



**COMMUNITY  
DEVELOPMENT**

March 10, 2026

ARA AMYAN  
1550 RAYMOND AVENUE  
GLENDALE, CA 90201

**Via email: [artdesignusa1@gmail.com](mailto:artdesignusa1@gmail.com)**

**RE: Notice of Decision – Approval  
PROJECT NO. 24-0004476 – Hillside Development Permit  
3000 Haven Way**

Dear Ara Amyan:

This letter is to notify you that the Community Development Director has approved your application for **Hillside Development Permit** to demolish an existing one-story 1,870-square-foot single family dwelling and construct a 3,529-square-foot two-story single-family dwelling with an attached three-car garage located at 3000 Haven Way in the R-1, Hillside, Single Family Residential zone (Attachment A), pursuant to the ability of staff to affirmatively determine the project satisfies the requisites for approval (Attachment D) upon implementation of the attached Conditions of Approval (Attachment F).

Please be advised that the decision of the Community Development Director will become final fifteen (15) days from the date of this letter unless the decision is appealed to the Planning Commission. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing fee prior to the expiration of the fifteen (15) day appeal period, or **by 5:00 p.m. March 25, 2026**. If no appeal is filed, then you may submit to the Building & Safety Division for Building Plan Check review the first business day following the conclusion of the 15-day appeal period. If appealed, this decision will be set aside, and the Planning Commission will conduct a De Novo review of the application and make a decision. The Planning Commission decision is final and cannot be appealed. If you have any questions concerning this letter, please contact me by phone at (818) 238-5250 or by email at [sdurghalli@burbankca.gov](mailto:sdurghalli@burbankca.gov).

Sincerely

Sara Durghalli  
Assistant Planner  
Community Development Department

Patrick Prescott,  
Community Development Director

Enc:

- Attachment A Approved Plans
- Attachment B Project Summary and Background Information
- Attachment C Burbank Municipal Code Title 10 Compliance Table
- Attachment D Findings for Granting a Hillside Development Permit Approval
- Attachment E View Study
- Attachment F Conditions of Approval

Project No. 24-0004476  
3000 Haven Way  
Page 2 of 21

Cc: Aida Karapetyan, Property Owner  
[akiadr@yahoo.com](mailto:akiadr@yahoo.com)  
3000 Haven Way, Burbank CA 91504

Norik Degohoyan, Property Owner  
[norik.deghoyan@gmail.com](mailto:norik.deghoyan@gmail.com)  
3000 Haven Way, Burbank CA 91504

**ATTACHMENT A**  
**Approved Plans**

**SHEET INDEX**

SHEET NUMBER	SHEET NAME
A0	GENERAL INFO & SCOPE OF WORK
A1	PROPOSED SITE PLANS
A1.1	TOPOGRAPHIC SURVEY
A1.2	EXISTING & DEMOLITION FLOOR PLANS
A1.3	PROPOSED LANDSCAPE PLAN
A2	PROPOSED FIRST FLOOR
A2.1	PROPOSED SECOND FLOOR
A2.2	FRONT ENTRANCE STAIRS
A2.3	BLOCK CALCULATION
A2.4	LOT COVERAGE DIAGRAM
A2.5	ENCROACHMENT DIAGRAM & FACADE CALCULATIONS
A2.6	PROPOSED CURTAIN WINDOWS SCHEDULE
A2.7	POOL PLAN
A3	PROPOSED ROOF PLAN
A4	PROPOSED ELEVATION VIEWS a
A4.1	PROPOSED ELEVATION VIEWS b
A5	PROPOSED SECTION VIEWS a
A5.1	PROPOSED SECTION VIEWS b
A6	DETAILS & GENERAL NOTES
A6.1	GENERAL NOTES
A6.2	GREEN NOTES
A6.3	FLAGPOLE MAP
A7	PHOTOS
C-0	GRADING NOTES
1	
C-1	GRADING PLAN
0	
C-2	GRADING SECTIONS
0	

Project Address: 123 Main Street, Burbank  
Permit No.: BSXXXXXXX

Project Description: (Example) A request for a 1,333.5 square foot two story addition to the side of existing single family house, connecting the house to the existing detached three car garage.

Proposed Dwelling:

Planning Division: (818) 238-5250  
Applicant Contact: XXX  
Telephone: (XXX) XXX-XXXX

60"



**LOCATION MAP**



**PARCEL MAP**

**LEGAL DESCRIPTION:**

ASSESSOR PARCEL NUMBER (APN) 2471-039-012  
OWNER INFORMATION AIDA KARAFETYAN  
ADDRESS 3000 HAVEN WAY  
BURBANK, CA 91504

TRACT N/A  
BLOCK 14  
LOT 5

**BUILDING CODE:**

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)

**BUILDING CODE DATA LEGEND:**

ZONING (R-1)  
DESCRIPTION OF USES (SFD)  
TYPE OF CONSTRUCTION (V-B)  
NUMBER OF STORIES (2)  
HEIGHT (21' - 10")  
SPRINKLERS (YES)  
YEAR SFD BUILT (NEW)

**AREA SUMMARY:**

**LOT AREA:** 9,310.95 SF  
3,000.0 SF  
543.3 SF  
3,543.3 SF

**TOTAL ALLOWABLE FAR:** 3.543 SF

EXISTING FIRST FLOOR RESIDENCE: 1,870 SF

PROPOSED FIRST FLOOR RESIDENCE: 1,963 SF  
COVERED AREA: 121 SF  
PORCH: 29 SF  
2 CAR GARAGE(400 SF EXEMPT) 410 SF  
1 CAR GARAGE 263 SF  
SECOND FLOOR: 1,143 SF  
ADU: 787 SF

**1,963 + 121 + 29 + 10 + 263 + 1,143 = 3,529 SF**

**TOTAL PROPOSED vs FAR ALLOWABLE: 3,529 SF < 3,543.3 SF**

**NOTE:**

AVERAGE SLOPE IS 12.69%, THE MAXIMUM FAR TO REMAIN AT 0.4. REFER TO A1.1

**LOT COVERAGE CALCULATION:**

**LOT AREA:** 9,310.95 SF  
**MAXIMUM COVERAGE:** 50% = 4,655.46 SF  
**PROVIDED COVERAGE:** 2,783 SF = 29.8%  
**PROVIDED vs MAXIMUM:** 2,783 SF (29.8%) < 4,655.46 SF (50%)

**SCOPE OF WORK**

1. FULL DEMOLITION OF EXISTING SFD
  2. NEW GROUND UP CONSTRUCTION OF TWO STORY SFD
  3. NEW ATTACHED ADU: 787 SF (UNDER SEPARATE PERMIT)
- A. PROPOSED TOTAL: 3,543 SF

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THE CITY OF BURBANK LOCAL AMENDMENTS. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
2. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
3. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4)
4. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
5. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1)
6. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 1804.4, CRC R401.3)
7. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CBC 1808.7.4, CRC R403.1.7.3)

**NOTES:**

1. ALL EASEMENTS HAVE BEEN INDICATED ON THIS SITE PLAN AND HAVE BEEN VERIFIED BY PUBLIC WORKS AND PLANNING DEPARTMENTS.
2. ALL EXISTING AND NEW DRIVEWAYS, DRIVEWAY CURB CUTS, PAVED FRONT YARD AREAS AND FRONT YARD WALLS MUST BE REVIEWED BY PLANNING DIVISION AND PUBLIC WORKS DEPT.

SETBACK CERTIFICATION REQUIREMENT: A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-107).

THE CONTRACTOR MUST PROVIDE PUBLIC PROTECTION IN ACCORDANCE WITH CBC SECTION 3306.1 FOR WORK ON ANY BUILDING AND STRUCTURE ADJACENT TO THE PUBLIC WAY

**NOTE:**

- CPC/BWP WATER DIVISION CONDITIONS OF APPROVAL**
1. EXISTING METER MEETS CALIFORNIA PLUMBING CODE.
  2. OWNER OR CONTRACTOR SHALL INSTALL CUSTOMER SHUTOFF VALVE AT THE WATER METER OUTLET COUPLING IN THE WATER METER BOX IN ACCORDANCE WITH BWP STD. DWG. BWP 6 625.
  3. OWNER OR CONTRACTOR SHALL INSTALL A 1/4" (MIN.) BUILDING SUPPLY LINE FROM THE CUSTOMER SHUTOFF VALVE TO THE BUILDING.



TEL: (818) 221-5301  
WWW.ARTDESIGN.COM/COMPANY

REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

DESIGNED BY: NT  
CHECKED BY: AA

STAMP OF APPROVAL

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner  
Project No. 24-0004476 3/10/26



Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN

A0

SHEET NUMBER

GENERAL INFO & SCOPE OF WORK



1. 1/2" = 1'-0"  
 2. 1/4" = 1'-0"  
 3. 1/8" = 1'-0"  
 4. 1/16" = 1'-0"  
 5. 1/32" = 1'-0"  
 6. 1/64" = 1'-0"  
 7. 1/128" = 1'-0"  
 8. 1/256" = 1'-0"  
 9. 1/512" = 1'-0"  
 10. 1/1024" = 1'-0"  
 11. 1/2048" = 1'-0"  
 12. 1/4096" = 1'-0"  
 13. 1/8192" = 1'-0"  
 14. 1/16384" = 1'-0"  
 15. 1/32768" = 1'-0"  
 16. 1/65536" = 1'-0"  
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REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

DESIGNED BY: AK
CHECKED BY: AA

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CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner

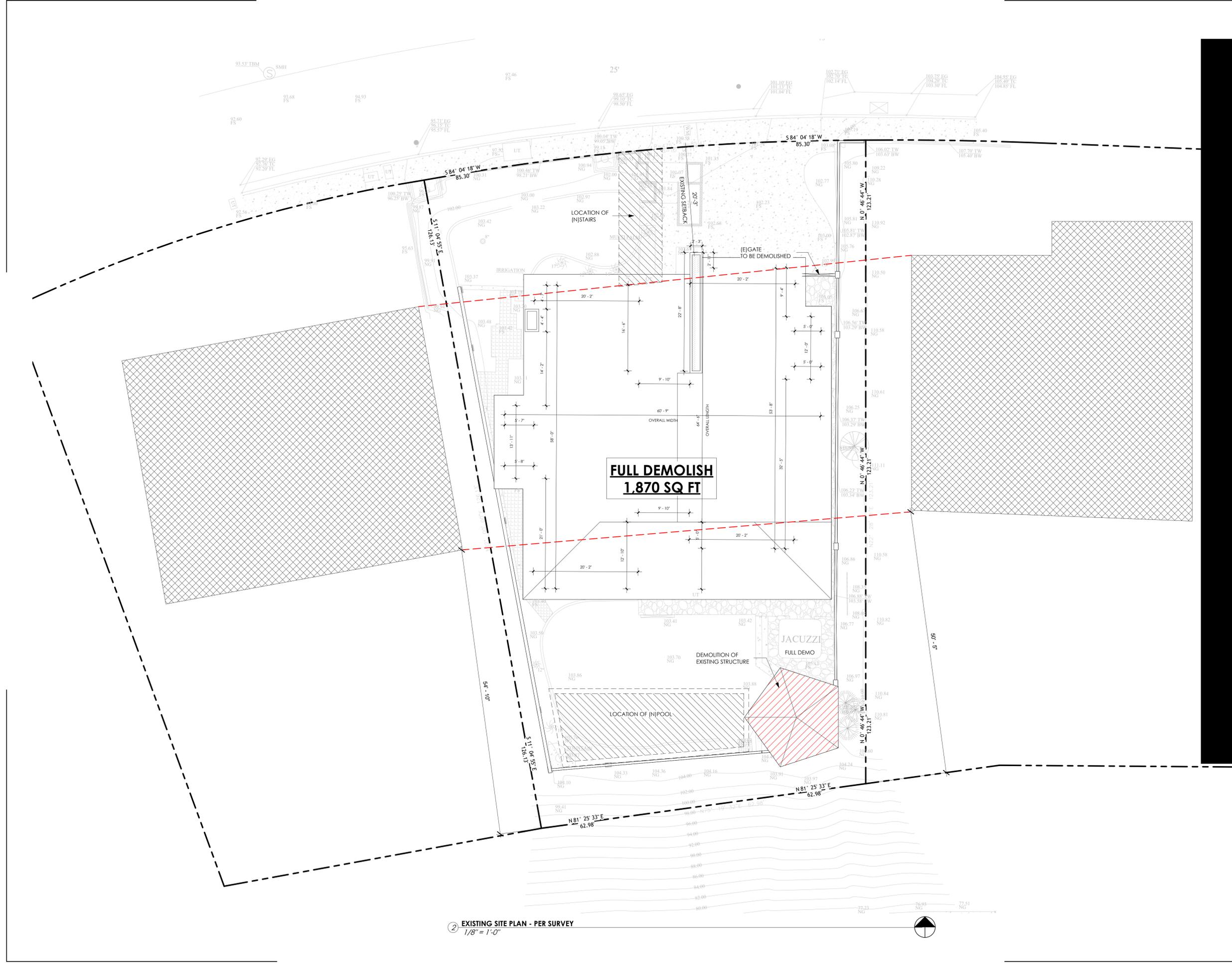
Project No. 24-0004476 3/10/26

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN

**EXISTING & DEMOLITION FLOOR PLANS**

**A1.2**

SHEET NUMBER



2 EXISTING SITE PLAN - PER SURVEY  
1/8" = 1'-0"



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CHECKED BY: Checker

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APPROVED

Sara Durghalli

by: Sara Durghalli, Assistant Planner

Project No. 24-0004476 3/10/26

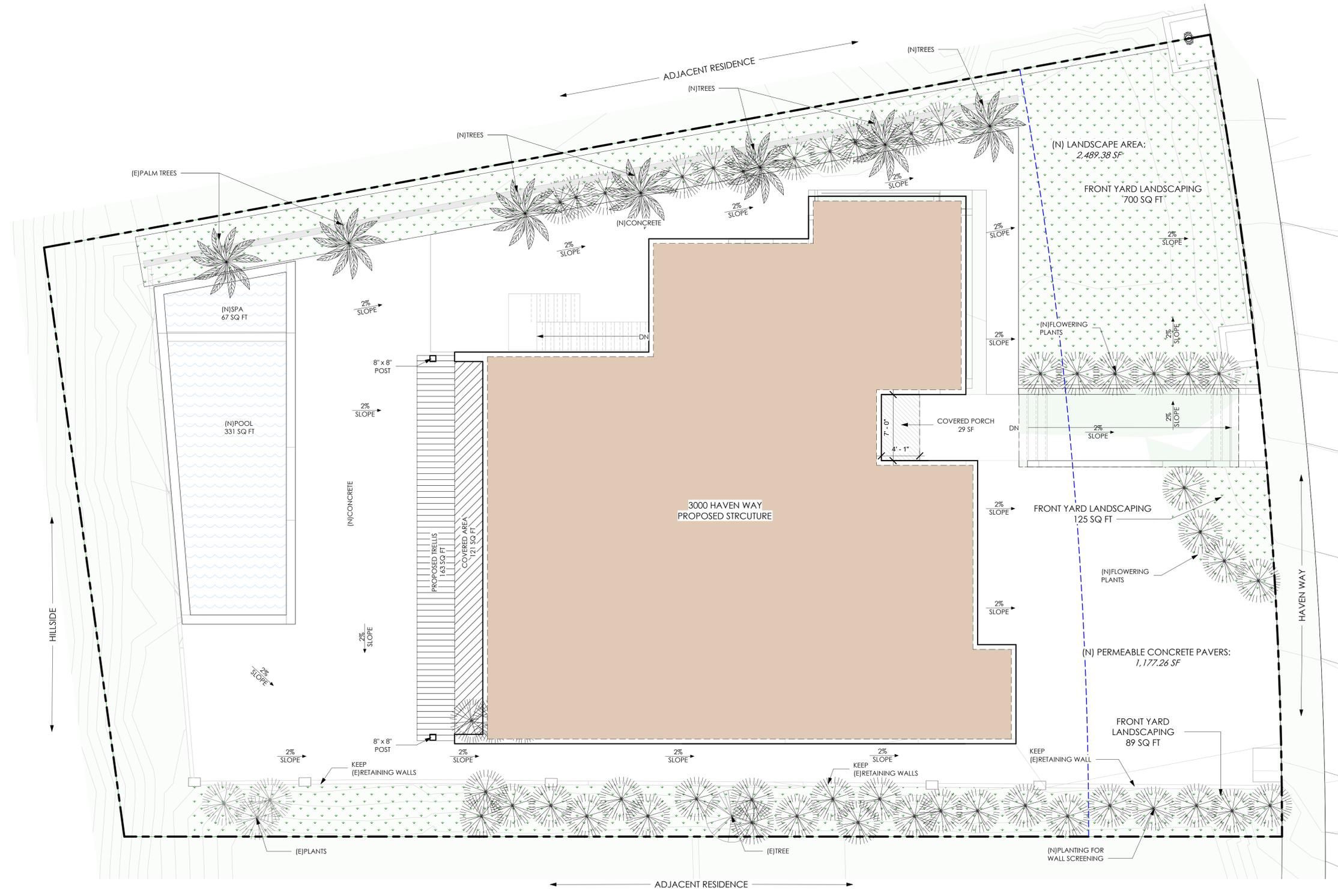
Project Name	HAVEN RESIDENCE	Client Name	AIDA KARAFETYAN
Project Address	3000 HAVEN WAY, BURBANK, CA 91504		

A1.3

SHEET NUMBER

**FRONT YARD CALCULATIONS**

TOTAL FRONT YARD AREA:	1,720 SQ FT
45% OF FRONT YARD:	774 SQ FT
PROVIDED LANDSCAPING:	914 SQ FT
HARDSCAPING AREA:	806 SQ FT



1 PROPOSED LANDSCAPE PLAN  
3/16" = 1'-0"

DOOR SCHEDULE			
MARK	FAMILY	TYPE	COUNT
53	Door-Interior-Double-Sliding-2_Panel-Wood	68" x 80"	1
D-2	Door-Garage-Flush_Panel	192" x 108"	1
D-3	Door-Garage-Flush_Panel	96" x 108"	1
D-4	Door-Opening	72" x 96"	1
D-5	Door-Interior-Single-1_Panel-Wood	32" x 80"	13
D-6	Door-Interior-Double-Sliding-2_Panel-Wood	72" x 80"	1
D-7	Door-ByPass 4 Panel-PlyGem_4880-PatioDoor	240" x 96"	1
D-8	Door-Interior-Single-1_Panel-Wood	36" x 80"	2
D-11	Blocks_Antares Folding Door_F02315EN	68" x 80"	1
D-12	Door-3 Panel-PlyGem_MaxView-PatioDoor (1)	192" x 96"	1
D-13	Door-Exterior-Double-Full Glass-Wood_Clad	72" x 120"	1
D-14	Door-Double-Sliding	96" x 84"	3

WINDOW SCHEDULE			
MARK	FAMILY	TYPE	Sill Height COUNT
W-1	Window-Sliding-Double	72" x 108"	0' - 0" 1
W-2	Window-Sliding-Double	72" x 60"	3' - 0" 1
W-3	Fixed	144" x 16"	4' - 0" 1
W-4	Fixed	48" x 36"	3' - 4" 1
W-5	Window-Sliding-Double	72" x 36"	3' - 4" 1
W-6	Window-Sliding-Double	36" x 36"	5' - 0" 1
W-7	Fixed	78" x 24"	6' - 0" 1
W-8	Fixed	24" x 36"	3' - 4" 1
W-9	Window-Sliding-Double	36" x 24"	4' - 0" 1
W-9	Window-Sliding-Double	36" x 24"	5' - 0" 1
W-10	Fixed	36" x 84"	1' - 0" 2
W-11	Fixed	72" x 72"	2' - 0" 1
W-12	Fixed	24" x 72"	1' - 0" 1
W-13	Fixed	72" x 24"	6' - 0" 1

**NEW CONSTRUCTION REQUIREMENTS. [HSC 115928]**  
**WHENEVER A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA, THE POOL OR SPA SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:**

- (1) THE SUCTION OUTLETS OF THE POOL OR SPA FOR WHICH THE PERMIT IS ISSUED SHALL BE EQUIPPED TO PROVIDE CIRCULATION THROUGHOUT THE POOL OR SPA AS DESCRIBED IN PARAGRAPHS (2) AND (3). (2) THE SWIMMING POOL OR SPA SHALL EITHER HAVE AT LEAST TWO CIRCULATION SUCTION OUTLETS PER PLUM THAT SHALL BE HYDRAULICALLY BALANCED AND SYMMETRICALLY PLUMBED THROUGH ONE OR MORE "T" FITTINGS, AND THAT ARE SEPARATED BY A DISTANCE OF AT LEAST THREE FEET IN ANY DIMENSION BETWEEN THE SUCTION OUTLETS, OR BE DESIGNED TO USE ALTERNATIVES TO SUCTION OUTLETS, INCLUDING, BUT NOT LIMITED TO, SKIMMERS OR PERIMETER OVERFLOW SYSTEMS TO CONDUCT WATER TO THE RECIRCULATION PUMP. (3) THE CIRCULATION SYSTEM SHALL HAVE THE CAPACITY TO PROVIDE A COMPLETE TURNOVER OF POOL WATER, AS SPECIFIED IN SECTION 31248 OF CHAPTER 31B OF THE CALIFORNIA BUILDING STANDARDS CODE (TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS).
- SUCTION OUTLETS SHALL BE COVERED WITH ANTIENTRAPMENT GRATES, AS SPECIFIED IN THE ANSI/APSP-16 PERFORMANCE STANDARD OR SUCCESSOR STANDARD DESIGNATED BY THE FEDERAL CONSUMER PRODUCT SAFETY COMMISSION, THAT CANNOT BE REMOVED EXCEPT WITH THE USE OF TOOLS, SLOTS OR OPENINGS IN THE GRATES OR SIMILAR PROTECTIVE DEVICES SHALL BE OF A SHAPE, AREA, AND ARRANGEMENT THAT WOULD PREVENT PHYSICAL ENTRAPMENT AND WOULD NOT POSE ANY SUCTION HAZARD TO BATHERS.
- ANY BACKUP SAFETY SYSTEM THAT AN OWNER OF A NEW SWIMMING POOL OR SPA MAY CHOOSE TO INSTALL IN ADDITION TO THE REQUIREMENTS SET FORTH IN SUBDIVISIONS (A) AND (B) SHALL MEET THE STANDARDS AS PUBLISHED IN THE DOCUMENT, "GUIDELINES FOR ENTRAPMENT HAZARDS: MAKING POOLS AND SPAS SAFER," PUBLICATION NUMBER 363, MARCH 2005, UNITED STATES CONSUMER PRODUCT SAFETY COMMISSION.

**ANTI-ENTRAPMENT COVER REQUIREMENT FOR REMODELS. [HSC 115928.5]**  
**WHENEVER A BUILDING PERMIT IS ISSUED FOR THE REMODEL OR MODIFICATION OF AN EXISTING SWIMMING POOL, TODDLER POOL, OR SPA, THE PERMIT SHALL REQUIRE THAT THE SUCTION OUTLET OR SUCTION OUTLETS OF THE EXISTING SWIMMING POOL, TODDLER POOL, OR SPA BE UPGRADED SO AS TO BE EQUIPPED WITH ANTIENTRAPMENT GRATES, AS SPECIFIED IN THE ANSI/APSP-16 PERFORMANCE STANDARD OR A SUCCESSOR STANDARD DESIGNATED BY THE FEDERAL CONSUMER PRODUCT SAFETY COMMISSION.**

- ANY PERSON ENTERING INTO AN AGREEMENT TO BUILD A SWIMMING POOL OR SPA, OR TO ENGAGE IN PERMITTED WORK ON A POOL OR SPA COVERED BY THIS ARTICLE, SHALL GIVE THE CONSUMER NOTICE OF THE REQUIREMENTS OF THIS ARTICLE.
- PURSUANT TO EXISTING LAW, THE DEPARTMENT OF HEALTH SERVICES SHALL HAVE AVAILABLE ON THE DEPARTMENT'S WEB SITE, COMMENCING JANUARY 1, 2007, APPROVED POOL SAFETY INFORMATION AVAILABLE FOR CONSUMERS TO DOWNLOAD. POOL CONTRACTORS ARE ENCOURAGED TO SHARE THIS INFORMATION WITH CONSUMERS REGARDING THE POTENTIAL DANGERS A POOL OR SPA POSES TO TODDLERS. ADDITIONALLY, POOL CONTRACTORS MAY PROVIDE THE CONSUMER WITH SWIMMING POOL SAFETY MATERIALS PRODUCED FROM ORGANIZATIONS SUCH AS THE UNITED STATES CONSUMER PRODUCT SAFETY COMMISSION, DROWNING PREVENTION FOUNDATION, CALIFORNIA COALITION FOR CHILDREN'S SAFETY & HEALTH, SAFE KIDS WORLDWIDE, ASSOCIATION OF POOL AND SPA PROFESSIONALS, OR THE AMERICAN ACADEMY OF PEDIATRICS.

