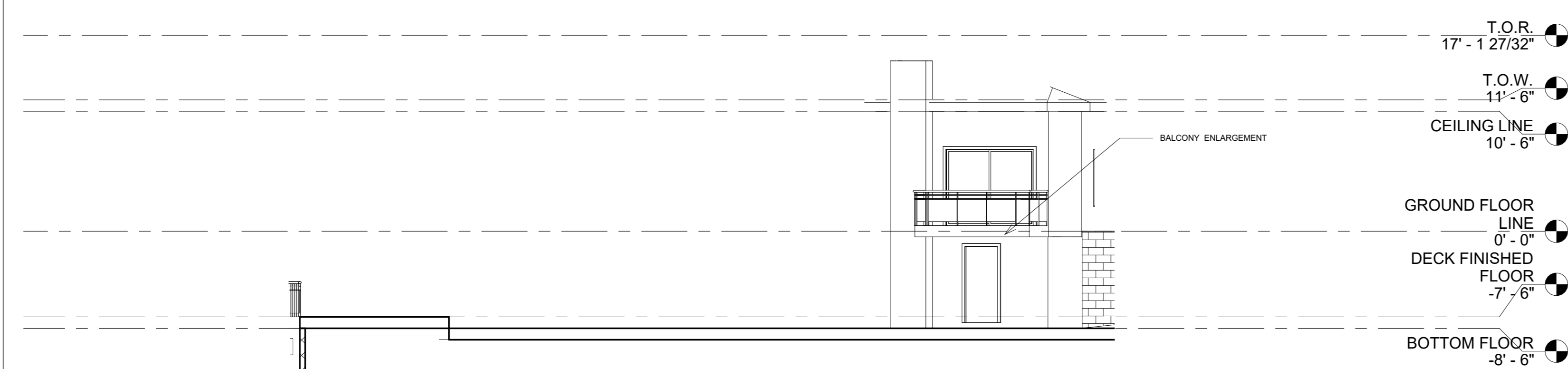
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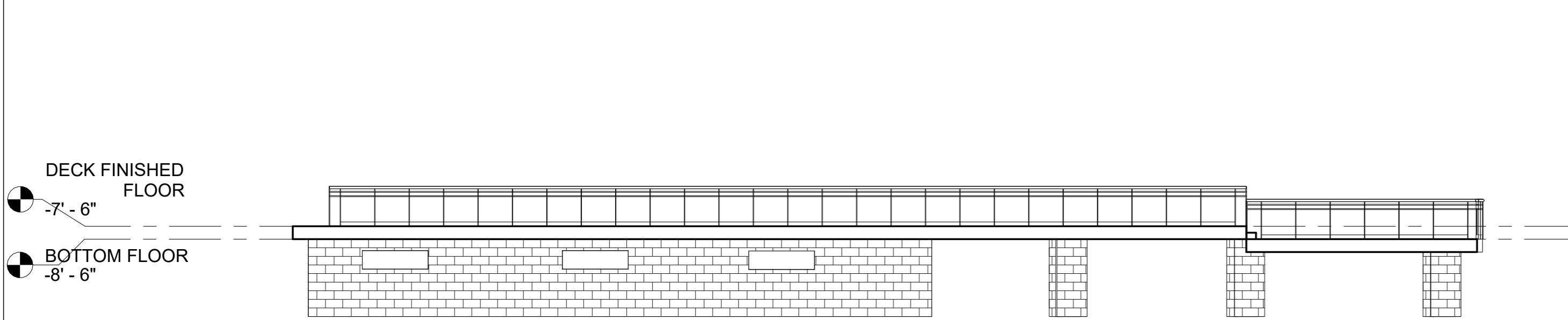
SECTION 4  
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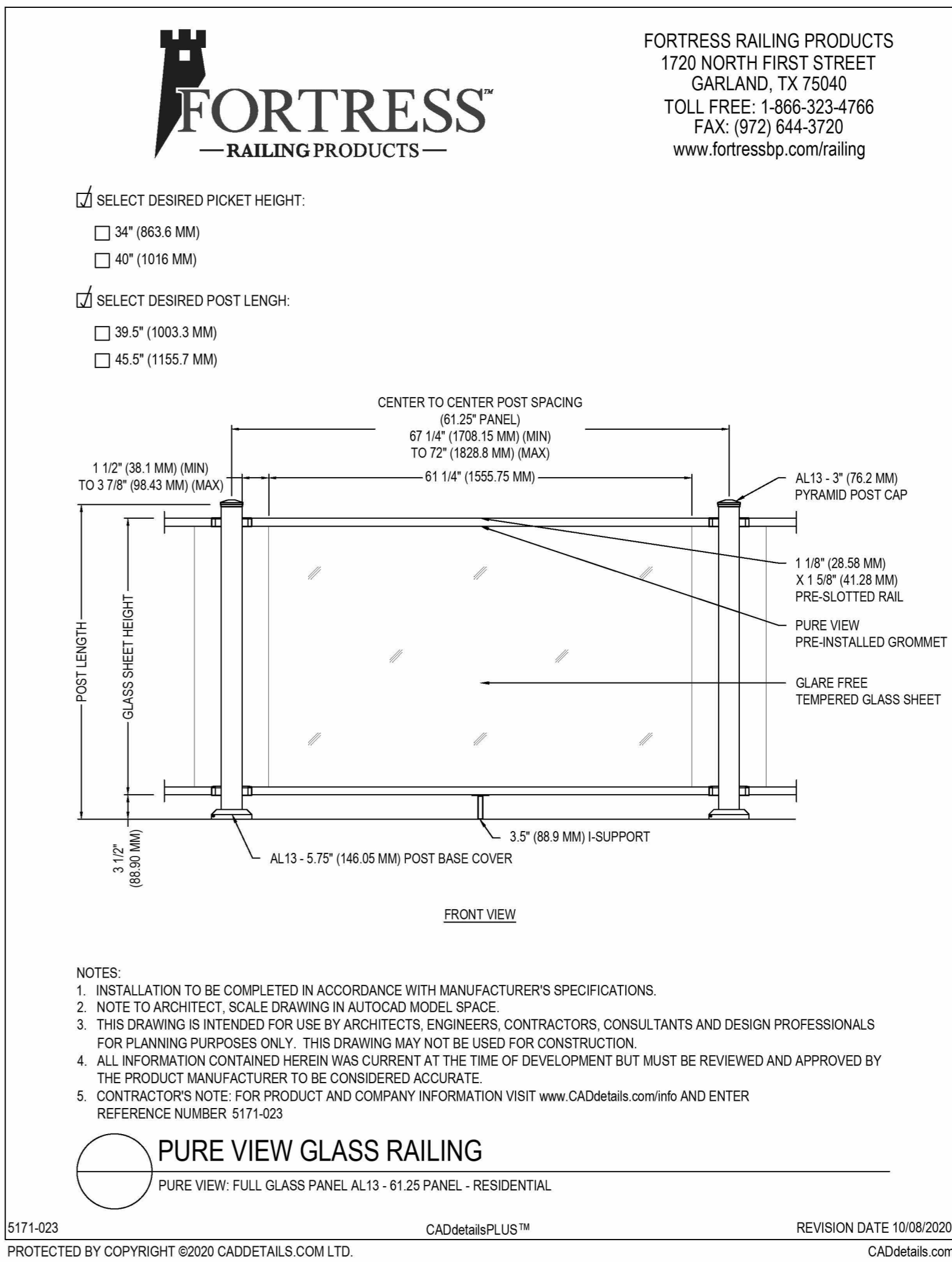
SECTION 5  
1/8" = 1'-0"



SECTION 6  
1/8" = 1'-0"



SECTION 7  
1/8" = 1'-0"



  
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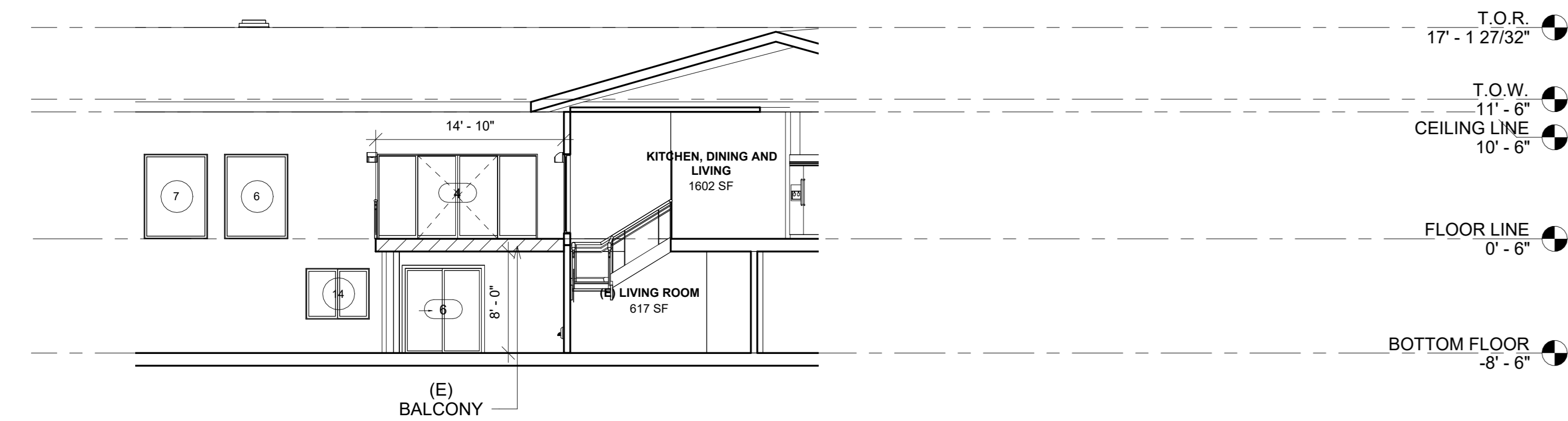
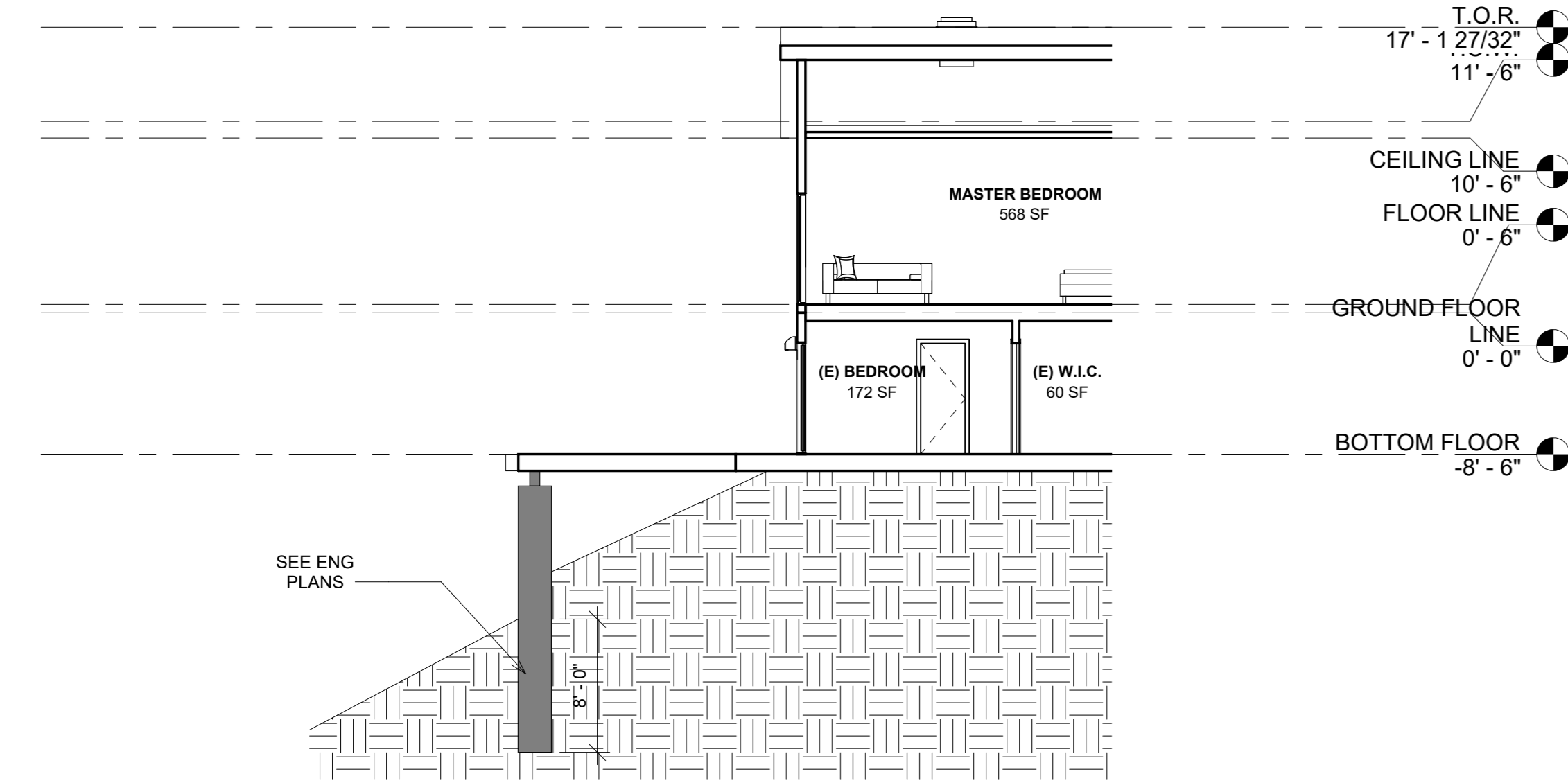
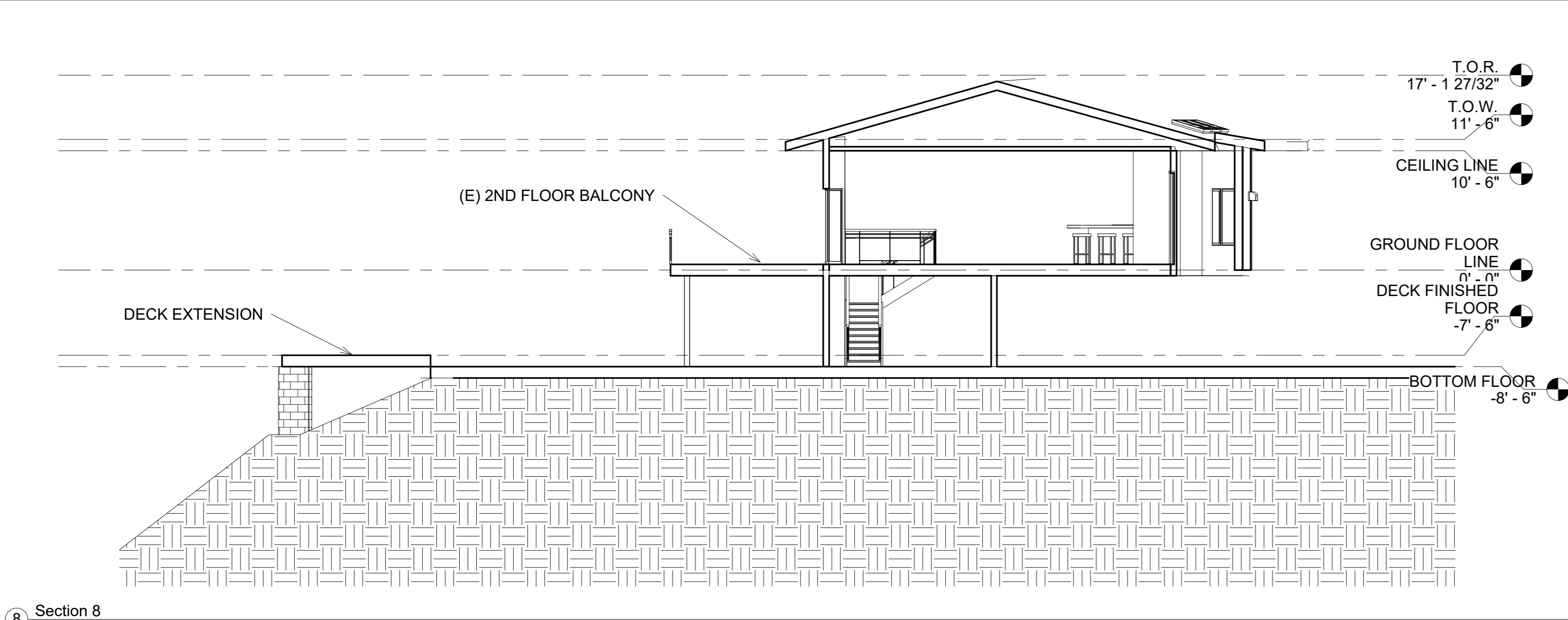
No.	Description	Date

