



**COMMUNITY  
DEVELOPMENT**

October 3, 2025

JOSE ROMERO  
14513 GILMORE ST  
VAN NUYS, CA 91411

Via email: [jr.drafting@yahoo.com](mailto:jr.drafting@yahoo.com)

**RE: Notice of Decision - Approval**  
**PROJECT NO. 25-0001543 Minor Exception to Setback**  
Located at 4206 W McFarlane Ave

Dear Mr. Romero,

This letter is to notify you that the Community Development Director has approved your application for the Minor Setback Exception (MSE) to construct a 128-square-foot addition to the rear portion of the existing 1,740 square-foot single-family residence while maintaining a 4-foot side yard setback from the northern property line at the property located at 4206 W McFarlane Ave in the R-1 (Single-family residential) zone (Attachment A), pursuant to the ability of staff to affirmatively determine the project satisfies the requisites for approval (Attachment B) upon implementation of the attached Conditions of Approval (Attachment C).

Please be advised that the decision of the Community Development Director will become final fifteen (15) days from the date of this letter unless the decision is appealed to the Planning Board within fifteen (15) days. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing fee prior to the expiration of the fifteen (15) day appeal period, or **5:00 p.m. on Saturday, October 18, 2025**. If no appeal is filed, you may submit to the Building & Safety Division for Building Plan Check review the first business day following the conclusion of the 15-day appeal period. If appealed, this decision will be set aside, and the Planning Commission will conduct a De Novo review of the application and make a decision. The Planning Commission decision is final and cannot be appealed.

If you have any questions concerning this letter, please call me at (818) 238-5250, or email me at [sdurghalli@burbankca.gov](mailto:sdurghalli@burbankca.gov).

Sincerely,

COMMUNITY DEVELOPMENT DEPARTMENT

Project No. 25-0001543 - MSE  
4206 W McFarlane Ave



Sara Durghalli  
Assistant Planner

Enc:

Attachment A: Approved Plans  
Attachment B: Minor Setback Exception Findings  
Attachment C: Conditions of Approval

Cc: Andres Garcia  
4206 W McFarlane Ave, Burbank CA 91505  
aag@cineson.com

## **ATTACHMENT A**

### **Approved Plans**





City of Burbank - Building Division  
MMELO PROJECT INFORMATION

Applicant Information  
Name: JOSE ROMERO  
Phone: (818) 371-5899

Address: 14513 GILMORE ST  
Burbank, CA 91505  
Email: jr.drafting@yahoo.com

Project  
Site Address: 4206 McFarlane Ave

Project Type (New dwelling, commercial, or retail): Addition

Currently, this project does not include landscaping or water features. I am aware that future landscaping or water features may be required to comply with the MMELO requirements and California Code of Regulations, Title 23, Division 2, Chapter 2.

I am proposing to incorporate landscaping or water features. (If none, provide the foundation for the project and the project will be completed as part of the project and comply with the compliance method to be used.)

Total Landscaping Area (sq. ft.):  
(Include water features within area)

Non-Turf Plant Area (sq. ft.):  
(Include water features within area)

