

October 3, 2025

JOSE ROMERO 14513 GILMORE ST VAN NUYS, CA 91411

Via email: <u>ir.drafting@yahoo.com</u>

RE: Notice of Decision - Approval

PROJECT NO. 25-0001543 Minor Exception to Setback

Located at 4206 W McFarlane Ave

Dear Mr. Romero,

This letter is to notify you that the Community Development Director has approved your application for the Minor Setback Exception (MSE) to construct a 128-square-foot addition to the rear portion of the existing 1,740 square-foot single-family residence while maintaining a 4-foot side yard setback from the northern property line at the property located at 4206 W McFarlane Ave in the R-1 (Single-family residential) zone (Attachment A), pursuant to the ability of staff to affirmatively determine the project satisfies the requisites for approval (Attachment B) upon implementation of the attached Conditions of Approval (Attachment C).

Please be advised that the decision of the Community Development Director will become final fifteen (15) days from the date of this letter unless the decision is appealed to the Planning Board within fifteen (15) days. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing fee prior to the expiration of the fifteen (15) day appeal period, or **5:00 p.m. on Saturday, October 18, 2025.** If no appeal is filed, you may submit to the Building & Safety Division for Building Plan Check review the first business day following the conclusion of the 15-day appeal period. If appealed, this decision will be set aside, and the Planning Commission will conduct a De Novo review of the application and make a decision. The Planning Commission decision is final and cannot be appealed.

If you have any questions concerning this letter, please call me at (818) 238-5250, or email me at sdurghalli@burbankca.gov.

Sincerely,

COMMUNITY DEVELOPMENT DEPARTMENT

Project No. 25-0001543 - MSE 4206 W McFarlane Ave

Sara Durghalli Assistant Planner

Enc:

Attachment A: Approved Plans

Attachment B: Minor Setback Exception Findings

Attachment C: Conditions of Approval

Cc: Andres Garcia

4206 W McFarlane Ave, Burbank CA 91505

aag@cineson.com

ATTACHMENT A

Approved Plans

4206 W. MCFARLANE AVE. BURBANK, CA. 91505

4206 W. McFarlane Ave. WATER-CONSERVING PLUMBING FIXTURES CERTIFICATE OF COMPLIANCE (For buildings built on or before Jan. 1, 1994) MULTI-FAMILY RESIDENTIAL

 conjunities may be required for mechanical, electrical, plumoring, showing, grad- and demolition.
 All construction shall comply with the 2016 edition of the CBC, CRC, CMC, CPC, and as adopted and amended by the State of California in Tale 24 CCR and this jurisdate
GENERAL NOTES:
calleded at the time of permit is useroe. The deposit can be extended if recycling execute cubmitted to Building Division within 60 days of permit that (BMC 9-1-10-1012).

SIGNAMARIE MANAGEMENT POLITIES

In Control statement on the statement of the statement of

ICEC 210 SUPCION	In street guillars a Manney St., but ST. CO.	Consider year in health on part on public of the part of the	200	Preside by digit most provide between the most CC CPC, and CEC Preside by digit most provide or subject to provide the provide by a fulfill to provide by a fulfill depth and place or the transport or the provide by a fulfill depth and place or the provide by a fulfill depth and place or the provided by provided by a fulfill by a fulfill depth and by the overland the pure fulfill by provided by the overland the pure fulfill or the provided by the complete the pure fulfill by the pure fulfill by the pure fulfill by the complete the pure fulfill by the	Addition records with the deposit resident are produced to be seen to be seen to be additional to the deposit with the deposit records and the deposit with the deposit with the deposit records and the deposit with the deposit records and the deposit records
[CIC OF INSTRUCTOR] On provincial control of the c	in de men de la fille de la fi	Transfer American Inchession to the elements of the Other American American Ext. Other provides the Landing pay will specify a Landing regional the responsibility of the Control of the	Alone a book of the first of the section of the sec	Predicted by delight mind arrivable beneated a model and an electric manufacture of the probability of control and an electric manufacture of the form and an electric manufacture of the form and an electric manufacture. (ICC DM, ICE) between the probability of the form and an electric manufacture of the form and an electric	.ECTRICAL NOTES per 2222 California Sherbeal Code Toda; (COLONG) From a dell'extensi bite all'i y desal-plade matest, such an almon disson, Productional colonia bisatronne, propulsa delle bisatrica (CALL); (CCC) se Venerale de control selecture (CALL); (CCC) selectu