**SECTION**

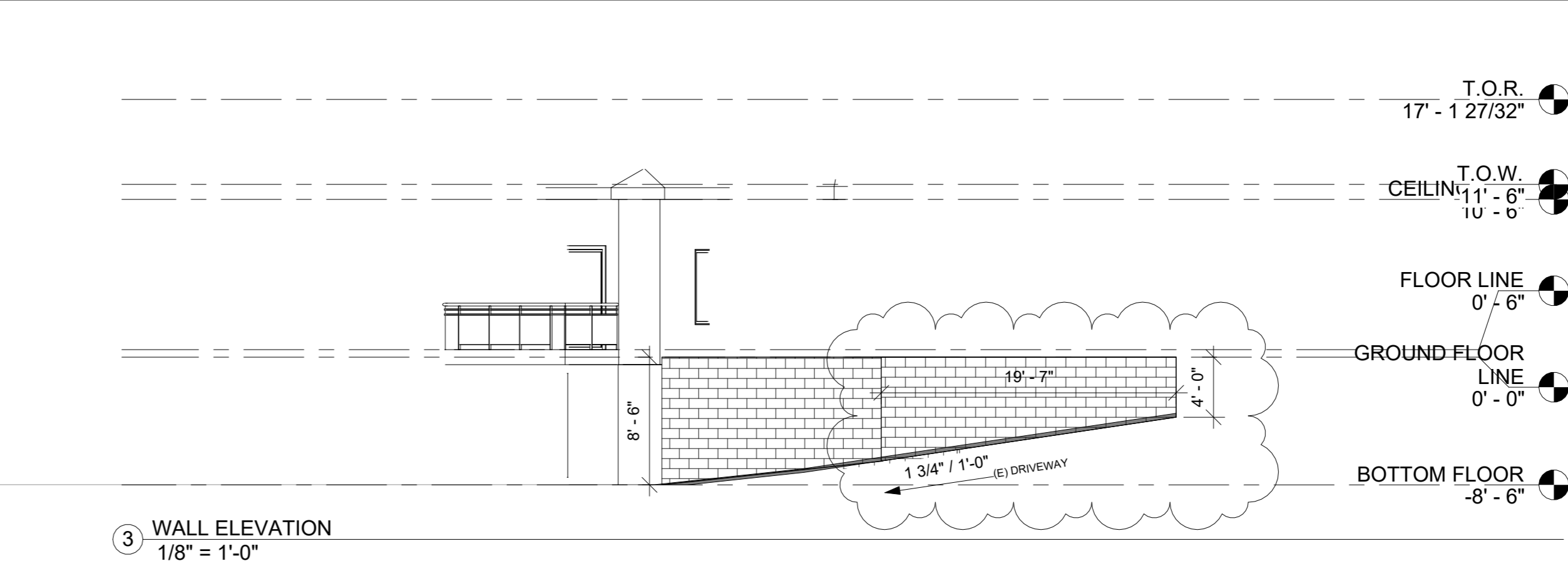
Project number \_\_\_\_\_  
Date **MARCH 2024**  
Drawn by **Author**  
Checked by **Checker**

**A-0.11**

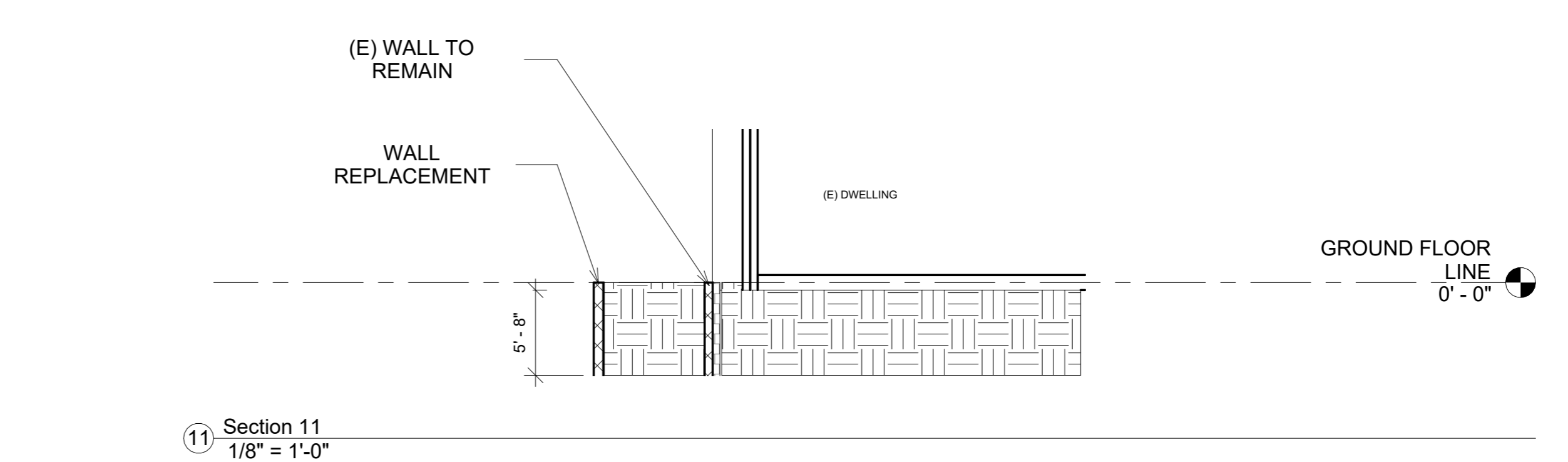
Scale **1/8" = 1'-0"**



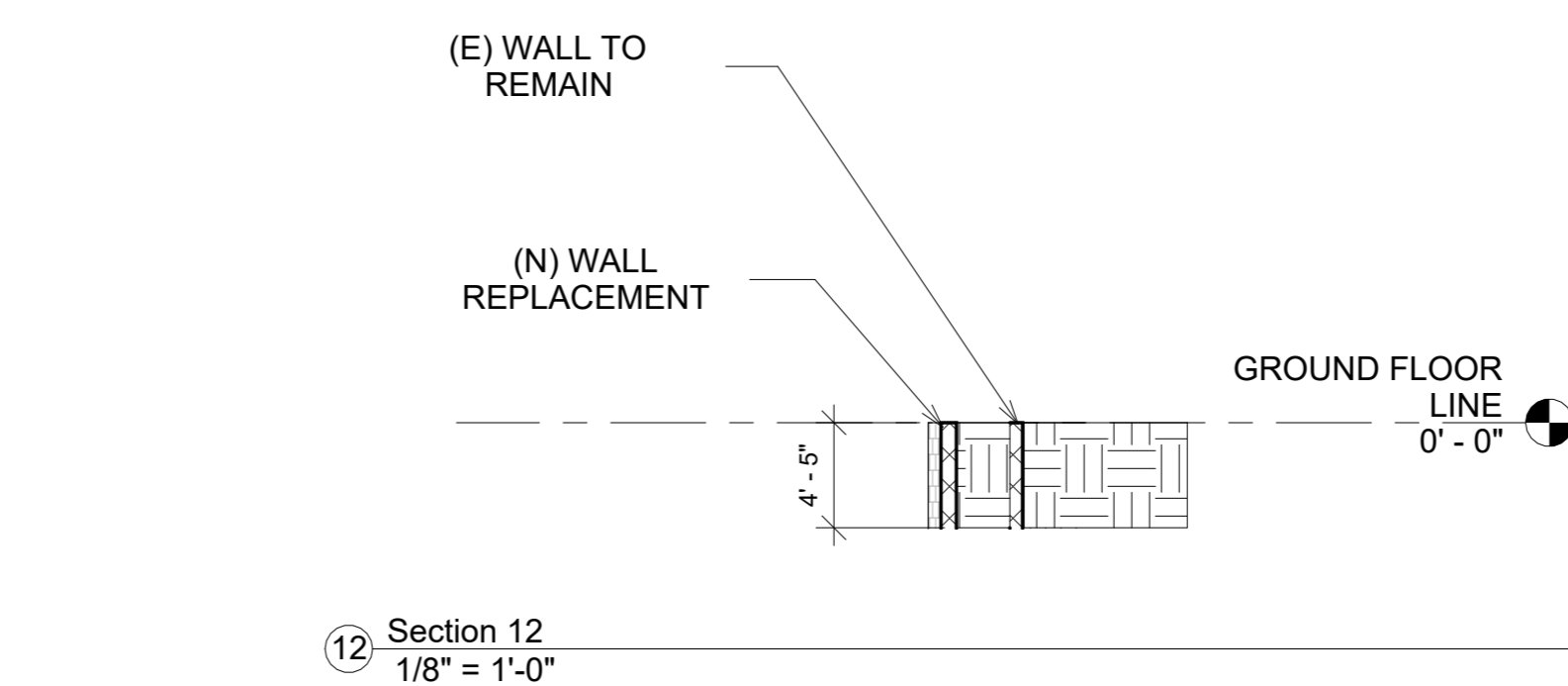
10 Section 10  
1/8" = 1'-0"



3 WALL ELEVATION  
1/8" = 1'-0"



11 Section 11  
1/8" = 1'-0"



12 Section 12  
1/8" = 1'-0"



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No.	Description	Date
1	Revision 1	Date 1

SECTION

Project number

Date

Drawn by

Checked by

MARCH 2024

Author

Checker

A-0.12

Scale

1/8" = 1'-0"

