



**COMMUNITY
DEVELOPMENT**

MARCH 25, 2026

URBAN DESIGN SPECIALISTS
ATTN: JACKELINE ARIAS
4519 ADMIRALTY WAY, SUITE A
MARINA DEY REY, CA 90292

Via email: info@udspec.com

**RE: Notice of Decision – Conditionally Approved
Project No. 24-0002263 - (Hillside Development Permit with Exceptions)
Location: 1141 East Walnut Avenue
Date Application Deemed Complete: 08/14/2024**

Dear Jackeline Arias,

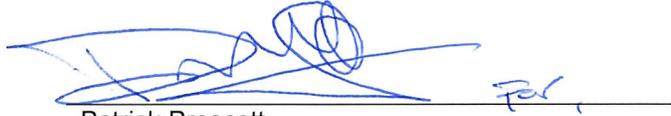
This letter is to notify you that the Community Development Director has approved your application for a **Hillside Development Permit** (Project No. 24-0002263) to demolish the existing, 2,878 square-foot, one-story Single-Family dwelling to construct a new, 7,008 square-foot, two-story Single-Family dwelling with an attached 813-square-foot, three-car garage, pool with spa, retaining walls, site grading, and other backyard improvements at 1141 East Walnut Avenue (Attachment A). The project also includes Exception requests, as permitted under Burbank Municipal Code Section 10-1-606(I) to: 1) place the front entry door on the side of the building facing the northern side yard, instead of the front facing elevation and 2) allow two retaining walls above the maximum permitted height of 4 feet along the front elevation of the property (6-feet high) and the northern side setback (8-feet high). The subject site is zoned, R-1, Hillside, Single Family Residential zone (Attachment B). Staff was able to determine that the project satisfies the requisites for approval, upon implementation of the attached Conditions of Approval (Attachments C-E).

Please be advised that the decision of the Community Development Director will become final fifteen (15) days from the date of this letter unless the decision is appealed to the Planning Commission. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing fee prior to the expiration of the fifteen (15) day appeal period, or **by 5:00 p.m. on Thursday, April 9, 2026**. If no appeal is filed, then you may submit to the Building & Safety Division for Building Plan Check review the first business day following the conclusion of the 15-day appeal period. If appealed, this decision will be set aside, and the Planning Commission will conduct a De Novo review of the application and make a decision. The Planning Commission decision is final and cannot be appealed. If you have any questions concerning this letter, please contact me by phone at (818) 238-5250 or by email at rallen-esquivel@burbankca.gov.

Sincerely,



Ryan Allen-Esquivel
Assistant Planner
Community Development Department



Patrick Prescott
Community Development Director
Community Development Department

Enclosed:

- Attachment A: Approved Plans
- Attachment B: Project Summary
- Attachment C: View Study
- Attachment D: Findings for Granting a Hillside Development Permit
- Attachment E: Conditions of Approval

cc: Levon Arsenyan, Property Owner
arsenyanl@yahoo.com
1550 Raymond Avenue, Glendale CA 90201

**Attachment A:
Approved Plans**

Attachment B: Project Summary and Background Information

PROJECT TITLE: Project No.24-0002263 – Hillside Development Permit with Exceptions

PROJECT ADDRESS: 1141 East Walnut Avenue

APPLICANT: Urban Design Specialists, Jackeline Arias

PROJECT DESCRIPTION: The Project consists of demolishing the existing 2,878 square-foot, one-story Single-Family dwelling to construct a new, 7,008 square-foot, two-story Single-Family dwelling with an attached 813-square-foot, three-car garage, pool with spa, retaining walls, site grading, and other backyard improvements at 1141 East Walnut Avenue. The project also includes Exception requests, as permitted under Burbank Municipal Code Section 10-1-606(l) to: 1) place the front entry door on the side of the building facing the northern side yard, instead of the front facing elevation and 2) allow two retaining walls above the maximum permitted height of 4 feet along the front elevation of the property (6-feet high) and the northern side setback (8-feet high).

ZONING: R-1(Hillside)

GENERAL PLAN: Low Density Residential

MUNICIPAL CODE CONFORMANCE: The Project has been evaluated for consistency with the Burbank Municipal Code and, as conditioned, the Project will comply with all applicable objective development standards including, but not limited to, floor area ratio, height, lot coverage, setbacks, and landscaping.

ENVIRONMENTAL REVIEW: This Project has been determined to be exempt from the California Environmental Quality Act (CEQA) in accordance with Section 15303(a) – Class 3 (New Construction or Conversion of a Small Structure) pertaining to a new single-family dwelling in a residential zone. There are no unusual circumstances or conditions related to the project site; therefore, the Project qualifies for this exemption.