**FINAL INSPECTION**  
**PRIOR TO THE ISSUANCE OF ANY FINAL APPROVAL FOR THE COMPLETION OF PERMITTED CONSTRUCTION OR REMODELING WORK, THE BUILDING DIVISION SHALL INSPECT THE DROWNING SAFETY PREVENTION DEVICES REQUIRED BY THIS ACT, AND IF NO VIOLATIONS ARE FOUND, SHALL GIVE FINAL APPROVAL. THE CONTRACTOR AND/OR THE OWNER SHALL SUBMIT THE SIGNED CERTIFICATE OF COMPLIANCE TO THE BUILDING INSPECTOR PRIOR TO FINAL INSPECTION. THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN**

- PER BMC 9-3-407, STORMWATER BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING, DEMOLITION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.
- ANY EXISTING FIXTURE OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE BUILDING DEMOLITION ACTIVITIES OCCUR.
- BACKWATER VALVE TO BE INSTALLED ON PRIVATE BUILDING SEWER PER BMC 8-1-313 AND REQUIREMENTS OF THE CITY OF BURBANK CDD-BUILDING DEPARTMENT. IT IS NOTED AND ACKNOWLEDGED THAT CITY STAFF WILL NOT SIGN OFF ON THE FINAL BUILDING PERMIT APPROVAL AND/OR CERTIFICATE OF OCCUPANCY UNTIL THE OWNER/DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAVE BEEN INSTALLED.

1. AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME.  
 2. REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.  
 3. AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.  
 4. EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."  
 5. A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.  
 6. AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE. OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).

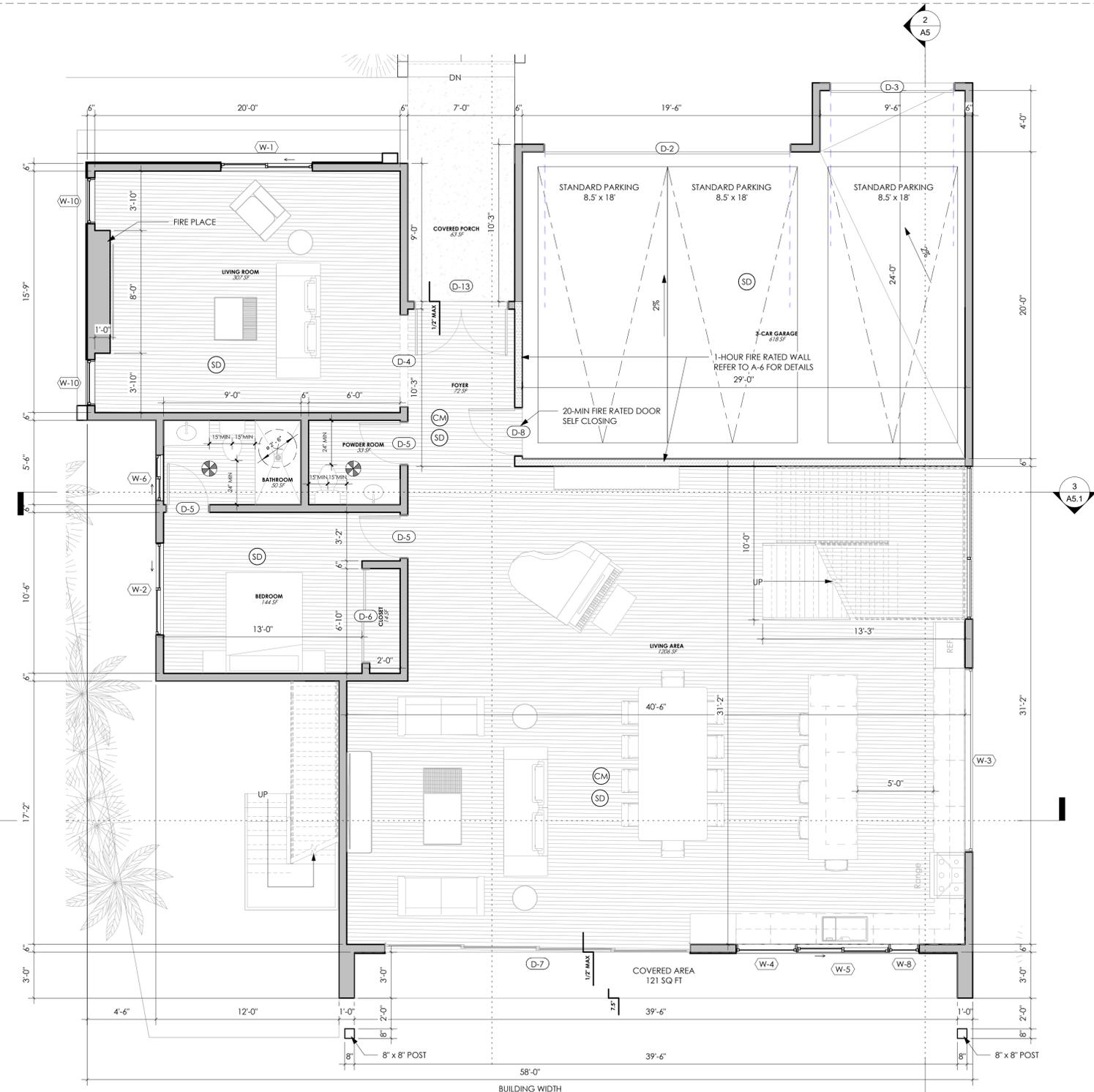
- NOTES:**
- ALL DOORS & WINDOWS SHALL MEET CITY OF BURBANK ORDINANCE.
  - THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.
  - THE 2016 CALIFORNIA BUILDING CODE (CBC) AS THE BUILDING CODE USED FOR THIS PROJECT.
  - SMOKE ALARMS INSTALLED SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT, OR IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED, (R314.3.2)
  - PROVIDE 6" CLEARANCES ON THE SIDES, BACK, FRONT, AND CEILING OF THE FURNACE HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68OF AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
  -

- SAFETY GLAZING (TEMPERED GLAZING) IS REQUIRED FOR THE FOLLOWING:**
- WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANCE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 40" ABOVE THE FLOOR. (CRC R308.4.2 ITEM 1)
  - WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANC OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR, (CRC R 308.4.2 ITEM 2) GLAZING LESS THAN 60" ABOVE A SHOWER OR TUB FLOOR> (CRC R308.4.5)
  - GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE THE STAIRWAYS, LANDINGS, AND RAMPS. (CRC R308.4.6)
  - GLAZING ADJACENT TO THE STAIRWAY BOTTOM LANDING WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTAL ARC THAN 180 DEGRESS FROM THE BOTTOM TREAD NOSING SHALL BE SAFETY GLAZING> (CRC R308.4.7)
- CLOTHES DRYER NOTES:**
- A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.4.2)
  - DRYER EXHAUST CANNOT EXCEED 14 FT. WITH A MAX. OF TWO 90 DEG. ELBOWS (CMC 504.4.2.1)
  - A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED (CMC 504.4.2.2)
- A MINIMUM OF 1-IN. AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING. (R806.3)**

SECTION VIEW	FLOOR PLAN VIEW	DESCRIPTION
		(N) 6" PARTITION WALL
		(N) 6" PARTITION WALL (1-HR FIRE-RATED)
		(N) 12" PARTITION WALL

**WALL LEGEND**  
 1/4" = 1'-0"

**PROPOSED LEVEL 1**  
 1/4" = 1'-0"



Date: 1/7/2024 2:09:12 PM Job Number: 0420-49

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REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

DESIGNED BY: AK  
 CHECKED BY: AA

**STAMP OF APPROVAL**

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner  
 Project No. 24-0004476 3/10/26

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN
<b>A2</b>	
SHEET NUMBER	

**PROPOSED FIRST FLOOR**

DOOR SCHEDULE			
MARK	FAMILY	TYPE	COUNT
D-53	Door-Interior-Double-Sliding-2_Panel-Wood	68" x 80"	1
D-2	Door-Garage-Flush_Panel	192" x 108"	1
D-3	Door-Garage-Flush_Panel	96" x 108"	1
D-4	Door-Opening	72" x 96"	1
D-5	Door-Interior-Single-1_Panel-Wood	32" x 80"	13
D-6	Door-Interior-Double-Sliding-2_Panel-Wood	72" x 80"	1
D-7	Door-Bypass 4 Panel-PlyGem_4880-PatioDoor	240" x 96"	1
D-8	Door-Interior-Single-1_Panel-Wood	36" x 80"	2
D-11	Blocks_Antares Folding Door_F02315EN	68" x 80"	1
D-12	Door-3 Panel-PlyGem_MaxView-PatioDoor (1)	192" x 96"	1
D-13	Door-Exterior-Double-Full Glass-Wood_Clad	72" x 120"	1
D-14	Door-Double-Sliding	96" x 84"	3

WINDOW SCHEDULE				
MARK	FAMILY	TYPE	Sill Height	COUNT
W-1	Window-Sliding-Double	72" x 108"	0' - 0"	1
W-2	Window-Sliding-Double	72" x 60"	3' - 0"	1
W-3	Fixed	144" x 16"	4' - 0"	1
W-4	Fixed	48" x 36"	3' - 4"	1
W-5	Window-Sliding-Double	72" x 36"	3' - 4"	1
W-6	Window-Sliding-Double	36" x 36"	5' - 0"	1
W-7	Fixed	78" x 24"	6' - 0"	1
W-8	Fixed	24" x 36"	3' - 4"	1
W-9	Window-Sliding-Double	36" x 24"	4' - 0"	1
W-9	Window-Sliding-Double	36" x 24"	5' - 0"	1
W-10	Fixed	36" x 84"	1' - 0"	2
W-11	Fixed	72" x 72"	2' - 0"	1
W-12	Fixed	24" x 72"	1' - 0"	1
W-13	Fixed	72" x 24"	6' - 0"	1



PROPOSED LEVEL 2  
1/4" = 1'-0"



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REVISION NUMBER	REVISION DESCRIPTION

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**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner  
Project No. 24-0004476 3/10/26

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN

PROPOSED SECOND FLOOR

A2.1

SHEET NUMBER



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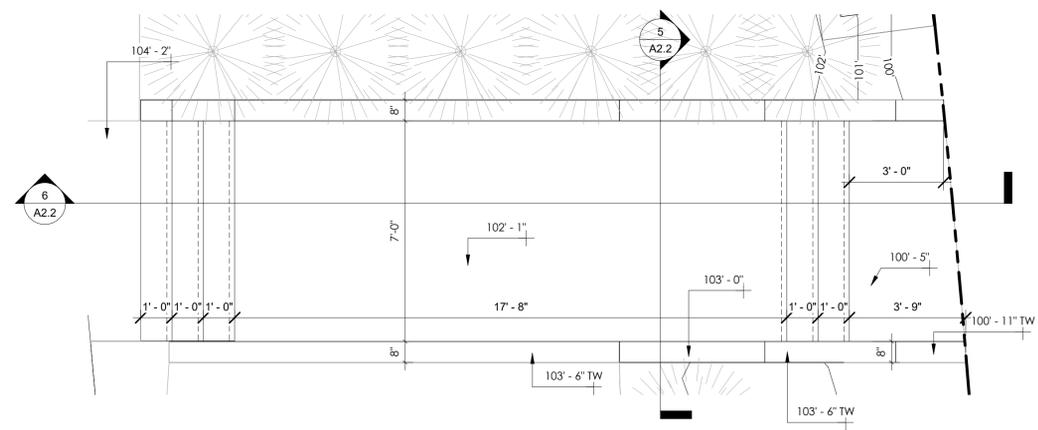
REVISION SCHEDULE	
REVISION NUMBER	REVISION DESCRIPTION

DESIGNED BY: Designer  
CHECKED BY: Checker

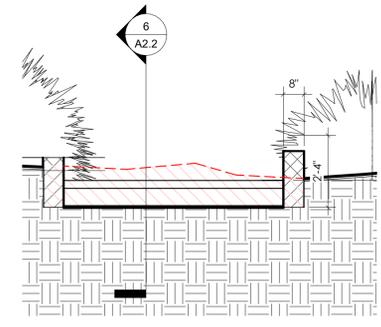
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CITY OF BURBANK   COMMUNITY DEVELOPMENT   PLANNING DIVISION <h1 style="color: red; margin: 0;">APPROVED</h1> by: <u>Sara Durghalli</u> , Assistant Planner Project No. <u>24-0004476</u> <u>3/10/26</u>	

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN
FRONT ENTRANCE STAIRS	

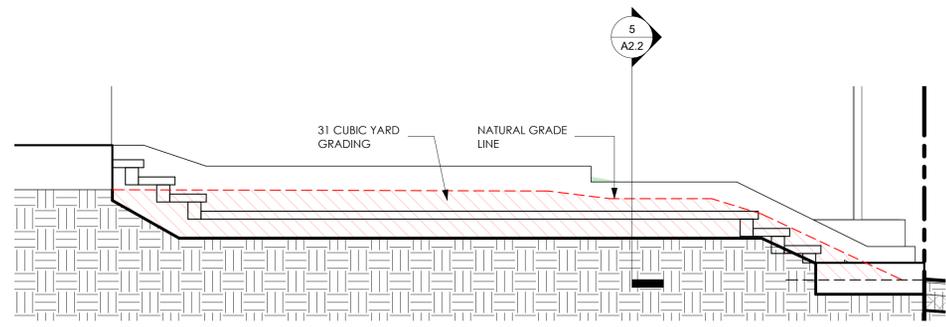
A2.2
SHEET NUMBER



1 PROPOSED SITE PLAN - Callout 1  
3/8" = 1'-0"



5 Section 5  
3/8" = 1'-0"



6 Section 6  
3/8" = 1'-0"





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CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner

Project No. 24-0004476 3/10/26

HAVEN RESIDENCE

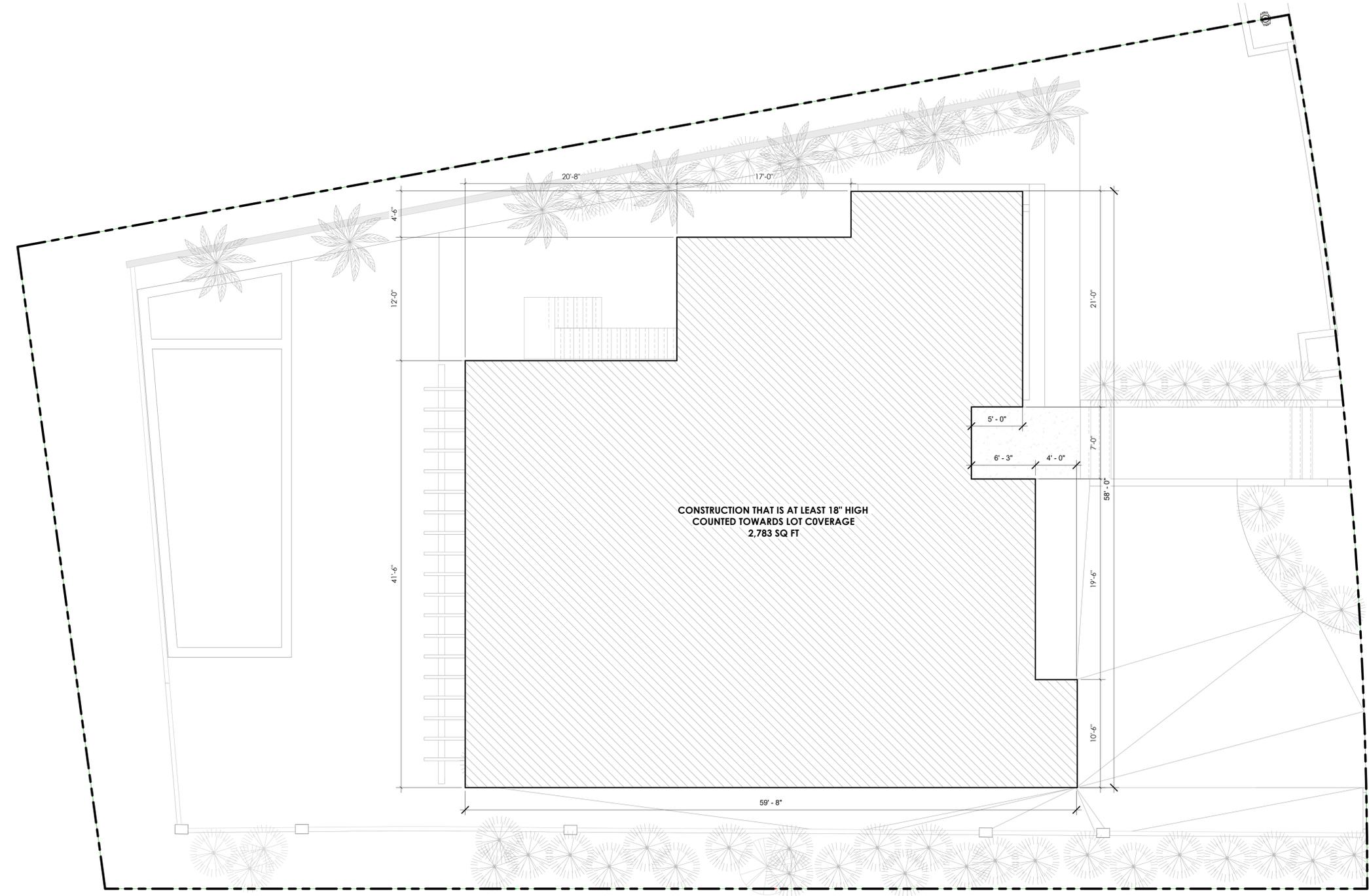
3000 HAVEN WAY, BURBANK, CA 91504

AIDA KARAFETYAN

LOT COVERAGE DIAGRAM

**A2.4**

SHEET NUMBER



① LOT COVERAGE DIAGRAM  
3/16" = 1'-0"

**LOT COVERAGE CALCULATION:**

LOT AREA: **9,310.95 SF**  
 MAXIMUM COVERAGE: 50% = **4,655.46 SF**  
 PROVIDED COVERAGE: **2,783 SF = 30%**  
 PROVIDED vs MAXIMUM: **2,783 SF (30%) < 4,655.46 SF (50%)**

REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

DESIGNED BY: Designer  
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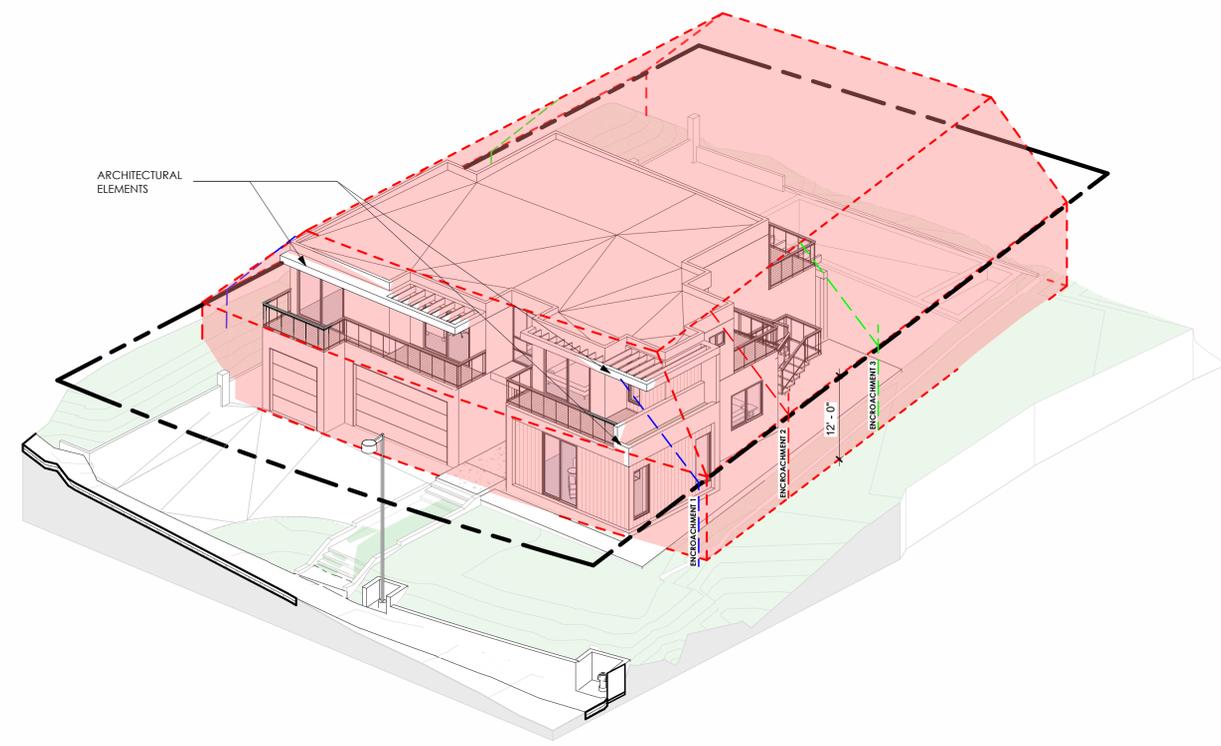
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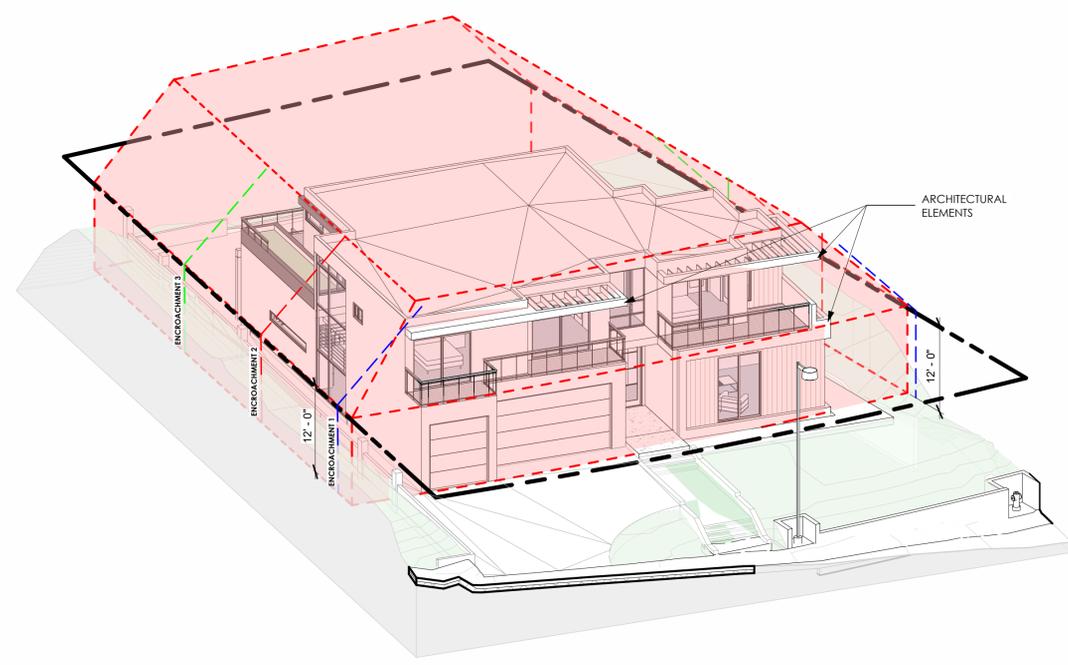
*Sara Durghalli*