WINDOW SCHEDULE									
Mark	Count	Type	Sill Height	Height	Width	Solar Heat Gain Coefficient		Operation	U-Value glass
1	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	0.19	FIX	0.48
2	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	0.24	SLIDING	0.33
3	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	0.19	FIX	0.48
4	1	10'5"x6'8"	0' - 0"	6' - 8"	10' - 5"	0.78	0.25	FIX	0.31
5	1	9'3"x6'7"	0' - 5"	6' - 3"	9' - 3"	0.78	0.24	FIX	0.34
6	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	0.24	FIX	0.34
7	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	0.24	FIX	0.34
9	1	6X6'8"	0' - 0"	6' - 8"	6' - 0"	0.78	0.24	FIX	0.34
10	1	4'X6'8"	0' - 0"	6' - 8"	4' - 0"	0.78	0.24	FIX	0.34
11	1	3'6"x5'	1' - 8"	5' - 0"	3' - 6"	0.78	0.24	FIX	0.34
12	1	4X5	1' - 8"	5' - 0"	4' - 0"		0.24	FIX	0.34
13	1	4X5	1' - 8"	5' - 0"	4' - 0"	0.19		SLIDING	0.48
14	1	5x4	2' - 8"	4' - 0"	5' - 0"	0.19		SLIDING	0.48
15	1	4x1	5' - 8"	1' - 0"	4' - 0"	0.24		SLIDING	0.34
16	1	24" x 36"	3' - 8"	3' - 0"	2' - 0"	0.11		SLIDING	0.65
17	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.24		CASEMENT	0.34
18	1	48X18	5' - 2"	1' - 6"	4' - 0"	0.21		SLIDING	0.41
19	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.19		SLIDING	0.48
20	1	24" x36"		3' - 0"	2' - 0"	0.19		SLIDING	0.48
21	1	24" x36"		3' - 0"	2' - 0"	0.24		FIX SKYLIGHT	0.52
22	1	24" x36"		3' - 0"	2' - 0"	0.24		FIX SKYLIGHT	0.52
23	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	0.24	FIX SKYLIGHT	0.52
24	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	0.24	FIX	0.48
25	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	0.24	FIX	0.48
26	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	0.24	FIX	0.48
27	1	4x4	2' - 8"	4' - 0"	4' - 0"		0.24	FIX	0.48
28	1	4x4	2' - 8"	4' - 0"	4' - 0"	0.23		SLIDING (ADU)	0.30
						0.23		SLIDING (ADU)	0.30

- New installation of gas water heater shall have all the following as per 2022 California Energy Code 150.0(n):
1. A 120V electrical receptacle is within 3 feet from the water heater and accessible with no obstructions.
  2. A Category III or IV vent, or a Type B vent with straight pipe between outside termination and the water heater.
  3. A condensate drain no more than 2 inches higher than the base on water heater for natural draining.
  4. 4) A gas supply line with capacity of at least 200,000 Btu/hr.
  5. Unified tanks shall have a minimum R-12 insulation.
  6. R-7.7 insulation shall be installed on the first 5 feet of hot and cold-water pipes.
  7. water piping ¾" or larger, from the water heater to the kitchen fixtures, shall have R-4 insulation

NOTE:

Exterior lighting shall not cause glare or spillover onto adjoining properties or the public right-of-way

Shower floors and walls above bathtubs with installed shower head shall be finished with a nonabsorbent surface to a height not less than 6 ft. above the floor. (CRC R307.2, CBC 1210.2.3)

Smoke alarm requirements:

1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
4. Smoke detectors shall be "hard wired" and shall be equipped with battery backup.

Carbon monoxide alarm requirements:

1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling.
2. CO alarms shall be "hard wired" and shall be equipped with battery backup.
3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 720.
4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes.

Exterior lighting shall not cause glare or spillover onto adjoining property or the public right-a-way

Glass railing will have Anti-Reflective (AR) Coating.

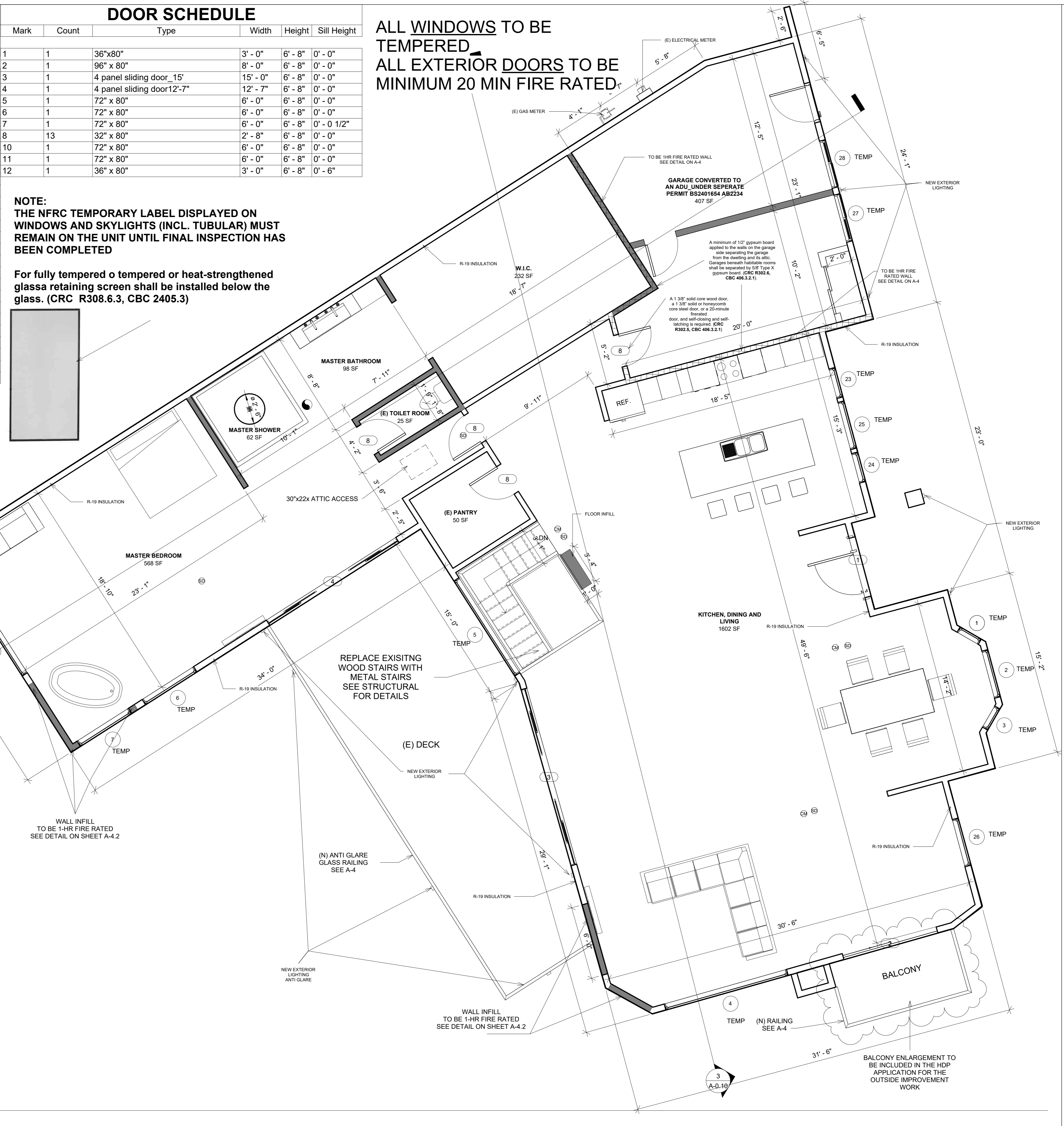
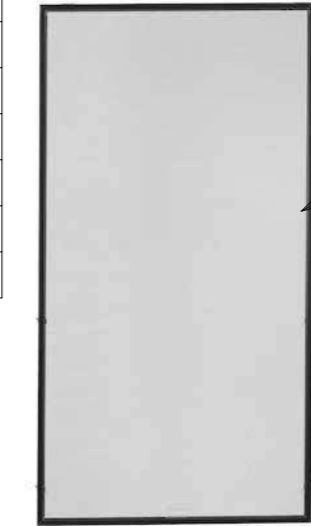
LEGEND

- NEW WALL
- NEW 1-HR FIRE RATED WALL
- WALL TO BE REMOVED
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVE
- EXISTING WALL
- EXHAUST FAN 50 CFM MINIMUM
- CARBON ALARM
- SMOKE DETECTOR
- FLOOR LINE  
1/4" = 1'-0"

DOOR SCHEDULE						
Mark	Count	Type	Width	Height	Sill Height	
1	1	36"x80"	3' - 0"	6' - 8"	0' - 0"	
2	1	96" x 80"	8' - 0"	6' - 8"	0' - 0"	
3	1	4 panel sliding door_15'	15' - 0"	6' - 8"	0' - 0"	
4	1	4 panel sliding door12'-7"	12' - 7"	6' - 8"	0' - 0"	
5	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
6	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
7	1	72" x 80"	6' - 0"	6' - 8"	0' - 0 1/2"	
8	13	32" x 80"	2' - 8"	6' - 8"	0' - 0"	
10	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
11	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"	
12	1	36" x 80"	3' - 0"	6' - 8"	0' - 6"	

NOTE:  
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

For fully tempered o tempered or heat-strengthened glassa retaining screen shall be installed below the glass. (CRC R308.6.3, CBC 2405.3)



ALL WINDOWS TO BE TEMPERED  
ALL EXTERIOR DOORS TO BE MINIMUM 20 MIN FIRE RATED.

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No.	Description	Date
1	Revision 1	Date 1

BUILDING FLOOR PLAN

Project number \_\_\_\_\_

Date \_\_\_\_\_ MARCH 2024

Drawn by \_\_\_\_\_ Author

Checked by \_\_\_\_\_ Checker

A-0.6

Scale \_\_\_\_\_ As indicated

WINDOW SCHEDULE								
Mark	Count	Type	Sill Height	Height	Width	Solar Heat Gain Coefficient	Operation	U-Value glass
1	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	FIX	0.48
2	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	SLIDING	0.33
3	1	2x5	1' - 8"	5' - 0"	2' - 0"	0.78	FIX	0.48
4	1	10'5"x6'8"	0' - 0"	6' - 8"	10' - 5"	0.78	FIX	0.31
5	1	9'3"x6'7"	0' - 5"	6' - 3"	9' - 3"	0.78	FIX	0.34
6	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	FIX	0.34
7	1	5X6'8"	0' - 0"	6' - 8"	5' - 0"	0.78	FIX	0.34
9	1	6X6'8"	0' - 0"	6' - 8"	6' - 0"	0.78	FIX	0.34
10	1	4'X6'8"	0' - 0"	6' - 8"	4' - 0"	0.78	FIX	0.34
11	1	3'6"x5'	1' - 8"	5' - 0"	3' - 6"	0.78	FIX	0.34
12	1	4X5	1' - 8"	5' - 0"	4' - 0"	0.24	FIX	0.34
13	1	4X5	1' - 8"	5' - 0"	4' - 0"	0.19	SLIDING	0.48
14	1	5x4	2' - 8"	4' - 0"	5' - 0"	0.19	SLIDING	0.48
15	1	4x1	5' - 8"	1' - 0"	4' - 0"	0.24	SLIDING	0.34
16	1	24" x 36"	3' - 8"	3' - 0"	2' - 0"	0.11	SLIDING	0.65
17	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.24	CASEMENT	0.34
18	1	48X18	5' - 2"	1' - 6"	4' - 0"	0.21	SLIDING	0.41
19	1	6x3	3' - 8"	3' - 0"	6' - 0"	0.19	SLIDING	0.48
20	1	24" x36"		3' - 0"	2' - 0"	0.19	SLIDING	0.48
21	1	24" x36"		3' - 0"	2' - 0"	0.24	FIX SKYLIGHT	0.52
22	1	24" x36"		3' - 0"	2' - 0"	0.24	FIX SKYLIGHT	0.52
23	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	FIX SKYLIGHT	0.52
24	1	2'6"X5	1' - 8"	5' - 0"	2' - 6"	0.78	FIX	0.48
25	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78	FIX	0.48
26	1	4x5	1' - 8"	5' - 0"	4' - 0"	0.78		
27	1	4x4	2' - 8"	4' - 0"	4' - 0"			
28	1	4x4	2' - 8"	4' - 0"	4' - 0"			

DOOR SCHEDULE					
Mark	Count	Type	Width	Height	Sill Height
1	1	36"x80"	3' - 0"	6' - 8"	0' - 0"
2	1	96" x 80"	8' - 0"	6' - 8"	0' - 0"
3	1	4 panel sliding door_15'	15' - 0"	6' - 8"	0' - 0"
4	1	4 panel sliding door12'-7"	12' - 7"	6' - 8"	0' - 0"
5	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
6	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
7	1	72" x 80"	6' - 0"	6' - 8"	0' - 0 1/2"
8	13	32" x 80"	2' - 8"	6' - 8"	0' - 0"
10	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
11	1	72" x 80"	6' - 0"	6' - 8"	0' - 0"
12	1	36" x 80"	3' - 0"	6' - 8"	0' - 6"

ALL WINDOWS TO BE TEMPERED  
ALL EXTERIOR DOORS TO BE MINIMUM 20 MIN FIRE RATED

**NOTE:**  
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For fully tempered o tempered or heat-strengthened glassa retaining screenshall be installed below the glass. (CRC R308.6.3, CBC 2405.3)

**Water-Heating System requirements (2022 California Energy Code 150.0(n)):**

Indicate space of at least 2.5 ft x 2.5 ft x 7 ft tall for future heat pump water heater.  
. If HPWH space is within 3 ft provide a dedicated 125 volt, 20 amp electrical receptacle, a reserved single pole circuit breaker space labeled as "Future 240V Use", a condensate drain no more than 2 inches higher than the base  
□ If HPWH is more than 3 ft provide a dedicated 240 volt branch circuit rated at 30 amps, dedicated cold water supply, hot water supply, and a condensate drain no more than 2 inches higher than the base.