DATE SIGN POSTED ON-SITE: December 12, 2025

DATE PUBLIC NOTICE MAILED: March 2, 2026

DATE OF DIRECTOR'S DECISION: March 25, 2026

END OF APPEAL PERIOD: April 9, 2026

**Attachment C:
View Study**

Attachment D: Findings for Granting a Hillside Development Permit

Project No. 24-0002263, Hillside Development Permit with Exceptions (1141 East Walnut Avenue – Urban Design Specialists, Applicant)

The Community Development Director finds the proposed Project satisfies the requisite findings contained in the Burbank Municipal Code Section 10-1-607(D) necessary for approval of the Hillside Development Permit, subject to the attached conditions of approval.

a) The vehicle and pedestrian access to the house and other structures do not detrimentally impact traffic circulation and safety or pedestrian circulation and safety and are compatible with existing traffic circulation patterns in the surrounding neighborhood. This includes, but is not limited to: driveways and private roadways, access to public streets, safety features such as guardrails and other barriers, garages and other parking areas, and sidewalks and pedestrian paths.

The Project site, as shown on the project plans (Attachment A), has steep slopes downwards and upwards. In order to preserve the existing topography, the Project proposes to maintain the location of the existing driveway located towards the front of the property along Walnut Avenue. However, to provide a pedestrian access and meet Fire Building Code access standards the driveway will be widened to 14'-0" wide. Additionally, the Project will provide a 48' emergency vehicle turnaround located at the end of the driveway fully within the subject property. The Project will require compliance with conditions of approval related to landscaping and grading requirements. Finally, the Project will provide a new sidewalk along the front of Walnut Avenue in compliance with the Complete Streets Objective Development Standards. Staff has determined that the requested HDP would not detrimentally affect existing traffic circulation and safety or pedestrian circulation and safety of the existing residential neighborhood. Therefore, this finding can be made.

b) The house and other structures are reasonably consistent with the natural topography of the surrounding hillside

The Project site, as shown on the project plans (Attachment A), slopes downward and upward with a flat middle portion where the existing house is placed. The proposed Project will be placed within the area of the existing building pad. There will be minimal cut and fill to the existing grade to accommodate portions of the two-story house, to accommodate the required 48' emergency vehicle turnaround, and to level out the surface of the existing flat area. A small portion of the western elevation will be filled, as that area is more steeply sloped, while the northern portion will require cutting to flatten the existing building pad. However, the steep downward and upward slopes are to remain largely unaltered. The Project proposes a primary dwelling that does not exceed the maximum allowed height per BMC 10-1-606(B). Staff has determined that the single-family development is reasonably incorporated into the site and avoids unnecessary alteration

of natural topographic features. Consistent with the placement, scale, and massing of neighboring homes, the proposed residence contributes to a cohesive visual presence along the block. Therefore, this finding can be made.

c) The house and other structures are designed to reasonably incorporate or avoid altering natural topographic features.

The Project will be placed within the building pad of the existing dwelling. The Project involves minimal grading work to level the building pad for the two-story single-family residence with an attached garage, provide the required turnaround clearance for emergency vehicles, and accommodate typical backyard improvements. As such, the existing natural topography of the site will remain largely the same. With compliance with Condition #5, the grading will reasonably modify the natural topography, creating a level building pad for the home and garage while ensuring slope stability through the use of retaining walls. These improvements will help maintain the safety of the residents on site and in the surrounding neighborhood. Therefore, this finding can be made.

d) The house and other structures will not unnecessarily or unreasonably encroach upon the scenic views from neighboring properties, including both downslope and upslope views.

The proposed two-story single-family residence will not create an unreasonable impact on the upslope or downslope views of neighboring properties. To evaluate potential view impacts, the Applicant was required to install story poles illustrating the height, shape, and massing of the proposed structure. Staff notified all adjacent property owners and occupants, inviting feedback regarding possible view concerns. Staff received a response from the residents of Vista Grande Street citing concerns regarding potential impacts to views, privacy, and slope stability. Staff met with the respondents on January 27, 2026, to discuss potential mitigation measures. To reduce the perceived impact on privacy and views, the Applicant shall provide additional landscape screening along the western elevation. Staff conducted a comprehensive view analysis using the story poles, photographs, site plan, elevation drawings, and topographic contours, and performed a site visit on December 16, 2025, to assess potential view effects on the surrounding neighborhood. Based on this analysis, as detailed in the attached View Study (Attachment C), staff determined that the proposed project will not result in any unreasonable obstruction of primary or secondary views from neighboring properties.

e) For the purpose of evaluating required finding (d) above, a view study must be submitted with all Hillside Development Permit applications documenting the impacts of the proposed structure(s) on views from adjacent properties. The view study must be prepared in a manner approved by the Director or his/her designee and contain all information and documentation deemed necessary by the Director for the purpose of analyzing view impacts and establishing setback lines for view determination pursuant to Section 10-1-606(E). This study is separate from the Ridgeline setback analysis required by Section 10-1-606(D).