n jeren mandelidi metro note erom trian 12 k. belana paurian sustana (CLC 216.52)CCS (Lonsey-Bark). 20 k. denual (CLC 216.11)CC)CU salte at bosat one GCCI soull monoplado saltata 35 k. of each books. 1.

A consideration of the control of th

All distance represents of all, and increased country drough and any in the small of the part of the small of the sm

TITLE 24 RESIDENTIAL LIGHTING STANDARD TITLE 24 RESIDENTIAL LIGHTING STANDARD TITLE 24 RESIDENTIAL LIGHTING STANDARD (Machinic power manners) instandards for energy regular energiates summarked below:	SUCCE_LAUSE. The desired was used above shall receive the plants power from the building ships. The wides of all the personned as instituted without a disconnecting match others the troop regulated for over current protection (CDE GSTLA).
'ANDARD connections for electric power st helosc	e halling viding. The widing shall be permanent an arrest posterbon (CRC RETAU).

Permanently installed it must correly with the m	4 RESIDENTIA immaries that have p andatory energy req	TITLE 24 RESIDENTIAL LIGHTING STANDARD Permanently installed burdenius that have player or hardwised connections for electric power must comply with the mandatory energy requirements summarbed below:
ROOM	% HIGH EFFICACY:	OPTIONS
KITCHEN	100%	
CABINET	ı	
BATHROOM	100%	Vacancy Sensor
GARAGE	100%	Vacancy Sensor 4
LAUNDRY ROOMS	100%	Vacancy Sensor -
UTILITY ROOMS	100%	Vacancy Sensor •
CLOSETS>70 SF	100%	Vacancy Sensor -
ALL OTHER ROOMS ,	100%	Vacancy Sensors or Dimmer
EXTERIOR:	100%	Controlled by manual on/off switch, motion sensor and one of the following: integral photo control, astronomical time dock, or EMCS

Peter Section 1 - Section 4 version 1/19.

Februar Peter Section 1 - Section 1

Sh.437 regularments are highered by all building allerations and improvements is single-smally regular produced by all building and provincements. COLUMINITERING SECURITY OF THE PROPERTY O

The combined that rate of making shower heads shall not exceed the maximum that rate or the shower shall be designed to permit one showerhead to be in operation at a fine. The effective that hower her dual what to like it is defined as the composite, average fluids volume of two reduce fluids and one full fluids.

demonstrate a 20% probusion in water use by need the flow mets likely below, or though a 200 patent bare of a 100 patent bare of a 100 patent bare in CAL Crewn Table 4.303.1.1.