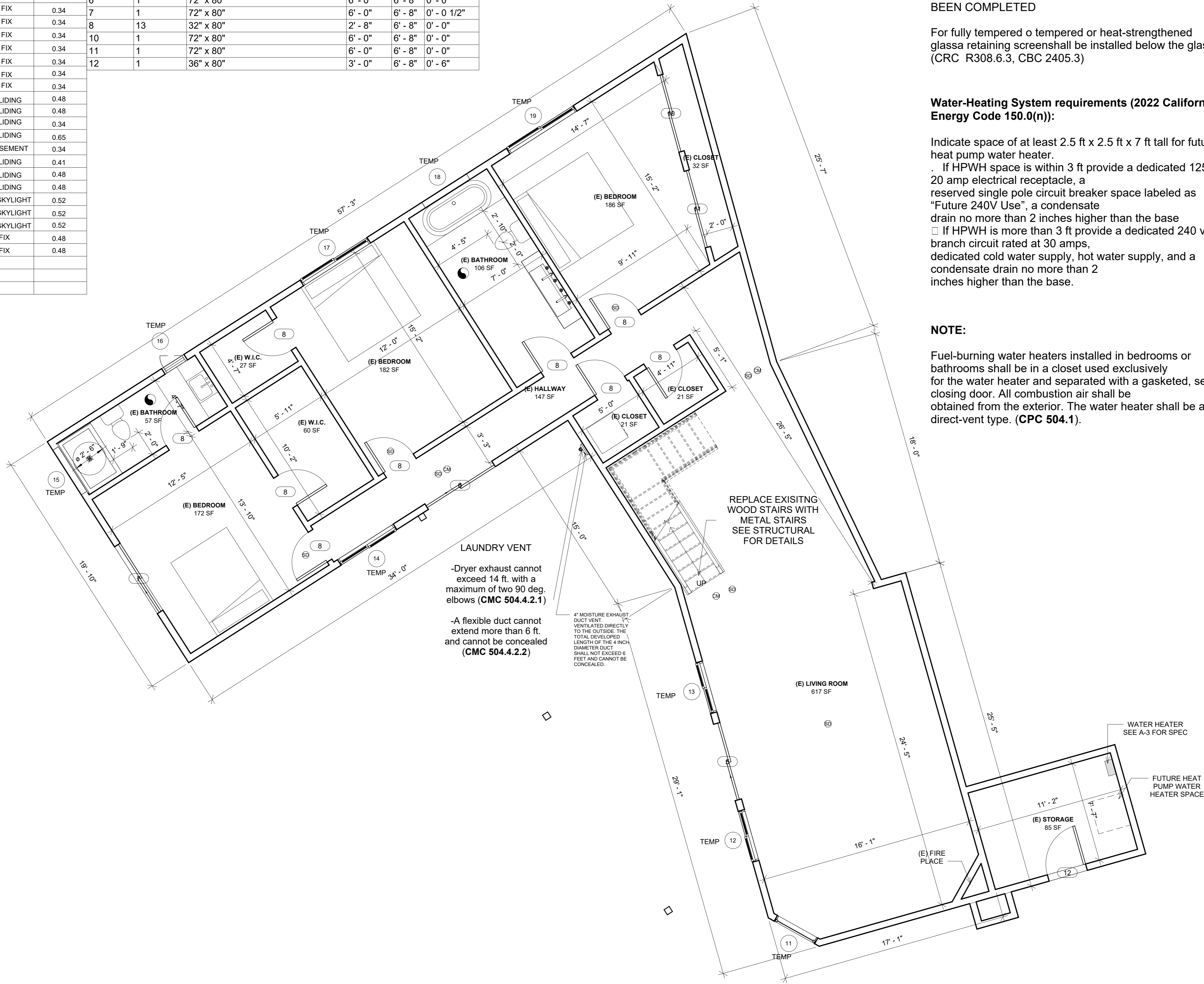
**NOTE:**  
Fuel-burning water heaters installed in bedrooms or bathrooms shall be in a closet used exclusively for the water heater and separated with a gasketed, self-closing door. All combustion air shall be obtained from the exterior. The water heater shall be a direct-vent type. **(CPC 504.1).**

Vents and Foundation Openings Requirements (BMC 9-1-2-701A.1.1):

- All vents must be designed to resist the intrusion of embers and flames.
- Acceptable vent coverings include non-combustible, corrosion-resistant metal mesh with a maximum 1/8-inch opening.
- Foundation and attic vents should be located and designed to minimize direct exposure to wind-driven embers.
- Alternative ember- and flame-resistant venting systems approved by the California State Fire Marshal (CSFM) may also be used.

LEGEND

- NEW WALL
- NEW 1-HR FIRE RATED WALL
- WALL TO BE REMOVED
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVE
- EXISTING WALL
- EXHAUST FAN 50 CFM MINIMUM
- CARBON ALARM
- SMOKE DETECTOR



1 BOTTOM FLOOR  
1/4" = 1'-0"



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No.	Description	Date

**BUILDING BOTTOM FLOOR PLAN**

Project number \_\_\_\_\_

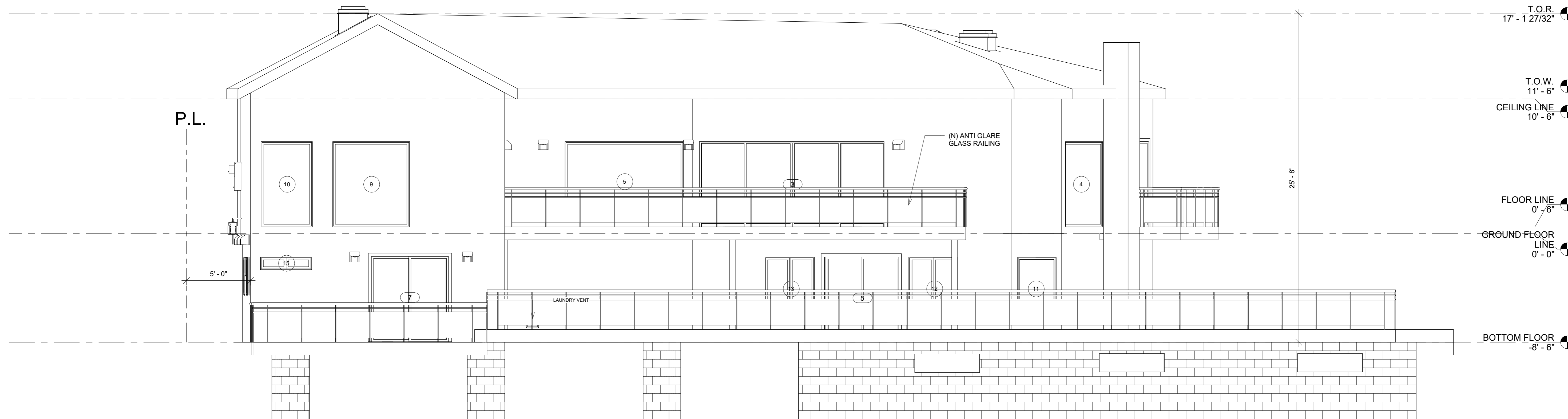
Date \_\_\_\_\_ MARCH 2024

Drawn by \_\_\_\_\_ Author

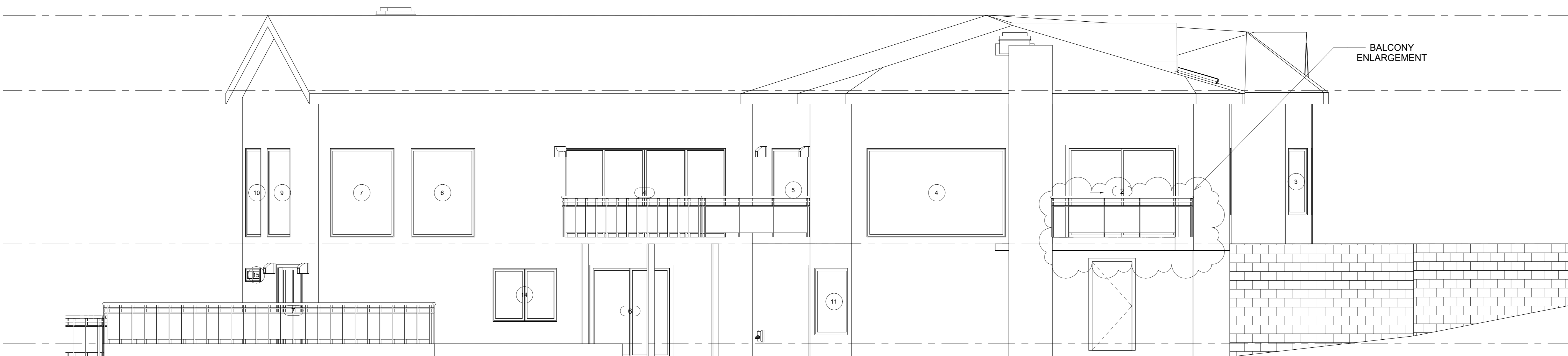
Checked by \_\_\_\_\_ Checker

**A-0.7**

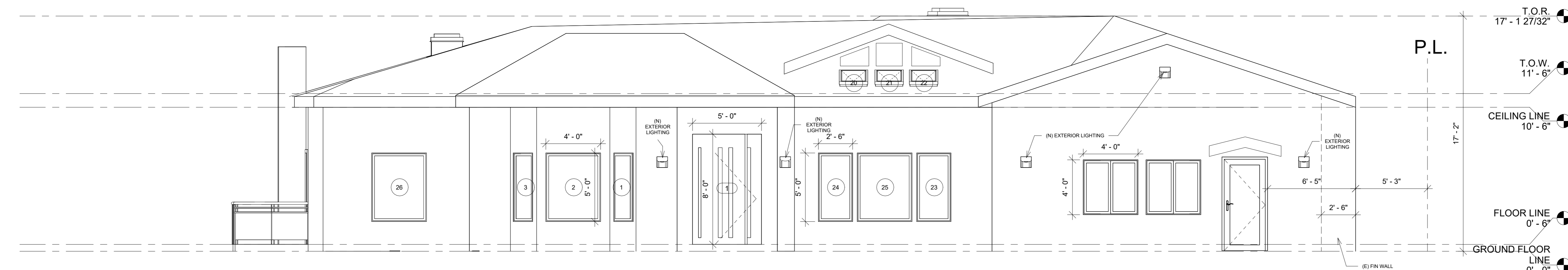
Scale \_\_\_\_\_ As indicated



① WEST ELEVATION1  
1/4" = 1'-0"



② SOUTH ELEVATION1  
1/4" = 1'-0"

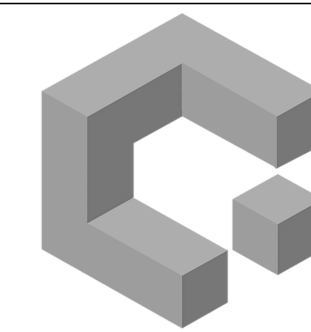


③ EAST ELEVATION  
1/4" = 1'-0"

**NOTE:**  
Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.

**FRONT FACADE WALL OPENING CALCULATION: 20% MINIMUM:**

WALL AREA 1: 266 SQ FT x 20% = 53.2 SQ FT REQUIRED PROVIDED: 60.4 SQ FT  
WALL AREA 2: 147 SQ FT x 20% = 24.0 SQ FT REQUIRED PROVIDED: 25.0 SQ FT  
WALL AREA 3: 176 SQ FT x 20% = 35.2 SQ FT REQUIRED PROVIDED: 40.0 SQ FT



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T.O.R.  
17' - 1 27/32"

T.O.W.  
11' - 6"

CEILING LINE  
10' - 6"

FLOOR LINE  
0' - 6"

**GROUND FLOOR**

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No.	Description	Date
1	Revision 1	Date 1

**ELEVATIONS**

Project number	
Date	MARCH 2024
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