Staff conducted a comprehensive view analysis of the proposed Project. The Applicant was required to install story poles to demonstrate the massing of the proposed two-story single-family house. These story poles were installed and certified for accuracy by a licensed surveyor. The proposed plans and staff's analysis of the story poles indicate that the proposed residence is consistent with the massing and bulk of the neighboring properties. Staff conducted a site visit on December 16, 2025, and took photographs of the residence with the installed story poles from various angles. Staff also sent letters to the neighboring property owners and occupants in the immediate vicinity of the Project site, requesting any feedback regarding potential view impacts that the Project may pose. Staff did receive comments and a request to conduct a site visit from the neighboring property owners and occupants. Based on feedback from the respondents, the Applicant will provide additional landscape screening to mitigate any potential view impacts. Therefore, this finding can be made.

f) The view impacts of the proposed Project must be considered by the Director, or Planning Board or City Council if appealed, and may be used as a basis for requiring modifications to a Project or denying a Hillside Development Permit due to inability to make the required finding.

Based on Staff's consideration and analysis of the information provided by the story poles, photographs, site plan, elevation drawings, topographic elevation contours, and the site visit conducted on December 16, 2025; Staff concludes that the proposed Project does not create unreasonable impacts to primary and secondary views of the properties in the surrounding neighborhood. See Attachment C for a complete analysis of the potential view impacts.

Findings for Granting Exceptions to the R-1 Zone Development Standards

In the Hillside Zone, Exceptions to the development standards required by Section 10-1-603 for the R-1 Zone may be granted through approval of a Hillside Development Permit exception per Burbank Municipal Code Section 10-1-606(I) and is subject to additional findings.

The applicant requests the following exception as part of the Project:

1. Entry Door: Allow the placement of the front entry door on the side of the building facing the northern side yard, instead of the front facing elevation as required by BMC Section 10-1-603(M)(1)(b).
2. Retaining Walls: Allow a 6'-0" high retaining wall along the front elevation of the property and an 8'-0" high retaining wall outside of the required side setback. BMC Section 10-1-603(H)(3)(c) limits the maximum height of retaining walls to 4'-0" from natural grade.

The analysis of the required findings for approval of an exception are as follows:

1. *The exception is not detrimental to the public health, safety, or general welfare.*

Entry Door: The placement of the door along the side of the building is to maintain the existing site and building orientation in order to preserve the existing natural topography of the site. Additionally, the existing driveway will be widened to accommodate pedestrian access from the site to the public sidewalk. Therefore, the exception will not be detrimental to public health, safety, or general welfare.

Retaining Walls: The proposed retaining walls will be measured from the lowest abutting finished ground surface, after any grading, cut, or fill activity. The walls will be designed to meet Building Code standards. Additionally, the retaining walls are proposed in hand with required grading to the site to accommodate a new pedestrian sidewalk and the required 48' emergency vehicle turnaround to ensure safe access to and from the site. Therefore, the proposed retaining walls will not have any detrimental impacts to the public health, safety, or general welfare of the neighboring properties.

2. *Granting of the exception does not constitute a grant of special privilege inconsistent with the limitations upon other projects and/ or properties in the vicinity.*

Entry Door: Because the site includes a downward and upward slope, the building does not directly face a public street and is only accessible through an extending driveway. This is the similar case for all the adjoining sites which are either accessed from a private road or an extended driveway. Thus, the subject site and the neighboring sites cannot fulfill the intent of the code section to create a cohesive street facing streetscape. Therefore, granting of the exception does not constitute a grant of special privilege inconsistent with the existing limitations of the other properties in the vicinity.

Retaining Walls: The retaining walls are located on a downward sloping lot. The unique characteristics of the site, including its steep slope, require grading to accommodate the retaining walls, safety requirements, and pedestrian access as part of the construction of the proposed two-story single-family residence. These site improvements will enable the property owner to make full and reasonable use of the lot and ensure safe access to and from the site. Since the adjoining site to the south includes a block wall along the sidewalk, the proposed retaining wall along Walnut Avenue will maintain a cohesive streetscape view and thus have minimal visual impact on neighboring properties. Therefore, the granting of the exception does not constitute a grant of special privilege inconsistent with the existing limitations of the other properties in the vicinity

3. *The exception does not permit or encourage development inconsistent with the character of existing development in the neighborhood.*

Entry Door: The orientation of the front door is consistent with the adjoining sites, since these properties do not face or are oriented towards a public street front. As such, the exception is not permitting or encouraging development inconsistent with the character of the existing neighborhood.