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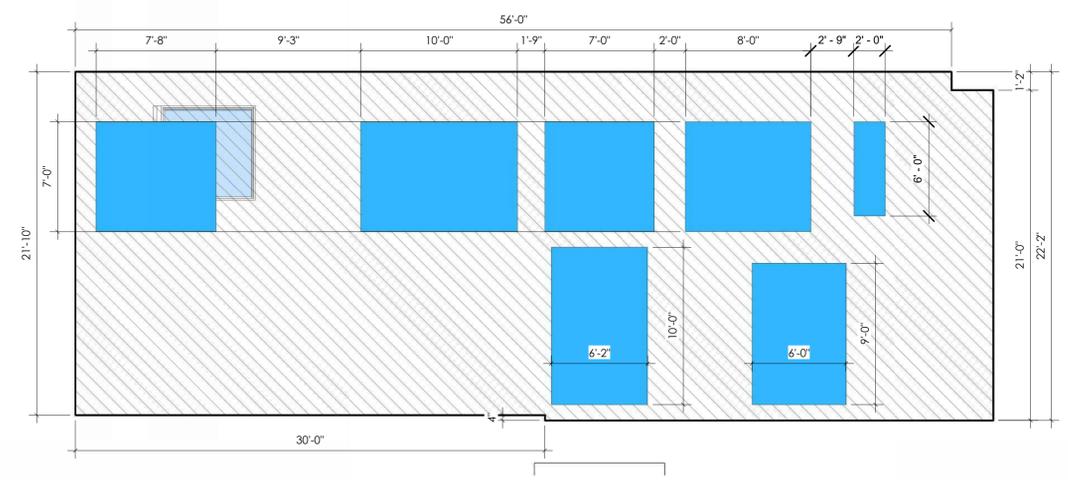
Project No. 24-0004476 3/10/26



1 ENCROACHMENT PLAN - NORTHWEST



2 ENCROACHMENT PLAN - NORTHEAST



4 PROPOSED NORTH ELEVATION VIEW - FACADE CALCULATION  
3/16" = 1'-0"

FRONT FACADE CALCULATION (PER 10-1-603 (M)(2)):

FRONT FACADE AREA: 1,161 SF  
20% OF TOTAL AMOUNT: - 1,161 \* 20% = 232.2 SF  
FRONT FACADE OPENING PROVIDED = 356 OPENINGS

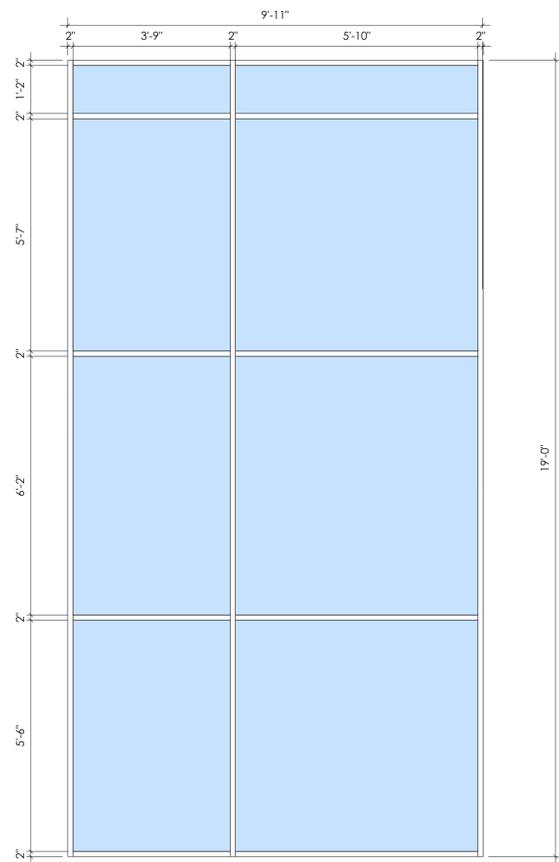
FRONT FACADE CALCULATION  
1/2" = 1'-0"

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN

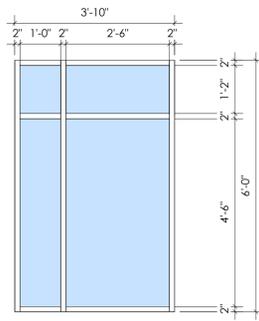
ENCROACHMENT DIAGRAM &  
FACADE CALCULATIONS

A2.5

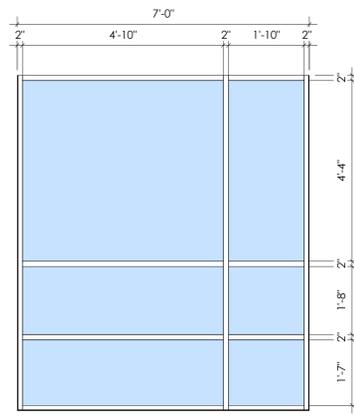
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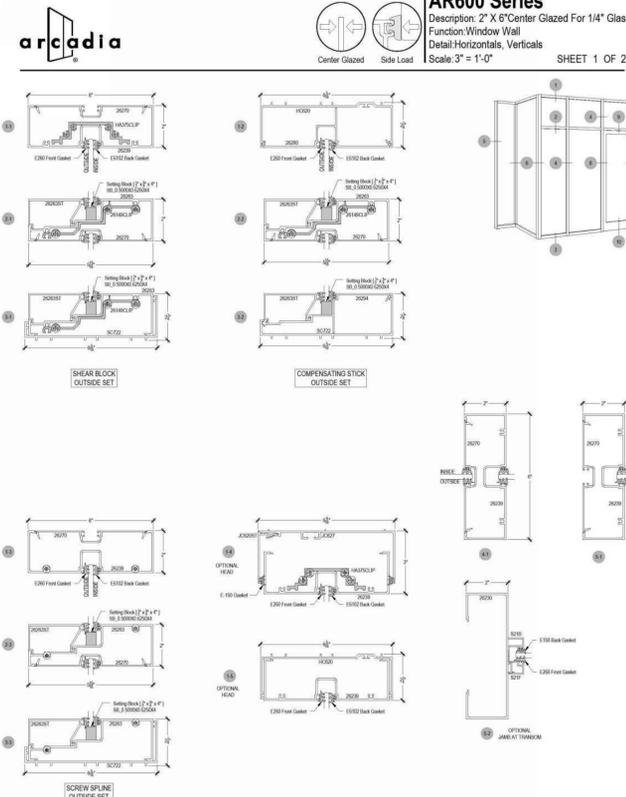
① 1-A CURTAIN WINDOW  
1/2" = 1'-0"



② 1-B CURTAIN WINDOW  
1/2" = 1'-0"



⑤ 1-D CURTAIN WINDOW  
1/2" = 1'-0"



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THE CLIENT'S DRAWINGS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL REMAIN THE PROPERTY OF THE ENGINEER AND NO PART THEREOF SHALL BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DIMENSIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND SPECIFICATIONS SHOWN ON THE DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY VARIATIONS MUST BE APPROVED BY THE ENGINEER IN WRITING. THE CLIENT'S DRAWINGS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL REMAIN THE PROPERTY OF THE ENGINEER AND NO PART THEREOF SHALL BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DIMENSIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND SPECIFICATIONS SHOWN ON THE DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY VARIATIONS MUST BE APPROVED BY THE ENGINEER IN WRITING.

REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

DESIGNED BY: AK  
CHECKED BY: AA

STAMP OF APPROVAL

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner  
Project No. 24-0004476 3/10/26

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN

**PROPOSED CURTAIN WINDOWS SCHEDULE**

A2.6









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THE SEALS AND STAMPS OF ARCHITECTS, ENGINEERS, PLANNERS AND OTHER PROFESSIONALS REGISTERED UNDER THE STATE OF CALIFORNIA SHALL REMAIN THE PROPERTY OF THE ENGINEER AND NO PART THEREOF SHALL BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR OTHER ITEMS NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. ALL DIMENSIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND MATERIALS SPECIFIED IN THESE DRAWINGS. ANY CHANGES MUST BE SUBMITTED TO THE OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

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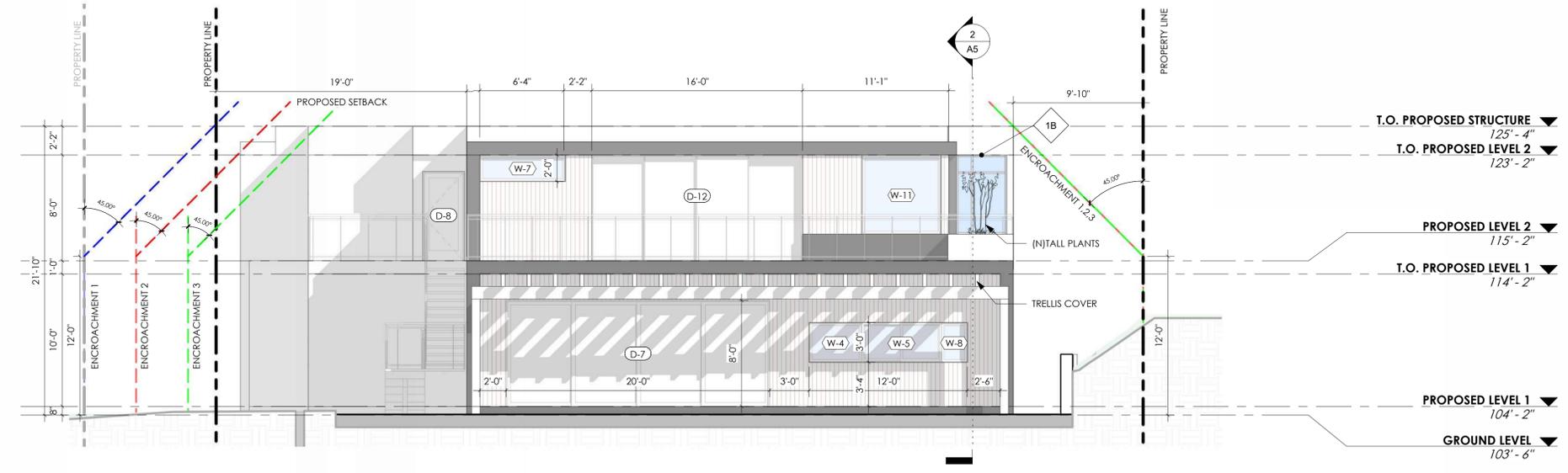
Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN
<b>PROPOSED ELEVATION VIEWS b</b>	

A4.1

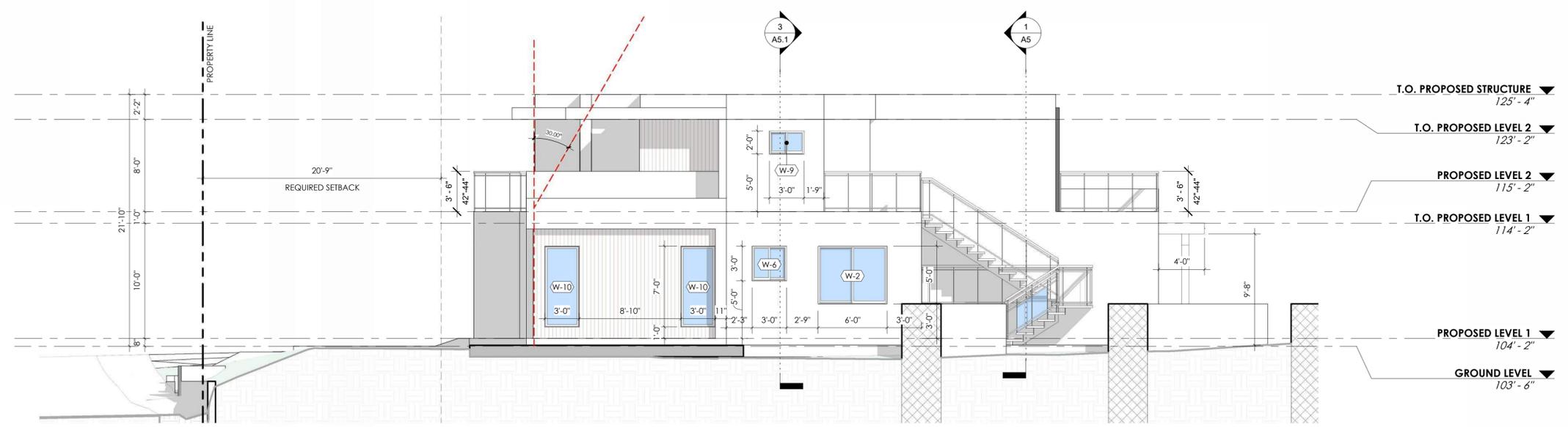
SHEET NUMBER

	SMOOTH WHITE STUCCO
	SMOOTH GRAY STUCCO
	FINER CEMENT SIDING

ELEVATION LEGEND  
1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION VIEW  
3/16" = 1'-0"



2 PROPOSED WEST ELEVATION VIEW  
3/16" = 1'-0"

EXTERIOR WALL COVERING SHALL BE NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. SFM 12-7A-4A W/

Date: 1/7/2024 2:07:54 PM Job Number: 0420-67



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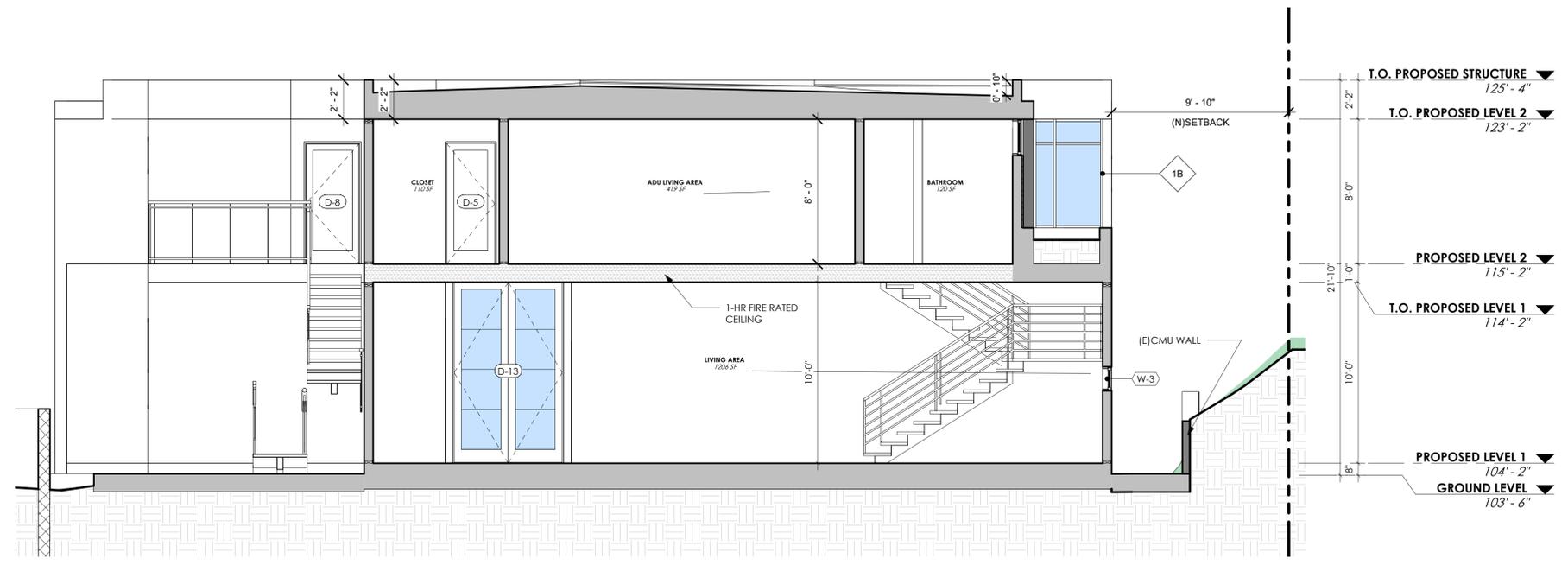
Project No. 24-0004476 3/10/26

Project Name	HAVEN RESIDENCE
Project Address	3000 HAVEN WAY, BURBANK, CA 91504
Client Name	AIDA KARAFETYAN

PROPOSED SECTION VIEWS α

A5

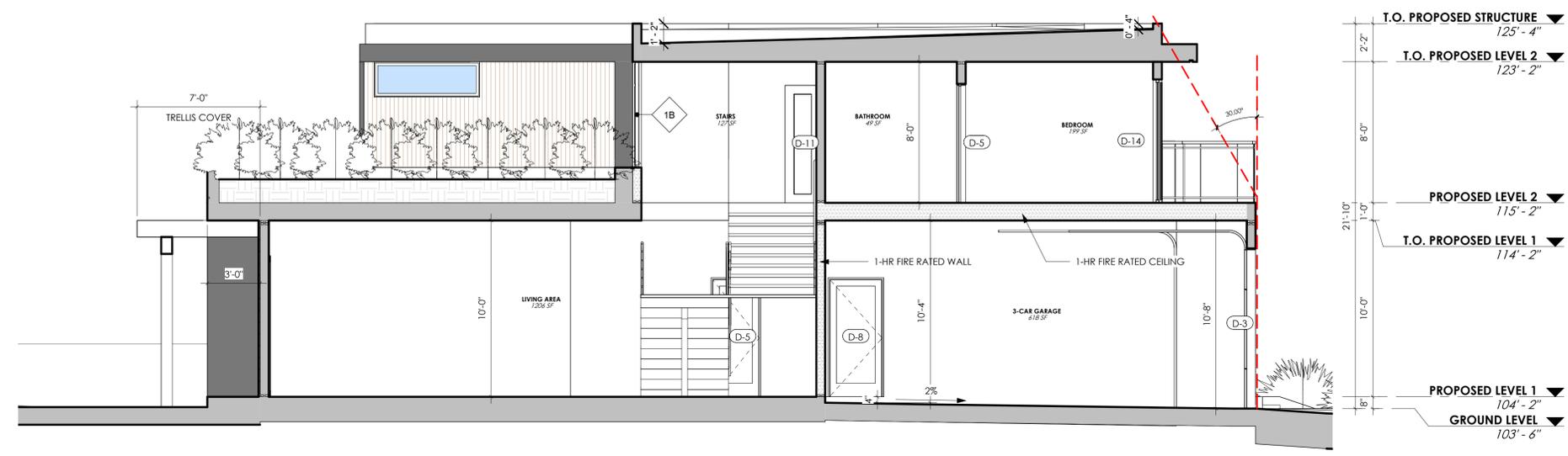
SHEET NUMBER



1 Section 1  
1/4" = 1'-0"

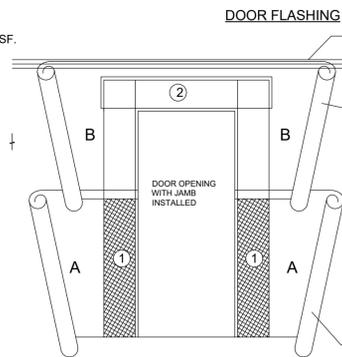
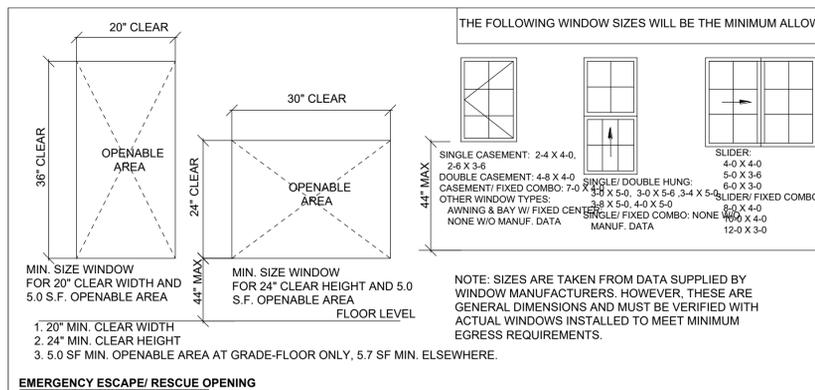
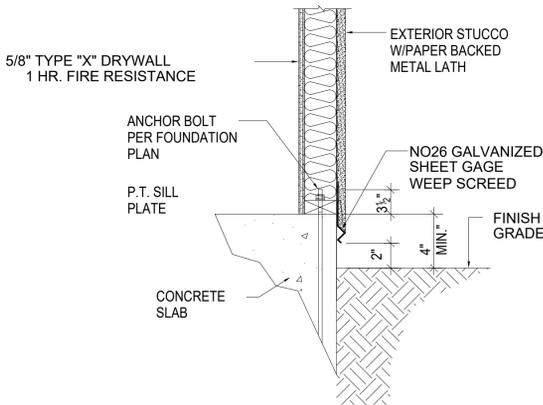
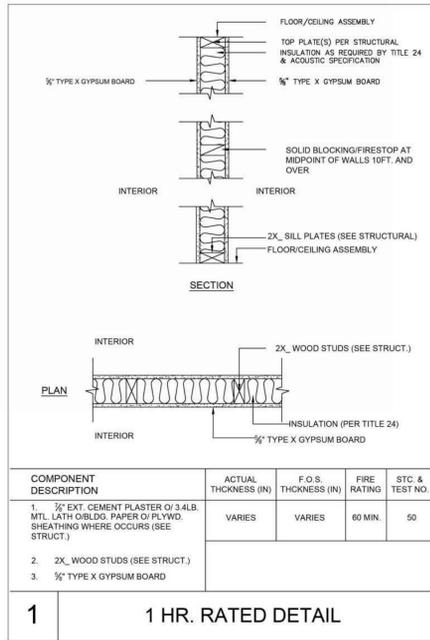
	SMOOTH WHITE STUCCO
	SMOOTH GRAY STUCCO
	FINER CEMENT SIDING

ELEVATION LEGEND  
1/4" = 1'-0"

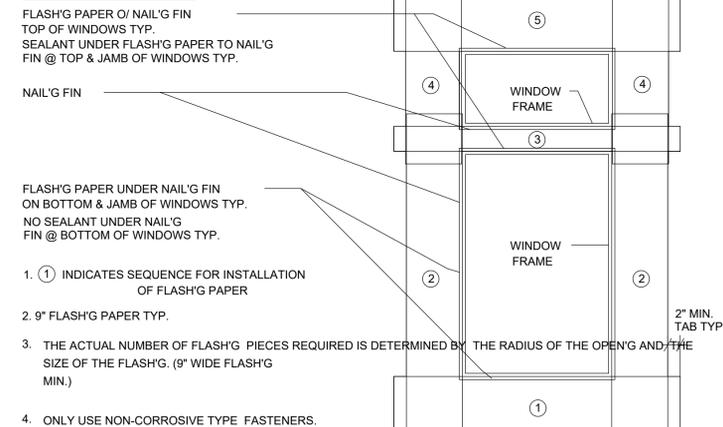


2 Section 2  
1/4" = 1'-0"





**WINDOW FLASHING**



**NOTES:**

- THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 4.303.2
- WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED THE FLOW RATES SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.2)
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL NO. 1881)
- ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE. (4.406.1)
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4)
- AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PALCED IN BUILDING AT THE TIME OF FINAL INSPECTION. FORM GRN 6 (4.410.1)
- ALL DUCT AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3 (4.504.2.1-4.504.2.3)
- THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)
- ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
  - CARPET AND RUG INSTITUTE'S GREEN

**LABELED PLUS PROGRAM. ii. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATIONS 01350 iii. NSF/ANSI 140 AT THE GOLD LEVEL. iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD**

- ALL NEW CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)
- 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATA BASE II. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM III. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (CALGREEN 4.504.4)
- NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)
- THE FORMALDEHYDE EMISSION VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1)
- BATHROOM EXHAUST FANS MUST COMPLY WITH THE FOLLOWING:
  - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
  - FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

- INTERIOR ENVIRONMENT
  - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
- BUILDING ENVELOPE
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
  - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD ASSEMBLIES.
  - GLAZING IN ENCLOSURE FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- LOTTES SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)
- PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)
- BUILDING ENVELOPE:
  - All exterior walls shall be insulated with blanket-type mineral fiber or glass fiber insulation conforming to Fed. Spec. HH-1-521E with a minimum thermal resistance (R) of not less than 13. Floor insulation shall have a minimum thermal resistance (R) of not less than 13 (See Wall Sections for additional information).
  - All ceilings of roof-ceiling assemblies shall be insulated with a blanket-type mineral or glass fiber insulation conforming to Fed. Spec. HH-1-1030A, with a minimum thermal resistance (R) of not less than 30. (See Wall Sections for additional information).
  - All garage walls and ceilings to living areas shall be treated as exterior walls for insulation. Any underfloor area of an upper story (e.g. a cantilever) exposed to exterior elements shall be insulated.
  - Upon completion of the installation of the insulation, a card, approved by the Building Department, certifying that the insulation has been installed in conformance with the requirements for Energy Installation Standards, shall be completed and executed by the insulation Applicator and by the Contractor. This Insulation Compliance Card shall be posted at a location designated by the Building Department Field Inspector.
- WINDOWS AND DOORS:
  - All manufactured windows shall be certified as meeting the current air infiltration standards of the American National Standards Institute (A134.1, A134.2, A134.3, A134.4), when tested in accordance with ASTM E 283-73, with a pressure of 1.57lb/ft<sup>2</sup>, and shall be labeled as such.
  - All swinging doors penetrating insulated walls shall be fully weather-stripped, gasketed or otherwise treated to limit infiltration as approved by the Building Dept.
  - Required linting and glazing shall be permanently linted or permanently surface coated by the manufacturer of the glazing material, and shall provide a maximum tinting coefficient of 0.55. floors and between exterior wall panels. Caulk around all plumbing and electrical penetrations into the building envelope.
- CAULKING: Caulk and seal around all window and door frames and between wall sole plates and floors and between exterior wall panels. Caulk around all plumbing and electrical penetrations into the building envelope.
- GARAGE APPLIANCES: (N/A)
  - DUCTS AND DUCTWORK: All fan systems exhausting air from the building shall be provided with back draft dampers. Ducts shall be constructed, installed and insulated according to the Uniform Mechanical Code, Ch. 10, latest edition. All joints of the duct system shall be tightly sealed with mastic or tape.
  - PIPE INSULATION: All steam and steam condensate return piping and all continuously circulating domestic or heating hot water piping shall be insulated as required by the Building Dept., Plumbing Div. All hot water piping concealed within an exterior insulation wall shall be located a minimum of 1" from the back-side of the exterior finish with the wall insulation between the two. Concealed downspouts shall be wrapped tightly in insulation.
  - THERMOSTATS: Thermostatically controlled heating or cooling systems (except heat pumps) shall have an automatic thermostat with a clock mechanism which can be manually programmed to automatically set back the thermostat set points for at least two periods within 24 hours.
  - ADDITIONAL REQUIREMENTS: See DIVISION 15 - MECHANICAL for additional requirements.
  - WEEP SCREEDS: A corrosion-resistant weep screed with a minimum vertical attachment flange of 3 1/2" shall be provided at or below the foundation plate line on all exterior stud walls. The screed shall be placed a minimum of 4" above the earth or 2" above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistive barrier shall lap the attachment flange, and the exterior lath shall cover and terminate on the attachment flange of the screed
  - UNDERLOOR VENTILATION: N/A (SLAB ON GRADE)
  - FLASHING: Workmanship shall be in accordance with best trade practice, to comply with Architectural Sheet Metal Manual, latest edition, by Sheet Metal and Air Conditioning Contractors Assoc. Install an approved type using an approved method in all exterior openings. Use 20 ga. galvanized sheet metal, typical. Counterflashings shall be 24 ga. galvanized sheet iron or steel. All valley flashing at roofing shall be 28 ga., minimum, galvanized sheet metal.
  - ROOF CONSTRUCTION:
    - STANDARDS: Materials shall comply with the Manufacturer's requirements.
    - PREPARATION: Surfaces shall be dry, smooth, free of loose material, properly sloped to outlets, and swept and cleaned of dirt and debris. Remove all rough spots, sharp projections and lumpy places. Roof drains, lead collars, vent pipe sleeves, stanchions and related metalwork shall be installed prior to application of roofing.
    - APPLICATION: Composite slate roofing shall be installed by a qualified applicator in accordance with the Manufacturer's printed specifications. Roofing system shall be as indicated on the Drawings.
  - ATTIC VENTILATION: (N/A)
  - ROOF DRAINAGE: Where roof system is not designed to support accumulated water, slope for drainage per Building Code, Sec. 1506.1 & 1506.2. The bottom of the overflow or scupper shall not be more than two inches above the low roof point. All roof drainage shall conform to Building Code, Sec. 1506.3. All roof drainage shall be conducted to the street by means of approved non-erosive device unless otherwise noted. See DIVISION 15 - MECHANICAL, Roof Drainage for additional requirements.