Water Type: Puddle - Recycled  
Name of water purveyor: BXP

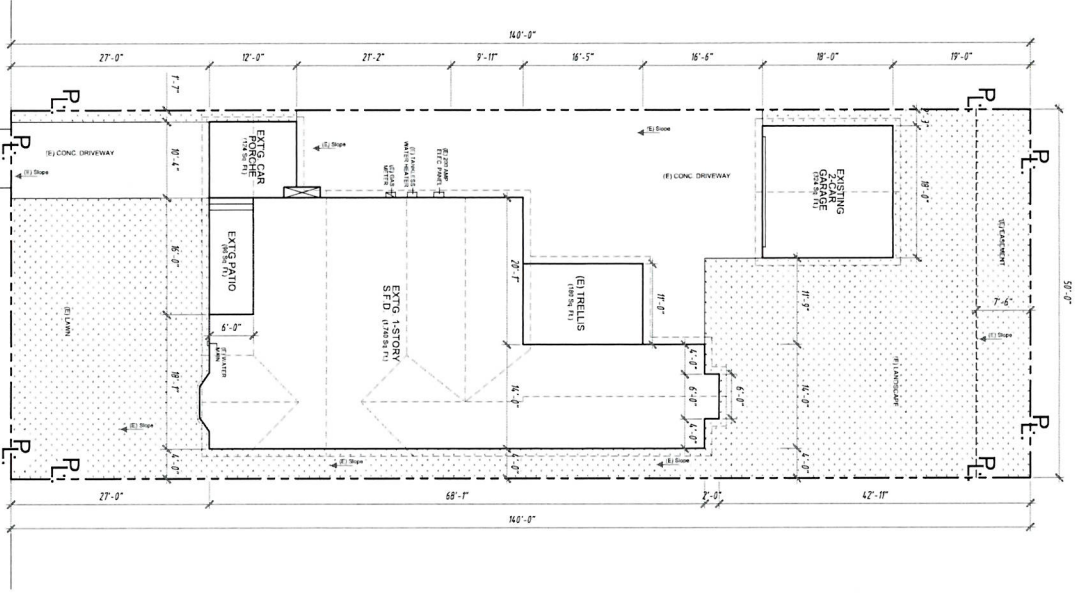
Compliance Method  
Performance items included in Performance Checklist is included on plans

Prescriptive items included in Prescriptive Checklist is included on plans

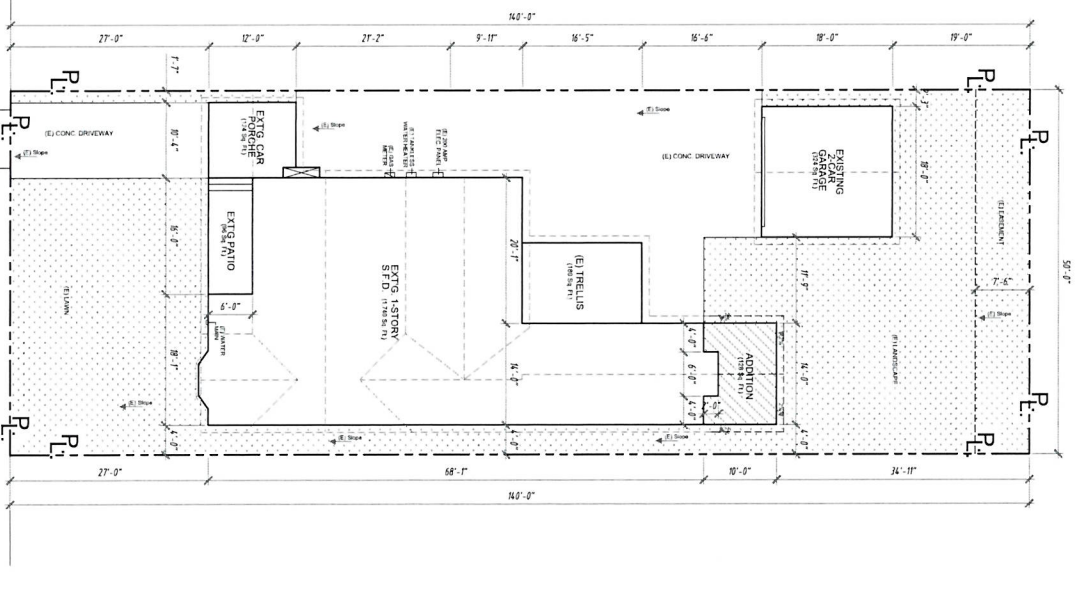
Signature  
I certify the above information is correct and agree to comply with the requirements of the MMELO

Signature of property owner or authorized representative

Date: 08/12/2025



4206 W. MCFARLANE AVE.  
EXISTING



4206 W. MCFARLANE AVE.  
PROPOSED



J. R. DRAFTING  
14513 GILMORE ST.  
VAN NUYS, CA. 91411  
(818) 371-5899  
jr.drafting@yahoo.com



CONTRACTOR:  
McKERNAN CONSTRUCTION  
6111 KESTER AVE.  
VAN NUYS, CA. 91411  
(818) 785-3587

PROPOSED:  
ADDITION  
JOB ADDRESS:  
4206 MCFARLANE AVE.  
BURBANK, Ca. 91505

DRAWN: J. R.  
CHECKED: J. R.  
DATE: 08/12/2025



Plot Plan  
Scale: 1/8" = 1'-0"