Retaining Walls: The proposed retaining wall is consistent with other retaining walls found on neighboring properties. A property located north of the project site contains existing retaining walls that provide slope stabilization as a means to make full use of the lot, as the general topography of the area descends steeply downward. Therefore, the proposed retaining wall will be compatible with and consistent with the existing development pattern in the surrounding neighborhood.

4. *There are special conditions or unique characteristics applicable to the subject property and/or the surrounding neighborhood due to the location in the hillside area that justify granting of the exception. Such conditions or characteristics may be related to topography, location, orientation, or other issues that do not generally apply to properties or neighborhoods located outside of the hillside area.*

Entry Door: The site conditions of the subject site and the adjoining properties related to the topography, location, orientation of these sites are not applicable to properties or neighborhoods located outside of the hillside area. Therefore, these circumstances preclude the subject site from meeting the requirement of placing the front door towards a public street. As such, these special conditions justify granting the exception to place front entry door towards the side of the building to avoid major site alterations.

Retaining Walls: The areas where the retaining walls are proposed contain steep slopes. The retaining walls are necessary, to not only create a level and usable yard area to accommodate the proposed two-story single-family residence, pool, and other yard improvements, but to meet safety standards and to provide a public sidewalk. Therefore, the exception to the location and design of the retaining walls are justified to grant the exception.

**Attachment E:
Conditions Of Approval**

**Project No. 24-0002263, Hillside Development Permit with Exceptions
(1141 East Walnut Avenue – Urban Design Specialists, Applicant)**

PLANNING DIVISION

1. Project No. 24-0002263, a Hillside Development Permit with Exceptions, approves a proposal to demolish the existing, 2,878 square-foot, one-story Single-Family dwelling to construct a new, 7,008 square-foot, two-story Single-Family dwelling with an attached 813-square-foot, three-car garage, pool with spa, retaining walls, site grading, and other backyard improvements 1141 East Walnut Avenue (Attachment A). The project also includes Exception requests, as permitted under Burbank Municipal Code Section 10-1-606(I) to: 1) place the front entry door on the side of the building facing the northern side yard, instead of the front facing elevation and 2) allow two retaining walls above the maximum permitted height of 4 feet along the front elevation of the property (6-feet high) and the northern side setback (8-feet high).
2. This approval shall expire if the scope of work is not initiated within one year of the date of this approval (expires on March 25, 2027), or the final decision following an appeal, unless the Property Owner or Permittee has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. Any period of time during which the project is subject to a legal challenge shall not count towards the expiration date. Prior to the noted expiration date, the Property Owner or Permittee can request the Community Development Director's approval of a one-time extension of the permit for a period not to exceed one-year from the date of expiration.
3. The operation/construction on the site shall remain in substantial conformance with the Project plans stamped approved on March 25, 2026, and placed on file in the office of the Planning Division.
4. Unless otherwise modified by this entitlement or preempted by state or federal law, the Project shall comply with the R1 Zone property development and design standards. Compliance with these standards will be verified at the time of building permit submittal.
5. Pursuant to Burbank Municipal Code (BMC) Section 10-1-19401, the Permittee and Property Owner, including their successors and assignees, shall defend, indemnify, and hold harmless the City of Burbank (the City) and its agents, officers, employees, agencies, boards, commissions, or City Council from any claim, action or proceeding brought against the City, its agents, officers, employees agencies, boards, commissions, or City Council to attack, set aside,

void or annul the subject approval and environmental determination under the California Environmental Quality Act or National Environmental Policy Act by the City, its agents, officers, employees, agencies, commissions, or City Council. The indemnification shall include damages awarded against the City, if any, cost of suit, attorney's fees, administrative expenses, and other costs and expenses incurred in connection with such action, including, but not limited to, all such City costs and expenses incurred by enforcing this indemnification provision. This duty to defend, indemnify, and hold harmless the City and its agents, officials, employees, agencies, boards, commissions, or City Council shall apply even if the Permittee fails or refuses to enter into the indemnification agreement. In the event of a legal challenge, the provisions under BMC Section 10-1-19402 shall be followed.

6. The Permittee and Property Owner shall comply with all federal, state, and local laws. Violation or conviction of any of those laws in connection with the use will be cause for revocation of this approval and any associated permits.
7. The Permittee shall list these conditions of approval in all construction plans submitted to the Building & Safety Division for a building permit and shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the construction plan set for all City Division/Department conditions enclosed and provide the same number of copies as building plan sets submitted for Building Plan Check.
8. By using this Hillside Development Permit with Exceptions, the Permittee and Property Owner acknowledge all the conditions imposed and accept this approval and associated permits, are subject to those conditions and with full awareness of the provisions of the Burbank Municipal Code. These conditions are binding upon all future property owners and occupants of the subject property.
9. Prior to submittal for plan check review with the Building and Safety Division, the Project plans shall be revised to include 6-foot hedges along the western elevation slope from the building to the far edge of the pool to minimize the potential view and privacy impacts of the proposed pool and second-floor balcony. The Planning Division may require additional or modified screening based on the revised landscaping plans.
10. As part of the submittal for plan-check review with Building & Safety Division, the Permittee and Property Owner shall provide an updated Soils and Geotechnical Report which accurately encapsulates all grading work proposed for the Project, inclusive of all cut and fill activity for the review and approval of the Building and Safety Division.
11. Prior to submittal for plan check review with the Building and Safety Division, the Project plans shall be revised to include the species and size of the trees to be planted behind the retaining wall along Walnut Avenue.