**DIVISION 8 - DOORS & WINDOWS**

- EXIT DOORS: Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Every exit door shall be operable from inside without the use of a key or any special knowledge or effort (6709.2) Special locking devices shall be of an approved type. Exit door must open over a landing not more than 1" below the threshold (Sec. 1005).
- WINDOW EGRESS: All sleeping rooms shall have emergency exits to comply with a minimum 24" net clear height, minimum 20" width, 5.7 net sq. ft. of opening and a maximum 44" sill height above adjacent floor. (sec 310.40)
- SCREENS: All windows and sliding glass doors required for light and ventilation shall be screened.
- GLAZING: All glass must comply with U.S. Consumer Safety Protection Commission requirements. Glass thickness, strength, materials and method of installation shall conform with requirements of Building Code, Sec. 2401.2, Building Code, Ch. 24-1, and Memorandum of General Distribution #3 (Impact Hazard Glazing). Openings in the exterior wall and all glazed openings subject to human impact shall conform to the Building Code. Glass doors, adjacent panels and all glazed openings within 18" of the adjacent floor, whose least dimension is greater than 18" shall be of tempered glass approved for impact hazard per Section 2406.4.
  - Ingress and egress doors
  - Panels in sliding or swinging doors
  - Doors and enclosure for hot tub, bathtub, showers (Also glazing in wall enclosing these compartments within 5'-0" of standing surface)
    - If within 2'-0" of vertical edge of closed door and within 5'-0" of standing surface
    - In wall enclosing stairway landing

Date: 1/7/2024 2:09:54 PM Job Number: 0420-69

**ARTDESIGN STUDIO**

TEL: (818) 221-5301  
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REVISION NUMBER | REVISION DESCRIPTION | REVISION DATE

DESIGNED BY: Designer  
CHECKED BY: Checker

STAMP OF APPROVAL

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

by: Sara Durghalli, Assistant Planner

Project No. 24-0004476 3/10/26

HAVEN RESIDENCE  
3000 HAVEN WAY, BURBANK, CA 91504  
AIDA KARAFETYAN

**A6**

SHEET NUMBER

**DETAILS & GENERAL NOTES**

NOTE: THE STRUCTURAL GENERAL NOTES SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

**DIVISION 1 - GENERAL CONDITIONS**

- A. BUILDING CODES AND THE WORK:** All work, construction and materials shall comply with all provisions of the current edition of the Building Code and with other rules, regulations, and ordinances governing the place of the building. Building Code requirements take precedence over the drawings, and it shall be the responsibility of anyone supplying labor, materials or both, to install his work in conformance with the Building Code, and to bring to the attention of the Architect any discrepancies or conflicts between the requirements of the Building Code and the Drawings. Division 1 shall apply to all divisions.
- B. TRADE PRACTICES:** All work shall conform to the best practice prevailing in the various trades comprising the work. All work shall be in conformance with the Drawings. NO SUBSTITUTIONS OR CHANGES shall be made without the approval of the Architect.
- C. GOVERNANCE OF DRAWINGS:** Do not scale dimensions from drawings. All dimensions and other items of information indicated at larger scale plans, elevations, and details, shall take precedence over all dimensions and items of information indicated at smaller scale plans, elevations and details. Specific notes and details shall take precedence over general notes and typical details. Discrepancies are to be brought to the immediate attention of the architect.
- D. SHOP DRAWINGS:** Provide shop drawings for review where directed in the General Notes or on the Drawings. Do not begin fabrication of any related work prior to review of shop drawings.
- E. EXISTING CONDITIONS:** Contractor(s) shall verify at the job site all existing dimensions and conditions before proceeding with the Work. Discrepancies in the Drawings or between the Drawings and actual field conditions shall be reported to the Architect. Corrected drawings or instructions shall be issued by the Architect prior to the installation of related work.
- F. CONSTRUCTION SAFETY:**
- All work shall conform to the requirements of OSHA and CAL-OSHA.
  - The Contractor shall provide temporary erection bracing and shoring for all structural members or as required for structural stability of the structure during all phases of construction.
  - The Contractor shall immediately notify the Structural Engineer of any condition which, in his opinion, might endanger the stability of the structure or cause distress of the structure.
  - The Contractor shall take steps necessary to ensure the proper alignment of the structure after the installation of all structural and finish materials. This shall include any necessary pre-loading of the structure to determine final position of the completed Work.
  - Maintain sanitary toilet facilities during construction.
- G. DUST CONTROL:** At all times during the course of the Contract, provide effective means of dust control both within the structure and on the surrounding site.
- H. CLEANING:** At all times during the duration of the Contract, keep the buildings, the Owner's premises and the adjoining premises, including streets and driveways, free from accumulations of waste material, rubbish caused by employees or work, or work of Subcontractors. Remove debris and waste at least weekly. Burn or bury no rubbish on the Owner's premises or on adjacent premises. At completion of the Work, or prior thereto if so directed, remove from the buildings and the premises all tools, appliances, surplus materials, debris, temporary structures, temporary construction and rubbish. At the completion of the Work, perform the following special cleaning:
- Remove marks, stains, fingerprints, other soil and dirt from pointed, decorated or stained work. Clean and polish finished woodwork and laminated plastic. Clean all shelves and interiors of casework. Clean and polish hardware for all trades. This shall include removal of stains, dust, dirt, paint and the like.
  - Clean exterior and interior metal surfaces, including doors and windows required to have polished finish, of oil, stains, dust, dirt, paint splatters and the like; polish; leave without fingerprints or other blemishes. Remove putty stains and labels from glass; wash and polish inside and outside. Exercise care not to scratch glass.
  - Remove spots, soil and paint from wall and floor tile, then wash and polish. Remove temporary floor protection; clean and polish floors. Clean fixtures and equipment; remove stains, paint splatters, dirt and dust.
- I. GENERAL DESIGN REQUIREMENTS:**
- CEILING PROJECTIONS:** There will be no projections (light fixtures, etc.) below 7'-0" high at the ceilings of hallways, closets, kitchens, etc. Ceiling height at habitable spaces shall be 7'-6" minimum except as otherwise allowed [Sec. 1208.2].
  - DIVISION WALLS OR SHAFT ENCLOSURES:** Such walls shall not be pierced by electrical panels, fire hose cabinets, stove vents, or any other item. Openings into one-hour shafts shall be protected by one-hour fire-protected assemblies with self-closers.
  - BATHROOMS:**
    - Refer to DIVISION 9 - FINISHES for additional information.
    - Shower walls shall have a smooth, hard, non-absorbant material, such as ceramic tile or other approved material, which extends to a minimum height of 6 ft.
    - Provide 70" high non-absorbant wall adjacent to shower and approved shatter resistant materials for shower enclosure.
    - Glazing at showers and tubs, used in the doors and panels of shower and bathtub enclosures, shall be fully tempered, laminated safety glass or approved plastic (Sec. 2406.3.5). Windows within 5'-0" of floor of shower or bathtub floor shall have UL-approved, shatter resistant materials.
    - Provide access, minimum 12" x 12" opening, for plumbing at each bath tub, or an approved rigid plumbing connection requiring no access.
  - STAIRS:** Design and construction shall comply with Building Code, Sec. 1009.3.4. Maximum riser shall not exceed 7.75". Minimum run shall be 10". Minimum headroom of 6'-8" shall be provided, and the stair shall have a minimum clear width of 3'-0".
  - HANDRAILS:** Provide where indicated on the Drawings, shall be adequate in strength and attachment in accordance with Section 1607.7. And shall comply with Sections 1012.2 through 1012.8. Handrail height, measured above stair tread nosings shall be 34" to 38". Handrails within dwelling units are permitted to be interrupted by a newel post at a stair or ramp landing. (Section 1012.4.1)
  - GUARDRAILS:** Shall be located along open-sided walking surfaces, stairways, ramps and landings that are located more than 30" above the floor or grade below. (Section 1013.1) Guards shall be adequate in strength and attachment in accordance with Section 1607. Guards shall form a protective barrier not less than 42" high, measured vertically above the leading edge of the adjacent tread or walking surface.(Section 1013.2) Guards whose top rail also serves as a handrail shall have a height not less than 34" and not more than 38" measured vertically from the leading edge of the stair tread nosing. (Sec. 1013.2.1) Open guards shall have balusters or ornamental patterns such that a 4-inch diameter sphere cannot pass through any opening. The triangular openings formed by a riser, tread and bottom rail at the open side of a stairway shall be of a maximum size such that a sphere of 6-inches in diameter cannot pass through the opening.

**DIVISION 2 - SITE WORK**

- SOILS REPORT: IRVINE GEOTECHNICAL, INC.
- FOUNDATION DESIGN: See Structural Drawings.

- GRADING & EXCAVATIONS:** This Project contains no trenches or excavations 5' or more in depth into which a person is required to descend. If otherwise, obtain necessary permit from the State of California, Division of Industrial Safety, prior to the issuance of a Building or Grading Permit.
- TEMPORARY SHORING:** Temporary shoring is required for excavations that remove the lateral support from a public way or an existing building. Excavations adjacent to a public way require Dept. of Public Works approval prior to issuance of a Building Permit. (Sec. 3301)
- DEPTH OF FOOTINGS:** See Structural Drawings.
- DEMOLITION:** All debris shall be sufficiently wet at the time of handling to prevent dust from arising.
- DRAINAGE:** All portions of the lot about the building shall be properly graded to carry water away from the building at 1/8" per foot minimum slope.

**DIVISION 3 - CONCRETE**

- STANDARDS:** The Work shall conform to the applicable requirements for Recommended Practice for Selecting Proportions for Concrete, ACI 613-38, and Recommended Practice for Measuring, Mixing and Placing Concrete, ACI 614-59, published by the American Concrete Institute.
- CONCRETE MIXES:** Proportions of cement, aggregates and water shall be selected to produce concrete of the required durability, workability and strength. The mixture shall be such that the concrete will work readily into the corners and angles of the forms and around any reinforcement without the segregation of the materials or the accumulation of excess free water on the surface.
- ADDITIONAL REQUIREMENTS:** See General Notes at Structural Drawings.

**DIVISION 4 - MASONRY (N/A)**

**DIVISION 5 - METAL**

See General Notes at Structural Drawings

**DIVISION 6 - CARPENTRY**

- GENERAL:** All requirements of Building Code, Sec. 2305 & 2306, shall be met.
- PLATES, SILLS, AND SLEEPERS:** All foundation plates or sills and sleepers on a concrete or masonry slab, which is in direct contact with earth, and sills which rest on concrete or masonry foundations, shall be treated wood or foundation redwood. (Sec. 2306.4)
- WOOD/EARTH SEPARATION:** Wood located nearer than 6" to earth shall be treated wood or wood of natural resistance to decay, as defined in Building Code, Sec. 2306.8. Where located on concrete slabs placed on earth, wood shall be treated wood or wood of natural resistance to decay. Where not subject to water splash or to exterior moisture and located on concrete having a minimum thickness of 3" with an impervious membrane installed between concrete and earth, the wood may be of any species. (Sec. 2306.8)
- STUD WALLS:** Typical walls shall be framed with 2x4 studs at 16" o.c., as called out on the Plans, except where noted otherwise (see Structural Drawings).
- DOUBLE JOISTS:** Provide double joists under all parallel partitions. Provide 4 x posts or two 2x studs under all beams and double joists, unless noted otherwise. See Structural Drawings for additional req'ts.
- FIRE STOPS:** Enclosed spaces in stud walls, partitions and furred walls shall be fire-stopped at the top and bottom, and also at the mid-point in walls more than 10 feet high. The distance between fire stops in walls and partitions shall not exceed 10 feet, measured horizontally or vertically. Top and bottom panels which fill all spaces between studs and furring shall be considered fire-stops. (Sec. 708.2.1)
- NOTCHING AND BORING:** At exterior walls and bearing walls, studs shall not be notched more than 25% width of stud; at non-bearing partitions, not more than 40% width of studs shall be notched. Bored holes shall have a max. dia. of 40% any bearing stud, and 60% of any stud in non-bearing partitions or any wall where each bored stud is doubled, provided not more than 2 such successive doubled studs are so bored. No bored holes shall be closer than 5/8" to edge of stud. See General Notes at Structural Drawings for additional requirements, which shall have precedence over these Requirements. (See DIVISION 15 - MECHANICAL Plumbing Notes for related requirements) (Sec. 2316)
- PENETRATIONS:** Penetrations in walls requiring protected openings shall be fire-stopped. Firestopping shall be an approved material securely installed and capable of maintaining its integrity when subjected to test temperatures prescribed in UBC Standard No. 43-1 for the specific wall or partition. (Sec. 708.2.1)
- PLYWOOD ROOF SHEATHING:** Sheathing shall be bonded with intermediate or exterior type glue. See Structural Drawings for additional requirements. (Sec. 2312.2)
- FINISH CARPENTRY AND MILLWORK:**
  - Verify all dimensions with actual field conditions. PRIORITY FABRICATION OF ALL CASEWORK, FURNISH SHOP DRAWINGS FOR REVIEW.
  - Workmanship shall be in accordance with best trade practices. All materials, fabrications and workmanship shall conform to the applicable requirements of the Woodwork Institute of California, latest edition, for Casework, Custom Grade.
  - Plastic laminate shall be standard grade, satin finish melamine plastic laminate surfacing, .050" thick, with 20 mil. backing sheets, in compliance with NEMA Standard LD-3. Color as selected by the Architect.
  - Tightly scribe, cut and fit all wood trim and millwork against abutting surfaces. Casework shall be installed level or plumb and secured firmly in place.
  - Finish woodwork shall comply with standards for Custom Grade of the WIC. Conceal means of fastening various parts and members together. Neatly set nails for putty stopping wherever surface nailing is unavoidable. Coordinate installation with affected trades. DIVISION 7 - THERMAL & MOISTURE PROTECTION
- ENERGY INSULATION:**
  - STANDARDS:** All insulation shall conform to the State Insulation Standards, and all insulation materials shall be certified by the manufacturer as complying with the California Quality Standards for Insulating Material. Gas fired household heating and cooling appliances, shower heads and faucets shall comply with the Appliance Efficiency Standards.
  - COMPLIANCE CERTIFICATION:** Before the building may be occupied, installation certificates for manufactured devices regulated by the Appliance Standards or Chapter 2-53, shall be posted adjacent to the Building Permits. The certificate shall contain the following:
    - Identify features required to verify compliance with the Appliance Standards and Chapter 2-53.
    - Include the statement indicating that the installed devices conform to the Appliance Standards and Chapter 2-53 and the requirements for such devices as given in the plans and specifications approved by the local Building Department.
    - State the number of the Building Permit under which the construction or installation was performed.
  - OWNER INSTRUCTION:** The Contractor shall provide the building Owner with a list of heating, cooling, water heating, lighting systems, or solar devices, and all other features, components and conservation devices installed in the building and instructions on how to use them efficiently.
- BUILDING ENVELOPE:**
  - All exterior walls shall be insulated with blanket-type mineral fiber or glass fiber insulation conforming to Fed. Spec. HH-1-521E with a minimum thermal resistance (R) of not less than 13. Floor insulation shall have a minimum thermal resistance (R) of not less than 13 (See Wall Sections for additional information).
  - All ceilings of roof-ceiling assemblies shall be insulated with a blanket-type mineral or glass fiber insulation conforming to Fed. Spec. HH-1-1030A, with a minimum thermal resistance (R) of not less than 30. (See Wall Sections for additional information).

- All garage walls and ceilings to living areas shall be treated as exterior walls for insulation. Any underfloor area of an upper story (e.g. a cantilever) exposed to exterior elements shall be insulated.
- Upon completion of the installation of the insulation, a card, approved by the Building Department, certifying that the insulation has been installed in conformance with the requirements for Energy Installation Standards, shall be completed and executed by the Insulation Applicator and by the Contractor. This Insulation Compliance Card shall be posted at a location designated by the Building Department Field Inspector.
- WINDOWS AND DOORS:**
  - All manufactured windows shall be certified as meeting the current air infiltration standards of the American National Standards Institute (A134.1, A134.2, A134.3, A134.4), when tested in accordance with ASTM E 283-73, with a pressure of 1.57lb/ft2, and shall be labeled as such.
  - All swinging doors penetrating insulated walls shall be fully weather-stripped, gasketed or otherwise treated to limit infiltration as approved by the Building Dept.
  - Required tinting and glazing shall be permanently tinted or permanently surface coated by the manufacturer of the glazing material, and shall provide a maximum tinting coefficient of 0.55, floors and between exterior wall panels. Caulk around all plumbing and electrical penetrations into the building envelope.
    - CAULKING:** Caulk and seal around all window and door frames and between wall sole plates and floors and between exterior wall panels. Caulk around all plumbing and electrical penetrations into the building envelope.
    - GARAGE APPLIANCES:** (N/A)
    - DUCTS AND DUCTWORK:** All fan systems exhausting air from the building shall be provided with back draft dampers. Ducts shall be constructed, installed and insulated according to the Uniform Mechanical Code, Ch. 10, latest edition. All joints of the duct system shall be tightly sealed with mastic or tape.
    - PIPE INSULATION:** All steam and steam condensate return piping and all continuously circulating domestic or heating hot water piping shall be insulated as required by the Building Dept., Plumbing Div. All hot water piping concealed within an exterior insulation wall shall be located a minimum of 1" from the back-side of the exterior finish with the wall insulation between the two. Concealed downspouts shall be wrapped tightly in insulation.
    - THERMOSTATS:** Thermostatically controlled heating or cooling systems (except heat pumps) shall have an automatic thermostat with a clock mechanism which can be manually programmed to automatically set back the thermostat set points for at least two periods within 24 hours.
    - ADDITIONAL REQUIREMENTS:** See DIVISION 15 - MECHANICAL for additional requirements.
  - WEEP SCREEDS:** A corrosion-resistant weep screed with a minimum vertical attachment flange of 3 1/2" shall be provided at or below the foundation plate line on all exterior stud walls. The screed shall be placed a minimum of 4" above the earth or 2" above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building, the weather-resistive barrier shall lap the attachment flange, and the exterior lath shall cover and terminate on the attachment flange of the screed
  - UNDERFLOOR VENTILATION:** N/A (SLAB ON GRADE)
  - FLASHING:** Workmanship shall be in accordance with best trade practice, to comply with Architectural Sheet Metal Manual, latest edition, by Sheet Metal and Air Conditioning Contractors Assoc. Install an approved type using an approved method in all exterior openings. Use 20 ga. galvanized sheet metal, typical. Counterflashings shall be 24 ga. galvanized sheet iron or steel. All valley flashing at roofing shall be 28 ga., minimum, galvanized sheet metal.
  - ROOF CONSTRUCTION:**
    - STANDARDS:** Materials shall comply with the Manufacturer's requirements.
    - PREPARATION:** Surfaces shall be dry, smooth, free of loose material, properly sloped to outlets, and swept and cleaned of dirt and debris. Remove all rough spots, sharp projections and lumpy places. Roof drains, lead collars, vent pipe sleeves, stanchions and related metalwork shall be installed prior to application of roofing.
    - APPLICATION:** Composite slate roofing shall be installed by a qualified applicator in accordance with the Manufacturer's printed specifications. Roofing system shall be as indicated on the Drawings.
    - ATTIC VENTILATION:** (N/A)
  - ROOF DRAINAGE:** Where roof system is not designed to support accumulated water, slope for drainage per Building Code, Sec. 1506.1 & 1506.2. The bottom of the overflow or scupper shall not be more than two inches above the low roof point. All roof drainage shall conform to Building Code, Sec. 1506.3. All roof drainage shall be conducted to the street by means of approved non-erosive device unless otherwise noted. See DIVISION 15 - MECHANICAL, Roof Drainage for additional requirements.

**DIVISION 8 - DOORS & WINDOWS**

- EXIT DOORS:** Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Every exit door shall be operable from inside without the use of a key or any special knowledge or effort (6709.2) Special locking devices shall be of an approved type. Exist door must open over a landing not more than 1" below the threshold [Sec. 1005].
- WINDOW EGRESS:** All sleeping rooms shall have emergency exits to comply with a minimum 24" net clear height, minimum 20" width, 5.7 net sq. ft. of opening and a maximum 44" sill height above adjacent floor. (sec 310.40)
- SCREENS:** All windows and sliding glass doors required for light and ventilation shall be screened.
- GLAZING:** All glass must comply with U.S. Consumer Safety Protection Commission requirements. Glass thickness, strength, materials and method of installation shall conform with requirements of Building Code, Sec. 2401.2, Building Code, Ch. 24-1, and Memorandum of General Distribution #3 (Impact Hazard Glazing). Openings in the exterior wall and all glazed openings subject to human impact shall conform to the Building Code. Glass doors, adjacent panels and all glazed openings within 18" of the adjacent floor, whose least dimension is greater than 18" shall be of tempered glass approved for impact hazard per Section 2406.4.
  - Ingress and egress doors
  - Panels in sliding or swinging doors
  - Doors and enclosure for hot tub, bathtub, showers (Also glazing in wall enclosing such compartments within 5'-0" of standing surface)
  - If within 2'-0" of vertical edge of closed door and within 5'-0" of standing surface
  - In wall enclosing stairway landing
- SECURITY PROVISIONS:** All exterior openings are Security Openings and the following notes shall apply:
  - CODE REQUIREMENTS:** All windows, entry doors, sliding glass doors, and glazed openings shall conform to the requirements of the Building Code (Security Provisions).
  - SWINGING DOORS:**
    - A single-swing door, the active leaf of a pair of doors and the bottom leaf of Dutch doors shall be equipped with a deadbolt and deadlocking latch. The deadbolt and latch may be activated tools. The lock or locks shall be key-operated from the exterior side of the door and by one lock or by individual locks. Deadbolts shall contain hardened inserts to repel cutting openable from the interior side by a device which does not require a key, special knowledge, or special effort to operate. The inactive leaf of a pair of doors and the upper leaf shall be equipped with a deadbolt or deadbolts as set forth in Division 8(E)2, Swinging doors.