2.0. patent per minute (gran) 1

1.5 gran

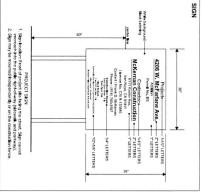
1.2 grantom per Bush 2

0.1 galloms per Bush 3

0.2 galloms per Bush 2







accordance with California Energy Code	igs in the building envelope separating conditioned											- Standard S	Norte O	and	1	1	The state of the s	The same of the sa	g M			VICINITY MAP
No. of Bedrooms	Existing Properety	PROPERT	Fire Sprinkler	Type of Construction	No. of Story	Zoning	Occupancy Group	Lot	Block	Tract	APN	Lot Area	LEGAL DES	Standard Code (CGBSC)	2022 California Green Building	2022 Building Er	2022 Los Angele	2022 California E	2022 California F	2022 California N	2022 California F	2022 California E
2		PROPERTY ANALYSIS	No	VB	1	R1	R+3	33	None	TR 9477	2485-014-002	7,000 Sq. FL	LEGAL DESCRIPTION	CGBSC)	Green Building	2022 Building Energy Efficiency Standards	2022 Los Angeles County Fire Code (CFC)	2022 California Electrical Code (CEC)	2022 California Plumbing Code (CPC)	2022 California Mechanical Code (CMC)	2022 California Residential Code (CRC)	2022 California Building Code (CBC)
,	J.	R.)F	RΑ	F	TII	VC	3				T	1000	DUTO.	ACTIONS TO ONY	N B	3/)		

hod to prevent the passage of	No	No. of Bathrooms	SUMOO	-	
	î	(E) Building		1,740 Sq. FL	
L compact disc, or other	Ē	(E) Carporche	he	124 Sq. Ft.	
e information specified in	Ê	(E) Car Porch	9	96 Sq. Ft.	
	Ê	(E) 2-Car Garage	arage	324 Sq. Ft.	
ction through use of retention	Ē	(E) Tredis		180 Sq. Ft.	
design either on the drawings bling division review and	Pro	Proposed Addition	ddition	128 Sq. FL	
moval of non-approval work.	1				
	FAR	R			
	1.740	40 + 128 =	= 1,868 / 7,000 = 26%	■ 26%	
	5	LOT COVERAGE	RAGE		
	1,740	40 + 124 +	+ 324 +	128 = 2,412 / 7,000 = 34%	
	Т	2			1
_	Г	٥	סחבבו וועטבא	7	ı
•	-	3	Cover Sheet		
	2	C-2	Existing & Prop	Existing & Proposed Plot Plan	
1-1/2" LETTERS	ω	?	Existing & Prop	Existing & Proposed Floor Plan	
7 LETTERS	A	A-2	Proposed Elev	Proposed Elevations & Cross Sections	
	Un	A.	Existing Elevations	ions	
7 LETTERS	on	ž	Existing & Prop	Existing & Proposed Roof Plan	
36		П			
		S	SCOPE OF	WORK	
34' LETTERS	ż	aster Bar	 Master Bathroom addition, to create closet 	to create closet.	
1/7*5/8" LETTERS		pen 32". emove ro	Open 32", for door way. Remove roof frame at bathtub.	tub.	
		 Celling joist to stay. 	it to stay.		
eet Sign cannot and parkway).					

PROPOSED: ADDITION

CHECKED: 08 / 12 / 2025 SCALE: DATE:

J.R

SHEET:

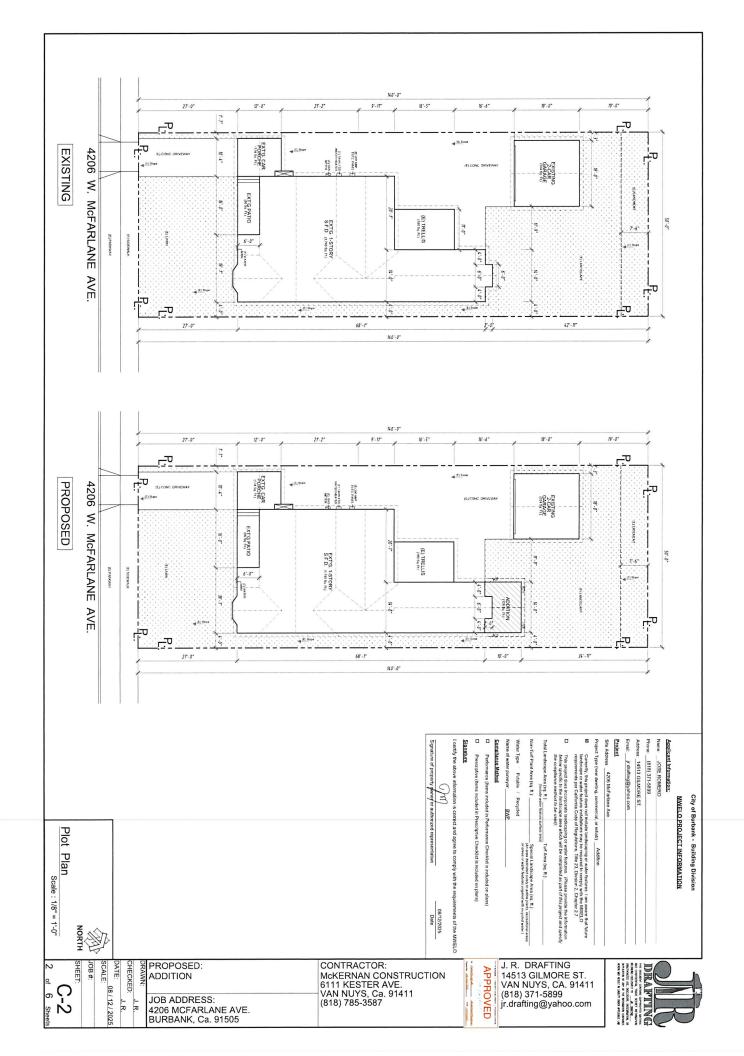
C-7

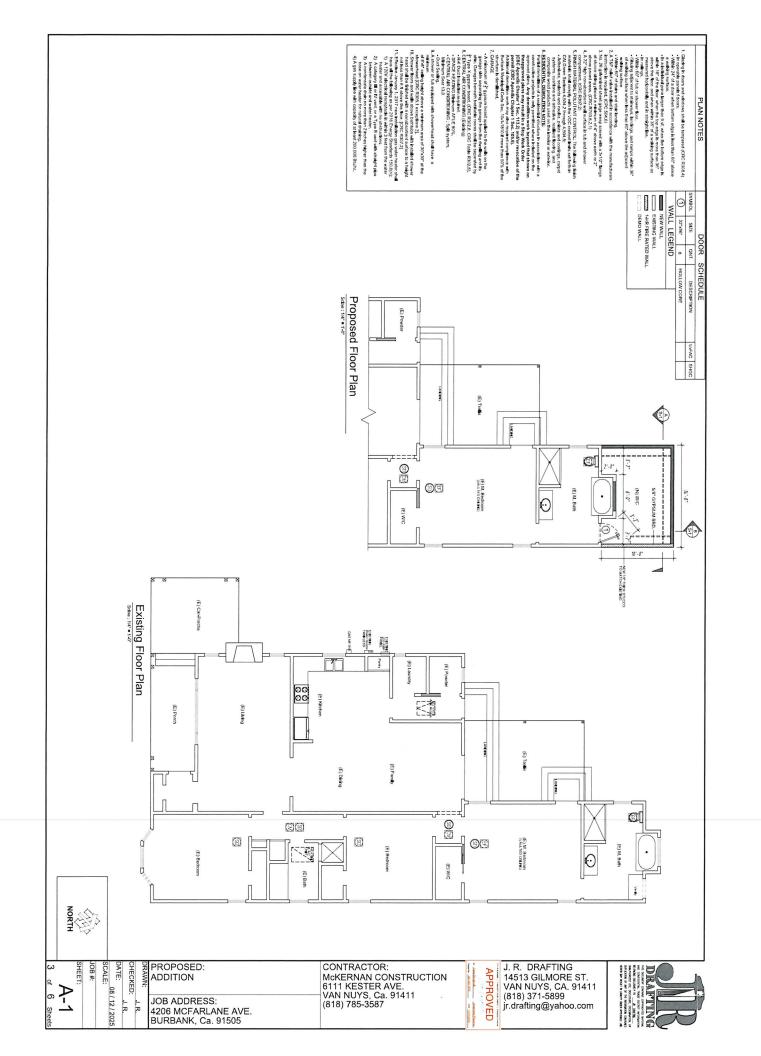
JOB ADDRESS: 4206 MCFARLANE AVE. BURBANK, Ca. 91505 CONTRACTOR: McKERNAN CONSTRUCTION 6111 KESTER AVE. VAN NUYS, Ca. 91411 (818) 785-3587