12. The Permittee and Property Owner shall ensure that all fences and walls along Vista Grande Street be constructed within the boundaries of their existing property. Fences and walls associated with the Project shall not be built on neighboring properties or within access easements along Vista Grande Street.
13. Prior to submittal for plan check review with the Building and Safety Division, the Permittee and Property Owner shall revise the provided Floor Area Ratio calculation to account for the average slope percentage of 48 percent, which would reduce the maximum allowed rate of 0.4 to 0.3. Even with the reduced rate, the Project still complies with maximum allowed Floor Area.
14. This approval may be modified or revoked by the City should the determination be made that the structure or conditions under which it was permitted present detrimental impacts on neighboring properties.
15. The proposed retaining wall along the interior side-yard setback shall not exceed the height range between 4'-0" and 8'-0", as allowed with an exception through the approval of the requested Hillside Development Permit.
16. The exterior materials and designs used during construction shall match those depicted on the approved set of plans stamped on March 25, 2026. Any modifications to the exterior materials must be reviewed and approved by the Planning Division prior to installation.

Building Division

17. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the **2022 edition** of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.
18. Plans and reports submitted for Plan Check Review are to be submitted electronically. For more information about the online submittal process, please contact the Building Division at 818-238-5220 or via email at eplancheck@burbankca.gov.
19. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
20. All Departments that have provide Conditions of Approval are to review drawings and provide final approval via online electronic review, prior to issuance of Building Permit.
21. Separate Permits will be required for the following: **(BMC 9-1-1-105)**

- a. Demolition
 - b. Grading & Shoring
 - c. Architectural & Structural
 - d. Pool, Spa, & Equipment
22. Project lies within the City of Burbank Mountain Fire Zone.
- a. All construction is required to meet Burbank Municipal Code 9-1-1-701A.1.1
23. A Civil plan is required showing the proposed changes to the site grading to accommodate the garage and driveway. Topographical contour lines are to be indicated, showing existing and proposed contours.
24. Grading and drainage plans may be required, and a separate Grading & Shoring Permit may be required. Geotechnical report to be submitted along with Grading & Shoring Permit Application. **(BMC 9-3-403)**
25. Justify Floor Area Ratio per current Burbank Municipal Code 10-1-601 (ARTICLE 6. RESIDENTIAL USES AND STANDARDS)
26. The foundation shall comply with California Building Code Section 1808.7, for foundations on or adjacent to slopes. A soils report will be required.
27. A stamped setback certification by a Licensed Surveyor will be required to certify the location of the new construction in relation to the setbacks prior to the first foundation inspection. **(BMC 9-1-1-107)**
28. New or Addition/Alteration construction projects within the City of Burbank are subject to MWELo review. **(BMC 9-3-500)**
- Full structure demolition and new construction are required to provide a full MWELo plan check set for review.
 - New or replacement landscape areas for residential and non-residential projects between 500 (new) and 2,500 (replacement) square feet requiring a building or landscape permit, plan check, or design review will be required to complete, either a Performance or Prescriptive Compliance Method. Full house demolition will require MWELo review, either prescriptive or performance, no exceptions.
29. A CF1R energy report will be required, and design team is required to review and coordinate all values with those shown on Plans, Elevations, Sections, and Window Schedules.
30. The California Division of Mines and Geology Active Fault Near-Source Zones Map for Burbank indicates the city is within 2 km - 5 km of the Verdugo and Hollywood Faults. Structural design of construction projects must address the impact of the Near-Fault Zones.

31. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit. **(BMC 9-3-414)**
32. The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 65% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work. **(BMC 9-1-11-1012)**
33. Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC: **(BMC 9-1-2R-R301.1.3.2)**
- Wood-framed, single-family dwellings not more than two stories in height;
 - Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
 - Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
 - Non-structural or non-seismic storefronts, interior alterations or additions.
34. A Building Permit may be issued to the Property Owner provided that the work is limited to:
- A single-family dwelling of wood frame construction not more than two stories and a basement in height.
 - Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
 - Nonstructural or non-seismic alterations or additions.
35. Approved hours of construction are: **(BMC 9-1-1-105.10)**

Monday – Friday	7:00 am to 7:00 pm
Saturday	8:00 am to 5:00 pm

No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.