SHEET:  
C-2  
2 of 6 Sheets

## DOOR SCHEDULE

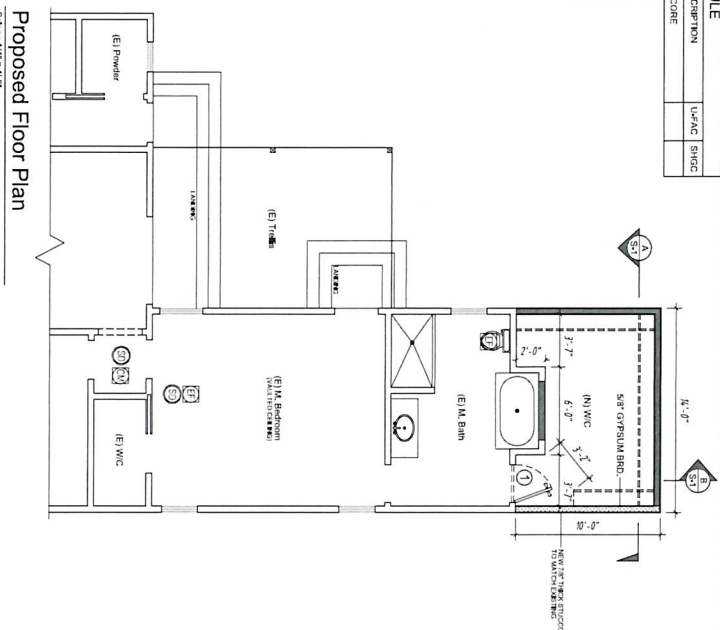
SYMBOL	SIZE	QNT.	DESCRIPTION	U-FAC	SHGCC
①	32"x6"	8	HOLLOW CORE		

①	32 X56	8
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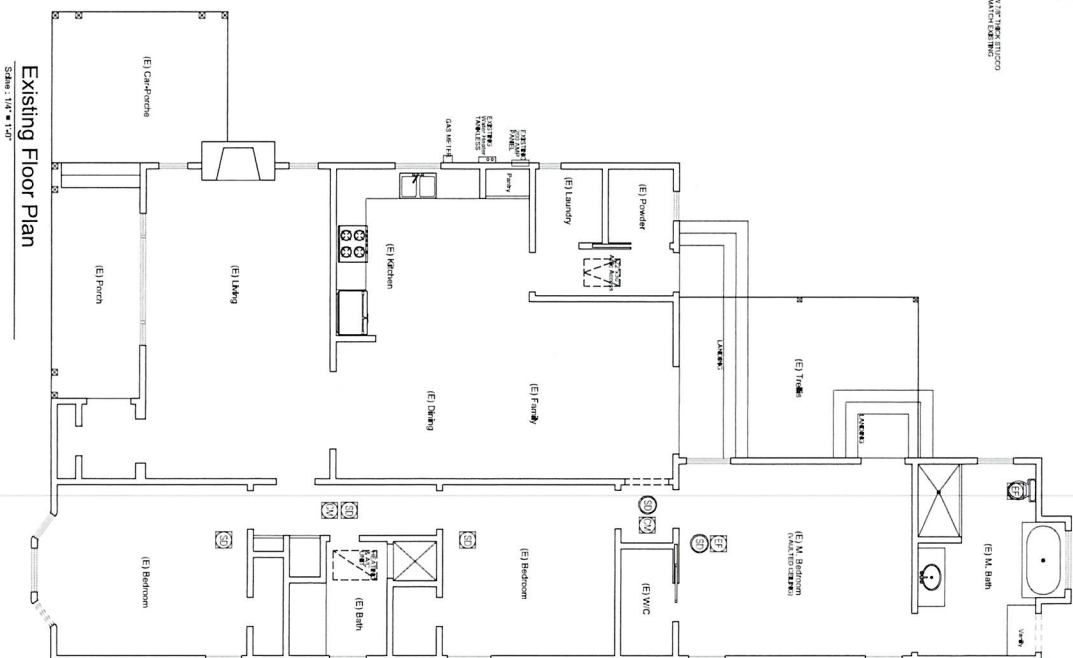
WALL LEGEND