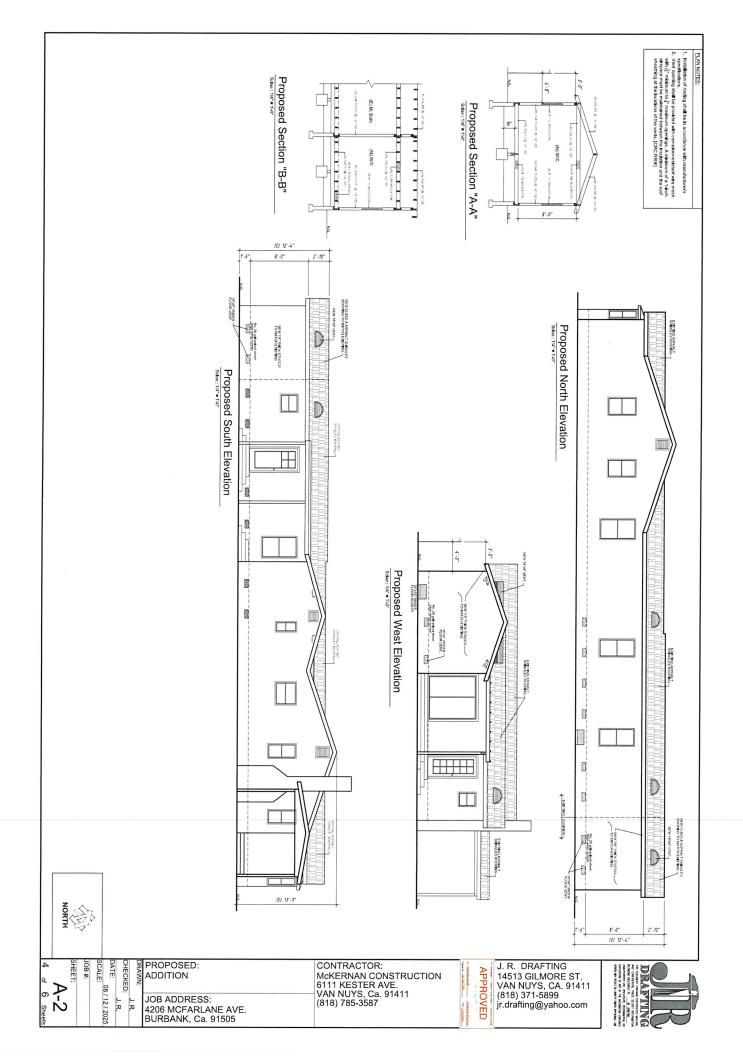
APPROVED

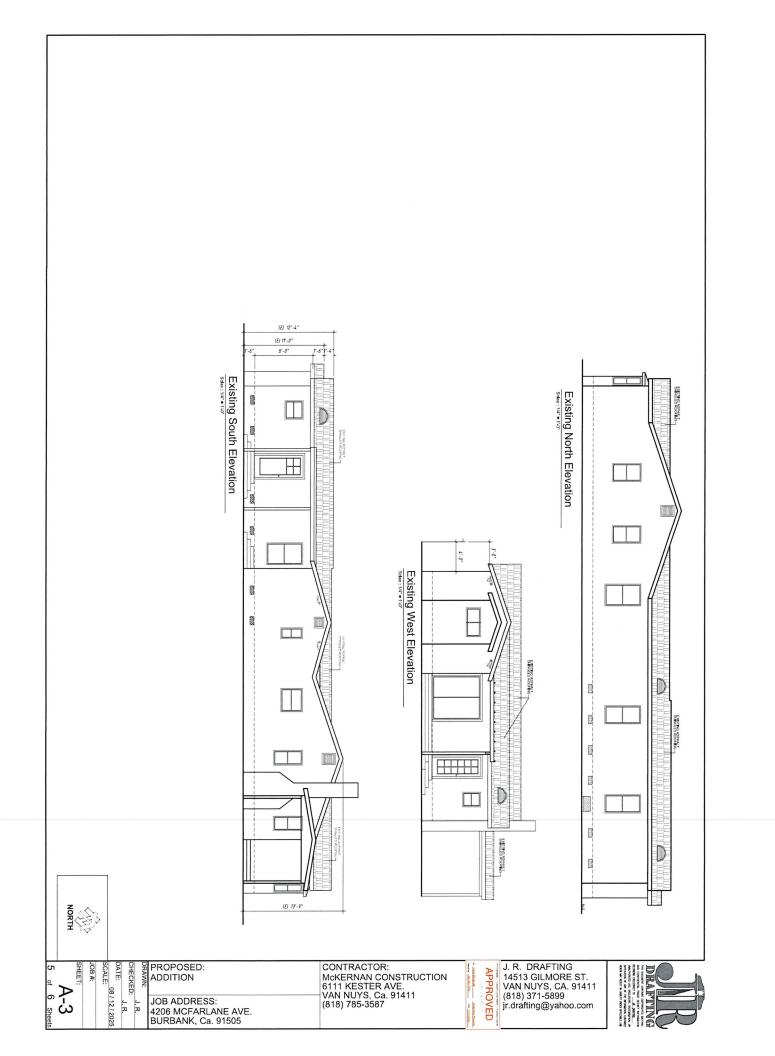
14513 GILMORE ST. VAN NUYS, CA. 91411 (818) 371-5899 jr.drafting@yahoo.com