Public Works Department - Land Development & Permits

36. Show width and location of all existing and proposed easements [BMC 9-1-2-3203].

37. No permanent structure is permitted in any public right-of-way or any public utility easements/pole line easements [BMC 7-3-701.1, BMC 9-1-2-3203].
38. No building appurtenances for utility or fire service connections shall encroach or project into public right-of-way (i.e. streets and alleys). Locations of these appurtenances shall be shown on the building site plan and the off-site improvement plans [BMC 7-3-701.1].
39. On-site drainage shall not flow across the public parkway (sidewalk) or onto adjacent private property. It should be conveyed by underwalk drains to the gutter through the curb face or connected to a storm drain facility [BMC 7-1-117, BMC 7-3-102).
40. Applicant shall protect in place all survey monuments (City, County, State, Federal, and private). Pursuant to California Business and Professions Code Section 8771, when monuments exist that may be affected by the work, the monuments shall be located and referenced by or under the direction of a licensed land surveyor or licensed civil engineer legally authorized to practice land surveying, prior to construction, and a corner record or record of survey of the references shall be filed with the county surveyor. A permanent monument shall be reset or a witness monument or monuments set to perpetuate the location if any monument that could be affected, and a corner record or record of survey shall be filed with the county surveyor prior to the recording of a certificate of completion for the project.
41. Any work within the public right-of-way must be permitted and approved by the Public Works Department before construction can commence. All construction work in the public right-of-way must comply with Burbank Standard Plans and must be constructed to the satisfaction of the City Engineer. A Public Works EXCAVATION PERMIT is required. The excavation permit requires a deposit acceptable to the Public Works Director to guarantee timely construction of all off-site improvements. Burbank Standard Plans can be accessed at; <http://file.burbankca.gov/publicworks/OnlineCounter/main/index.htm>
42. Off-site improvement plans (in the public right-of-way) must be approved by the Public Works Director. Off-site improvement Plans must be submitted to City of Burbank Public Works department separately, in Standard format and as-built plans must be submitted on mylar paper.
43. Public Works Permit Division to verify and sign off on all easement through the property is cleared of any existing and/or proposed permanent structures prior to the start of construction.
44. No construction material shall be placed within the public right-of-way without a "Street Use" Permit issued by the Public Works Department.

45. Plans should include easements, elevations, right-of-way/property lines, dedication, location of existing/proposed utilities and any encroachments.
46. Provide verification from the City of Burbank, Building Division showing all easement through the property is cleared of all permanent structures after construction is completed.
47. Any portion of the public parkway (sidewalk, curb, gutter, driveways, landscape, etc.) that is broken, uneven or uplifted at the end of the project must be reconstructed to the satisfaction of the City Engineer. The repairs and/or reconstruction will be required whether the damage is pre-existing or is a result of the project. Contact the Public Works Inspection Office at (818) 238-3955 to have these areas inspected and identified after obtaining a Public Works Excavation Permit [BMC 7-3-501].
48. If any utility cuts or construction related impacts are made on E. Walnut Avenue and Vista Grande Street adjacent to the property, applicant will have to restore the street fronting the property per City of Burbank paving requirements.
49. Additional impacts to street triggered by this project could extend the paving restoration limits.

Public Works Department - Water Reclamation and Sewer

50. Under the current rate structure, pulling the Building Permit for the proposed development is subject to a Sewer Facilities Charge estimated at \$4,602.66. The charge is due prior to issuance of a Building Permit [BMC 8-1-802 and BMC 8-1-806].

$$\begin{aligned} \text{SFC} &= \text{Proposed Developments} - \text{Demolition Credits} \\ &= \text{Single Family Residence} [7,821 \text{ sqft} * \$2,043 / 1,800\text{sqft-unit}] - \text{Single Family Residence} [3,765.8 \text{ sqft} * \$2,043 / 1,800\text{sqft-unit}] \\ &= \$8,876.84 - \$4,274.18 \\ &= \$4,602.66 \end{aligned}$$

Note: It is the responsibility of the developer to show proof of the existing sewer usage or existing developments so that the proper credit can be given.

51. Every building or structure in which plumbing fixtures are installed which conveys sewage must be connected to the municipal wastewater system [BMC 8-1-104].
52. Each lot must have its own private lateral (building sewer) connection to the City sewer main [BMC 8-1-309]. Should the lot be subdivided in the future, a separate sewer lateral connection to the City sewer main will be required for each lot. For reference, the applicant can propose that separate building structures on one lot have separate sewer lateral connections to the City sewer main.