- [illegible]

Proposed Floor Plan



### Existing Floor Plan



**NORTH**

CONTRACTOR:  
McKERNAN CONSTRUCTION  
6111 KESTER AVE.  
VAN NUYS, Ca. 91411  
(818) 785-3587

J. R. DRAFTING  
14513 GILMORE ST.  
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(818) 371-5899  
jr.drafting@yahoo.com

**DRAFTING**  
THE FORTUNE-TELLING COMBINATION OF  
AND EXPERTISE, THESE SKILLFUL PROFESSIONALS  
BRINGING TOGETHER THE BEST OF BOTH WORLDS.  
FOR THE FUTURE OF YOUR BUSINESS, CONTACT US  
TODAY. WE'LL BE THERE TO HELP YOU GET THE MOST  
OUT OF YOUR INVESTMENT. **THE FORTUNE-TELLING COMBINATION OF**  
**AND EXPERTISE, THESE SKILLFUL PROFESSIONALS**  
**BRINGING TOGETHER THE BEST OF BOTH WORLDS.**

PROPOSED:  
ADDITION

JOB ADDRESS:  
4206 MCFARLANE AVE.  
BURBANK, Ca. 91505

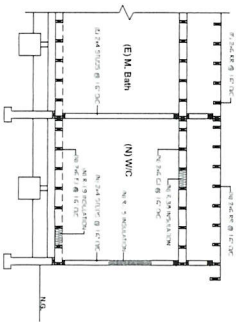
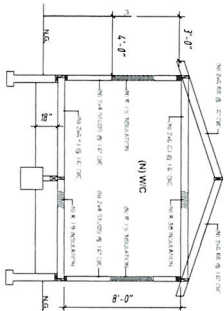
DRAWN: J.R.  
CHECKED: J.R.  
DATE: 08 / 13 / 2025

JOB #:  

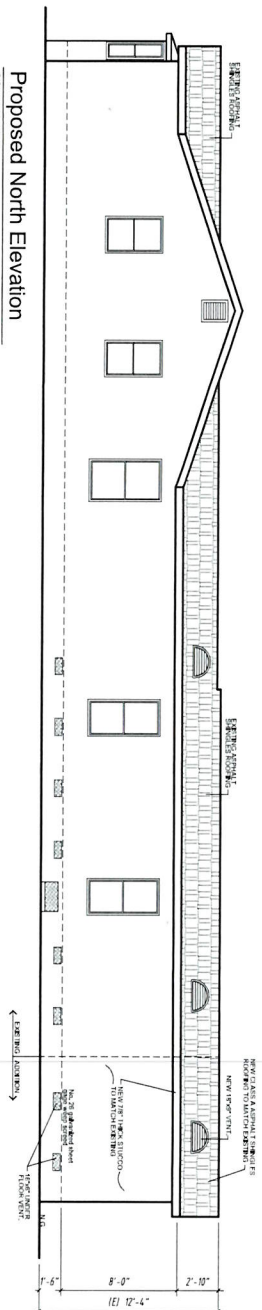
A-1

3 of 6 Sheets

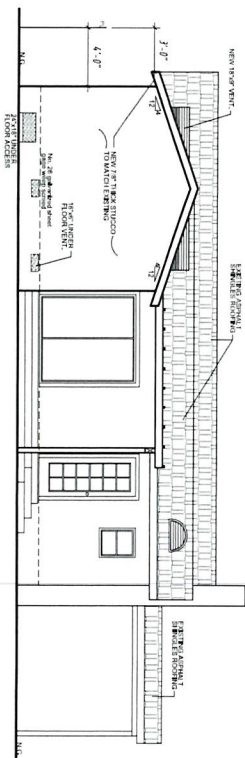
- PLAN NOTES:
1. Installation of roofing shall be in accordance with manufacturer's specifications.
  2. Vent opening shall be protected with corrosion-resistant metal mesh with it's minimum 1/2" maximum opening. A minimum of a 4-inch diameter at the location of the vent. (CRFC Rule)