A-0.8

ATTIC VENT CALC

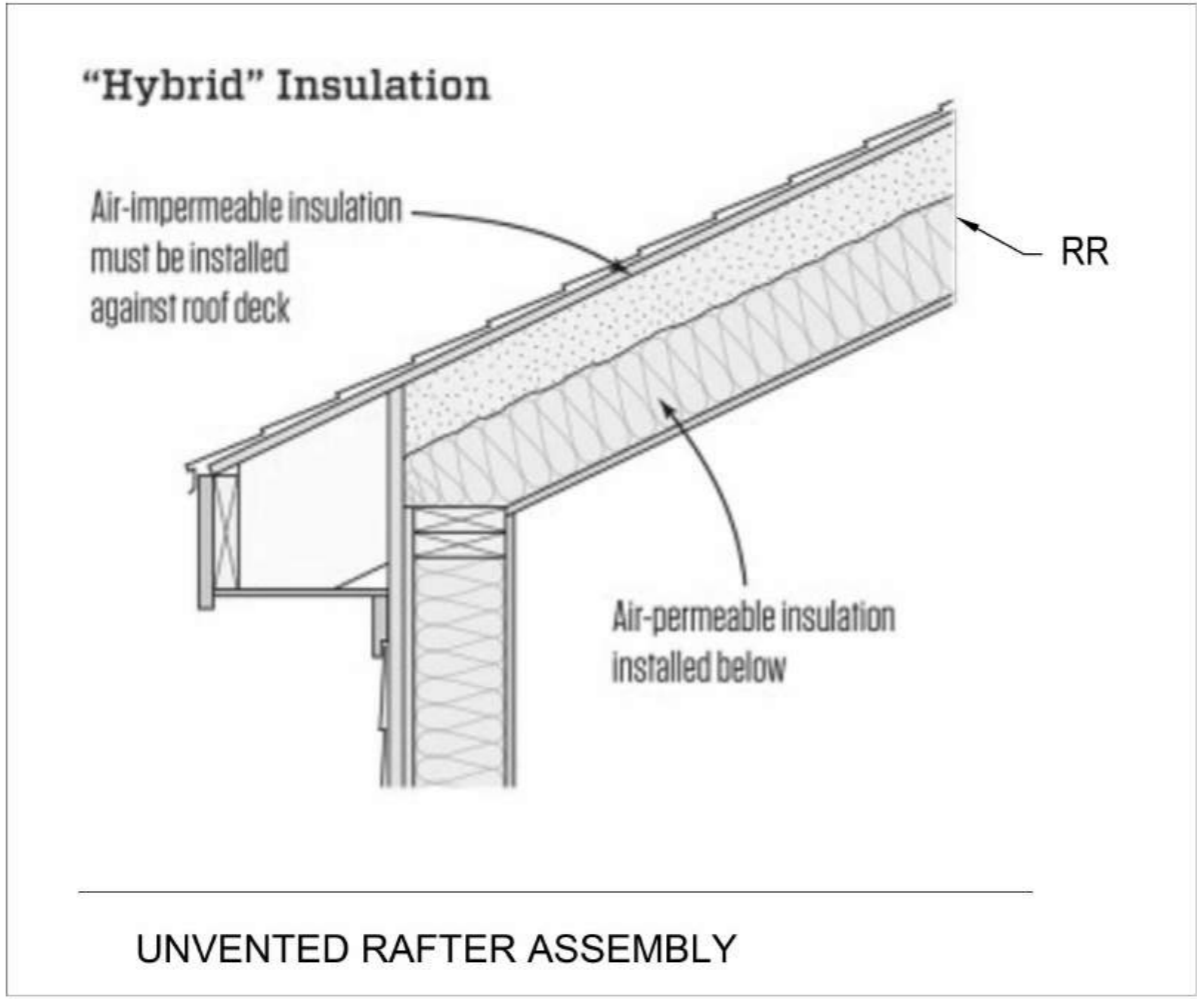
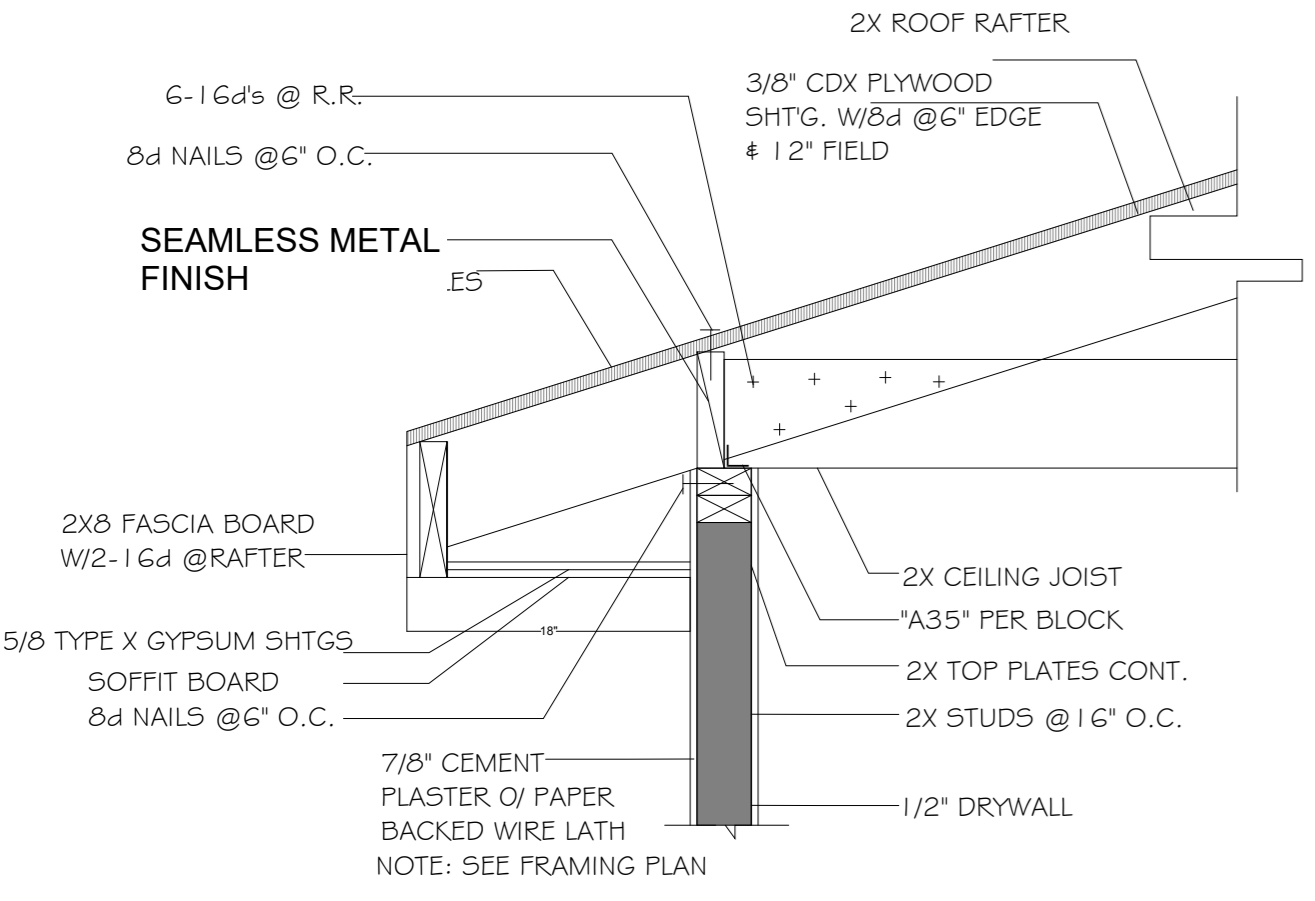
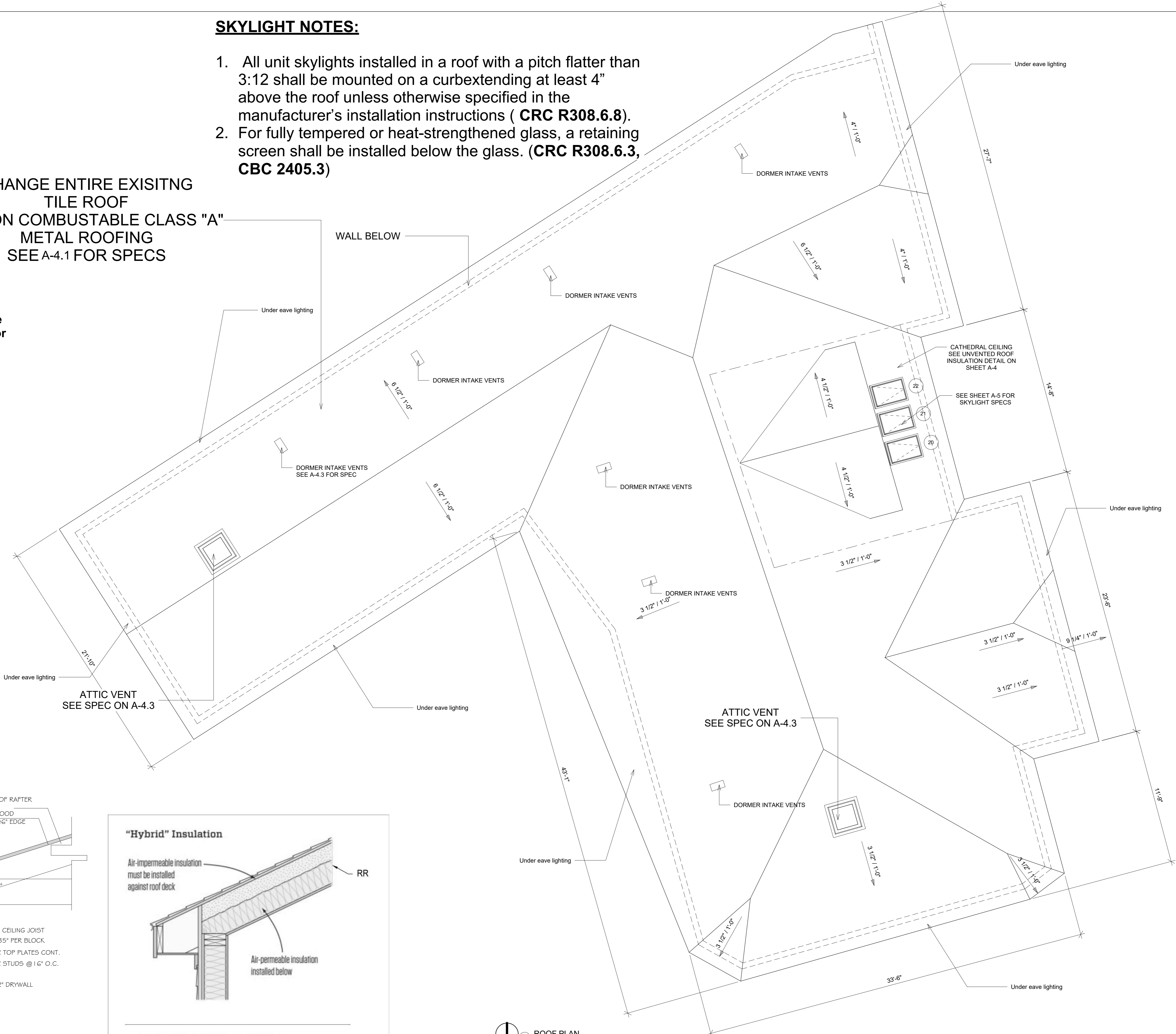
2,394 sf/150= 15.96 sq  
ftx144= 2,298.24 sqi  
SEE A-4.3 FOR VENT  
SPEC  
NET COVERAGE AREA:  
2100 SQ FT EACH  
PROVIDED 2

CHANGE ENTIRE EXISITNG  
TILE ROOF  
TO NON COMBUSTABLE CLASS "A"  
METAL ROOFING  
SEE A-4.1 FOR SPECS

SKYLIGHT NOTES:

1. All unit skylights installed in a roof with a pitch flatter than 3:12 shall be mounted on a curbextending at least 4” above the roof unless otherwise specified in the manufacturer’s installation instructions ( **CRC R308.6.8**).
2. For fully tempered or heat-strengthened glass, a retaining screen shall be installed below the glass. (**CRC R308.6.3, CBC 2405.3**)

Exterior lighting shall not cause glare  
or spillover onto adjoining property or  
the pubmic right-a-way



1 ROOF PLAN  
1/4" = 1'-0"



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ROOF PLAN

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A-0.9

Scale 1/4" = 1'-0"



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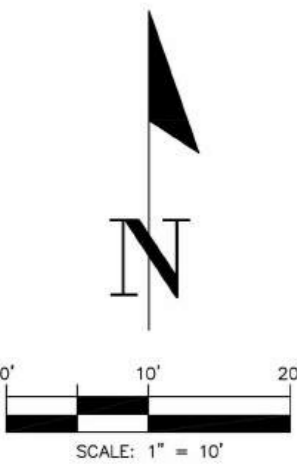
No.	Description	Date

PICTURES

Project number	
Date	MARCH 2024
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A-0.13

Scale



#### TOPOGRAPHIC NOTES:

CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS  $\pm 1/2$  OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THIS MAP WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS  $\pm 0.10$  FOOT.

INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES AND LIABILITY FOR INTERPOLATIONS ARE NOT ASSUMED BY CALIFORNIA ENGINEERING & SURVEYING, INC.

#### UNDERGROUND UTILITY NOTES:

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE, FEATURES, OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA. ACTUAL LOCATIONS SHOULD BE VERIFIED WITH APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENT PRIOR TO FINAL DESIGN AND/OR CONSTRUCTION.

#### SURVEY NOTES:

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC OR DRIVE) AS A COURTESY TO OUR CLIENT, THEN DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. CALIFORNIA ENGINEERING & SURVEYING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED, AND SEALED BY CALIFORNIA ENGINEERING & SURVEYING, INC.

ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

THE CLIENT DID NOT PROVIDE A TITLE REPORT.

REVIEW THE LATEST TITLE REPORT TO DETERMINE EASEMENT(S) THAT MAY EXIST OVER THIS PROPERTY.

# TOPOGRAPHIC SURVEY

PORTION OF LOT 4 AND 5 OF TRACT NO. 40026, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 992, PAGES 74-76 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER. CONTAINING 22,968 S.F.

#### BASIS OF BEARINGS:

THE BEARING OF N37°12'10"W, SHOWN FOR THE CENTERLINE OF RUDELL ROAD ON TRACT NO. 40026, MAP BOOK 992, PAGE 74, WAS USED AS THE BASIS OF BEARINGS HEREON.

#### LEGAL DESCRIPTION:

PORTION OF LOT 4 AND 5 OF TRACT NO. 40026, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 992, PAGES 74-76 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER.

#### LAND AREA:

CONTAINING AN AREA OF 22,968 SQUARE FEET, MORE OR LESS

#### BENCHMARK:

BENCH MARK: 1909-1  
DATUM: NAVD 1988  
ELEVATION: 871.689 FEET  
DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1909-1, 130 SUNSET CANYON DRIVE, AT THE NORTHWEST QUADRANT OF THE "T" INTERSECTION OF ANGELINO AVENUE AND SUNSET CANYON DRIVE

#### LOCAL BENCHMARK:

TOP OF SPIKE AND WASHER LS 4016 AT THE CENTER OF RUDELL ROAD CUL-DE-SAC AS SHOWN HEREON.