53. Pollutants, including construction debris, soil, and other discharges, are prohibited from entering the City's sewer collection system [BMC 8-1-501.1]. Discharges that exceed the local limits per BMC 8-1-501.4 are prohibited. In addition, the applicant shall not obstruct or damage any part of the City sewer system, and shall reimburse the City for sanitary sewer overflows and the reasonable costs of necessary maintenance and/or repair of the sewer system [BMC 8-1-311]. As such, it is required that all existing private sewer laterals are capped prior to any demolition activities.
54. A backwater valve is required on every private sewer lateral(s) connected to a private building(s), unless it can be shown that all fixtures contained therein have flood level rim elevations above the elevation of the next upstream maintenance hole cover of the public sewer serving the property, or a conditional waiver is granted by the Director [BMC 8-1-313]. Please note that Public Works' Wastewater Division will not sign off on the Certificate of Occupancy until the owner/developer provides proof that the backwater valve(s) has been installed.
55. A Pool Discharge Permit is required each time a single-family residential pool is emptied [BMC 8-1-1004.8(3)]. The permit may be obtained at the Public Works Permits counter and is subject to a fee per the currently adopted Citywide Fee Schedule and the enclosed pool discharge brochure. If the proposed pool/spa contains salt water, please note that salt water pool/spa discharges are currently conditionally allowed to discharge into the storm drain system, subject to meeting (and not exceeding) the following water quality objectives, in addition to other BMP requirements: TDS = 950 mg/l, Sulfate = 300 mg/l, Chloride = 190 mg/l. This conditional allowance and the limits may be changed by the Regional Water Quality Control Board in the future. The City strongly discourages the use of saltwater pools.
56. Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy [BMC 9-3-407].
57. Certain construction and re-construction activities on private property will need to comply with post-construction Best Management Practices (BMPs), which include Sections 8-1-1007 and 9-3-414.D of the BMC authorizing the City to require projects to comply with the Standard Urban Stormwater Mitigation Plan provisions and the City's Low Impact Development (LID) ordinance. For questions on these requirements, please contact the City's Building Division at (818) 238-5220.

Public Works Department - Traffic Engineering

58. Driveway path to garage must be constructed per BMC 10-1-603.1.
59. Garage must be accessed by a 24-foot turn radius per BMC 10-1-1606.

60. No visual obstruction shall be erected or maintained above 3' high or below 10' high in a 10' by 10' visibility cut-off at the intersection of streets [BMC 10-1-1303(A)].

61. No visual obstruction shall be erected or maintained in the 5' by 5' visibility cut-off above 3' high or below 10' high at the intersection of street/alley and driveway. Such requirement applies to all driveways [BMC 10-1-1303 (C)].

Fire Department

62. If this project meets the fire sprinkler requirements of the City of Burbank Municipal Code fire sprinklers shall be required.

63. The owner and the owner's architect and/ or contractor are responsible for ensuring compliance with all applicable provisions of fire life/ safety codes. Failure to cite a specific code requirement in this preliminary document does not relieve the applicant of such responsibility. Such compliances may include but are not limited to fire department access for firefighting, including fire department vehicle access, fire water supplies and appurtenances. Further reviews may require additional requirements or limitations as the project develops and is not limited to the requirements provided in these conditions. FIRE SPRINKLER, FIRE ALARM, EMERGENCY VEHICLE ACCESS, YARD HYDRANT, UNDERGROUND FIRE WATER AND EMERGENCY RADIO COMMUNICATION SYSTEM PLANS SHALL BE HARD COPY DELIVERED TO THE BURBANK FIRE DEPARTMENT 311 E. ORANGE GROVE AVE. BURBANK CALIFORNIA 91502.

Note: All references are in accordance with the 2022 Edition of the California Fire Code (CFC) and the California Building Code (CBC) as amended by the Burbank Municipal Code (BMC).

64. All noted information pertaining to the proposed project shall be shown on the plans submitted as part of the Fire Department review for approval.

Transportation Division

65. Pursuant to the City's Complete Streets Objective Development Standards (CSODS) Section 2.2, the Project shall provide a dedication for the length of the property frontage on Walnut Avenue to ensure a 12-foot public right-of-way from property line to edge of curb. The dedication shall be incorporated into the Project construction plans and off-site improvement plans for plan-check review and shall be recorded prior to issuance of building permits.

66. Pursuant to CSODS Section 1.3, the Project shall be subject to an alternative development standard for sidewalk width that complies with the Burbank 2035 General Plan Mobility Element ("General Plan"). Therefore, in accordance with

General Plan Table M2, the Project shall provide a 6-foot sidewalk extending along the entirety of the project's frontage on E. Walnut Avenue to the private road at Vista Grande Drive. To meet the requirements of the Americans with Disabilities Act (ADA), the sidewalk shall provide a minimum 4-foot clear zone around all obstacles (e.g. light poles and signs) and shall include a curb ramp with truncated domes (2022 Caltrans Standard Plan A88A or A88B) at the south end of the segment. The provided curb ramp shall be aligned with the same north-south path of travel as the sidewalk. The north end of the segment shall maintain the existing curb return to promote effective stormwater drainage. The sidewalk and clear zone widths shall be incorporated into the Project construction plans and off-site improvement plans for plan-check review and shall be completed prior to issuance of Certificate of Occupancy.