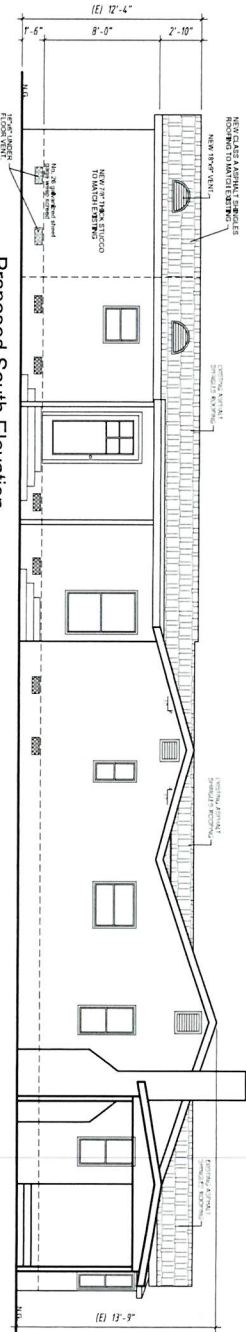
Proposed North Elevation



Proposed West Elevation



Proposed South Elevation



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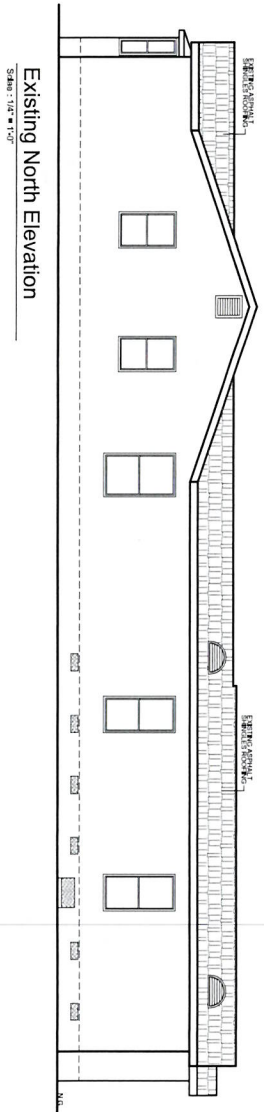


CONTRACTOR:  
McKERNAN CONSTRUCTION  
6111 KESTER AVE.  
VAN NUYS, Ca. 91411  
(818) 785-3587

PROPOSED:  
ADDITION

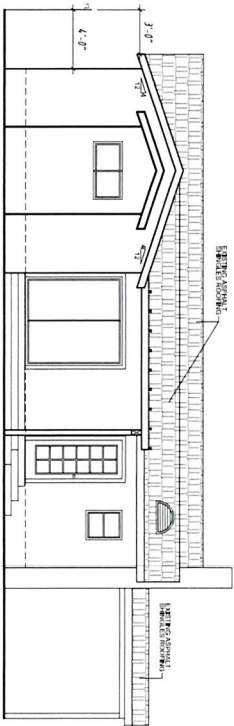
JOB ADDRESS:  
4206 MCFARLANE AVE.  
BURBANK, Ca. 91505

DRAWN: J. R.  
CHECKED: J. R.  
DATE: 08/12/2025  
SCALE:  
JOB #:  
SHEET:



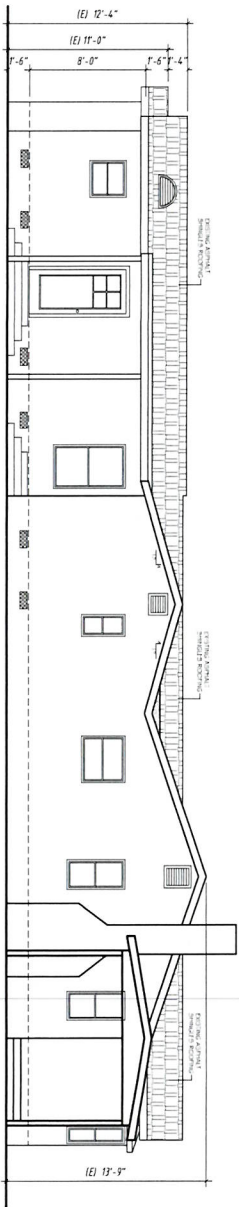
Existing North Elevation

Scale: 1/4" = 1'-0"



Existing West Elevation

Scale: 1/4" = 1'-0"



Existing South Elevation

Scale: 1/4" = 1'-0"