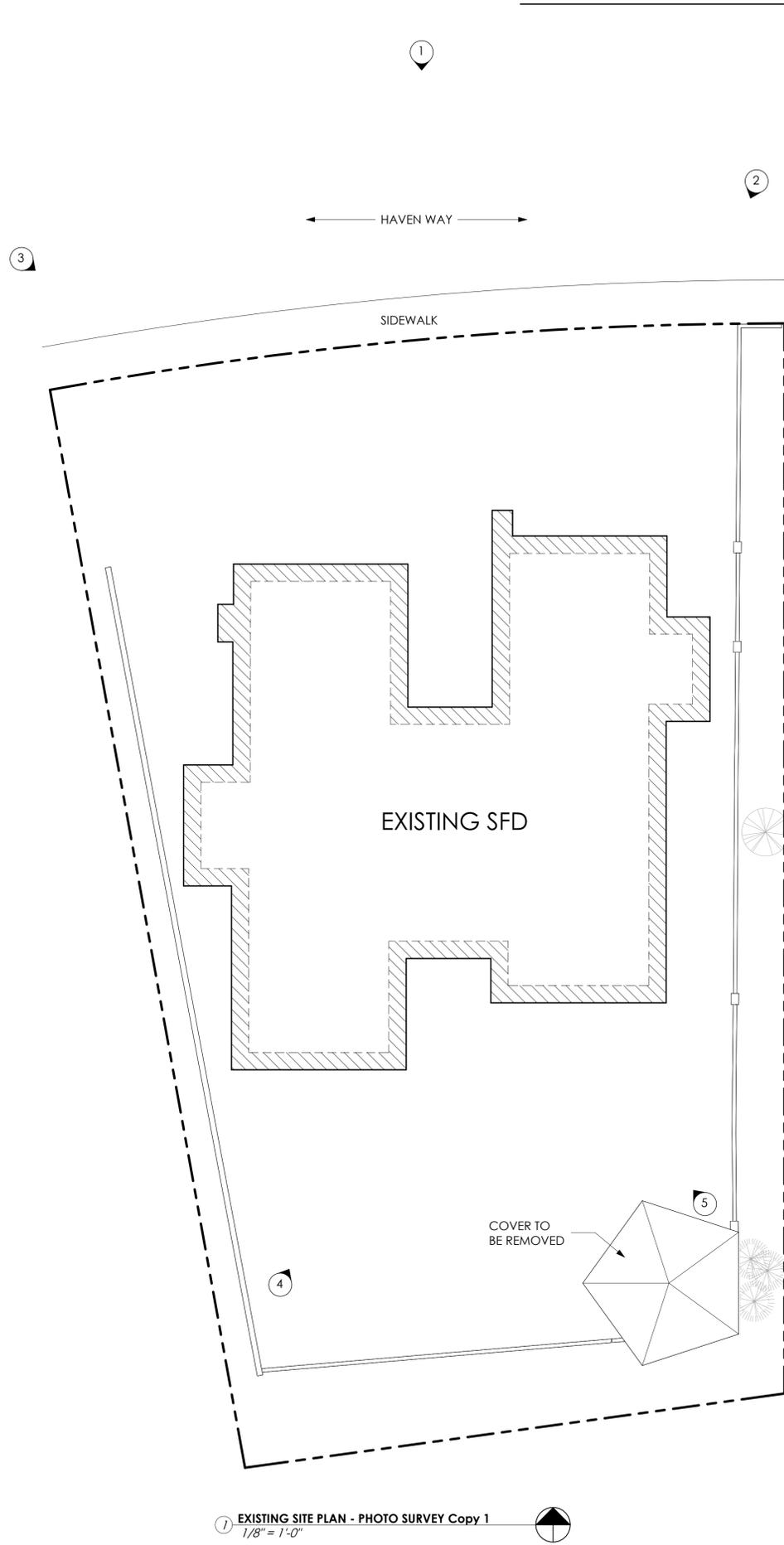
- Door stops of in-swinging doors separating dwelling units from public areas shall be of one piece construction with the jamb or joined by rabbet to the jamb.
- Entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a provided by a door view of the area immediately outside the door without opening the door. Such view may be view through windows located in the vicinity of the door or through viewports in the door or adjoining wall. (6706)
- Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 91.6709.1- Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4) Hollow core door or doors less than 1-3/8" thickness shall be covered on the inside face with 1/6 ga. sheet metal attached with screws of 6" on centers around the perimeter or equivalent.
  - Glass doors shall have fully tempered glass complying with Building Code, Sec. 2406.2.
- OTHER DOORS:**
  - Metal or wooden overhead and sliding doors shall be secured with a cylinder lock, padlock with a minimum 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt, or equivalent device, unless secured by an electrical power operation.
  - Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq.ft. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1-3/8 inches and 3 inches in width. (91.6709.1 item 2)
- ADJACENT OPENINGS AT DOORS:** Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass per Sec. 5406 Division 8(E) or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a minimum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713) See Security Provisions, Other Openings, for additional requirements.
- FINISH HARDWARE:**
  - All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum 1/4" diameter steel jamb stud with 1/4" minimum projection, unless the hinges are shaped to prevent removal of the door if the hinge pins are removed. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (91.6709.5, 6709.7)
  - The strike plate for latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" length.
  - Door locking device shall be a type that will be readily distinguishable as locked. Exit doors used in pairs shall have approved automatic flush bolts.
  - Deadbolts shall contain hardened inserts. Straight deadbolts shall have a minimum throw of 1" have a minimum throw of 3/4". (6709.2) and an embedment of not less than 5/8". A hook-shaped or an expanding-lug deadbolt shall
  - Sliding glass doors and windows shall be equipped with locking devices and shall be constructed and installed so that they remain intact and engaged when subjected to the tests specified in Sec. 6716.2. A device shall be provided in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 6715.1
  - All locksets and latchsets, cylinders and component parts shall be keyed per the Owner.
  - The use of a locking system which consists of a deadlocking latch operated by a doorknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.
- CYLINDER GUARDS:** Install on all mortise or rim-type cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools
- OTHER SECURITY OPENINGS:** Security openings other than doors or glazed openings shall be protected in accordance with the requirements of this Section. All outside pin-type hinges shall be provided with non-removable pins.
- ADJACENT STRUCTURES:** Screens, barricades, or fences made of material which preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8' of a utility pole or similar structure.
- FINISH HARDWARE:** All hardware shall comply with applicable Fire and Building Codes. All locksets & latchsets, cylinder and component parts shall be keyed and mastered as instructed by the Owner.

**DIVISION 9 - FINISHES**

- STANDARDS:** Workmanship shall be in accordance with best trade practice.
- DRYWALL:** Conform to applicable local Building Codes. Drywall located behind required nonabsorbent surfaces shall be water-resistant. See DIVISION 1- GENERAL CONDITIONS, General Design Requirements, Bathrooms for additional requirements.
- CERAMIC TILE:** Material, installation and workmanship shall conform to ANSI A108.1-1985, Glazed and Unglazed Ceramic Tile. Tile shall have a 'Standard Grade' certificate of grade in accordance with ANSI A137.1-180 (ANSI AN-4), Specifications for Ceramic Tile. Grout joints shall be set straight and solidly filled, conforming to ANSI A108.1 and ANSI A108.2. Tile and pattern shall be as indicated on the Drawings. ARCHITECT SHALL REVIEW AND APPROVE ALL TILE PLACEMENT AND PATTERNS ON SITE PRIOR TO FINAL GROUTING.
- PAINTING:** All paints shall conform to South Coast Air Quality Management District regulations. Property label all containers. All paints shall be factory mixed products of manufacturers herein specified or products which have been approved as equal to the specified products by the Architect. Use a thinner as recommended by the paint manufacturer. All surfaces to receive paint shall be clean, dry, smooth and dust free before application of any primer, back primer, paint, etc. Apply coats and undercoats for all types of finishes in strict accordance with the manufacturer's recommendations. Protect floors and all adjacent surfaces from paint smears, splatters and droppings. Cover fixtures and remove hardware not to be painted. Mask off areas where required. Remove paint and oil saturated cloths from the job site daily or hang out flat and singly to dry.

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		<small>THE CLIENT AND ARCHITECT SPECIFY THAT THE WORK SHALL BE REVIEWED BY THE ARCHITECT AND THE ARCHITECT SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE REPRODUCED OR COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. ALL DIMENSIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND MATERIALS SPECIFIED IN THE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.</small>	
REVISION NUMBER   REVISION DESCRIPTION   REVISION DATE		REVISION SCHEDULE	
DESIGNED BY: Designer CHECKED BY: Checker			
<b>STAMP OF APPROVAL</b>			
			
Project Name HAVEN RESIDENCE	Project Address 3000 HAVEN WAY, BURBANK, CA 91504	Client Name AIDA KARAFETYAN	<b>GENERAL NOTES</b>
<b>A6.1</b> <small>SHEET NUMBER</small>			





1 EXISTING SITE PLAN - PHOTO SURVEY Copy 1  
1/8" = 1'-0"



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REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE

DESIGNED BY: Designer  
CHECKED BY: Checker

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CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli, Assistant Planner  
Project No. 24-0004476 3/10/26

HAVEN RESIDENCE	3000 HAVEN WAY, BURBANK, CA 91504	AIDA KARAFETYAN	FLAGPOLE MAP
Project Name	Project Address	Client Name	

A6.3



① EXISTING SITE PLAN - PHOTO SURVEY  
1" = 10'-0"

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CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

## APPROVED

*Sara Durghalli*

by: Sara Durghalli Assistant Planner  
Project No. 24-0004476 3/10/26

HAVEN RESIDENCE	3000 HAVEN WAY, BURBANK, CA 91504	AIDA KARAFETYAN	PHOTOS
Project Name	Project Address	Client Name	

A7

SHEET NUMBER

# GRADING - GENERAL NOTES

## GENERAL REQUIREMENTS

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2020 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
  - ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
  - NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADINGS INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
  - APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
  - ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
  - CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURES HAVE BEEN TAKEN:
    - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
    - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
  - THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
  - ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
  - A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
  - SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
  - NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.
- IF AN OAK TREE PERMIT IS OBTAINED: (ADD THE FOLLOWING NOTE.)
- ALL GRADING AND CONSTRUCTION WITHIN THE PROTECTED ZONE OF ALL OAK TREES SHALL BE PER OAK TREE PERMIT NO. ALL RECOMMENDATIONS IN THE PERMIT AND ASSOCIATED OAK TREE REPORT MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING PLAN. A COPY OF THE OAK TREE PERMIT AND ASSOCIATED REPORTS SHALL BE MAINTAINED IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
  - THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS. NOTE: THIS NOTE ONLY APPLIES TO STANDARD RETAINING WALLS. GEOGRID FABRIC AND SEGMENTAL RETAINING WALLS DO NOT REQUIRE A SEPARATE RETAINING WALL PERMIT. DETAILS AND CONSTRUCTION NOTES FOR ALL GEOGRID WALLS MUST BE ON THE GRADING PLAN.
  - A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J101.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
  - WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE COMPLETED PRIOR TO NOVEMBER 1, THE OWNER OF THE SITE ON WHICH THE GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESPR PER SECTION J110.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
  - TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.
- ### INSPECTION NOTES:
- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK. (SECTION J105.7 OF THE BUILDING CODE.)
    - PRE-GRADE - BEFORE THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION.
    - INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
    - ROUGH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
    - FINAL - WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
  - IN ADDITION TO THE INSPECTION REQUIRED BY THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
  - UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERED GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES", SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:

- BI-WEEKLY DURING ALL TIMES WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE;
- MONTHLY, AT ALL OTHER TIMES; AND
- AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL.

SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS, AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE <http://7d4pw.lacounty.gov/bsd/dg/default.aspx>. "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (310) 530-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER."

- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

### DRAINAGE NOTES:

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
  - PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
  - ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT ARE TO BE DONE PER PRIVATE DRAIN PD NO. \_\_\_\_\_ OR MISCELLANEOUS TRANSFER DRAIN MTD NO. \_\_\_\_\_.
  - ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. STATUS REQUIRED UNDER NOTE 18 AND SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE SHALL INCLUDE INSPECTION INFORMATION AND REPORTS ON THE STORM DRAIN INSTALLATION.
- ### AGENCY NOTES:
- AN ENCRoACHMENT PERMIT FROM (COUNTY DEPARTMENT OF PUBLIC WORKS) (CALTRANS) (CITY OF \_\_\_\_\_) IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS)(CALTRANS) (CITY OF \_\_\_\_\_) ENCRoACHMENT PERMIT.
  - AN ENCRoACHMENT PERMIT (CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM TO CONDITIONS SET BY THE PERMIT.
  - PERMISSION TO OPERATE IN VERY HIGH FIRE HAZARD SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
  - ALL WORK WITHIN THE STREAMBED AND AREAS OUTLINED ON GRADING PLANS SHALL CONFORM TO:

ARMY CORP 404 PERMIT NUMBER: \_\_\_\_\_  
CALIFORNIA FISH & WILDLIFE PERMIT NO.: \_\_\_\_\_.
  - ALL CONSTRUCTION/DEMOLITION, GRADING, AND STORAGE OF BULK MATERIALS MUST COMPLY WITH THE LOCAL AQMD RULE 403 FOR FLUGITIVE DUST. INFORMATION ON RULE 403 IS AVAILABLE AT AQMD'S WEBSITE <http://www.avaqmd.com>.

### GENERAL GEOTECHNICAL NOTES:

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION. (900 S. FREMONT, ALHAMBRA CA 91803 - 3RD FLOOR )
- THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS (SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
- FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER, PRIOR TO THE PLACING OF STEEL OR CONCRETE.
- BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING.

### FILL NOTES:

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
  - 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
  - 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER. THE RELATIVE COMPACTION SHALL BE DETERMINED BY A S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE: WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
  - 95 PERCENT OF MAXIMUM DRY DENSITY IS REQUIRED FOR ALL FIRE LANES UNLESS OTHERWISE APPROVED BY THE FIRE DEPARTMENT.
- FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
  - ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
  - ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
  - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
  - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
- SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
  - PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
  - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.

- FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
- FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
- ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

### PLANTING AND IRRIGATION NOTES:

- PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:
  - THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 FEET ON CENTERS, OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING. IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS, THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATIO, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION J110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)

NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEER AND A LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATION REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATER EFFICIENCY, MAINTENANCE NEEDS, AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT THE ALTERNATIVE PLANTING WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.

- SLOPES REQUIRED TO BE PLANTED BY SECTION J110.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MAY BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION J110.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER ROUGH GRADING. PRIOR TO FINAL GRADING APPROVAL ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION J110.7OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED AND MAINTAINED TO PREVENT SPRAY ON STRUCTURES. (TITLE 31, SECTION 5.407.2.1)
- PRIOR TO ROUGH GRADE APPROVAL THIS PROJECT REQUIRES A LANDSCAPE PERMIT. LANDSCAPE PLANS IN COMPLIANCE WITH THE "MODEL WATER EFFICIENT LANDSCAPE ORDINANCE" TITLE 23, CHAPTER 2.7 OF CALIFORNIA CODE OF REGULATIONS (AB 1881) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION. (900 S. FREMONT AVE, ALHAMBRA - 3RD FLOOR, CA 91803 (626) 458-4921). TO OBTAIN LANDSCAPE PERMIT APPROVED PLANS AND WATER PURVEYOR ACKNOWLEDGMENT FORM MUST BE SUBMITTED TO THE LOCAL BUILDING AND SAFETY OFFICE.

### MATERIAL SPECIFICATIONS:

#### CONCRETE:

- CONCRETE SHALL BE 3,250 PSI @ 28 DAYS (EXCEPT AS NOTED)
- AGGREGATES TO BE : MAXIMUM SIZE 1/2" FOR FOOTINGS AND 1" FOR ALL OTHER WORK, ASTM-C33
- REINFORCING STEEL TO BE : ASTM-615-60 FOR BILLET STEEL INTERMEDIATE GRADE, CLEAN AND UNRUSTED. LAPS AT SPLICES AND POUR LINES TO BE 36" DIAMETERS OR 24" MINIMUM UNLESS NOTED
- WELDED WIRE FABRIC: ASTM-A185, LAP 16" @ EDGES.
- REMOVAL OF FORMS: SUPPORTING VERTICAL SURFACES, MIN. 2 DAYS; SUPPORTING HORIZONTAL SURFACES, MIN.15 DAYS.
- ONLY ONE GRADE OF CONCRETE SHALL BE PERMITTED ON THE JOB SITE AT ONE TIME.

#### STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL BE A-36 IDENTIFIED WITH MARK AND MILL CERTIFICATION TO BE SENT TO STRUCTURAL ENGINEER.
- PIPE COLUMNS TO BE: ASTM-A53 GRADE B SEAMLESS, NOTE THAT DIMENSIONS ON PLANS SHOW INSIDE DIAMETER
- SQUARE AND RECTANGULAR TUBING SHALL BE EQUAL TO ASTM-A-36 UNLESS SPECIFICALLY IDENTIFIED OTHERWISE ON PLAN OR MEMBER SCHEDULE.

#### MASONRY:

- HOLLOW CONCRETE MASONRY UNITS:1- LIGHT WEIGHT CONCRETE UNITS SHALL CONFORM TO ASTM STD. C-90
- REINFORCING STEEL SHALL CONFORM TO A.S.T.M. A-615 GRADE 60.
- MORTAR PROPORTIONS : 1 PART PORTLAND CEMENT 1 PART LIME PUTTY 4 PARTS SAND
- GROUT PROPORTIONS : 1 PART PORTLAND CEMENT 3 PARTS SAND 1/2 PART LIME PUTTY
- ALL GROUT SHALL BE 2,500 PSI AT 28 DAYS.

### CONTINUOUS INSPECTION REQUIRED FOR:

- CONCRETE OVER 2500 PSI
- INSTALLATION OF TIE-BACK ANCHORS
- FIELD WELDING
- EXCAVATION (BY SOILS ENGINEER)
- PLACEMENT OF ENGINEERING FILLS (BY SOILS ENGINEER)
- EPOXY ANCHORS TO THE EXISTING HARDENED CONCRETE
- INSTALLATION OF HIGH STRENGTH BOLTS. GROUTING OF HOLLOW MASONRY UNITS.

### NOTE:

RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

### GENERAL NOTES:

- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED. (7012.1).
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. (7013.3).
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. (>200 CY).

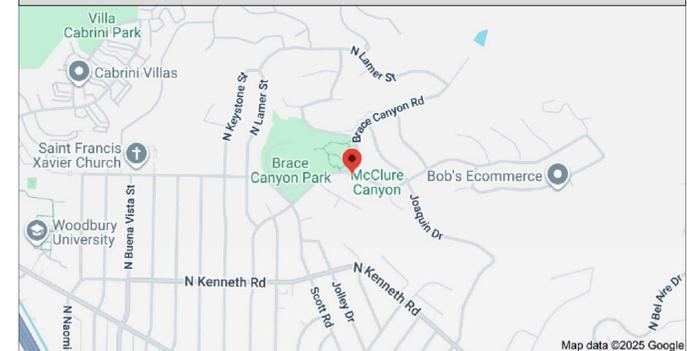
### ABBREVIATIONS:

NG	NATURAL GRADE	HP	HIGH POINT
FG	FINISH GRADE	LP	LOW POINT
FS	FINISH SURFACE	PL	PROPERTY LINE
FF	FINISH FLOOR	R&R	REMOVE & RECOMPACT
RH	RETAIN HEIGHT		
TW	TOP OF WALL ELEV.		
BW	BOTTOM OF WALL ELEV.		
TC	TOP OF CURB		
FL	FLOW LINE		
TG	TOP OF GRATE		
INV	INVERT OF PIPE		

PROJECT INFORMATION	
PROJECT ADDRESS	3000 HAVEN WAY, BURBANK, CA 91504
LOT SIZE	9,533 SF
APN	2471039012
TRACT	-
BLOCK	NONE
LOT	-
ZONING	R1-1
SHEET INDEX	
C-0.1	GRADING COVER SHEET AND NOTES
C-1.0	GRADING PLAN
C-2.0	GRADING SECTIONS
C-3.0	GRADING VOLUME CALCULATIONS

GRADING VOLUME SUMMARY		
TOTAL CUT	95	CY EXPORT
TOTAL FILL	-	CY
NET GRADING	95	CY EXPORT
TOTAL GRADING	95	CY

### VICINITY MAP



PROJECT DIRECTORY	
SCOPE OF WORK	GRADING AND DRAINAGE PLAN
CIVIL ENGINEER	MLB CONSULTING & ENGINEERING INC. 7918 FOOTHILL BLVD. SUNLAND, CA 91040 (818)521-6342
GEOTECHNICAL ENGINEER	
SURVEYOR	



REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

DATE: 10/08/2025  
JOB NO: MLB24-453



DESIGNED BY: RM  
CHECKED BY: GB

3000 HAVEN WAY,  
BURBANK, CA 91504

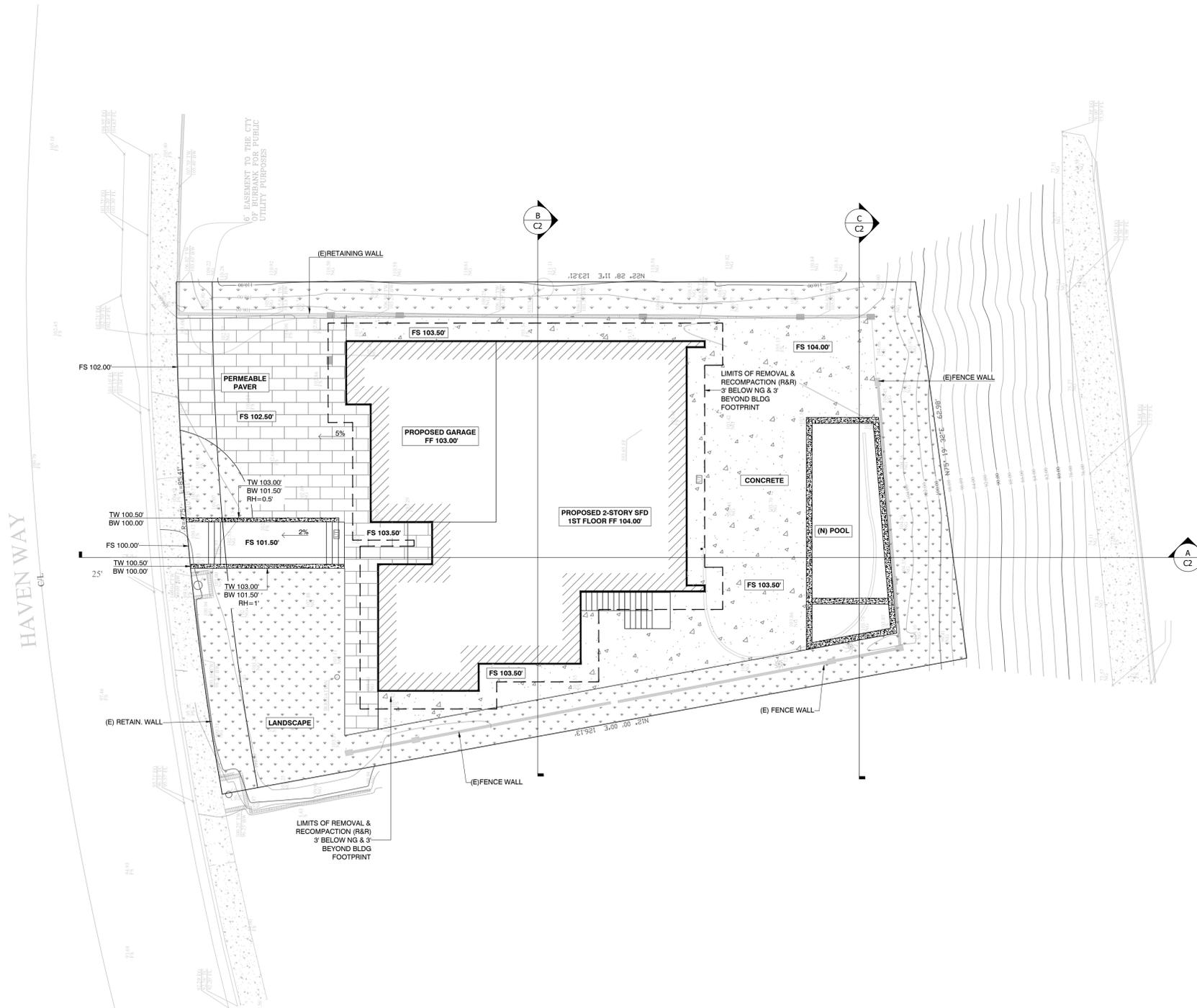
# GRADING NOTES

## C-0.1



7918 FOOTHILL BLVD.  
SUNLAND, CA 91040  
(818) 521-6342  
INFO@MLBENGINEERING.ORG

LEGEND	
TW XXX.XX' →	PROPOSED ELEVATION
TW (XXX.XX)' →	EXISTING ELEVATION
890.45	EXISTING ELEVATION FROM SURVEY
— 100 —	PROPOSED CONTOUR
- - - - -	REMOVE & RECOMPACT (R&R)
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	GRAVITY 4" PVC SCH 40 PIPE MIN 2% ARROW SHOWS DIRECTION OF FLOW.
	PRESSURE DISCHARGE 2" PVC SCH 40 PIPE
	SUBDRAIN: 4" PERFORATED PIPE WRAPPED IN NON WOVEN GEO FABRIC



CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

**APPROVED**

*Sara Durghalli*

by: Sara Durghalli Assistant Planner

Project No. 24-0004476 3/10/26

REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

DATE: 10/08/2025  
JOB NO: MLB24-453



DESIGNED BY: RM  
CHECKED BY: GB

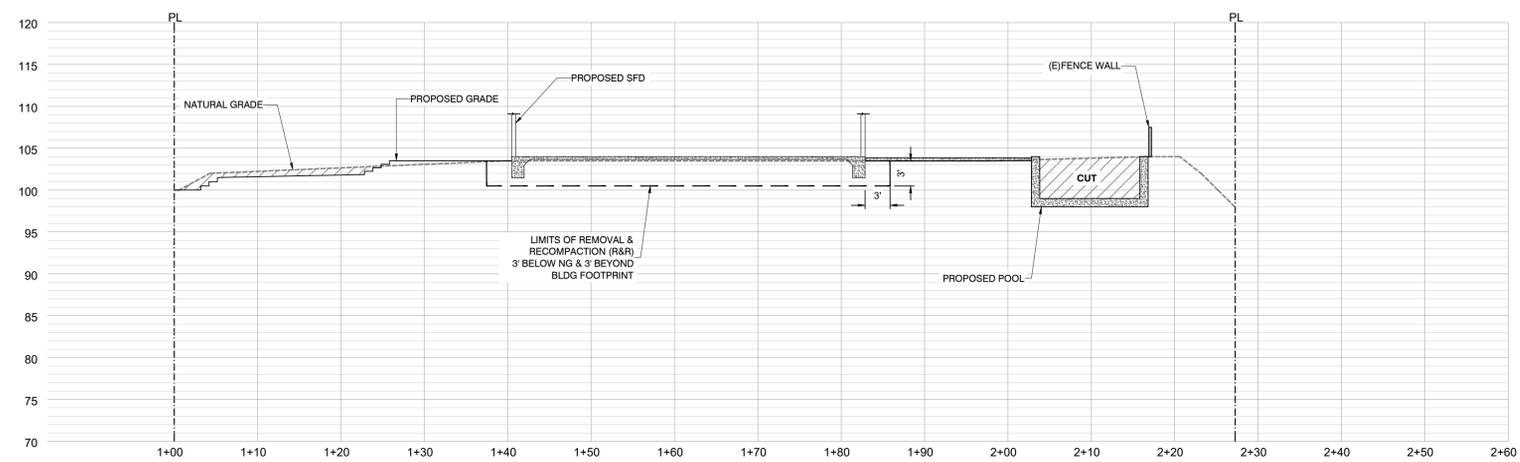
3000 HAVEN WAY,  
BURBANK, CA 91504

GRADING PLAN

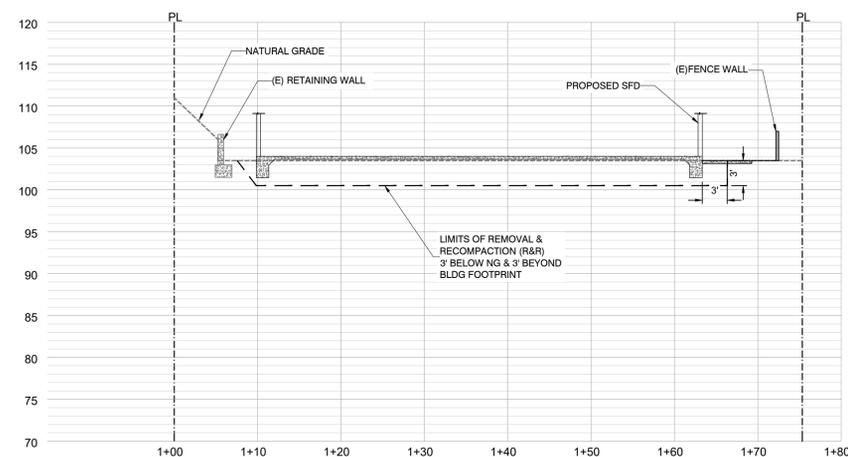
C-1.0



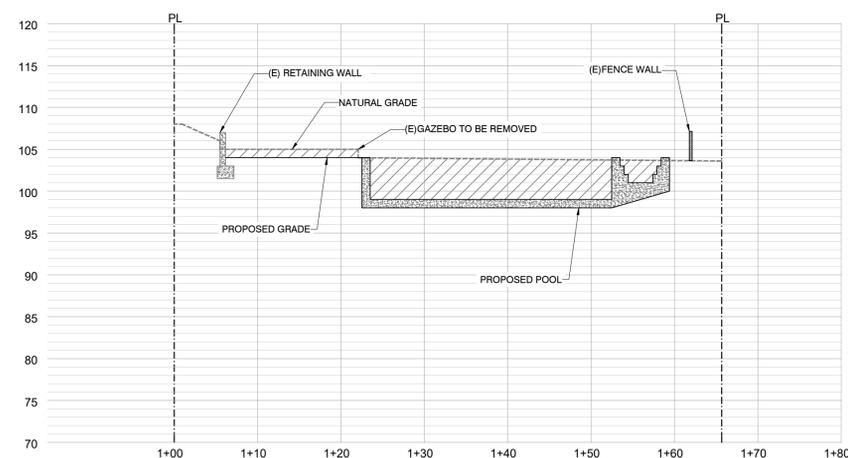
7918 FOOTHILL BLVD.  
SUNLAND, CA 91040  
(818) 521-6342  
INFO@MLBENGINEERING.ORG



**A** GRADING SECTION  
Scale: 1"=10'



**B** GRADING SECTION  
Scale: 1"=10'



**C** GRADING SECTION  
Scale: 1"=10'

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**APPROVED**  
*Sara Durghalli*  
by: Sara Durghalli Assistant Planner  
Project No. 24-0004476 3/10/26

REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

DATE: 10/08/2025  
JOB NO: MLB24-453



DESIGNED BY: RM  
CHECKED BY: GB

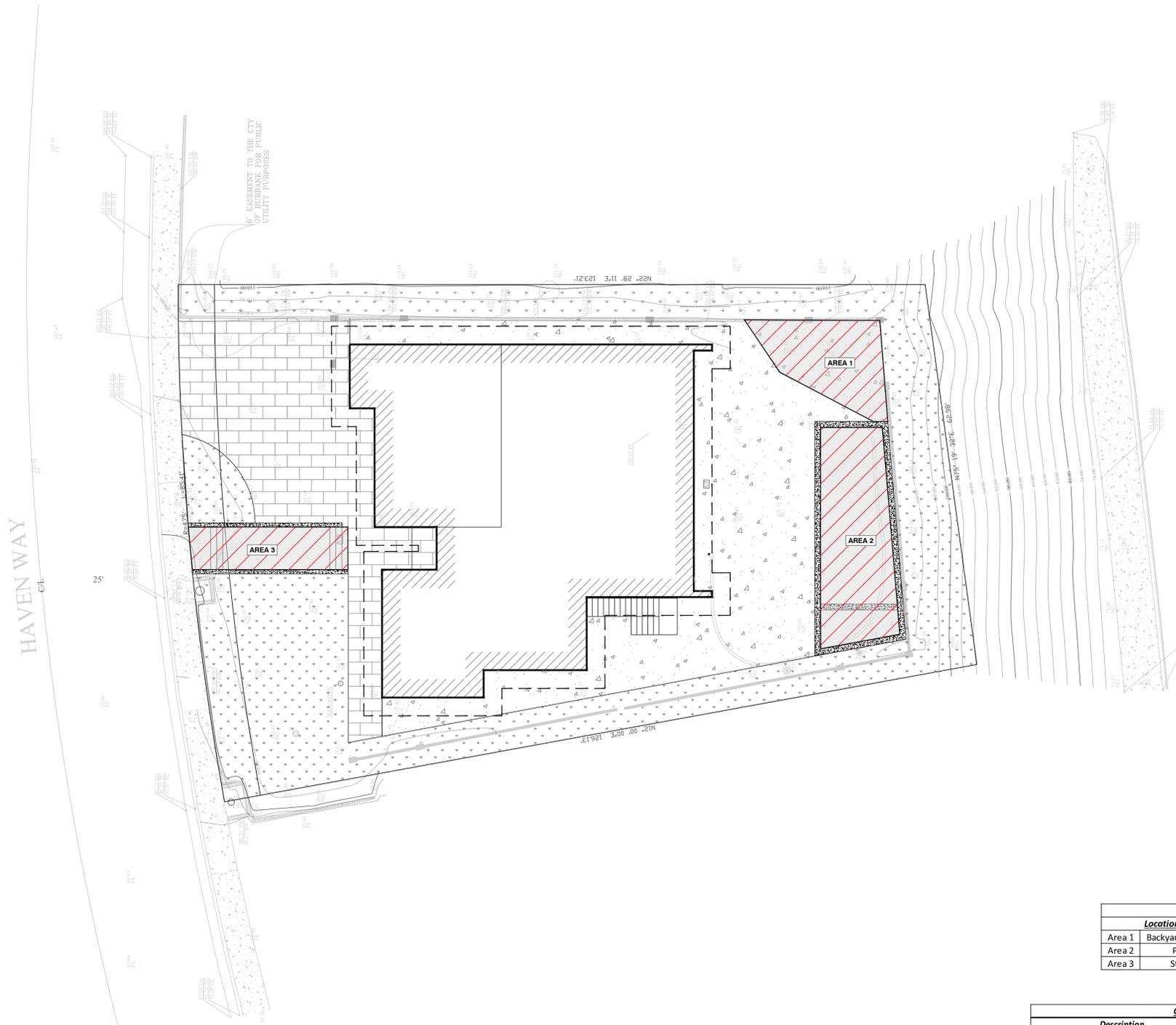
3000 HAVEN WAY,  
BURBANK, CA 91504

GRADING SECTIONS

C-2.0



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**APPROVED**  
*Sara Durghalli*  
by: Sara Durghalli Assistant Planner  
Project No. 24-0004476 3/10/26

TOTAL CUT  
TOTAL FILL

GRADING VOLUME CALCULATIONS					
Location	Area (sf)	Avg. Height (ft)	Volume (cy)	Cut/Fill	
Area 1 Backyard/Gazebo	250	-0.8	-7	Cut	
Area 2 Pool	410	-5.0	-76	Cut	
Area 3 Stairs	182	-0.5	-3	Cut	

Grading Volume Breakdown		
Description	Volumes (cy)	Note
Cut	-86	
Swell	-9	10% Swell Accounted
Total Cut	-95	
Fill	0	
Shrinkage	0	10% Shrinkage Accounted
Total Fill	0	
Net Total	-95	Export (To be <1000)
Zone	R1	
Maximum "By-Right" Grading Quantity (cy)	1000	
Lot Size (sf)	9533	
Maximum "By-Right" Grading by Lot Size (cy)	1953	1,000 cy + 10% of Area
Final Total Grading Volume	95	To be < 1000

REMOVAL & RECOMPACTION (R&R) VOLUMES:  
3' BELOW NATURAL GRADE  
3' BEYOND BUILDING FOOTPRINT  
R&R AREA= 3,452 SF  
R&R DEPTH= 3 FT  
R&R VOLUME= 384 CY

REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

DATE: 10/08/2025  
JOB NO: MLB24-453



DESIGNED BY: RM  
CHECKED BY: GB  
3000 HAVEN WAY,  
BURBANK, CA 91504

GRADING VOLUME CALCULATIONS

C-3.0

A GRADING VOLUME CALCULATION  
Scale: 1"=10'

## ATTACHMENT B

### Project Summary and Background Information

**APPLICANT:** Ara Amyan  
**PROJECT TITLE:** 24-0004476 – Hillside Development Permit  
**PROJECT ADDRESS:** 3000 Haven Way  
**ZONING:** R-1                      **GENERAL PLAN:** Low Density Residential

**PROJECT DESCRIPTION:** The project proposes to demolish an existing one-story 1,870-square-foot single family dwelling and construct a 3,529-square-foot two-story single-family dwelling with an attached three-car garage. Additionally, the Project proposes additional grading within the front yard to accommodate a proposed stairway from the street; grading in the side yard to level the existing garden bed; and grading in the rear to level out the backyard and for a proposed pool. The property is located in the R-1 (Single Family Residential) Zone within the designated Hillside area. The approved plans are included as Attachment A.

**MUNICIPAL CODE CONFORMANCE:** The Project has been evaluated for consistency with the Burbank Municipal Code and, as conditioned, the Project will comply with all applicable objective development standards including, but not limited to, floor area ratio, height, lot coverage, setbacks, and landscaping. See Attachment C for the Municipal Code Compliance Table, and Attachment F for the complete list of Conditions of approval.

**ENVIRONMENTAL REVIEW:** This project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Section 15303(a) - Class 3 of the CEQA Guidelines pertaining to New Construction or Conversion of Small Structures. The project proposes to demolish the existing dwelling and construct a new single family residence on the property, which is consistent with the purpose of the exemption. Therefore, this project qualifies for this exemption and there are no special circumstances that would preclude the use of this exemption.

This project has been determined to be exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structure) pertaining to new single-family residences in a residential zone

**DATE SIGN POSTED ON-SITE:** January 30, 2026  
**DATE PUBLIC NOTICE MAILED:** January 30, 2026  
**DATE OF DIRECTORS DECISION** March 10, 2026  
**END OF APPEAL PERIOD** March 25, 2026

## ATTACHMENT C

### Compliance with Burbank Municipal Code Title 10 (Zoning)

(Title 10, Ch. 1, Article 6)

DEVELOPMENT STANDARDS	REQUIREMENT	PROPOSED	COMPLIES?
Min. Lot Area 10-1-603(A)	6,000 sq. ft.	9310.95 sq. ft.	Yes
Min. Lot Width 10-1-603(A)	50 ft.	62.98 ft. – 85.3 ft.	Yes
Min. Lot Depth 10-1-603(A)	100 ft.	123.21 ft. – 126.13 ft.	Yes
Max. Structure Height 10-1-603(A)	Top Plate: 20 ft. Top of pitched roof: 30 ft. Top of flat roof: 23 ft. Top Plate for Accessory: 10 ft. Top of roof for Accessory: 14 ft.	Top of roof: 21'-10"  Top Plate: 19'-8"  Parapet: 26 in.	Yes
Max. F.A.R. 10-1-603(A) & (D)	.40 for lot area up to 7,500 square ft. plus 0.3 for lot area over 7,500 square ft. and 0.2 for lot area over 15,000 square ft.	37.8%	Yes
Max. Lot Coverage 10-1-603(A) & (E)	50%	29.8%	Yes
Front Yard 10-1-603(A)	Average front yard setback on the block face.	28'-5"	Yes
Rear Yard 10-1-603(A)	15 ft.	36'-2"	
Interior Side Yard 10-1-603(A)	At least 10% of lot width, but no less than 3 feet and no more than 10 feet  <i>Irregular lot – required minimum 7'6"</i>	West side: 9'-2" East side: 9'-10"	Yes
Street-Side Yard 10-1-603(A)	1 <sup>st</sup> story: no less than 10% of lot width or 5 feet and no more than 10 feet 2 <sup>nd</sup> Story: 20% of lot width, but no less than 6 feet and no more than 20 feet.	N/A	N/A
Upper-story Stepbacks; Building Plane Modulation 10-1-603(E)	Varies – see Table 10-1-603(E)  <i>Option proposed under Standard E-(2)(C): Setback determined by 45-degree inclined daylight plane extending from the intersection of the side property line and the existing grade at a point 12 feet above finished grade.</i>	Varies	Yes
Encroachments into yard areas	Varies – see Table 10-1-603(G)		

DEVELOPMENT STANDARDS	REQUIREMENT	PROPOSED	COMPLIES?
10-1-603(G)			
Setback for porches, patios (above ground level), decks, platforms, and balconies.* 10-1-603(G)(2)	10 ft. from interior side P/L	10'-2"	Yes
Accessory Structure Setback Planes 10-1-603(G)(4)	Varies – see Diagram 10-1-603(G)(4)	N/A	N/A
Fences, Walls, Hedges 10-1-603(A) & 10-1-603(H)	<ul style="list-style-type: none"> <li>4 ft. max. within front yard.</li> <li>Within street-side yard, 6 ft. to rear of house &amp; 8 ft. to rear of lot.</li> <li>Outside of front &amp; street-side yards, 8 ft. max. (or 12 ft. for hedges only).</li> <li>Corner cut-off provisions apply; see Section 10-1-1303.</li> <li>Retaining walls: 4 ft. max.; 30in. within front yard</li> </ul>	26 in retaining wall in the front yard for proposed stairway	Yes
Off-street parking : 10-1-603(A) & 10-1-603(I) & 10-1-606(G)	<ul style="list-style-type: none"> <li>2 spaces for GFA of 3,400 sq. ft. or less</li> <li>3 spaces for GFA &gt; 3,400 sq. ft</li> <li>Design standards – see 10-1-603(I).</li> </ul>	Project proposes 3 spaces within an attached 3-car garage in the front of the house. Once space will be in the front of the house, on the driveway.	Yes
Driveways & curb cuts 10-1-1602 & 1603	<ul style="list-style-type: none"> <li>Every driveway shall be at least 10 ft. wide, and max approved by the director.</li> <li>In residential zones, each lot is limited to one curb cut for each 100 ft. of street frontage along any one street except that lots with less than 100 ft. of street frontage may provide one curb cut.</li> <li>Not nearer than 30 ft. to the curb lines of an intersecting street.</li> <li>Curb cuts on the same lot shall be separated by at least 20 ft. of uncut curb.</li> <li>The slope of a driveway or driveway ramp shall not exceed a grade of 20 percent</li> </ul>	Only one curb cut is proposed on the property, and the driveway is 15 ft.	Yes
Parking space sizes & design: 10-1-603(H), 10-1-1401	<ul style="list-style-type: none"> <li>Garage or carport: 9'6" by 19'0" for each space</li> </ul>	Each space provides the minimum 9'6" by 19'0" within the garage.	Yes
Landscaping in required front yard & street-side yard. 10-1-603(G)(5)	<ul style="list-style-type: none"> <li>Max. 45% may be hardscaped.</li> <li>Allowed hardscaping is limited to a driveway leading directly</li> </ul>	53% of the front yard area is proposed for landscaping. Hardscaping	Yes

DEVELOPMENT STANDARDS	REQUIREMENT	PROPOSED	COMPLIES?
	<p>from a public street or alley to a garage or other required parking area, pedestrian paths, and encroachments permitted in Table 10-1-603(G).</p> <ul style="list-style-type: none"> <li>No hardscaping is permitted next to a driveway so as to provide a continuous hardscaped surface greater than the allowed driveway width unless the hardscaping is providing direct pedestrian access to the main dwelling.</li> <li>All areas within the required front yard and street-facing side yard setback that are not hardscaped must be landscaped.</li> </ul>	is limited to the driveway and pedestrian stairway from the right-of way.	
<p>Accessory Structures 10-1-604</p>	<ul style="list-style-type: none"> <li>Min. 6 ft. from any other structure.</li> <li>Min. 4 ft. for eave separation.</li> <li>Maximum 1,000 sq. ft. for all structures</li> <li>Covenant required for plumbing work.</li> </ul> <p>Setback planes: see 10-1-603(G)(4).</p>	N/A	N/A
<p>Hillside standards</p>			
<p>Setbacks from Ridgelines 10-1-606(D)</p>	<p>No structure shall be located within 100 feet, measured vertically, of the centerline of a major ridge, or within 50 feet, measured vertically, of the centerline of a minor ridge, as delineated in Diagrams <a href="#">10-1-606(D)(1)</a> and (2).</p>	N/A – project is more than 100 feet from major ridgeline.	N/A
<p>Fences, Walls, Hedges and Screening in the Hillside Area 10-1-606(F)</p>	<ul style="list-style-type: none"> <li>Only two (2) retaining walls are allowed in the front yard setback area</li> </ul>	Only 2 retaining walls are proposed in the front for the stairway leading from the curb to the front entry of the home	Yes
<p>Parking 10-1-606(G)</p>	<ul style="list-style-type: none"> <li>Min. (4) off-street parking spaces must be provided.</li> <li>2 spaces must be located within garage or carport for GFA of 3,400 sq. ft. or less</li> <li>3 spaces within garage or carport for GFA &gt; 3,400 sq. ft</li> <li>Other required spaces may be located within a driveway, so</li> </ul>	Project proposes 3 spaces within an attached 3-car garage in the front of the house. Once space will be in the front of the house, on the driveway.	Yes

DEVELOPMENT STANDARDS	REQUIREMENT	PROPOSED	COMPLIES?
	long as the slope of the driveway area used for parking does not exceed five percent		

\* A patio or deck is considered to be at ground level so long as no part of the deck or patio surface is no more than 4 inches above the lowest adjacent grade. More than 4 inches is considered above ground.

## ATTACHMENT D

### Findings for Granting a Hillside Development Permit Approval

The Community Development Director must find that the proposed project satisfies the requisite findings contained in the Burbank Municipal Code (BMC) Section 10-1-607(D) necessary for approval of a Hillside Development Permit, subject to the Conditions of Approval in Attachment F.

**10-1-607(D)(3)(a) The vehicle and pedestrian access to the house and other structures do not detrimentally impact traffic circulation and safety or pedestrian circulation and safety and are compatible with existing traffic circulation patterns in the surrounding neighborhood. This includes, but is not limited to: driveways and private roadways, access to public streets, safety features such as guardrails and other barriers, garages and other parking areas, and sidewalks and pedestrian paths.**

The project site is currently developed with a 19'-8" wide driveway located towards the front. The proposed project would reduce the driveway width to 15'-0" and provide a separate pedestrian pathway located towards the front of the lot. Vehicle access would be provided via Haven Way and is consistent with existing traffic circulation patterns in the surrounding residential neighborhood. Staff has determined the project complies with applicable City standards and related to driveway design, parking, hardscaping, and landscaping. Based on the proposed design and site layout, vehicle and pedestrian access would not detrimentally impact traffic circulation or pedestrian safety and would be compatible with existing circulation patterns in the surrounding neighborhood. Therefore, this finding can be made.

**10-1-607(D)(3)(b) The house and other structures are reasonably consistent with the natural topography of the surrounding hillside.**

The project site is located within a hillside area characterized by a slight downward slope toward the rear of the property. The house is proposed on the existing building pad, and the scale, height, and placement of the structures follow the natural slope and are compatible with surrounding hillside development. Grading would be limited to providing the pedestrian pathway in the front yard, and the proposed pool in the rear. Accordingly, the house and other structures are reasonably consistent with the natural topography of the surrounding hillside, therefore this finding can be made.