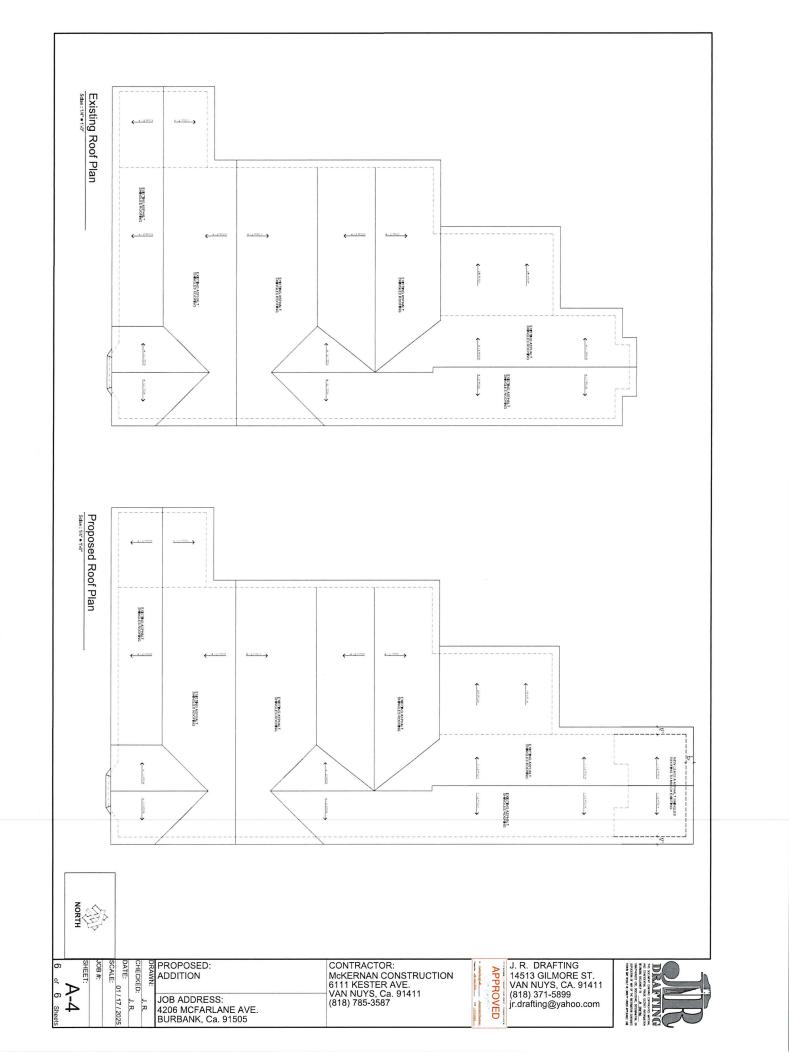












ATTACHMENT B

Analysis of Requisite Findings for Granting a Development Review

The Community Development Director finds the proposed project satisfies the requisite findings per Section 10-1-1810.5 contained in the Burbank Municipal Code necessary for approval of the Minor Exception to a Side Yard Setback Permit, subject to the attached conditions of approval.

FINDINGS

1. The non-conforming minor addition, alteration or other minor non-conforming work is necessary for one or more of the following reasons: a) the work is necessary to reduce a hazard or safety problem identified by a government official charged with identifying such hazards or problems; b) the work is necessary to maintain or improve the aesthetic appearance or architectural viability of the structure; or, c) requiring the alteration or addition to conform strictly to the requirements of Section 10-1-1810 would unreasonably add to the cost of construction.

The Minor Setback Exception request is essential to preserving the aesthetic appearance of the existing dwelling. According to Burbank Municipal Code (BMC) Section 10-1-603(A), the required side-yard setback for interior lots in the R-1 (Single-Family Residential) zone must be 10% of the lot width. Given that this property is 50 feet wide, the minimum required side-yard setback is 5 feet. However, the existing 1,740-square-foot dwelling has a setback of 4 feet from the north side property line. Allowing the proposed addition to maintain this 4-foot setback would create a cohesive architectural design, enhancing the overall visual continuity of the main dwelling. Based on this, staff has determined that the project is consistent with Finding (b).

2. The alteration or addition will not increase the height or number of stories of the existing non-conforming structure, and any non-conforming additions are of equal or lesser height than the existing structure.