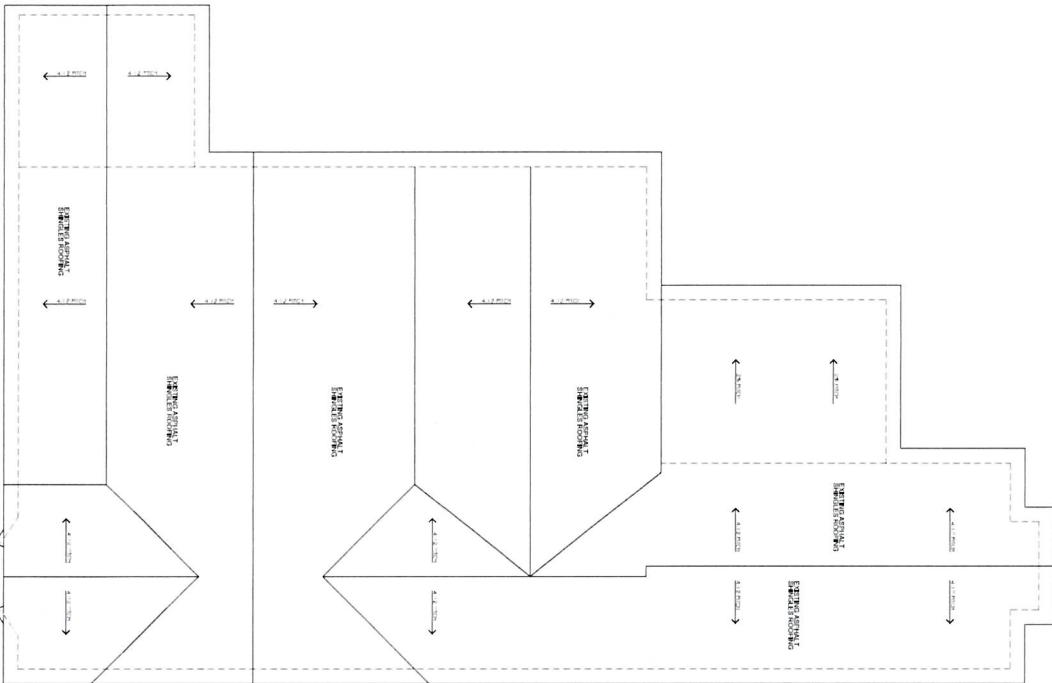


NORTH

SHEET: <b>A-3</b> 5 of 6 Sheets	PROPOSED: ADDITION	CONTRACTOR: McKERNAN CONSTRUCTION 6111 KESTER AVE. VAN NUYS, Ca. 91411 (818) 785-3587	<b>J. R. DRAFTING</b> 14513 GILMORE ST. VAN NUYS, CA. 91411 (818) 371-5899 jr.drafting@yahoo.com
	JOB ADDRESS: 4206 MCFARLANE AVE. BURBANK, Ca. 91505		