67. To enable the construction of the 6-foot sidewalk, the Project shall provide a retaining wall upslope of the sidewalk, to be maintained in good condition by the owner of the property per a formal covenant agreement with the City. The covenant shall run with the land and indemnify the City from any damages caused by the required maintenance or lack thereof. The retaining wall shall be incorporated into the Project construction plans and off-site improvement plans for plan-check review and shall be completed prior to issuance of Certificate of Occupancy.

Parks and Recreation

68. Submit landscape and irrigation plans prepared by a licensed landscape architect. Must comply with Municipal Water Efficient Landscape Ordinance (MWELo) requirements if over 500 square feet of landscape.
69. Park Development Fee shall be paid prior to issuance of building permits:
\$150 /bedroom.
 $4 \times \$150.00 = \600
70. Must comply with Art in Public Places Ordinance if building costs are over \$500,000.
71. Trees required to be planted along (above retaining wall) every 40 feet.
72. All street trees shall be a minimum of 24" box size. Trees in grass shall be installed with Arbor Guards
73. Add note on planting plan:

Owner to install the street trees, they must contact the Forestry Supervisor, at (818) 238-5343, at least forty-eight (48) hours prior to installation. Failure to contact the City for inspection and installation may cause the removal and replacement at the owner's expense.

Burbank Water and Power – Water

74. Each parcel shall require its own domestic water service connection, accessible to BWP's public water main. No service connection shall be allowed to supply water to any parcel of land other than for which the service connection is assigned.
75. Sizing of the domestic water meter shall be adequate to provide the required flow, as determined by a licensed plumber, architect, or engineer, calculated from the number of fixture units for the proposed development, pursuant to Title 24, Part 5 of the California Plumbing Code (CPC), California Code of Regulations (CCR).
76. Temporary potable water may be supplied from the 1" existing service connected to the 10" water main located on Walnut Avenue. The existing meter and box must always be protected in place. The Applicant shall pay all applicable fees prior to using the water service.
77. Water may be supplied temporarily from a hydrant. Contact Water Engineering concerning fees, required permits, and fittings.
78. Applicant may use the existing water meter for construction purposes. Applicant shall pay the applicable fees for water usage.
79. A copy of this Development Review Memorandum shall be shown on the Applicant's plan submittal.
80. The Applicant shall meet with utility representatives from Burbank Water and Power (Water and Electric), and Public Works Department (Sewer) to discuss utility requirements in detail.
81. The Customer shall be responsible for connecting the water service at the property line, or where BWP's meter outlet begins. The cost of installation shall be the Customer's responsibility.
82. If the existing 1" water service is not sufficient to meet the new total water demand, Applicant shall pay all cost to upgrade the existing water service.
83. Provide calculations of the total domestic potable water demand of the proposed development.
84. The Utility Plan shall include the location of the existing 1" water service line and 10" water main located at Walnut Avenue.
85. Plumbing Plans indicating the size of the building supply line.
86. Provide the completed fixture count form.

Burbank Water and Power – Electric

87. If a new temporary power pole is constructed and permitted per BWP drawing S-827A, the applicant may be able to utilize the existing underground electrical service for temporary construction power.
88. A new permanent underground electrical service may be possible at the east wall of the new structure, contingent on the construction of a new service entrance feed. This feed will emanate from the utility pole line East of Walnut Ave. and enter the parcel underneath the driveway to the structure.
89. The applicant will be required to build the new underground conduits, secondary pull boxes, and other substructures necessary to facilitate the electrical service to the new structure. A Public Works Excavation Permit will be necessary for the applicant to trench under the street.
90. The applicant will also be responsible for paying BWP any AIC fees to provide new temporary and permanent electrical service, including, but not limited to, secondary conductors and other underground infrastructure upgrades necessary to facilitate new electrical service to the property.
91. An electric load schedule and secondary electric service schematic for the entire property will be required to determine the extent of the electrical load requirements and for BWP to provide an electrical service meter spot. BWP will provide full comments after the electrical sheets are provided. A meeting should be scheduled between the developer, project architect, electrical engineer, and BWP Electrical Engineering 818-238-3647 to discuss all the issues and to finalize the location of the facilities.
92. Prior to the final building plan submission, contact the Electric Service Planner to determine the facility's new service location, obtain a confirmation of the electric service for permanent and temporary power, and discuss BWP's electric service requirements.