The proposed 128 square-foot addition, located within the required side-yard setback area, will be constructed at the same height as the adjacent portions of the residence within the setback, measuring 12 feet, 4 inches. The remaining portions of the addition will comply with the setback requirements outlined in BMC Section 10-1-603. Since the project does not alter the existing height of the residence within the required side yard setback, staff has determined that the project is consistent with this finding.

3. The alteration or addition will not result in any decrease of the existing setback or otherwise increase the degree of non-conformity of the existing structure or create a new non-conformity.

There will not be any change to the nonconformity of the existing walls of the residence. The wall of the existing residence on the northern elevation is 4 feet from the side property line, and the proposed addition would continue the existing 4-foot setback. The existing non-conformity would not be increased by allowing the addition to encroach into the required side setback to the same extent as the existing building, and the addition will be built to the same height as the existing nonconforming portions of the residence. Therefore, staff has determined that the project is consistent with this finding.

4. Windows, doors, wall covering and roof materials, and other architectural features of the alteration or addition will be consistent with the remainder of the structure.

The proposed addition will be consistent with the materials and architectural features of the existing single-family residence. Therefore, staff has determined that the Project is consistent with this finding.

5. The alteration or addition will not degrade the appearance or architectural quality of the structure.

The addition will not degrade the appearance or architectural quality of the structure. By allowing the addition to maintain the existing non-conforming side-yard setbacks, the architectural integrity and uniformity of the home will be retained. The addition will result in a cohesive architectural style. Therefore, staff has determined that the Project is consistent with this finding.