ELEVATION: 1239.00 FEET

#### SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF ADRINEH EBRAHIMIAN IN MARCH OF 2024.

*Larry J. Canterberry* 3/1/24  
LARRY J. CANTERBERRY, LS 8776 DATE

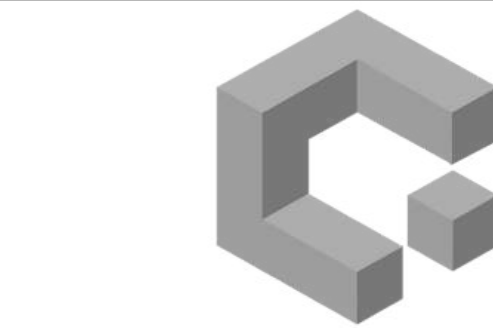


PREPARED BY:  
CALIFORNIA ENGINEERING & SURVEYING INC  
5210 MOLISE COURT, BAKERSFIELD, CA 93308  
(661) 809-7372 glen@calengr.com

#### TOPOGRAPHIC SURVEY

1719 RUDELL ROAD, BURBANK, CA 91501  
APN 5608-027-019 LOS ANGELES COUNTY

PROJ. MGR:	ADRINEH EBRAHIMIAN	DRAWING DATE:	3/1/24
SURVEYOR:	LARRY CANTERBERRY		
DOCUMENT TYPE:	TOPO SURVEY		
		SHEET 1 OF 1	



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No.	Description	Date

## SURVAY

Project number	
Date	MARCH 2024
Drawn by	Author
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A-2

Scale



## 2022 CALGREEN CODE

CHAPTER 1 – ADMINISTRATION	
SECTION	REQUIREMENTS
101.3.1	Scope
	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.

## CHAPTER 3 – GREEN BUILDING

SECTION	REQUIREMENTS
301.1.1	<b>Additions and alterations</b>
	<ul style="list-style-type: none"> <li>• Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.</li> <li>• Requirements only apply within the specific area of the addition or alteration.</li> <li>• Requirements for electric vehicle charging may apply to additions to or alterations of parking facilities for multifamily buildings</li> </ul>
301.2	<b>Low-rise and high-rise residential buildings</b>
	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
302.1	<b>Mixed occupancy buildings</b>
	<p>Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.</p> <p><b>Exceptions:</b></p> <ul style="list-style-type: none"> <li>• Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable.</li> <li>• Live/work units complying with the California Building Code Section 508.5 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.</li> </ul>



2022 CALGREEN CODE

	Multifamily development projects, hotels, and motels with less than 20 units
4.106.4.2.1	<p>The number of dwelling units, sleeping units or guest rooms shall be based on all building on a project site.</p>
	<p>1. <b>EV Capable.</b> 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any on-site distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amps. The service panel/subpanel shall identify overcurrent protective device spaces reserved for future EV charging as "EV CAPABLE."</p>
	<p><b>Exceptions:</b></p> <ol style="list-style-type: none"> <li>1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.</li> <li>2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.</li> </ol> <p>2. <b>EV Ready.</b> 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</p> <p><b>Exception:</b> Areas of parking facilities by parking lifts.</p>



## 2022 CALGREEN CODE

SECTION	REQUIREMENTS
4.106.2	<b>Storm water drainage and retention during construction</b>
	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
4.106.3	<b>Grading and paving</b>
	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. <b>Exception:</b> Additions and alterations which do not alter the existing drainage path.
4.106.4	<b>Electric vehicle (EV) charging for new construction and existing multifamily parking facilities</b>
	<ul style="list-style-type: none"> <li>Comply with Section 4.106.4.1 or 4.106.4.2 for installation and use of EV chargers and receptacles.</li> <li>Electric vehicle supply equipment (EVSE) shall comply with the <i>California Electrical Code</i>.</li> </ul> <p><b>Exceptions:</b></p> <ol style="list-style-type: none"> <li>On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following:               <ol style="list-style-type: none"> <li>Where there is no local utility power supply, or the local utility is unable to supply adequate power.</li> <li>Where local enforcing agency determines additional local utility infrastructure design requirements for implementation of Section 4.106.4, may adversely impact the construction cost of the project.</li> </ol> </li> <li>Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities.</li> </ol>



## 2022 CALGREEN CODE

	Multifamily development projects, hotels and motels with 20 or more units
	<p>The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site.</p> <ol style="list-style-type: none"><li><p><b>1. EV Capable.</b> 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any on-site distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amperes. The service panel/subpanel shall identify future EV spaces as "EV CAPABLE."</p><p><b>Exception:</b> When EV chargers (Level 2 EVSE) are installed in a number greater than 5% of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the 5% required.</p></li><li><p><b>2. EV Ready.</b> 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</p><p><b>Exception:</b> Areas of parking facilities served by parking lifts.</p></li><li><p><b>3. EV Chargers.</b> 5% of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.</p><p>When low power Level 2 EV charging receptacles or EVSE are installed beyond the minimum required, automatic load management systems (ALMS) may be used to reduce electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EVCS.</p></li></ol>

4.106.4.2.2



2022 CALGREEN CODE

4.106.4.1	<p align="center"><b>EV charging: New 1- &amp; 2-family dwellings/townhouses with attached private garages</b></p>
	<ul style="list-style-type: none"> <li>• Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit.</li> <li>• Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>• Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger.</li> <li>• Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces.</li> <li>• Service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</li> </ul> <p><b>Exception:</b> A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i>.</p>
4.106.4.1.1	<p align="center"><b>Identification</b></p>
	<p>Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as “EV CAPABLE”. The raceway termination location shall be permanently and visibly marked as “EV CAPABLE.”</p>
4.106.4.2	<p align="center"><b>EV charging for new multifamily dwellings, hotels and motels and new residential parking facilities</b></p>
	<ul style="list-style-type: none"> <li>• Applies to all new multifamily dwelling units, hotels and motels and new residential parking facilities.</li> <li>• Shall meet the requirements of Sections 4.106.4.2.1 or 4.106.4.2.2.</li> <li>• Calculations for spaces shall be rounded up to the nearest whole number.</li> <li>• A parking space served by electric vehicle supply equipment (EVSE) or designed as a future EV charging space shall count as at least one standard parking space in order to comply with minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2.</li> </ul>



## 2022 CALGREEN CODE

4.106.4.2.2.1	<p style="text-align: center;"><b>EV charging stations (EVCS)</b></p> <p>EVCS required by Section 4.106.4.2.2.1.2, Item 3 (1 in 25 EVCS with chargers) shall comply with Section 4.106.4.2.2.1.1.</p> <p><b>Exception:</b> EVCS serving public accommodations, public housing motels and hotel shall not be required to comply with this section. See <i>California Building Code</i>, Chapter 11B, for applicable requirements.</p>
	<p style="text-align: center;"><b>Location</b></p> <p>When EV chargers are installed, EVCS shall comply with at least one of the following options:</p> <ol style="list-style-type: none"> <li>1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the <i>California Building Code</i>, Chapter 11A, to allow use of the EV charger from the accessible parking space.</li> <li>2. The EV space shall be located on an accessible route to the building, as defined in the <i>California Building Code</i>, Chapter 2.</li> </ol> <p><b>Exception:</b> EVCS designed and constructed in compliance with the <i>California Building Code</i>, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.</p>
4.106.4.2.2.1.2	<p style="text-align: center;"><b>EV charging stations (EVCS) dimensions</b></p> <p>EV charging spaces shall be designed to comply with the following:</p> <ul style="list-style-type: none"> <li>• Minimum length of each EV space shall be 18 feet.</li> <li>• Minimum width of each EV space shall be 9 feet.</li> <li>• One in every 25 charging spaces, but not less than one, shall have an 8-foot minimum aisle. A 5-foot minimum aisle shall be permitted if the minimum width of the EV space is 12 feet. <ul style="list-style-type: none"> <li>a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.</li> </ul> </li> </ul>



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[illegible]

# CAL GREEN MANDATORY MEASURES

Project number	
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A-3

Scale



2022 CALGREEN CODE

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## 2022 CALGREEN CODE

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2022 CALGREEN COD

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## CAL GREEN MANDATORY MEASURES

Project number	_____
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## 2022 CALGREEN CODE

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for complete details on CAL

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## CAL GREEN MANDATORY MEASURES

A-5

Scale

# 1719 RUDELL ROAD, BURBANK, CA 91501

## GENERAL NOTES

- All grading and construction shall conform to the 2019 County of Los Angeles Building Codes and the State Model Water Efficiency Landscape Ordinance unless specifically noted on these plans.
- Any modifications of or changes to approved grading plans must be approved by the Building Official.
- No grading shall be started without first notifying the Building Official. A Pre-grading meeting at the site is required before of the grading with the following people present: Owner, grading contractor, design civil engineer, soils engineer, geologist, City grading inspector(s) or their representatives, and when required the archeologist or other jurisdictional agencies. Permittee or his agent are responsible for arranging Pre-grade meeting and must notify the Building Official at least two business days prior to proposed pre-grade meeting.
- Approval of these plans reflect solely the review of plans in accordance with the County of Los Angeles Building Codes, City of Burbank and does not reflect any position by the County of Los Angeles or the Department of Public Works or city of Burbank regarding the status of any title issues relating to the land on which the improvements may be constructed. Any disputes relating to title are solely a private matter not involving the City of Burbank.
- All grading and construction activities shall comply with County of Los Angeles Code, Title 12, Section 12.12.030 that controls and restricts noise from the use of construction and grading equipment from the hours of 8:00 PM to 6:30 AM, and on Sundays and Holidays. (More restrictive construction activity times may govern, as required by the City of Burbank and should be shown on the grading plans when applicable.)
- California Public Resources Code (Section 5087.38) and Health and Safety Code (Section 7050.5) address the discovery and disposition of human remains. In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, the law requires that grading immediately stops and no further excavation or disturbance of the site, or any nearby area where human remains may be located, occur until the following has been measures have been taken:
  - The County Coroner has been informed and has determined that no investigation of the cause of death is required, and
  - If the remains are of Native American origin, the descendants from the deceased Native Americans have made a recommendation for the means of treating or disposing, with appropriate dignity, of the human remains and any associated grave goods.
- The location and protection of all utilities is the responsibility of the Permittee.
- All export of material from the site must go to a permitted site approved by the Building Official or a legal dumpsite. Receipts for acceptance of excess material by a dumpsite are required and must be provided to the Building Official upon request.
- A copy of the grading permit and approved grading plans must be in the possession of a responsible person and available at the site at all times.
- Site boundaries, easements, drainage devices, restricted use areas shall be located per construction staking by Field Engineer or licensed surveyor. Prior to grading, as requested by the Building Official, all property lines, easements, and restricted use areas shall be staked.
- No grading or construction shall occur within the protected zone of any oak tree as required per Title Chapter 22.56 of the County of Los Angeles Zoning Code and City of Burbank Zoning Code. The protected zone shall mean that area within the drip line of an oak tree extending there from a point at least five feet outside the drip line, or 15 feet from the trunk(s) of a tree, whichever is greater.

If an oak tree permit is obtained: (Add the following Note.)

All grading and construction within the protected zone of all oak trees shall be per oak tree permit no. \_\_\_\_\_.

All grading and construction within the protected zone of any oak tree shall be per oak tree permit no. \_\_\_\_\_.

Recommendations in the permit and associated oak tree report must be complied with and are a part of the grading plan. A copy of the oak tree permit and associated reports shall be maintained in the possession of a responsible person and available at the site at all times.
- The standard retaining wall details shown on the grading plans are for reference only. Standard retaining walls are not checked, permitted, or inspected per the Grading Permit. A separate retaining wall permit is required for all standard retaining walls.

Note: This note only applies to standard retaining walls. Geogrid fabric and segmental retaining walls do not require a separate retaining wall permit. Details and construction notes for all Geogrid walls must be on the grading plan.
- A preventive program to protect the slopes from potential damage from burrowing rodents is required per Section J101.8 of the County of Los Angeles Building Code. Owner is required to inspect slopes periodically for evidence of burrowing rodents and a first evidence of their existence shall employ an exterminator for their removal.
- Where a grading permit is issued and the Building Official determines that the grading will not be completed prior to November 1, the owner of the site on which the grading is being performed shall, on or before October 1, file or cause to be filed with the Building Official an ESCP per Section J110.8.3 of the County of Los Angeles Building Code.
- Transfer of Responsibility: If the Field Engineer, the Soils Engineer, or the Engineering Geologist of record is changed during grading, the work shall be stopped until the replacement has agreed in writing to accept their responsibility within the area of technical competence for approval upon completion of the work. It shall be the duty of the permittee to notify the Building Official in writing of such change prior to the commencement of such grading.