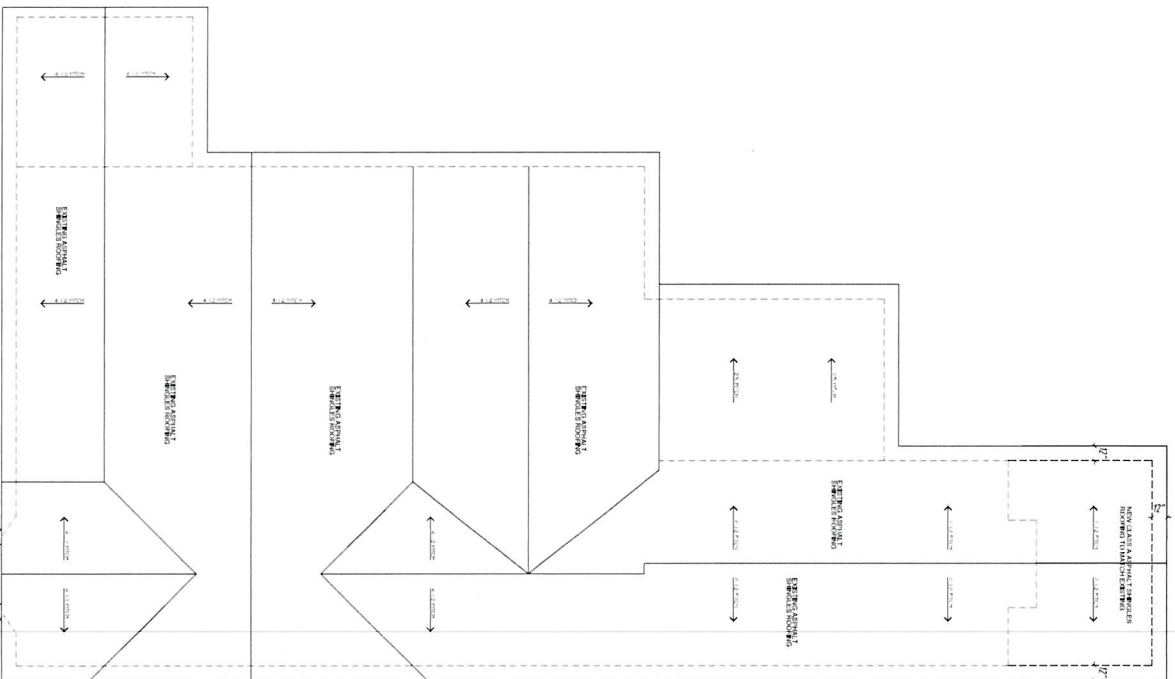






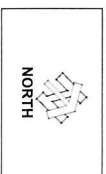
Existing Roof Plan

Scale: 1/4" = 1'-0"



Proposed Roof Plan

Scale: 1/4" = 1'-0"



## ATTACHMENT B

### Analysis of Requisite Findings for Granting a Development Review

The Community Development Director finds the proposed project satisfies the requisite findings per Section 10-1-1810.5 contained in the Burbank Municipal Code necessary for approval of the Minor Exception to a Side Yard Setback Permit, subject to the attached conditions of approval.

#### **FINDINGS**

- 1. The non-conforming minor addition, alteration or other minor non-conforming work is necessary for one or more of the following reasons: a) the work is necessary to reduce a hazard or safety problem identified by a government official charged with identifying such hazards or problems; b) the work is necessary to maintain or improve the aesthetic appearance or architectural viability of the structure; or, c) requiring the alteration or addition to conform strictly to the requirements of Section 10-1-1810 would unreasonably add to the cost of construction.*

The Minor Setback Exception request is essential to preserving the aesthetic appearance of the existing dwelling. According to Burbank Municipal Code (BMC) Section 10-1-603(A), the required side-yard setback for interior lots in the R-1 (Single-Family Residential) zone must be 10% of the lot width. Given that this property is 50 feet wide, the minimum required side-yard setback is 5 feet. However, the existing 1,740-square-foot dwelling has a setback of 4 feet from the north side property line. Allowing the proposed addition to maintain this 4-foot setback would create a cohesive architectural design, enhancing the overall visual continuity of the main dwelling. Based on this, staff has determined that the project is consistent with Finding (b).

- 2. The alteration or addition will not increase the height or number of stories of the existing non-conforming structure, and any non-conforming additions are of equal or lesser height than the existing structure.*

The proposed 128 square-foot addition, located within the required side-yard setback area, will be constructed at the same height as the adjacent portions of the residence within the setback, measuring 12 feet, 4 inches. The remaining portions of the addition will comply with the setback requirements outlined in BMC Section 10-1-603. Since the project does not alter the existing height of the residence within the required side yard setback, staff has determined that the project is consistent with this finding.

3. *The alteration or addition will not result in any decrease of the existing setback or otherwise increase the degree of non-conformity of the existing structure or create a new non-conformity.*

There will not be any change to the nonconformity of the existing walls of the residence. The wall of the existing residence on the northern elevation is 4 feet from the side property line, and the proposed addition would continue the existing 4-foot setback. The existing non-conformity would not be increased by allowing the addition to encroach into the required side setback to the same extent as the existing building, and the addition will be built to the same height as the existing nonconforming portions of the residence. Therefore, staff has determined that the project is consistent with this finding.

4. *Windows, doors, wall covering and roof materials, and other architectural features of the alteration or addition will be consistent with the remainder of the structure.*

The proposed addition will be consistent with the materials and architectural features of the existing single-family residence. Therefore, staff has determined that the Project is consistent with this finding.