6. The alteration or addition as proposed will not have unnecessary or unreasonable detrimental impacts to neighboring properties or structures including but not limited to impacts to light and sunlight, air circulation, privacy, scenic views or aesthetics.

The proposed addition will not cause neighboring properties to experience impacts from light or glare, sunlight exposure, air circulation, privacy, or aesthetics. There are no new windows proposed for the addition located in the side yard setback, so the proposed changes will not have any privacy impacts. Therefore, staff has determined that the proposed Project is consistent with this finding.

ATTACHMENT C

Project No. 25-0001543, Conditions Of Approval

CDD - PLANNING DIVISION

- 1. Project No. 25-0001543 (Minor Exception to Side Yard Setback) approves the Minor Setback Exception to allow a side yard setback of 4'-0" on the northern side rather than the code-required minimum side yard setback of 5'-0" (or ten percent of lot width) for the 10'-0" linear length of a 128 square-foot addition to the front portion of the existing residence. Unless otherwise approved by the Community Development Director or his/her designee, the Site Plan, Floor Plan, and operational plan shall be substantial conformance with the conceptual plans approved on October 3, 2025 (Attachment A). The Community Development Director or their designee may determine what minor modifications to the approved plans may be considered to be in substantial conformance.
- 2. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (expires on October 3, 2026), or the final decision following an appeal, unless the Property Owner or Permittee has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. Any period of time during which the project is subject to a legal challenge shall not count towards the expiration date. Prior to the noted expiration date, the Property Owner or Permittee can request the Community Development Director's approval of a one-time extension of the permit for a period not to exceed one-year from the date of expiration.
- Unless otherwise modified by this entitlement or preempted by state or federal law, the Project shall comply with the R-1 Zone property development and design standards. Compliance with these standards will be verified at the time of building permit submittal.
- 4. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Permittee, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside, void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses

incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the Permittee fails or refuses to enter into the indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.

- 5. The applicant shall comply with all federal, state, and local laws. Violation or conviction of any of those laws in connection with the use will be cause for revocation of this permit.
- 6. All required fees shall be paid as required by the Burbank Municipal Code prior to the issuance of any building permits for the project.
- 7. The applicant shall submit plans with dimensioned setbacks consistent with the submitted stamped survey from a licensed surveyor.
- 8. Plans submitted by the Developer with building permit applications shall show on the building elevation sheets all exterior building materials and colors, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with sand finish, plaster with smooth finish) to be used in construction.
- The Permittee shall comply with all Department/Division comments and Code requirements and shall be verified by the responsible Department and/or the Building Official or their designee, prior to the issuance of any Certificate of Occupancy.
- 10. The Permittee shall list these conditions of approval in all construction plans submitted to the Building Division for a building permit. The applicant shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the building permit plan set for all City Division/Department conditions enclosed and provide the same number of copies as plan sets submitted for Building Plan Check.

CDD - BUILDING & SAFETY DIVISION

11. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the **2022 edition** of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.

The 2022 California Building Standards Code is applicable to projects that submit a building permit application on or before December 31, 2022. The 2025

<u>California Building Standards Code is applicable to projects that submit a building permit application on or after January 1, 2026.</u>

- 12. The fire-resistance rating for any dwelling or accessory building less than 5ft from the property line shall be 1-hour. The wall shall be rated for exposure from both sides. [CRC Table R302.1 (1)].
 - a. Provide UL or equivalent testing authority number for exterior wall type
 - b. Interior finish material of 5/8" Type 'X' gypsum board is required.
 - c. Exterior finish material must be called out and fire rating information must be provided
- 13. Exterior walls located less than 3ft minimum fire separation distance (i.e. Property Line, adjacent buildings on same property) shall be:
 - d. 1- hour rated construction with exposure from both sides
 - e. Shall have no openings