## INSPECTION NOTES

- The permittee or his agent shall notify the Building Official at least one working day in advance of required inspections at following stages of the work. (Section J105.7 of the Building Code.)
  - Pre-grade – Before the start of any earth disturbing activity or construction.
  - Initial – When the site has been cleared of vegetation and unapproved fill has been scarified, benched or otherwise prepared for fill. Fill shall not be placed prior to this inspection. Note: Prior to any construction activities, including grading, all storm water pollution prevention measures including erosion control devices which contain sediments must be installed.
  - Rough – When approximate final elevations have been established; drainage terraces, swales and berms installed at the top of the slope; and the statements required in this Section have been received.
  - Final – When grading has been completed; all drainage devices installed; slope planting established; irrigation systems installed and the As-Built plans, required statements, and reports have been submitted and approved.
- In addition to the inspection required by the Building Official for grading, reports and statements shall be submitted to the Building Official in accordance with Section J105 of the County of Los Angeles Building Code and City of Burbank.
- Unless otherwise directed by the Building Official, the Field Engineer for all engineered grading projects shall prepare routine inspection reports as required under Section J105.11 of the County of Los Angeles Building Code. These reports, known as "Report of Grading Activities", shall be submitted to the Building Official as follows:
  - Bi-weekly during all times when grading of 400 cubic yards or more per week is occurring on the site;
  - Monthly, at all other times; and
  - at any time when requested in writing by the Building Official.
- All graded sites must have drainage swales, berms, and other drainage devices installed prior to rough grading approval per Section J105.7 of the County of Angeles Building Code.
- The grading contractor shall submit the statement to the grading inspector as required by Section J105.12 of the County of Los Angeles Building Code at completion of rough grading.
- Final grading must be approved before occupancy of buildings will be allowed per Section J105 of the County of Los Angeles Building Code.
- A property line survey, prepared by a CA licensed land surveyor or a civil engineer with a license number below C33966, may be required by The Building Official based upon site conditions in accordance with LACBC Section 108.1.

## DRAINAGE NOTES

- An encroachment permit from (County of Los Angeles Department of Public Works) (CALTRANS) (City of \_\_\_\_\_BURBANK\_\_\_\_\_) is required for all work within or affecting road right of way. All work within Road right of way shall conform to (County of Los Angeles Department of Public Works)(CALTRANS) (City of \_\_\_\_\_BURBANK\_\_\_\_\_) encroachment permit.
- An encroachment permit (connection permit) is required from the County of Los Angeles Flood Control District for all work within the County of Los Angeles Flood Control District Right of Way. All work shall conform to conditions set by the Permit.
- Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the Fire Prevention Bureau or the local Fire Station prior to commencing work.
- All work within the streambed and areas outlined on grading plans shall conform to:
  - Army Corp 404 Permit Number: \_\_\_\_\_ N/A \_\_\_\_\_
  - California Fish & Wildlife Permit No.: \_\_\_\_\_ N/A \_\_\_\_\_
- All construction/demolition, grading, and storage of bulk materials must comply with the local AQMD rule 403 for Fugitive Dust. Information on rule 403 is available at AQMD's website <http://www.aqamd.com>.

## GENERAL GEOTECHNICAL NOTES

- All work must be in compliance with the recommendations included in the geotechnical consultant's report(s) and the approved grading plans and specifications.
- Grading operations must be conducted under periodic inspections by the geotechnical consultants with monthly inspection reports to be submitted to the Geology and Soils Section.
- The Soil Engineer shall provide sufficient inspections during the preparation of the natural ground and the placement and compaction of the fill to be satisfied that the work is being performed in accordance with the plan and applicable Code requirements.
- Rough grading must be approved by a final engineering geology and soils engineering report. An As-Built Geologic Map must be included in the final geology report. Provide a final report statement that verifies work was done in accordance with report recommendations and code provisions (Section J105.12 of the County of Los Angeles Building Code).
- Foundation, wall and pool excavations must be inspected and approved by the consulting geologist and soil engineer, prior to the placing of steel or concrete.
- Building pads located in cutoff transition areas shall be over-excavated a minimum of three (3) feet below the proposed bottom of footing.

## FILL NOTES

- All fill shall be compacted to the following minimum relative compaction criteria:
  - 90 percent of maximum dry density within 40 feet below finish grade.
  - 93 percent of maximum dry density deeper than 40 feet below finish grade, unless a lower relative compaction not less than 90 percent of maximum dry density is justified by the geotechnical engineer. The relative compaction shall be determined by A.S.T.M. soil compaction test D1557-91 where applicable: Where not applicable, a test acceptable to the Building Official shall be used. (Section J107.5 of the County of Los Angeles Building Code.)
  - 95 percent of maximum dry density is required for all Fill lanes unless otherwise approved by the Fire Department.
- Field density shall be determined by a method acceptable to the Building Official. (Section J107.5 of the County of Los Angeles Building Code.) However, not less than 10% of the required density test, uniformly distributed, and shall be obtained by the Sand Cone Method.
- Sufficient tests of the fill soils shall be made to determine the relative compaction of the fill in accordance with the following minimum guidelines:
  - One test for each two-foot vertical lift.
  - One test for each 1,000 cubic yards of material placed.
  - One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof.
  - One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.
- Sufficient tests of fill soils shall be made to verify that the soil properties comply with the design requirements, as determined by the Soil Engineer including soil types, shear strengths parameters and corresponding unit weights in accordance with the following guidelines:
  - Prior and subsequent to placement of the fill, shear tests shall be taken on each type of soil or soil mixture to be used for all fill slopes steeper than three (3) horizontal to one vertical.
  - Shear test results for the proposed fill material must meet or exceed the design values used in the geotechnical report to determine slope stability requirements. Otherwise, the slope must be reevaluated using the actual shear test value of the fill material that is in place.
  - Fill soils shall be free of deleterious materials.
- Fill shall not be placed until stripping of vegetation, removal of unsuitable soils, and installation of subdrain (if any) have been inspected and approved by the Soil Engineer. The Building Official may require a "Standard Test Method for moisture, ash, organic matter, peat or other organic soils" ASTM D-2974-87 on any suspect material. Detrimental amounts of organic material shall not be permitted in fills. Soil containing small amounts of roots may be allowed provided that the roots are in a quantity and disturbed in a manner that will not be detrimental to the future use of the site and the soils engineer approves the use of such material.
- Rock or similar material greater than 12 inches in diameter shall not be placed in the fill unless recommendations for such placement have been submitted by the Soil Engineer and approved in advance by the Building Official. Location, extent, and elevation of rock disposal areas must be shown on an "As Built" grading plan.
- Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all fill placement and compaction operations where fills have a depth greater than 30 feet or slope surface steeper than 2:1. (Section J107.8 of the County of Los Angeles Building Code)
- Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all subdrain installation. (Section J107.2 of the County of Los Angeles Building Code)
- All subdrain outlets are to be surveyed for line and elevation. Subdrain information must be shown on an "As Built" grading plan.
- Fill slopes in excess of 2:1 steepness ratio are to be constructed by the placement of soil at sufficient distance beyond the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. Other construction procedures may be used when it is demonstrated to the satisfaction of the Building Official that the angle of slope, construction method and other factors will have equivalent effect Section J107.5 of the County of Los Angeles Building Code.)

## PLANTING AND IRRIGATION NOTES

- Planting and irrigation on graded slopes must comply with the following minimum guidelines:
  - The surface of all cut slopes more than 5 feet in height and fill slopes more than 3 feet in height shall be protected against damage by erosion by planting with grass or groundcover plants. Slopes exceeding 15 feet in vertical height shall also be planted with shrubs, spaced not to exceed 10 feet on centers; or trees, spaced at not to exceed 20 feet on centers, or a combination of shrubs and trees at equivalent spacing in addition to the grass or groundcover plants. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site. Plant material shall be selected which of produce a coverage of permanent planting effectively controlling erosion. Consideration shall be given to deep-rooted planting material needing limited watering, maintenance, high root to shoot ratio, wind susceptibility and fire-retardant characteristics. All plant materials must be approved by the Building Official. (Section J110.3 of the County of Los Angeles Building Code)
  - Planting grass may be modified for the site if specific recommendations are provided by both the Soils Engineer and a Landscape Architect. Specific recommendations must consider soils and climatic conditions, irrigation requirements, planting methods, fire retardant characteristics, water efficiency, maintenance needs, and other regulatory requirements. Recommendations must include a finding that the alternative planting will be permanent and effective method of erosion control. Modifications to planting must be approved by the Building Official prior to installation.
  - Slopes required to be planted by Section J110.3 shall be provided with an approved system of irrigation that is designed to cover all portions of the slope. Irrigation system plans shall be submitted and approved prior to installation. A functional test of the system may be required. For slopes less than 20 feet in vertical height, hose bibs to permit hand watering will be acceptable if such hose bibs are installed at conveniently accessible locations where a hose no longer than 50 feet is necessary for irrigation. The requirements for permanent irrigation systems may be modified upon specific recommendation of a landscape architect or equivalent authority that, because of the type of landscape, the planting methods used and the soil and climatic conditions at the site, irrigation will not be necessary for the maintenance of the slope planting. (Section J110.4 of the County of Los Angeles Building Code)
  - Other governmental agencies may have additional requirements for landscaping and irrigation. It is the responsibility of the applicant to coordinate with other agencies to meet their requirements while maintaining compliance with the County of Los Angeles Building Code.
- The planting and irrigation systems shall be installed as soon as practical after rough grading. Prior to final grading approval all required slope planting must be well established. (Section J110.7 of the County of Los Angeles Building Code)
- Landscape irrigation system shall be designed and maintained to prevent spray on structures. (Title 31, Section 5.407.2.1)
- Prior to rough grade approval the project requires a landscape permit. Landscape plans in compliance with the "Model Water Efficient—Landscape Ordinance"—Title 23, Chapter 2.7 of California Code of Regulations (AB-1881) must be submitted to the Department of Public—Works, Land Development Division—(900 S. Fremont Ave. Alhambra – 3RD Floor, CA 91803 (626) 458-4821). To obtain Landscape permit—approved plans and Water-Purveyor acknowledgment form must be submitted to the local Building and Safety office.

## BEST MANAGEMENT PRACTICE NOTES:

- Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
- Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via street flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/ or adequately implement the ESCP may result in revocation of grading and/ or other permits or other sanctions provided by law.

Print Name \_\_\_\_\_

(Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_

(Owner or authorized agent of the owner)

The following BMPs as outlined in, but not limited to, the latest edition of the CASQA Construction BMP Online Handbook or Caltrans Stormwater Quality Handbooks (Construction Site BMP Manual), may apply during the construction of this project (additional measures may be required if deemed appropriate by the Project Engineer or the Building Official)

Date of maintenance agreement: \_\_\_\_\_ sq. ft.  
Proposed Impervious Area: \_\_\_\_\_  
Design Storm: (check one) 85th Percentile 0.75-inch

SWQDv: f13 Percent to be retained onsite

LID Solution: (check one) Infiltration Bioinfiltration

D. PRIVATE/UTILITY EASEMENT  
ANY PROPOSED WORK WITHIN A PRIVATE/UTILITY EASEMENT OR ACCESS EASEMENT REQUIRES PERMISSION LETTERS AND/OR COVENANTS FROM EASEMENT HOLDER. PERMISSION FROM THE EASEMENT HOLDER MAY NOT BE REQUIRED IF IT CAN BE SHOWN THE PROPOSED CONSTRUCTION WORK IS CONFORMANT WITH THE INTENDED EASEMENT USE. COPIES OF RECORDED EASEMENTS SHALL BE SUBMITTED FOR REVIEW. GRADING PLANS MUST SHOW ALL BEARINGS, DISTANCES, (LINEAR AND CURVE DATA) FOR THE ENTIRE EASEMENT(S.).

## PROJECT INFORMATION

GRADING PERMIT APPLICATION NO. GR. \_\_\_\_\_ N/A

EARTHWORK VOLUMES CUT 85 (CY.), FILL 0 (CY.)  
OVER EXCAVATION/ALLUVIAL REMOVAL & RECOMPACTION \_\_\_\_\_ (CY.)

## PROPERTY INFORMATION

PROPERTY ADDRESS: 1719 RUDELL RD., BURBANK, CA 91501

TRACT / PARCEL MAP NO. 49026 LOT / PARCEL NO. Lots 4 and 5

PROPERTY OWNER CHRIS KISTORIAN

ASSESSORS ID NUMBER(S) APN: 5608-027-019

## ZONING & REGIONAL PLANNING INFORMATION AND OTHER AGENCY INFORMATION

PROPERTY ZONING: R-3

INTENDED LAND USE: SINGLE FAMILY  
(For proposed graded areas - i.e. ... Single Family Residence )

CERTIFICATE OF COMPLIANCE: N/A

PLOT PLAN NUMBER: PP NO. N/A

CONDITIONAL USE PERMIT: CUP NO. N/A EXPIRATION DATE: \_\_\_\_\_

OAK TREE PERMIT NUMBER: OTP NO. N/A EXPIRATION DATE: \_\_\_\_\_

COMMUNITY STANDARDS DISTRICT: N/A

CALIFORNIA COASTAL COMMISSION AREA: N/A YES \_\_\_\_\_ NO APPROVED VOLUME: \_\_\_\_\_ (Cy)

COASTAL DEVELOPMENT PERMIT CDP: N/A EXPIRATION DATE: \_\_\_\_\_

FISH & WILDLIFE, ARMY CORP OF ENGINEERS, REGIONAL WATER CONTROL BOARD, AQMD & OTHER AGENCY PERMITS SHOULD BE ADDED AS APPLICABLE. (PERMIT NO. N/A EXPIRATION DATE \_\_\_\_\_)

## LID NOTES

- Determine and provide the pre and post development pervious and impervious area created by the proposed development.
- All structural BMPs shall be accessible for inspection and maintenance and shall bear a "No Dumping - Drains to Ocean" symbol in traffic rated paint per detail herein. Stencils are available at the local Building and Safety District office.
- Prior to commencement of any work within the road right of way and/or connection to a County-maintained storm drain an encroachment permit from Construction Division is required. For more information call (626) 458-3125.
- Prior to commencement of any work and/or discharge of drainage to a watercourse, a permit from both the California Department of Fish and Game and U.S. Army Corps of Engineers may be required.