**10-1-607(D)(3)(c) The house and other structures are designed to reasonably incorporate or avoid altering natural topographic features.**

The project involves limited grading and filling to accommodate the construction of the single-family residence. The grading and site design will have minimal landform modification and avoid unnecessary disturbance of existing topography. Accordingly, the house and other structures are reasonably designed to incorporate or avoid altering natural topographic features, and this finding can be made.

**10-1-607(D)(3)(d) The house and other structures will not unnecessarily or unreasonably encroach upon the scenic views from neighboring properties, including both downslope and upslope views.**

The proposed single-family residence is designed to minimize potential impacts to upslope and downslope views from neighboring properties. The project's height, massing, and placement were evaluated using story poles, and adjacent property owners were notified and given an opportunity to provide comments during a View Analysis. Based on this analysis, any changes to existing views would be minor and consistent with the development pattern in the surrounding neighborhood. Therefore, the house and other structures would not unnecessarily or unreasonably encroach upon scenic views from neighboring properties, and this finding can be made.

***10-1-607(D)(3)(e) For the purpose of evaluating required finding (d) above, a view study must be submitted with all Hillside Development Permit applications documenting the impacts of the proposed structure(s) on views from adjacent properties. The view study must be prepared in a manner approved by the Director or their designee and contain all information and documentation deemed necessary by the Director for the purpose of analyzing view impacts and establishing setback lines for view determination pursuant to Section 10-1-606(E). This study is separate from the Ridgeline setback analysis required by Section 10-1-606(D).***

The applicant installed story poles to illustrate the massing of the proposed single-family residence which were certified for accuracy by a licensed surveyor. Staff reviewed the plans and visual aids, conducted a site visit on December 18, 2026, and documented potential view impacts from surrounding properties. Based on this review, a view study was prepared (Attachment E) to evaluate view impacts and that the Project satisfies the requirements of Section 10-1-606(E). Adjacent property owners were also notified and given an opportunity to provide feedback. Staff received comments and objections to the project from the following properties: (A) 3015 Haven Way, (B) 3021 Haven Way, and (C) 3008 Haven Way. One comment from the property owner at 3008 Haven Way raised concerns regarding potential privacy impacts in the rear yard. In response, the project plans were revised to incorporate an extended planter along the second-story balcony to provide additional screening on the East side of the property. Additionally, the window facing the East side property line was modified to a clerestory window to further reduce potential privacy impacts. The comments provided from the properties at 3015 and 3021 Haven Way pertain to potential view impacts. Based on staff's review and analysis of the submitted plans, and site visits conducted, staff concluded that while some change in views may occur, the impacts are limited in scope and do not rise to a level considered unreasonable given the project's scale, siting, and compliance with applicable development standards. No additional changes to the plans were proposed in response to these comments. Therefore, this finding can be made.

***10-1-607(D)(3)(f) The view impacts of the proposed project must be considered by the Director, or Planning Commission if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required findings.***

Based on staff's review and analysis of the information provided, including the story poles, photographs, site plan, elevation drawings, topographic contours, and the site visit conducted on December 18, 2025, staff concludes that the proposed project does not create unreasonable impacts to primary or secondary views of properties in the surrounding neighborhood. See Attachment E for a complete analysis of the potential view impacts.

**ATTACHMENT E**  
**View Study**

**ATTACHMENT E: VIEW STUDY FOR HILLSIDE DEVELOPMENT PROJECT NO. 24-0004476  
LOCATED AT 3000 HAVEN WAY, BURBANK, CA 91504**

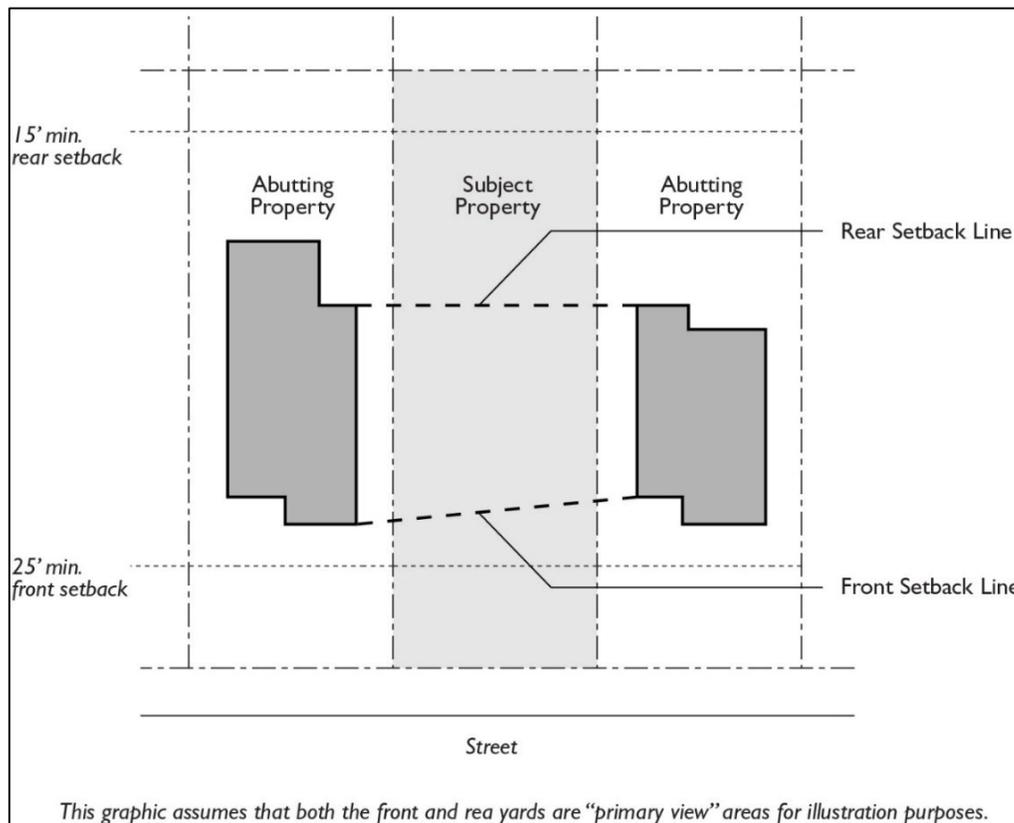
**Purpose:**

Per Burbank Municipal Code Section 10-1-607(D)(3)(f), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. A project is considered to have a view impact if it unnecessarily or unreasonably encroaches upon the scenic views from the neighboring properties. A complete or nearly complete obstruction of a primary or secondary view is regarded as a significant view impact. In addition, pursuant to Section 10-1-607(D)(3)(f), these view impacts must be considered as a basis for making a decision. The view impacts of the proposed project must be considered by the Director, or Planning Commission if appealed, and may be used as a basis for requiring modifications to a project or denying a Hillside Development Permit due to inability to make the required findings.

**Intent:**

To determine the primary and secondary view of a subject property, staff first identifies the front and rear yard setback lines. According to BMC Section 10-1-606(E)(1), when the primary view is from the front yard, rear yard, or both, a setback line is established in the yard(s) with the primary view. This line is drawn from the nearest front or rear corner of existing homes on adjacent lots, as illustrated in Diagram 10-1-606(E) below.

**Figure 1: Front and Rear Setbacks for View Determination in the Hillside Area**



Once staff establishes the setback lines and identifies the primary view, the project is evaluated to ensure it does not unnecessarily or unreasonably encroach upon scenic views from neighboring properties.

**Methodology:**

On November 17, 2025, the applicant installed story-poles to demonstrate the shape of the proposed development. On December 10, 2025, staff sent letters to the immediate neighbors to request feedback regarding any potential view concerns. As a part of the view study, a site visit was conducted on the property on December 18, 2025, to analyze the view impact of the proposed 3,529 square-foot two-story single-family dwelling with an attached three-car garage located at 3000 Haven Way.

Staff received comments and objections to the project from the following properties: (A) 3015 Haven Way, (B) 3021 Haven Way, and (C) 3008 Haven Way, as depicted in Figure 2. There were no further comments received from surrounding property owners.

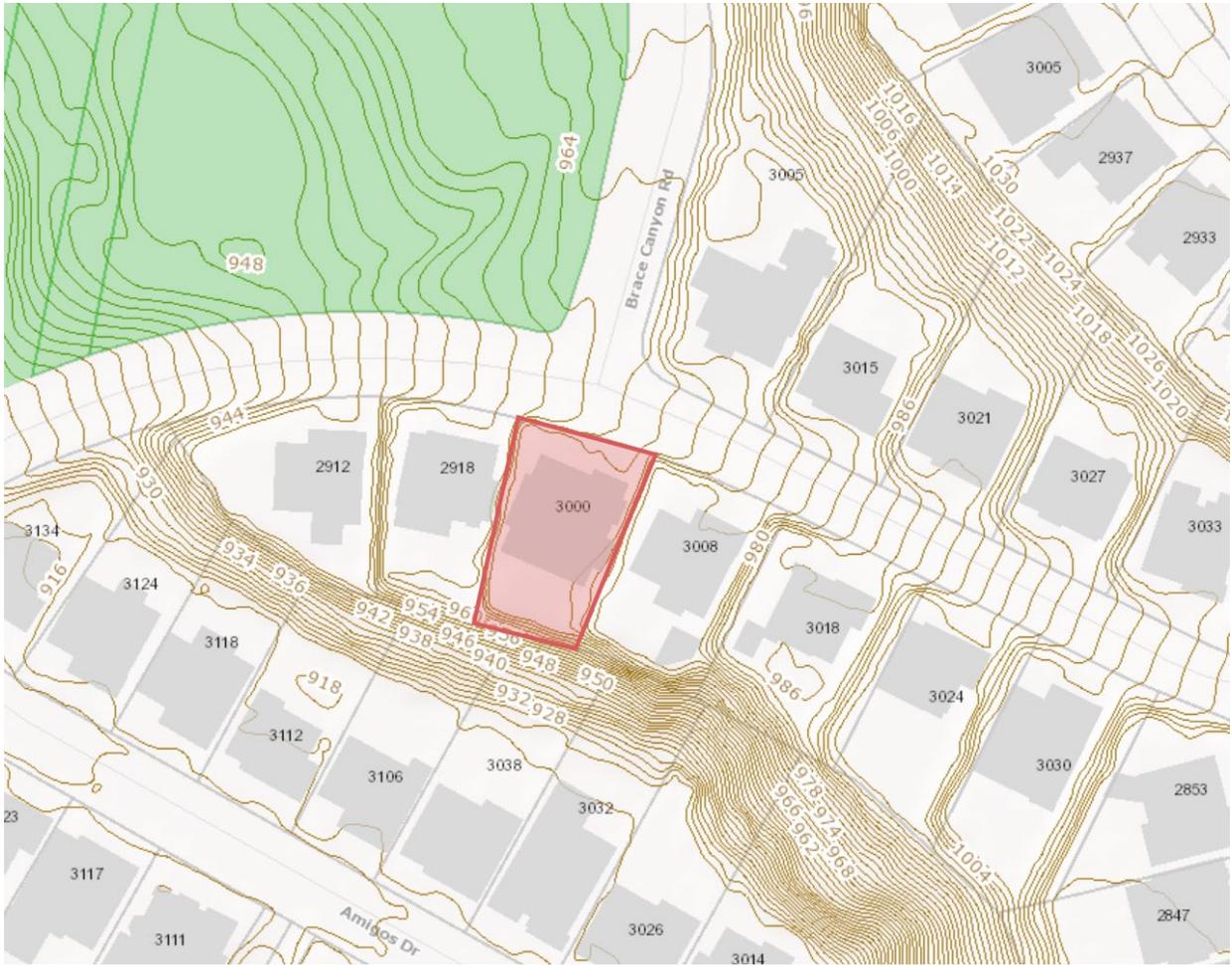
**Figure 2: Aerial photo of subject property (shown in red) with respect to the neighboring properties notified as part of the City’s Story Pole and View Assessment (shown in blue).**



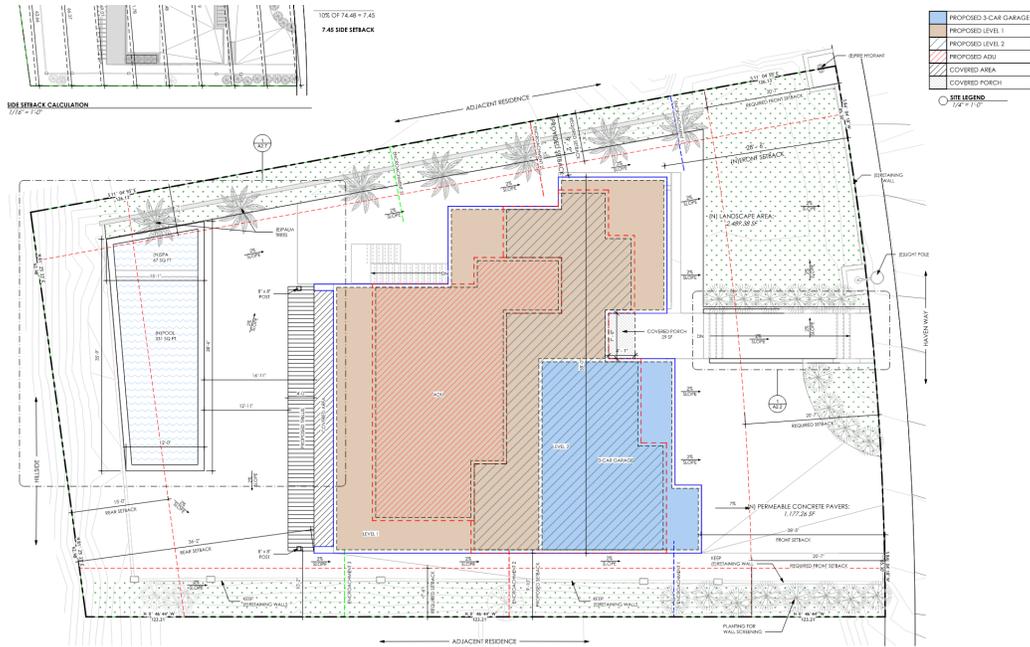
**Analysis:**

Photos of the property were captured from various angles to assess the potential impact of the development on the views from the neighboring properties. Staff analyzed the topographic map and photos taken from various angles to assess the potential impact of the development on the views from the neighboring properties. The exhibits used in the study can be found below:

**Figure 3: Topographic map of the subject property and vicinity**

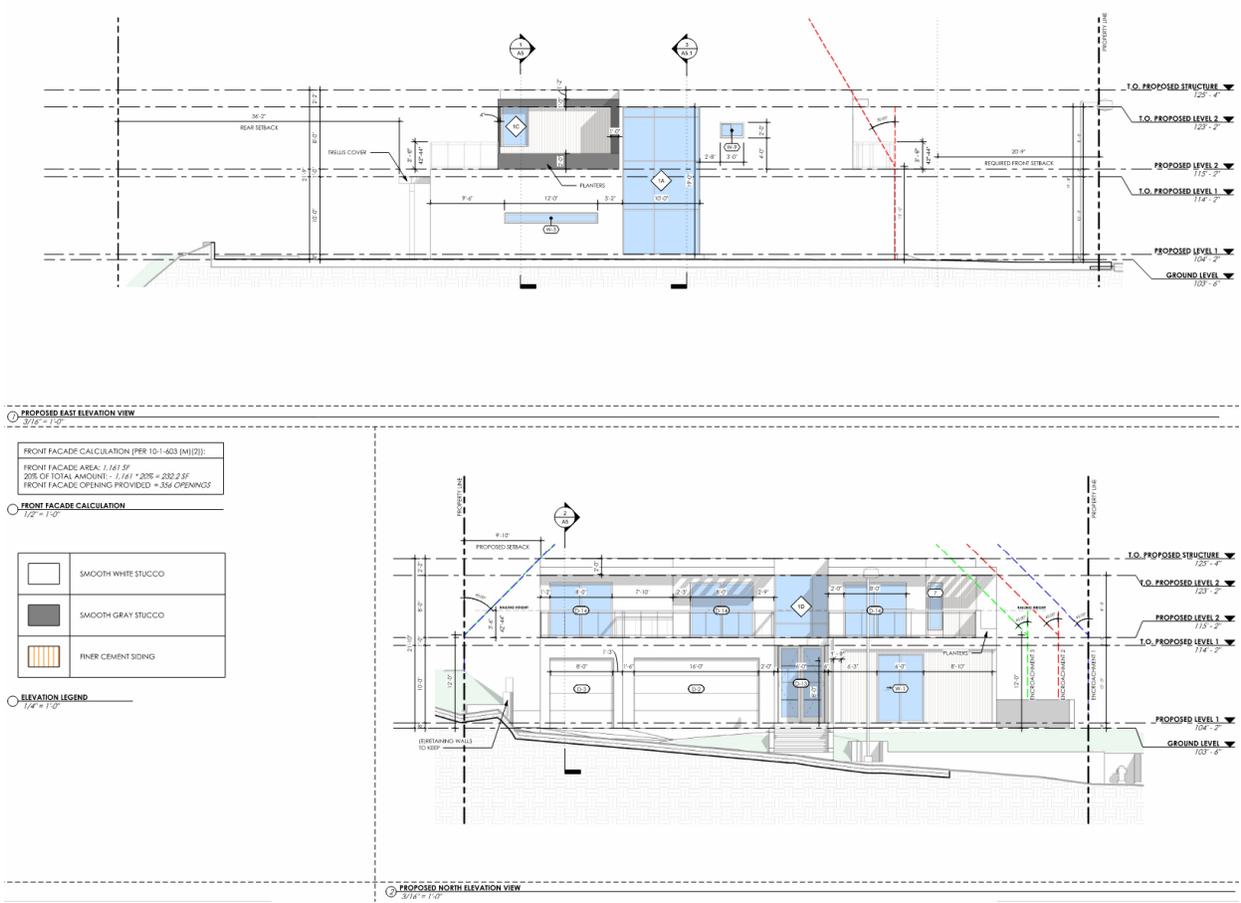


**Figure 4: Site plan of the proposed two-story single-family residence**

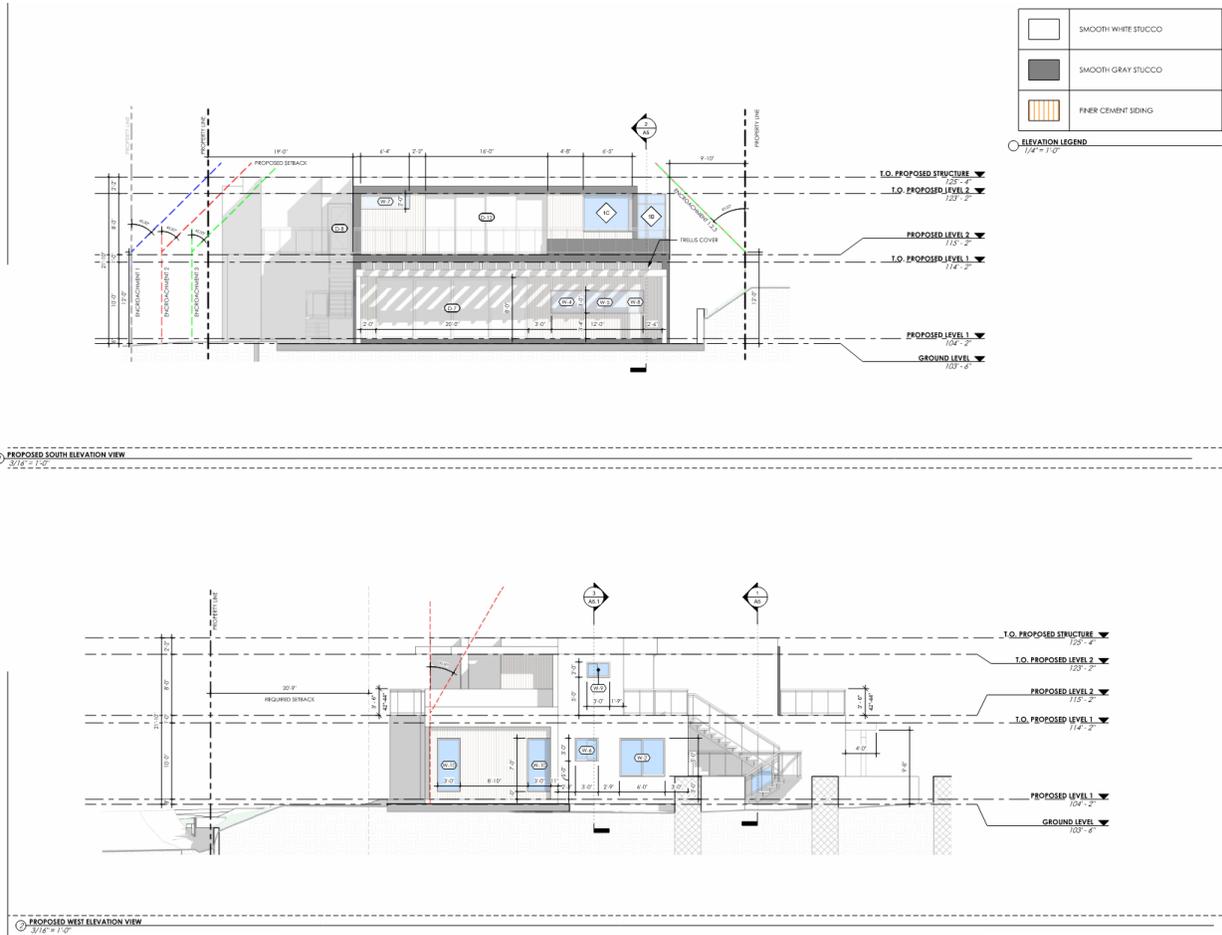


**ATTACHMENT E**

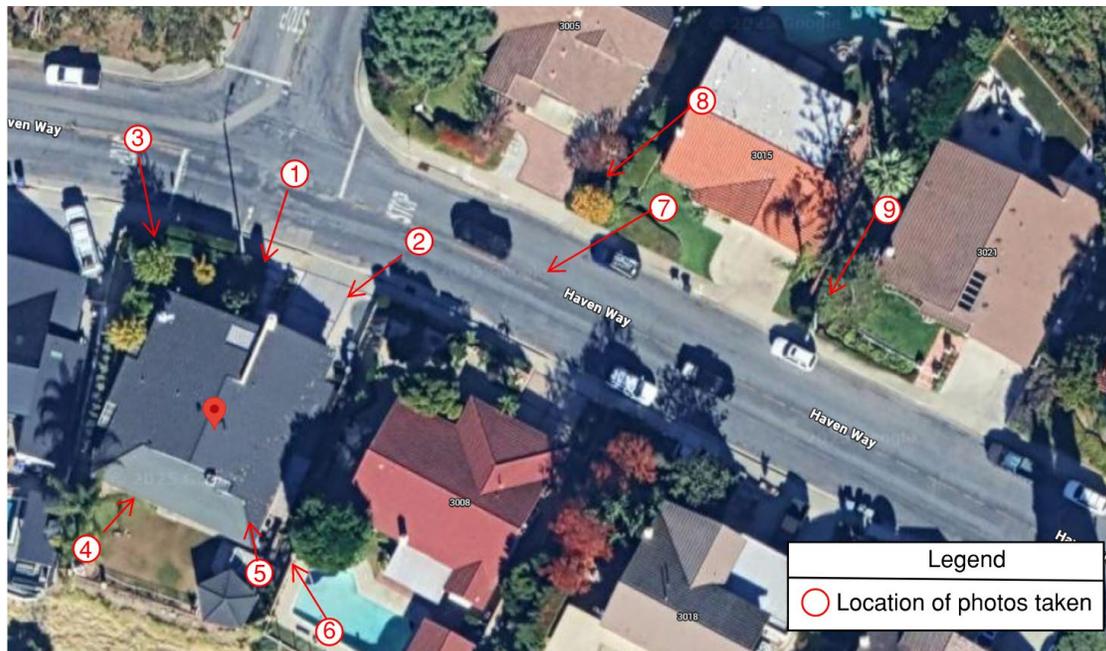
**Figure 5a: Proposed elevation east and north elevations**



**Figure 5b: Proposed west and south elevations**



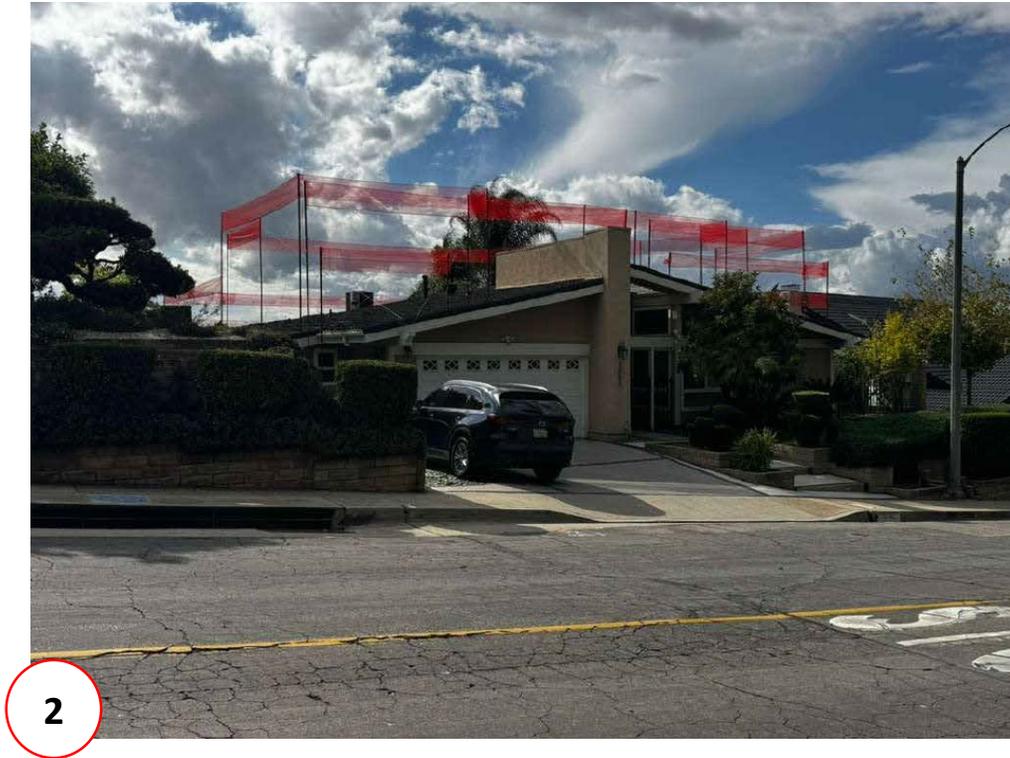
**Figure 6: Photo Key – Photos of installed story poles taken from different locations**



**Figure 6: Front façade**



**Figure 7: Front façade Northeast view**



**ATTACHMENT E**

**Figure 8: Front façade Northwest view**



3

**Figure 9: Rear façade Southwest view**



4

**ATTACHMENT E**

**Figure 10: Rear façade Southeast view**



5

**Figure 11: Rear façade View from Neighbor's Backyard (3008 Haven Way)**



6

**ATTACHMENT E**

**Figure 12: Front façade View from Neighbor's lawn (3015 Haven Way)**



7

**Figure 13: Front façade View from Neighbor's 2<sup>nd</sup> floor window (3015 Haven Way)**



8

**ATTACHMENT E**

**Figure 14: Front façade View from Neighbor’s side-yard (3021 Haven Way)**



9

**Conclusion:**

Based on staff’s review and analysis of the submitted site plan, architectural drawings, topographic information, site photographs and the site visit conducted on December 18 2025, staff concludes that while some change in views may occur, the impacts are limited in scope and do not rise to a level considered unreasonable given the project’s scale, siting, and compliance with applicable development standards. The proposed project will not result in any unreasonable obstruction of primary or secondary views for the properties within the surrounding neighborhood.