5. *The alteration or addition will not degrade the appearance or architectural quality of the structure.*

The addition will not degrade the appearance or architectural quality of the structure. By allowing the addition to maintain the existing non-conforming side-yard setbacks, the architectural integrity and uniformity of the home will be retained. The addition will result in a cohesive architectural style. Therefore, staff has determined that the Project is consistent with this finding.

6. *The alteration or addition as proposed will not have unnecessary or unreasonable detrimental impacts to neighboring properties or structures including but not limited to impacts to light and sunlight, air circulation, privacy, scenic views or aesthetics.*

The proposed addition will not cause neighboring properties to experience impacts from light or glare, sunlight exposure, air circulation, privacy, or aesthetics. There are no new windows proposed for the addition located in the side yard setback, so the proposed changes will not have any privacy impacts. Therefore, staff has determined that the proposed Project is consistent with this finding.



## ATTACHMENT C

### Project No. 25-0001543, Conditions Of Approval

#### **CDD - PLANNING DIVISION**

1. Project No. 25-0001543 (Minor Exception to Side Yard Setback) approves the Minor Setback Exception to allow a side yard setback of 4'-0" on the northern side rather than the code-required minimum side yard setback of 5'-0" (or ten percent of lot width) for the 10'-0" linear length of a 128 square-foot addition to the front portion of the existing residence. Unless otherwise approved by the Community Development Director or his/her designee, the Site Plan, Floor Plan, and operational plan shall be substantial conformance with the conceptual plans approved on October 3, 2025 (Attachment A). The Community Development Director or their designee may determine what minor modifications to the approved plans may be considered to be in substantial conformance.
2. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (expires on October 3, 2026), or the final decision following an appeal, unless the Property Owner or Permittee has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. Any period of time during which the project is subject to a legal challenge shall not count towards the expiration date. Prior to the noted expiration date, the Property Owner or Permittee can request the Community Development Director's approval of a one-time extension of the permit for a period not to exceed one-year from the date of expiration.
3. Unless otherwise modified by this entitlement or preempted by state or federal law, the Project shall comply with the R-1 Zone property development and design standards. Compliance with these standards will be verified at the time of building permit submittal.
4. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Permittee, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside, void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses



incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the Permittee fails or refuses to enter into the indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.

5. The applicant shall comply with all federal, state, and local laws. Violation or conviction of any of those laws in connection with the use will be cause for revocation of this permit.
6. All required fees shall be paid as required by the Burbank Municipal Code prior to the issuance of any building permits for the project.
7. The applicant shall submit plans with dimensioned setbacks consistent with the submitted stamped survey from a licensed surveyor.
8. Plans submitted by the Developer with building permit applications shall show on the building elevation sheets all exterior building materials and colors, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with sand finish, plaster with smooth finish) to be used in construction.
9. The Permittee shall comply with all Department/Division comments and Code requirements and shall be verified by the responsible Department and/or the Building Official or their designee, prior to the issuance of any Certificate of Occupancy.
10. The Permittee shall list these conditions of approval in all construction plans submitted to the Building Division for a building permit. The applicant shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the building permit plan set for all City Division/Department conditions enclosed and provide the same number of copies as plan sets submitted for Building Plan Check.

#### **CDD - BUILDING & SAFETY DIVISION**

11. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the **2022 edition** of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.

*The 2022 California Building Standards Code is applicable to projects that submit a building permit application on or before December 31, 2022. The 2025*

California Building Standards Code is applicable to projects that submit a building permit application on or after January 1, 2026.

12. The fire-resistance rating for any dwelling or accessory building less than 5ft from the property line shall be 1-hour. The wall shall be rated for exposure from both sides. [CRC Table R302.1 (1)].
  - a. Provide UL or equivalent testing authority number for exterior wall type
  - b. Interior finish material of 5/8" Type 'X' gypsum board is required.
  - c. Exterior finish material must be called out and fire rating information must be provided
13. Exterior walls located less than 3ft minimum fire separation distance (i.e. Property Line, adjacent buildings on same property) shall be:
  - d. 1- hour rated construction with exposure from both sides
  - e. Shall have no openings