## STATEMENTS OF UNDERSTANDING

As the Architect/Engineer of the project, I have reviewed the Development Planning for storm Water Management-A manual for the Standard Urban Stormwater Mitigation Plan (LID), and have proposed the implementation of the permanent Best Management Practices (BMPs) applicable to effectively minimize the negative impacts of the project's stormwater runoff. The selected BMPs will be installed per the approved plans and as recommended by the product manufacturer as applicable.

SIGNATURE-ARCHITECT/ENGINEER OF RECORD \_\_\_\_\_

DATE \_\_\_\_\_

## CERTIFICATIONS AND PROOF OF ONGOING MAINTENANCE

Project Civil Engineer/Architect must complete the STATEMENTS OF UNDERSTANDINGS, see LID general note #5 which must be signed and added to proposed plans.

Project Civil Engineer/Architect must submit the OPERATION AND MAINTENANCE GUIDELINES for review and approval prior to recordation. The operation and Maintenance Guidelines shall include the designated responsible party to manage the LID devices, employee's training program and duties, operating schedule, maintenance frequency, routine service schedule, specific maintenance activities, copies of resource agency permits, and any other necessary activities. At a minimum, maintenance shall require inspection and servicing of all LID devices on a annual basis.

Provide recorded and certified copies of the MAINTENANCE COVENANT FOR LID DEVICES and OPERATION AND MAINTENANCE GUIDELINES to provide for ongoing operation and maintenance of LID devices. Refer to Appendix 4 for covenant.

## SCOPE OF W

ADDITION OF REAR YARD DECK ATTACHED TO AN EXISTING DECK, INCREASING THE HEIGHT OF AN EXISTING RETAINING WALL ALONG THE SOUTHEAST SITE AND NEW WALL ALONG THE EAST SIDE.

## PRIVATE ENGINEER'S NOTICE TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO MAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES. CONTRACTOR TO NOTE THAT EXCEPT LOCATION OF EXISTING FACILITIES MAY VARY, AND SHOULD BE VERIFIED AT TIME OF CONSTRUCTION. CONTRACTOR TO CALL UNDERGROUND SERVICE ALERT AT 1-800-422-4133 AT LEAST 48 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.

## LEGEND

PROPERTY LINE  
STREET, RAW, DRIVEWAY CENTERLINE  
INTERIOR/EXTERIOR LOT BORY LINE  
EXIST. GROUND CONTOUR  
PROP. FINISH SURFACE CONTOUR  
FLOWLINE  
TOP OF CUT/FILL DAYLIGHT LINE  
GRADE-BREAK LINE ELEVATION  
RIDGE HIGH-POINT G.B.J. LINE  
CONCRETE PAVING OR SLAB  
DIRT OR LANDSCAPING AREA  
CONCRETE BLOCK WALL/RET. WALL PER SEPARATE PERMIT

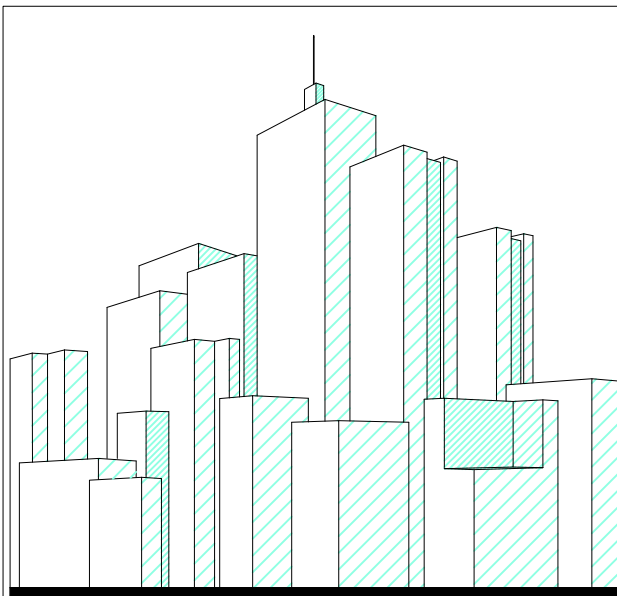
T.C. TOP OF CURB ELEVATION  
F.S. FINISH SURFACE A.C.  
F.L. FLOWLINE ELEVATION  
T.G. TOP OF GRADE ELEVATION  
F.G. FINISH GRADE ELEVATION  
B.W. BACK EDGE OF SIDEWALK ELEVATION  
F.P. FINISH EDGE OF PAVING ELEVATION  
E.G. EXIST. GROUND ELEVATION/STRUCTURE  
T.F. TOP OF FOOTING ELEVATION  
T.S. TOP OF SLAB ELEVATION  
T.G. ON GROUND ELEVATION  
F.F. FINISH FLOOR ELEVATION  
INV. FLOWLINE INVERT ELEVATION OF PIPE

## STRUCTURAL ENGINEER

ARDASHES KAZARIAN KAZARIANS ENGINEERING SERVICES, INC  
1528 CANADA BLVD SUIT 206 GLENDALE CA 91208  
(818)240-8763

## ARCHITECT

CEVIK GHAZARIAN UP DEVELOPMENTS INC.  
225 E BROADWAY #100 GLENDALE CA 91205  
(818) 660-6596



**TLC** TECHN A LAND CO., INC  
1545 N. VERDUGO RD. SUITE #2  
GLENDALE, CA 91208

Revisions	Date

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PROJECT NAME:

PROJECT ADDRESS:

1719 RUDELL RD.,  
BURBANK, CA 91501

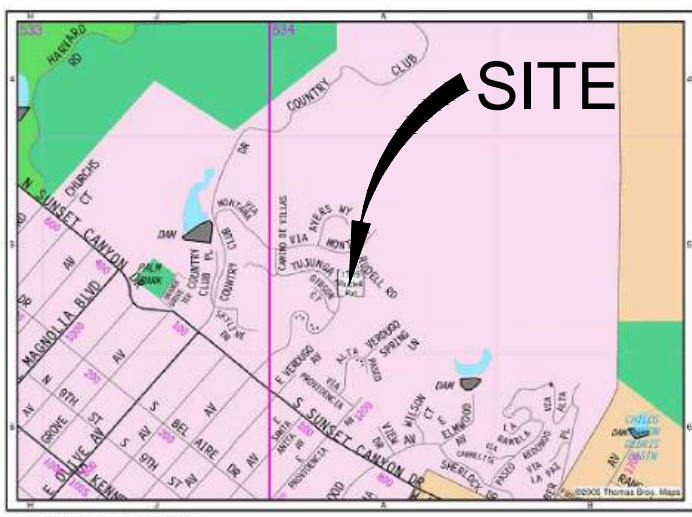
Drawing Title

## GRADING/DRAINAGE GENERAL NOTES

Project No 1427-018-24	Seal
Scale 1"=10'	
Date JUN. 20, 2025	
Designed	
Drawn	
Checked	Drawing No
Reviewed	

C-1

Sheet 1 of 2



## VICINITY MAP

- 1 INSTALL 3" PVC. PIPE OR/SEE ARCHT. PLANS FOR DETAIL & SPECS.
- 2 INSTALL 4" PVC. PIPE, SCHED40
- 3 INSTALL AREA DRAINS/ROOF DRAINS
- 4 EX. CONC. RET.WALL
- 5 INSTALL 4" DOWN SPOUTS
- 6 INSTALL 4" GUTTER
- 7 INSTALL 6" PVC. SCHD. 40
- 8 CONST. 3' HI. SPLASH WALL PER DET. HEREON



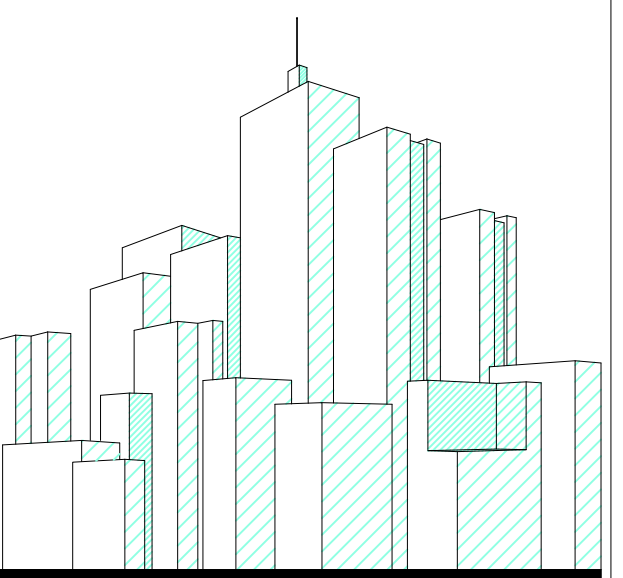
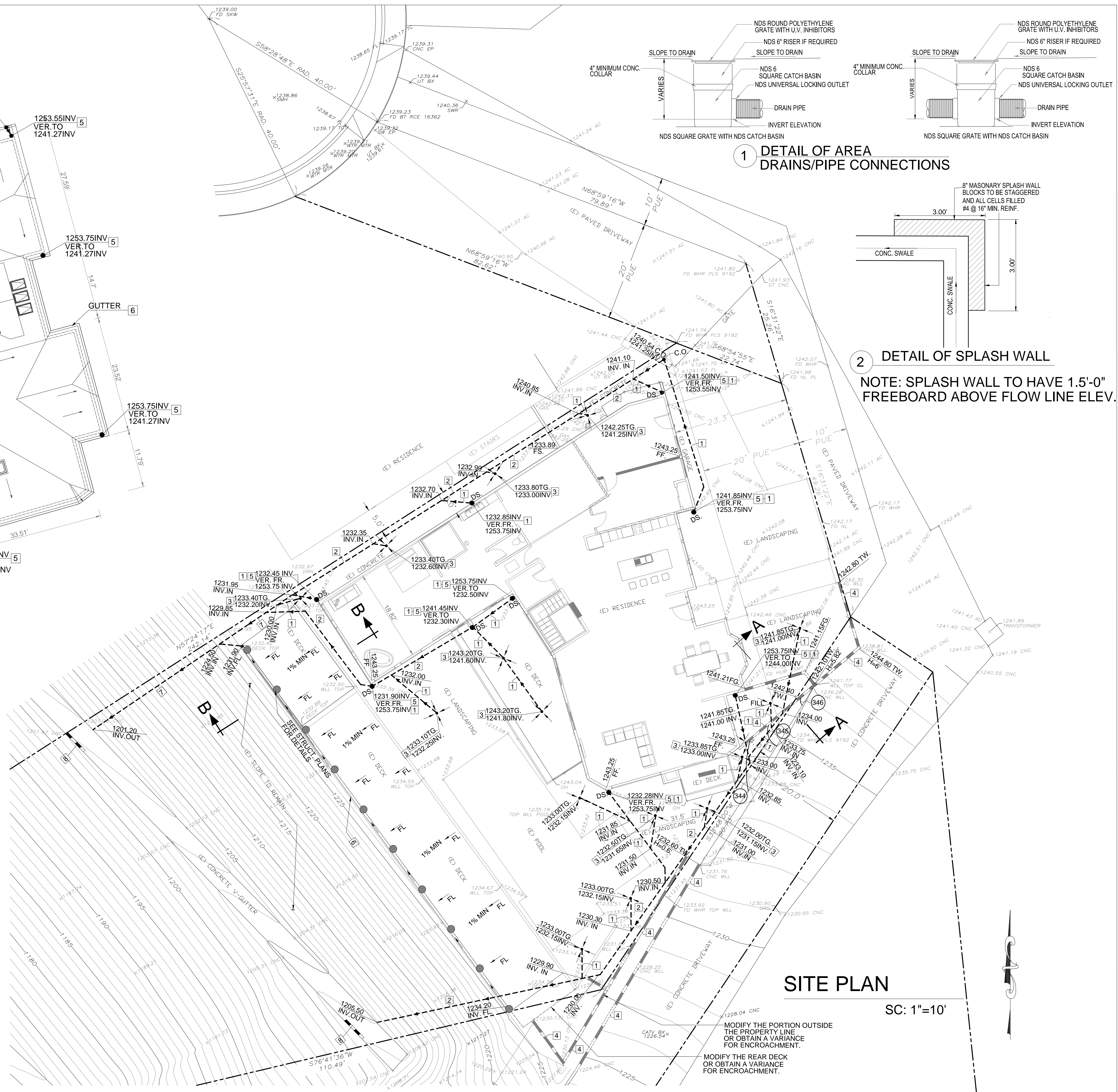
SC:  $\frac{1}{10}'' = 1' - 0''$



SC:1/10"=1'-0"



SC: 1/10" = 1'-0"



**TLC**TECHNA LAND CO., INC  
1545 N. VERDUGO RD. SUITE #2  
GLENDALE, CA 91208

[illegible]

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PROJECTNAME:

PROJECT ADDRESS:  
1719 RUDELL RD.,  
BURBANK, CA 91501

Drawing Title

**GRADING/DRAINAGE**

Project No <b>1427-018-24</b>	
Scale <b>1"=10'</b>	
Date <b>JUN. 20, 2025</b>	
Designed <b>A.N.</b>	
Drawn <b>H.M.</b>	
Checked	Drawing No
Reviewed	

C-2