As shown in Figure 5a and 5b, the maximum proposed building height is 21’-0” , measured from the lowest point of the sites natural grade. The property features a flat topography with sloping in the rear, as indicated in Figure 3, and the design of the dwelling follows the natural contours of the lot. This approach helps ensure the structure remains visually unobtrusive to adjacent properties.

The project provides an average front yard setback of 28’-6” , which meets the zoning code standards. Additionally, the second story conforms to the front yard setback requirements by keeping the upper story entirely below the 60-degree daylight plane (measured from the intersection of the side property line and existing grade at a point 12 feet above finished grade). The first floor of the project adheres to the development standards by providing more than the minimum 7’-6” side yard setback requirement for both the western and eastern sides of the property. The second story further adheres to the development standards by providing the structure within the 45-degree inclined daylight plane (extending from the intersection of the side property line and the existing grade at a point 12 feet above finished grade), in compliance with second story setback requirements. As evident from the overall massing of the 3,529 square-foot two-story single-family residence with an attached three-car garage will have minimal impact on the views from the surrounding properties. The project complies with all applicable zoning requirements, including setbacks and height limitations.

Additionally, to enhance privacy and reduce visual impacts, the project includes screening in form of trees and shrubs along the along the length of the proposed structure on the western and eastern sides, in the existing side-yard planters. Given that the proposed project meets all required setback and height regulations and includes adequate screening along the side property lines, it is not anticipated to create any adverse visual impacts for neighboring properties to the west and east.

Furthermore, the photos provided in Figures 6 through 14 show the existing site conditions and the relationship between the subject property and adjacent properties. These photos show that the proposed residence is consistent with the placement, scale, and massing of neighboring homes, contributing to a cohesive visual presence, massing, and height pattern along the block. As shown in Figure 2, both the proposed project and surrounding properties are designed to follow the natural contours of the hillside. This continuity in bulk, mass, and topographic response ensures the development integrates appropriately with the established character of the area.

## **ATTACHMENT E**

## **ATTACHMENT F**

### **Conditions of Approval**

#### **Planning Division**

1. Project No. 24-0004476 approves a Hillside Development Permit to demolish an existing one-story 1,870-square-foot single family dwelling and construct a 3,529-square-foot two-story single-family dwelling with an attached three-car garage located at 3000 Haven Way in the R-1, Hillside, Single Family Residential zone. Additionally, the approval also includes additional grading within the front yard to accommodate a proposed stairway from the street; grading in the side yard to level the existing garden bed; and grading in the rear to level out the backyard and for a proposed pool. Unless otherwise approved by the Community Development Director or his/her designee, the Site Plan, Floor Plan, and operational plan shall be substantial conformance with the conceptual plans approved on March 10, 2026 (Attachment A). The Community Development Director or their designee may determine what minor modifications to the approved plans may be considered to be in substantial conformance.
2. Unless otherwise modified by this entitlement or preempted by state or federal law, the Project shall comply with the R1 Zone property development and design standards. Compliance with these standards will be verified at the time of building permit submittal.
3. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (expires on March 10, 2027), or the final decision following an appeal, unless the Property Owner or Permittee has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. Any period of time during which the project is subject to a legal challenge shall not count towards the expiration date. Prior to the noted expiration date, the Property Owner or Permittee can request the Community Development Director's approval of a one-time extension of the permit for a period not to exceed one-year from the date of expiration.
4. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Permittee, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside, void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the Permittee fails or refuses to enter into the indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.

5. This permit or approval may be modified or revoked by the City should it be determined that the proposed use as permitted by this approval or conditions under which they were permitted are detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the use is maintained so as to constitute a public nuisance.
6. The Permittee shall comply with all federal, state, and local laws. Violations or convictions of any of those laws in connection with the use will be cause for revocation of this permit.
7. The Permittee/Developer shall incorporate a copy of these Conditions of Approval in all construction plans submitted to the Building and Safety Division for a building permit. The Permittee/Developer shall also provide a separate written document outlining how, or where, each of the Conditions have been addressed in the building permit plan set for all City Division/Department Conditions enclosed.
8. The plans submitted for building plan check shall clearly call out all exterior building materials and colors on the elevations, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with smooth finish, plaster with smooth finish) to be used in construction.
9. Permittee shall provide a photometric plan during plan check showing compliance with the following requirements: Lighting shall be provided in all common areas including but not limited to parking garages, outdoor parking areas, common open space areas, pedestrian paths, stairways, and hallways, and shall be identified on the site plan and elevations submitted with the building permit application. The product specifications for all lighting fixtures shall be included in the plans submitted for building plan check. Outdoor lighting fixtures must be positioned and directed so as not to shine or cause glare onto adjacent properties of public rights-of-way, and a note shall be included on the plan set confirming such.
10. All required fees shall be paid as required by the Burbank Municipal Code prior to the issuance of any building permits for the project.
11. The Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Street & Solid Waste Division (Public Works Department), or Developer shall arrange for self-hauling to an authorized facility.
12. The Permittee shall comply with all Department/Division comments and Code requirements and shall be verified by the responsible Department and/or the Building Official or their designee, prior to the issuance of any Certificate of Occupancy.
13. The Permittee shall keep a copy of the Conditions onsite at all times available for public review. In addition, the Permittee shall display the current phone and email contact information of the Planning Division and Code Enforcement on a laminated weather-proof (or similar) sign, in a location of the Project Site that is clearly visible from the public right-of-way. The sign shall also state that the Conditions of Approval may be obtained from the City of Burbank Planning Division. The sign shall be installed prior to the issuance of a Certificate of Occupancy and remain in good repair for the life of the Project.
14. Prior to transfer of ownership and/or operation of the Project Site, the Permittee or Property

Owner shall provide a written copy of Approval Letter and all attachments for the project to the new property owner and operator.

### **Transportation Division**

15. The Project shall reconstruct the driveway such that it includes a clear path of travel for pedestrians with a level cross slope in compliance with the Public Right-of-Way Accessibility Guidelines (PROWAG).
16. The Project shall provide an offer to dedicate any right-of-way required to provide a total 12-foot right of way from curb to property line. Future site plans shall indicate the required offer to dedicate, the existing sidewalk dimensions, and the required driveway modification.

### **Building and Safety Division**

17. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the 2022 edition of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.

*The 2022 California Building Standards Code is applicable to projects that submit a building permit application on or before December 31, 2025. The 2025 California Building Standards Code is applicable to projects that submit a building permit application on or after January 1, 2026.*

18. Plans and reports submitted for Plan Check Review are to be submitted electronically. For more information about the online submittal process, please contact the Building Division at 818-238-5220 or via email at [eplancheck@burbankca.gov](mailto:eplancheck@burbankca.gov).
19. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
20. Prior to issuance of a building permit, all City Departments that have issued conditions of approval shall review and provide final approval of the construction drawings through the City's online electronic review process.
21. Separate Permits will be required for the following: (BMC 9-1-1-105)
  - a. Demolition
  - b. Grading & Shoring
  - c. Architectural & Structural
  - d. Pool, Spa, & Equipment
  - e. Accessory Dwelling Unit
  - f. Mechanical
  - g. Plumbing
  - h. Electrical
22. The project site is located within the City of Burbank Mountain Fire Zone, and all construction shall comply with Burbank Municipal Code Section 9-1-1-701A.1.1.

23. A civil plan shall be submitted showing proposed changes to site grading required to accommodate the garage and driveway. The plan shall include existing and proposed topographical contour lines.
24. Grading and drainage plans shall be submitted, as required by the Building Division. Where applicable, a separate Grading and Shoring Permit shall be obtained, and a geotechnical report shall be submitted with the Grading and Shoring Permit application, pursuant to BMC Section 9-3-403.
25. Floor Area Ratio shall be justified and demonstrated for compliance with Burbank Municipal Code Section 10-1-601 (Article 6, Residential Uses and Standards).
26. The foundation design shall comply with California Building Code Section 1808.7 for foundations on or adjacent to slopes. A soils report shall be submitted for review and approval.
27. Prior to the first foundation inspection, a stamped setback certification prepared by a California-licensed land surveyor shall be submitted to certify the location of the new construction relative to required setbacks, pursuant to BMC Section 9-1-1-107.
28. The project shall comply with the Model Water Efficient Landscape Ordinance (MWELo), pursuant to BMC Section 9-3-500
  - a. Full structure demolition and new construction projects shall submit a complete MWELo plan check submittal for review and approval.
  - b. Residential and non-residential projects involving new landscape areas of 500 square feet or more, or replacement landscape areas between 500 and 2,500 square feet, shall demonstrate compliance through either the Prescriptive or Performance compliance method, as applicable. Full house demolition projects shall be subject to MWELo review with no exceptions.
29. A CF1R energy report will be required, and design team is required to review and coordinate all values with those shown on Plans, Elevations, Sections, and Window Schedules.
30. Structural design for the project shall address Near-Fault Zone considerations, as the project site is located within 2 to 5 kilometers of the Verdugo and Hollywood Faults, consistent with applicable State and local building code requirements.
31. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit. (BMC 9-3-414)
32. The project shall comply with the City's Construction and Demolition Debris Diversion Ordinance by recycling and diverting a minimum of 65 percent of construction and demolition debris. A refundable deposit and non-refundable administrative fee shall be paid prior to permit issuance, pursuant to BMC Section 9-1-11-1012.

33. Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC: **(BMC 9-1-2R-R301.1.3.2)**
- a. Wood-framed, single-family dwellings not more than two stories in height;
  - b. Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
  - c. Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
  - d. Non-structural or non-seismic storefronts, interior alterations or additions.
34. A Building Permit may be issued to the Property Owner provided that the work is limited to the following:
- a. A single-family dwelling of wood frame construction not more than two stories and a basement in height.
  - b. Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
  - c. Nonstructural or non-seismic alterations or additions.
35. Construction activities shall be limited to the approved hours of construction, pursuant to BMC Section 9-1-1-105.10

Monday – Friday	7:00 am to 7:00 pm
Saturday	8:00 am to 5:00 pm

No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.

### **Public Works Engineering Division**

36. Permittee shall protect in place all surveys protect in place all survey monuments (City, County, State, Federal, and private). Pursuant to California Business and Professions Code Section 8771, when monuments exist that may be affected by the work, the monuments shall be located referenced by or under the direction of a licensed land surveyor or licensed civil engineer legally authorized to practice to practice land surveying, prior to construction, and a corner record or record of survey of the references shall be filed with county surveyor. A permanent monument shall be reset, or a witness monument or monuments set to perpetuate the location if any monument that could be affected, and a corner record or record of survey shall be filled with the county surveyor prior to the recording of a certificate of completion for the project.
37. Permittee shall show width and location of all existing and proposed easements [BMC 9-

- 1-1-3203], including 6' public utility easement fronting the property along Haven Way [BMC 9-1-2-3203]. Plans shall show all easements.
38. Plans should include easements, elevations, right-of-way/property lines, dedication, location of existing/proposed utilities and any encroachments.
  39. No building appurtenances for utility or fire service connections shall encroach or project into public right-of-way (i.e. streets and alleys). Locations of these appurtenances shall be shown on the building site plan and the off-site improvement plans [BMC 7-3-701.1].\
  40. Plans should include topographic site information, including elevations, right-of-way/property lines, dimensions/location of existing/proposed public improvements adjacent to project (i.e., street, sidewalk, parkway, and driveway widths, catch basins, pedestrian ramps).
  41. No permanent structure is permitted in any public right-of-way or any public utility easements/pole line easements [BMC 7-3-701.1, BMC 9-1-1-3203].
  42. Any work within the public right-of-way must be permitted and approved by the Public Works Department before construction can commence. All construction work in the public right-of-way must comply with Burbank Standard Plans and must be constructed to the satisfaction of the City Engineer. A Public Works EXCAVATION PERMIT is required. The excavation permit requires a deposit acceptable to the Public Works Director to guarantee timely construction of all offsite improvements. Burbank Standard Plans can be accessed at: <https://www.burbankca.gov/web/public-works/permits-online-counter>

#### **Public Works Water Reclamation and Sewer**

43. The location, depth, and dimensions of all sanitary sewer lines and easements must be shown on the plans.

#### **Public Works Wastewater Requirements**

44. Under the current rate structure, pulling the Building Permit for the proposed development is subject to a Sewer Facilities charge. The charge is due prior to issuance of a Building Permit [BMC 8-1-802 and BMC 8-1-806].

Note: It is the responsibility of the developer to show proof of the existing sewer usage or existing developments so that the proper credit can be given.

45. Every building or structure in which plumbing fixtures are installed which conveys sewage must be connected to the municipal wastewater system [BMC 8-1-104].
46. No person shall connect to or tap an existing public sewer without obtaining a permit [BMC 8-1-301].
47. Pollutants, including construction debris, soil, and other discharges, are prohibited from entering the City's sewer collection system [BMC 8-1-501.1]. Discharges that exceed the local limits per BMC 8-1-501.4 are prohibited. In addition, the permittee shall not obstruct or damage any part of the City sewer system, and shall reimburse the City for sanitary sewer overflows and the reasonable costs of necessary

maintenance and/ or repair the sewer system [BMC 8-1-311]. As such, it is required that all existing private sewer laterals and/ or fixtures are capped prior to any demolition activities.

48. A backwater valve is required on every private sewer lateral(s) connected to a private building (s), unless it can be shown that all fixtures contained therein have flood level rim elevations above the elevation of the next upstream maintenance hole cover of the public sewer serving the property, or a conditional waiver is granted by the Director [BMC 8-1-313]. Please note that Public Works' Wastewater Division will not sign off on the Certificate of Occupancy until the owner/ developer provides proof that the backwater valve(s) has been installed.

### **Public Works Stormwater Requirements**

49. A Pool Discharge Permit is required each time a single-family residential pool is emptied [BMC 8-1-1004.B(3)]. The permit may be obtained at the Public Works Permits counter and is subject to a fee per the currently adopted Citywide Fee Schedule and the enclosed pool discharge brochure. If the proposed pool/ spa contains salt water, please note that salt water pool/ spa discharges are currently conditionally allowed to discharge into the storm drain system, subject to meeting (and not exceeding) the following water quality objectives, in addition to other BMP requirements: TDS = 950 mg/l, Sulfate 300 mg/l, Chloride = 190 mg/l. This conditional allowance and the limits may be changes by the Regional Water Quality Control Board in the future. The City strongly discourages the use of saltwater pools.
50. Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a Certificate of Occupancy [BMC 9-3-407]
51. Certain construction and re-construction activities on private property will need to comply with post-construction Best Management Practices (BMPs), which include Sections 8-1-1007 and 9-3-414.D of the BMC authorizing the City to require projects to comply with the Standard Urban Stormwater Mitigation Plan provisions and the City's Low Impact Development (LID) ordinance. For questions on these requirements, please contact the City's Building Division at (818) 238-5220.

### **Public Works Traffic Engineering**

52. Driveway path to garage must be constructed per BMC 10-1-603.1.
53. Driveways shall be no less than 10 feet wide [BMC 10-1-1603].
54. The maximum driveway width at a curb shall be no more than 25 percent of the lot width. Driveway width shall not exceed 15 feet [BMC 10-1-603(G)(5)(b)].
55. A space no less than 9.5' wide and 19' deep shall be provide for each vehicle parking space inside a carport or garage [BMC 10-1-603(1)(2)].
56. No visual obstruction shall be erected or maintained in the 5' by 5' visibility cut-off above

3' high or below 1 0' high at the intersection of street and driveway. Such requirement applies to all driveways [BMC 10-1 -1303 (C)].

### **Burbank Water and Power Water Division**

57. Permittee shall adhere to all BWP Rules and Regulations and pursuant to the corresponding sections, shall include the following in the Building Permit submittal:
  - a. **§ 4.10 (a)**: Calculations of the total domestic potable water demand of the proposed development.
  - b. **§ 4.30 (a)**: The Utility Plan shall include the location of existing 1" water service located at Haven Way.
  - c. **§ 4.30 (a)**: Landscape and Irrigation Plans including total water demand.
  - d. **§ 4.30 (a)**: Plumbing Plans indicating the size of the building supply line.
  - e. Submit a completed fixture count form
58. Each parcel shall require its own domestic water service connection, accessible to BWP's public water main. No service connection shall be allowed to supply water to any parcel of land other than for which the service connection is assigned. **§ 1.10 (a)**
59. Sizing of the domestic water meter shall be adequate to provide the require flow, as determined by a licensed plumber, architect or engineer, calculated from the number of fixture units for the proposed development, pursuant to Title 24, Part 5 of the California Plumbing Code (CPC), California Code of Regulations (CCR). **§ 4.30 (b)**
60. The static pressure at the site exceeds 80 pounds per square inch (psi). A pressure regulator shall be installed as required by the Building Division, and in accordance with the California Plumbing Code (CPC). **§ 4.30 (k)**
61. Temporary potable water may be supplied from the 1" existing service located on Haven Way. The existing meter and box must always be protected in place. The Permittee shall pay all applicable fees prior to use of water service. **§ 4.36 (a)**
62. Water may be supplied temporarily from a hydrant. Contact Water Engineering concerning fees, required permit, and fittings. **§ 4.36 (b)**
63. Permittee may use the existing water meter for construction purposes. Permittee shall pay the applicable fees for water usage. **§ 4.36 (c)**
64. A copy of this Development Review Memorandum shall be shown on the Permittee's plan submittal.
65. The Permittee shall meet with utility representatives from Burbank Water and Power (Water and Electric), and Public Works Department (Sewer) to discuss utility requirements in detail.
66. The Customer shall be responsible for connecting the water service at the property line,

or where BWP's meter outlet begins. The cost of installation shall be the Customer's responsibility. **§ 4.30 (c)**

67. The existing 1" service line and meter may need to be upgraded based on the total domestic, irrigation and fire sprinkler water demand. If it is determined that the existing 1" service must be upgraded to meet the new total water demand, the customer shall pay for such upgrade.

### **Burbank Water and Power Electric Division**

68. Prior to plan check, the Permittee shall contact Burbank Water and Power (BWP) Electric Engineering and obtain a Confirmation of Electric Service for both temporary and permanent electrical service.
69. Prior to issuance of building permits, an electric load schedule and a secondary electric service schematic for the entire property shall be submitted for review to determine the full electrical load requirements. Upon submittal of the electrical sheets, Burbank Water and Power (BWP) will provide formal review comments. The Permittee shall schedule and attend a coordination meeting with the developer, project architect, electrical engineer, and BWP Electrical Engineering to address outstanding issues and finalize the location of electrical facilities. To schedule the meeting, contact BWP Electrical Engineering at (818) 238-3647.
70. Prior to plan approval and issuance of any permits, the Permittee shall include the Confirmation of Electric Service documentation in the submitted plan set. Any electrical service upgrade required by the project shall be subject to applicable On-Site Charges (AIC charges) and Off-Site Charges (Capacity Charges), as determined by Burbank Water and Power (BWP) based on the Permittee's final requested service characteristics. On-Site Charges shall equal 100 percent of the costs incurred by BWP to provide electrical facilities solely for the customer's use and benefit. Off-Site Charges shall be calculated based on the kVA demand of new, upgraded, or replaced metered electric panels. All charges shall comply with BWP Rules and Regulations, Section 3.26(G), and the Citywide Fee Schedule, as applicable.

### **Fire Department**

71. An approved fire sprinkler system shall be installed in the new residence and ADU prior to final inspection.
72. The project shall comply with all applicable fire and life safety codes and regulations. The Fire Department's review is based on the information provided at the time of review and does not limit or relieve the owner, the owner's architect, and/or contractor from the responsibility of ensuring full compliance with all applicable requirements. Compliance shall include, but is not limited to, provisions for fire department access for firefighting purposes, including fire department vehicle access, fire water supplies, and related appurtenances. As the project develops, additional Fire Department review may be required, and further requirements or limitations may be imposed beyond those identified during this review.

73. Hard-copy plans for the fire sprinkler system, fire alarm system, emergency vehicle access, yard hydrant, underground fire water system, and emergency radio communication system shall be submitted and delivered to the Burbank Fire Department, located at 311 E. Orange Grove Avenue, Burbank, California 91502.

#### **Parks and Recreation Department**

74. Prior to the issuance of any building permit, the Permittee shall submit landscape and irrigation plans prepared by a licensed landscape architect. The plans shall comply with the Municipal Water Efficient Landscape Ordinance (MWELO) requirements for projects with 500 square feet or more of landscaped area.
75. Park Development Fee shall be paid prior to issuance of building permits: (\$161.40 per bedroom.)
76. Prior to permit issuance, the Permittee shall submit landscape and irrigation plans prepared by a licensed landscape architect. The plans shall comply with the Municipal Water Efficient Landscape Ordinance (MWELO) for projects with more than 500 square feet of landscaped area.
77. Prior to installation of street trees, the property owner shall contact the City's Forestry Supervisor at (818) 238-5343 at least forty-eight (48) hours in advance to schedule inspection and installation coordination. Street trees shall be installed by the owner in accordance with City requirements. Failure to notify the City for inspection and coordination may result in removal and replacement of the trees at the owner's expense
78. If the total building valuation exceeds \$500,000, the project shall comply with the City's Art in Public Places Ordinance.